

 Saratoga Springs Horizontal Blue

1. 2026-01-20 Cc Agenda

Documents:

[2026-01-20 CC AGENDA.PDF](#)

2. 2026-01-20 Cc Packet

Documents:

[2026-01-20 CC PACKET.PDF](#)



AGENDA – City Council Meeting

Mayor Chris Carn

Mayor Pro Tempore Audrey Barton

Council Member Edon Davenport

Council Member Robert Taylor

Council Member Lance Wadman

Council Member Emma Wilson

CITY OF SARATOGA SPRINGS

Tuesday, January 20, 2026 @ 6:00 pm

City of Saratoga Springs Council Chambers

319 South Saratoga Road, Saratoga Springs, UT 84045

POLICY MEETING

CALL TO ORDER

1. Roll Call.
2. Moment of Reflection.
3. Pledge of Allegiance.
4. Presentation: Just Serve City Certificate. Cate Hall with Just Serve.
5. Recognition: Outgoing Planning Commissioners Charlie Carn and Jack Mangum.
6. Public Input – *This time has been set aside for the public to express ideas, concerns, and comments for subject matter not listed as public hearing on the agenda. Limit of 3 minutes per speaker, unused time may not be given to another. Time for Public Input is limited to no more than 15 minutes total.*

REPORTS

1. Mayor.
2. City Council.
3. Administration.
4. Department Report: Civic Events.

CONSENT ITEMS

The Council may approve these items without discussion or public comment and may remove an item to the Business Items for discussion and consideration.

1. Resolution R26-06 (01-20-26) Appointing Audrey Barton to the Utah Lake Authority Board, with Robert Taylor as alternate.
2. Approval of Minutes: January 6, 2026; January 7, 2026; & January 9 – 10, 2026.

PUBLIC HEARINGS

The Council will accept public comment and may approve the following items:

1. Fiscal Year 2025-2026 Budget Amendment. Resolution R26-04 (01-20-26).

BUSINESS ITEMS

The Council will discuss (without public comment) and may approve the following items:

1. Major Site Plan Amendment for Walmart EV Charging Station. Located at 136 West Crossroads Boulevard, Meaghan Farrell as applicant.

2. Site Plan for Saratoga Town Center Lot 304, located at 1508 N. Redwood Road, Austin Cooper-JDH Development as applicant.
3. Contract award for new pedestrian crossing at 400 S (Patriot Park) project. Resolution R26-05 (01-20-26).

WORK SESSION

1. CenterCal Downtown conceptual plan review.

CLOSED MEETING

Possible motion to enter into closed meeting for the purchase, exchange, or lease of property; pending or reasonably imminent litigation; the character, professional competence, or the physical or mental health of an individual; or the deployment of security personnel, devices, or systems.

ADJOURNMENT

Supporting materials are available for inspection on the City Website, www.saratogasprings-ut.gov. Questions and comments to Staff and/or Council may be submitted to comments@saratogasprings-ut.gov. Meetings are streamed live at <https://www.youtube.com/c/CityofSaratogaSprings>.

PLEASE NOTE: The order of items may be subject to change with the order of the Mayor. One or more council members may participate by electronic telecommunication means such as phone, internet, etc. so that they may participate in and be counted as present for all meeting purposes, including the determination that a quorum is present.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 801.766.9793 at least two days prior to the meeting.



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RESOLUTION NO. R26-06 (01-20-26)

A RESOLUTION MAKING ASSIGNMENTS TO MAYOR AND/OR MEMBERS OF THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS UTAH, TO THE UTAH LAKE AUTHORITY GOVERNING BOARD.

WHEREAS, Section 11-65-101 of the Utah Code creates the Utah Lake Authority.

WHEREAS, Section 11-65-301 of the Utah Code requires the formation of a governing board which shall manage and conduct the business and affairs of the lake authority and shall determine all questions of lake authority policy.

WHEREAS, Section 11-65-302 of the Utah Code details the number and representation of the 15 Utah Lake governing board appointments.

WHEREAS, (Insert organization name here) is included in the list of Utah Lake Authority member organizations in Section 11-65-302 of the Utah Code

WHEREAS, Section 11-65-302 indicates that the member of the governing board from the City of Saratoga Springs is selected by the legislative body of the City of Saratoga Springs; and

WHEREAS, the City Council of the City of Saratoga Springs, Utah, has determined that it would be in the best interest of the community to appoint a member of the City Council to serve on the Utah Lake Authority governing board;

NOW THEREFORE, the City Council of the City of Saratoga Springs, Utah, does hereby appoint Audrey Barton to serve on the Utah Lake Authority governing board, with Robert Taylor as alternate in accordance with the details provided in Section 11-65 of the Utah Code.

PASSED AND APPROVED this 20th day of January, 2026

**CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION**

By: _____
Chris Carn, Mayor

Attest:

Nicolette Fike, City Recorder



MINUTES – City Council Policy Meeting

Tuesday, January 06, 2026

City of Saratoga Springs City Offices

319 S. Saratoga Rd., Saratoga Springs, Utah 84045

CITY COUNCIL OATH OF OFFICE

1. Oath of Office for newly elected Mayor: Chris Carn, and City Council Members: Emma Wilson and Rob Taylor. Oath of Office was administered by the City Recorder

POLICY MEETING

CALL TO ORDER

6:06 p.m. by Mayor Chris Carn.

1. **Roll Call** – A quorum was present.

Present:

Mayor Chris Carn, Council Members: Lance Wadman, Audrey Barton, Robert Taylor, Emma Wilson.

Staff: City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen

Jackson, Planning Director Sarah Carroll, Public Works Director Jeremy Lapin, PR Manager AnnElise

Harrison, Senior Planner Gina Grandpre, Planner I Joel Temple, Senior Planner David Jellen, City Recorder

Nicolette Fike, Deputy Recorder Heather Washburn, Community Development Director Ken Young, Police

Chief Andrew Burton, Sergeant Connor Mackie.

Others: Candace Horne, Joylin Lincoln, Edon Davenport, Michael McOmber, Jay Ashworth, Angie Carn,

Jim Miller, Melissa Ransom Gonzalez, Tyler Tolley, Caleb Buswell, Todd Smith, Steve Rosco, Kevin Riesch,

Greg Paley, Malcolm Thacker.

2. **Moment of Reflection** – given by Councilmember Taylor.

3. **Pledge of Allegiance** – led by Councilmember Barton.

4. **Presentation** – Police Chief Andrew Burton honored Connor Mackie on his promotion to Sergeant.

5. **Public Input**

Caleb Buswell, resident, expressed concerns about the SITLA annexation process and commented on the proposed Wander amendment, expressing support for smaller units if safeguards are included against excessive rental development and square footage standards.

Candace Horne from Young Electric Sign Company expressed her support for Business Item 5, Amendment to Title 19.

REPORTS

1. **Mayor.** No report.

2. **City Council.** - Councilmember Barton welcomed the new council members.

3. **Administration.** - City Manager Christensen highlighted the library opening, noting strong community attendance and high book circulation, and expressed pride in the library's service to the community.

4. **Department Reports:** Library, Recreation, Public Relations/Community Outreach given in the packet.

CONSENT ITEMS

1. **Adoption of Saratoga Springs Hazard Mitigation Plan. Resolution R26-01(01-06-26).**

2. **Utah Watershed Work Plan Agreement with NRCS. Resolution R26-02 (01-06-26).**

3. **Fiber Internet Franchise Agreement for Telecommunications Network. Ordinance 26-01 (01-06-26).**

4. **Approval of Minutes: December 2, 2025; December 18, 2025.**

Motion made by Councilmember Barton to approve the Consent Items. Seconded by Councilmember Wadman.

Vote:

Councilmember Barton Yes

Councilmember Wadman Yes

Councilmember Taylor Yes
Councilmember Wilson Yes
Motion passed 4-0

55 **BUSINESS ITEMS**

1. **Site plan for In-N-Out Burger, located at 104 W Redwood Road. Todd Smith, In-N-Out Corp. as Applicant.**

60 Senior Planner Gina Grandpre reviewed the zoning, general plan designation, and site plan, noting the proposal complies with applicable codes, including building size, parking, drive-thru stacking, landscaping, elevations, and lighting standards, with lighting permitted as specified in the Village Plan.

The applicant, Todd Smith, was present to answer questions.

65 Councilmember Barton commented that 32 stacking spaces seemed sufficient but asked if the applicant had an estimate of how many cars are present at full capacity at the In-N-Out in American Fork for comparison.

Todd Smith reported that a traffic study by Hails Engineering observed a maximum of 31 cars in the single-stack drive-thru at the American Fork location.

70 Councilmember Wilson thanked the applicant for providing pedestrian access and said she felt the northern intersection of the parking lot appeared somewhat confusing and that a stop sign at the intersection might be helpful.

75 Staff clarified that code requires a stacking rate of 20 feet per car, provided more details on the northern intersection, and confirmed that the connecting road is paved.

80 Councilmember Wadman expressed his concern that the traffic would impact the road next to Costco and received information about the stacking plan to mitigate traffic. The applicant explained how they have cameras inside the store so they can monitor stacking have associates out to help direct traffic. They have an over stack plan in place to help handle that.

Mayor Carn received clarification that they were over parked, staff indicated they had 84 stalls and were only required to have 39.

85 Councilmember Rob Taylor expressed his enthusiasm for the project and recommended that site plans be approved at planning commission.

90 **Motion made by Councilmember Barton to approve the Site plan for In-N-Out Burger, located at 104 W Redwood Road. Todd Smith, In-N-Out Corp. as Applicant, with Staff Findings and Conditions. Seconded by Councilmember Taylor.**

The Council and Staff had further discussion on stop signs at the northern intersection.

95 City Attorney Kevin Thurman advised that because this was an administrative decision nothing could be imposed that was not required in City Code.

Vote:

100 Councilmember Barton Yes
Councilmember Wadman Yes
Councilmember Taylor Yes
Councilmember Wilson Yes
Motion passed 4-0

105 **2. Site Plan Major Amendment for Northern Frontier Business Park Lot 4, located at 2238 North Redwood Road. Kevin Riesch as applicant.**

Senior Planner Gina Grandpre discussed the proposed amendment, which included operational updates such as revisions to the trash enclosure, a truck scale, fencing, an electric access gate, and the removal of two landscape islands. She noted these changes all comply with City Code.

110 Kevin Riesch and Steve Rosco were present to answer questions. They indicated this warehouse would support all their stores in the area and they were happy to be in Saratoga.

Councilmember Wadman confirmed with staff that the elevation gain was not a concern and had been addressed by staff. He also inquired about the number of employees anticipated to be employed at the facility.

115 The applicant compared to their Draper facility, which currently has approximately 30–50 employees and 11,000 square feet, to a new facility of approximately 52,000 square feet, which will allow for significant growth in the area.

120 Councilmember Taylor expressed his gratitude to In-N-Out for bringing employment opportunities.

Councilmember Wilson received clarification that the reduction in parking stalls met minimum requirements.

125 **Motion made by Councilmember Wadman to approve the Site Plan Major Amendment for Northern Frontier Business Park Lot 4, located at 2238 North Redwood Road. Kevin Riesch as applicant, with Staff Findings and Conditions. Seconded by Councilmember Wilson.**

Vote:

<u>Councilmember Barton</u>	<u>Yes</u>
<u>Councilmember Wadman</u>	<u>Yes</u>
<u>Councilmember Taylor</u>	<u>Yes</u>
<u>Councilmember Wilson</u>	<u>Yes</u>

Motion passed 4-0

135 3. **Wander Community Plan Amendment 5 and Village Plan 3 Amendment 3 - Major Plan Amendments, located approximately East of Riverside Drive to the Jordan River and South of Pioneer Crossing to Pony Express. Greg Paley, VP of Land, Oakwood Homes Utah, LLC. as applicant. Ordinance 26-02 (01-06-26).**

140 Senior Planner Gina Grandpre provided an overview of the item, which included requested amendments to allow additional elevation styles for multi-family townhomes, a trail, changes to the minimum dwelling size, and clarification on parking standards. An exhibit was shown.

Applicant Greg Paley, Ken Puncerelli, and Malcolm Thacker were present to answer questions.

145 Ken Puncerelli further explained the amendment and language clarification, detailing the changes they have adhered to from the previous summer work session.

Greg Paley congratulated the Mayor and Council, commented on the new municipal building, and addressed housing attainability, citing national data showing the rising age of first-time homebuyers. He stated that Oakwood Homes is proposing homes under 1,000 square feet to address this issue.

150 Senior Planner Gina Grandpre confirmed the minimum dwelling size for multifamily is 1,000 square feet and that the applicant is requesting a minimum of 800 feet for the Village Plan 3, specifically for the “Arrival” product.

155 Councilmember Barton expressed appreciation for the proposed smaller housing units and noted they address a housing need for young adults and seniors in the community.

Councilmember Wadman confirmed the requested size was for a round number and not an intent to build below 880 square feet. He expressed his agreement with Councilmember Barton on the need for attainable homes.

160 Councilmember Wilson like the smaller size and asked about the number of homes anticipated at the 880 square foot range. She expressed her concern about parking and the small apron size and the difficulty to back a car out. She noted kids in the street was a concern in similar areas.

165

Malcolm Thacker explained that the buyer selects which floorplan they want, but that they anticipate around 10-15% of the homes to be this floorplan. He mentioned they do not have pricing evaluated yet and anticipate end of Summer.

Senior Planner Gina Grandpre gave an explanation on “Shall Complies” in the staff reports for the new council members and explained the guest parking standards for this plan.

Councilmember Taylor received clarification on guest parking, and nothing in the alleyway would be allowed to count toward parking. He expressed his concerns about reducing the 800 sq. ft. minimum unit size, questioning whether the difference in square feet from the next smallest unit would result in meaningful cost savings.

Malcolm Thacker and Ken Puncerelli discussed their target market, further explaining their commitment to attainability and the small percentage of this product line in the community.

Councilmember Wadman reaffirmed his support for the floorplan because of the location and offering for affordable housing. He suggested changing the minimum allowed size to be 880 square feet instead of the requested 800 square feet.

Councilmember Barton felt there was a big demand for this type of home and that it was more attainable.

Councilmember Taylor noted these would satisfy a certain segment of the population; but felt that these units would inevitably become rental units and not purchased for homeownership.

City Attorney Kevin Thurman explained, because of concern, that this was a legislative decision and Council could possibly consider requiring a time requirement for owner occupancy.

The applicant explained that 73% of buyers in Wander were first time home buyers, they do not control after the home is sold who occupies it. He wasn’t sure the smaller units would be a good rental investment.

Councilmember Wilson shared her concern about the rentals and owner occupation. She asked about landscaping and availability for owners to have grassy space for play items.

Senior Planner Gina Grandpre gave an overview on landscaping and noted at site plan level is where those questions would be answered more, further noting that if it met code, such as rock, it would be allowed to be placed there. She indicated the larger community park for a play area.

Mayor Carn pointed out that with a development at 1,900 doors, restricting a very small portion when nowhere else in the development did not make sense.

Motion made by Councilmember Barton to approve Wander Community Plan Amendment 5 and Village Plan 3 Amendment 3 - Major Plan Amendments, located approximately East of Riverside Drive to the Jordan River and South of Pioneer Crossing to Pony Express. Greg Paley, VP of Land, Oakwood Homes Utah, LLC. as applicant. Ordinance 26-02 (01-06-26), with all Staff Findings and Conditions, with an added Condition of an 880 square foot minimum dwelling size and an added Condition requiring that the parking standards on page 19 of the Village Plan 3 Amendment specify that only units with a minimum 20-foot driveway may be counted toward the required guest parking spaces. Seconded by Councilmember Wilson.

Vote:

Councilmember Barton Yes

Councilmember Wadman Yes

Councilmember Taylor No

Councilmember Wilson Yes

Motion passed 3-1

4. Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.16 – Site and Architectural Design Standards for Nonresidential Accessory Structures. Citywide, City-initiated. Ordinance 26-03 (01-06-26).

225 Senior Planner David Jellen explained that City Code does not currently address situations where a non-residential accessory structure is detached from the primary building, and that the proposed amendment provides updated regulations.

230 Councilmember Taylor confirmed with Staff that the provision applies only to non-residential uses and that the design standards are intended to ensure non-detached structures are compatible with the primary structure.

235 **Motion made by Councilmember Taylor to approve Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.16 – Site and Architectural Design Standards for Nonresidential Accessory Structures. Citywide, City-initiated. Ordinance 26-03 (01-06-26), with all Staff Findings and Conditions in the staff report. Seconded by Councilmember Wadman.**

Vote:

Councilmember Barton Yes

240 Councilmember Wadman Yes

Councilmember Taylor Yes

Councilmember Wilson Yes

Motion passed 4-0

245 5. **Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.18 – Sign Regulations for Office Warehouse Signage. Citywide, City-initiated. Ordinance 26-04 (01-06-26).**

250 Planner I Joel Temple presented the amendment, explaining that the proposed change separates Office Warehouse and Business Park signage by treating Office Warehouse like other Commercial zones for sign allowances, and clarifies that illuminated signs may include white, off-white, or near-white portions of the sign foreground.

255 Council received examples of background vs. foreground and explanations of current codes regulating signs. The white background had not been permitted to minimize the brightness. Planner Joel Temple explain that there were separate provisions in the code for signs facing residential property.

Council received clarification on the multiple tenant signs, sizes and percentages allowed. This will also align more with what's allowed with retail signage.

260 **Motion made by Councilmember Taylor to approve Amendments to Title 19 Land Development Code of the City of Saratoga Springs, Chapter 19.18 – Sign Regulations for Office Warehouse Signage. Citywide, City-initiated. Ordinance 26-04 (01-06-26), specifying that Condition #1 from the Staff Report shall read: an illuminated sign may have a white, off-white, or near-white foreground, and all other Staff Findings and Conditions. Seconded by Councilmember Wadman.**

Vote:

265 Councilmember Barton Yes

Councilmember Wadman Yes

Councilmember Taylor Yes

Councilmember Wilson Yes

Motion passed 4-0

270 **CLOSED MEETING** – No closed meeting was held.

ADJOURNMENT

275 Meeting Adjourned Without Objection at 7:43 p.m. by Mayor Carn.

Mayor Chris Carn

Date

280

City Recorder



MINUTES – City Council Special Meeting

Wednesday, January 7, 2026

City of Saratoga Springs City Offices

319 South Saratoga Road, Saratoga Springs, UT 84045

CALL TO ORDER

6:02 p.m. by Mayor Chris Carn

1. **Roll Call** – A quorum was present

Present:

Mayor Chris Carn, Council: Audrey Barton, Robert Taylor, Lance Wadman, Emma Wilson.

Staff: City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, Public Relations Manager AnnElise Harrison, City Recorder Nicolette Fike.

Others: Candidates: Benjamin Cutler, Esther Sekiziyivu, Ricardo Felix, Tyler Tolley, Edon Davenport, Mike De Mie.

2. **Moment of Reflection** – given by Councilmember Wadman.

3. **Pledge of Allegiance** – led by Councilmember Wilson.

COUNCIL SEAT VACANCY

1. **Interviews and Vote to select a City Council Member for an interim term, starting January 7, 2026 to January 3, 2028.**

Each candidate was given time to introduce themselves to council. Councilmembers asked questions of each candidate; afterwards, the candidates were asked to give a closing statement.

A short break was taken at 7:00 p.m., meeting resumed at 7:07 p.m.

Councilmembers deliberated, sharing their thoughts and took an initial vote.

Vote:

Councilmember Barton **Edon Davenport**

Councilmember Taylor **Edon Davenport**

Councilmember Wadman **Edon Davenport**

Councilmember Wilson **Edon Davenport**

2. **Consideration of Resolution R26-03 (01-07-26) Appointing Edon Davenport to serve as Interim City Council Member for the remaining term of office commencing January 7, 2026 and concluding January 3, 2028.**

Motion made by Councilmember Wilson to approve Resolution R26-03 (01-07-26) Appointing Edon Davenport to serve as Interim City Council Member for the remaining term of office commencing January 7, 2026 and concluding January 3, 2028. Seconded by Councilmember Barton.

Vote:

Councilmember Barton **Yes**

Councilmember Taylor **Yes**

Councilmember Wadman **Yes**

Councilmember Wilson Yes

3. Oath of Office for New City Council Member.

The oath of office for was administered by the City Recorder.

50

CLOSED SESSION – No Closed Session was held.

ADJOURNMENT

Meeting Adjourned Without Objection at 7:46 p.m. by Mayor Chris Carn.

55

Mayor Chris Carn

Date

60

City Recorder



MINUTES – City Council Workshop Meeting

January 9 – 10, 2026

City of Saratoga Springs City Offices

319 S. Saratoga Rd., Saratoga Springs, Utah 84045

CITY OF SARATOGA SPRINGS

January 9 – 10, 2026

319 S. Saratoga Rd. Saratoga Springs, UT 84045

Friday January 9, 2026 – 8:17 a.m.

Present:

Mayor Chris Carn, Council: Audrey Barton, Edon Davenport, Robert Taylor, Lance Wadman, Emma Wilson. Staff: City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, City Recorder Nicolette Fike, Public Works Director Jeremy Lapin, Planning Director Sarah Carroll, Admin Asst. Tina Fairbourn, Building Official Caleb Fishnick, Fire Chief Kenny Johnson, Police Chief Andy Burton, PR Manager AnnElise Harrison, Finance Director Chelese Rawlings, Librarian Melissa Grygl, HR Director Laura Gamon, Treasurer Brock Cleverly, Budget Administrator Spencer Quain, HR Holly Neibaur, Recreation Director Heston Williamson, Long Range Planner Tippe Morlan. Economic Development Director Doug Meldrum.

- 1. Welcome by Mayor Chris Carn.**
- 2. Department & Administrative Reports.**
Each department gave a brief update of key risks and performances. Departments included Finance, Library, Community Development, Police, Fire, Recreation, Engineering, Public Works, HR, Courts, Communications, and Planning.
- 3. City Council Training: OPMA, GRAMA, Land Use, City Code.**
City Attorney Kevin Thurman provided training for the council.
- 4. Budget Review – Moved to the following day.**
- 5. Capital Project Updates**
Public Works Director Lapin joined the meeting and gave an extensive review of current and future capital projects. Projects of note included: Pony Express Parkway, Eagle Mountain roads coordination, water and utility capacity, Patriot Park expansion, South Sanitary Sewer capacity, and new fire station.
- 6. Discussion of 2026 Mayor and Council Board Assignments, and Policy Discussion – Moved to the following day.**
- 7. Legislative Updates – Moved to the following day.**

Meeting ended for the day at 4:56 p.m.

No actions were taken during this day.

Saturday January 10, 2026 – 8:00 a.m.

Present:

Mayor Chris Carn, Council: Audrey Barton, Edon Davenport, Robert Taylor, Lance Wadman, Emma Wilson. Staff: City Manager Mark Christensen, City Attorney Kevin Thurman, Assistant City Manager Owen Jackson, PR Manager AnnElise Harrison, City Recorder Nicolette Fike, Public Works Director Jeremy Lapin, Admin Asst. Tina Fairbourn.

- 1. Unfinished Business: Legislative Updates, Budget Review, Council Assignments.**
Admin reviewed Council assignments for the year and liaison assignments were made.

City Manager Mark Christensen spent time going over the budget review for this fiscal year and how municipal taxes work. He briefly noted what was happening up on the state hill.

2. Administrative Updates

Administration reviewed council rules and bylaws and discussion was held about decorum and meetings. There was discussion on policies regarding council travel and future *Meet the Candidate* events.

3. Review of Council Goals

Assistant City Manager Owen Jackson led Council in discussing and prioritizing upcoming projects for the City, and what they would like to see modified or added. There was discussion on the future of the Strategic Plan and the need for an update of the document.

4. Topics for Future Discussions.

City Manager Mark Christensen took note of topics the Council would like to review in future workshop meetings.

5. Closed Session

Motion by Councilmember Taylor to enter into closed session for the purchase, exchange, or lease of property, discussion regarding deployment of security personnel, devices, or systems; pending or reasonably imminent litigation, the character, professional competence, or physical or mental health of an individual. Seconded by Councilmember Barton.

Vote:

Councilmember Barton **Yes**

Councilmember Davenport **Yes**

Councilmember Taylor **Yes**

Councilmember Wadman **Yes**

Councilmember Wilson **Yes**

No: None.

Absent: None.

Motion passed 5-0

Meeting commenced at 3:08 p.m.

Present:

Mayor Chris Carn, Council: Audrey Barton, Edon Davenport, Robert Taylor, Lance Wadman, Emma Wilson.
Staff: City Manager Mark Christensen, Assistant City Manager Owen Jackson, City Attorney Kevin Thurman, City Recorder Nicolette Fike.

Closed Session ended at 3:57 p.m. after a motion from Councilmember Taylor and second by Councilmember Davenport. All members were in favor.

ADJOURNMENT:

There being no further business, Mayor Chris Carn adjourned the meeting at 3:57 p.m.

Mayor Chris Carn

Date

City Recorder



City Council Staff Report

Author: Spencer Quain, Budget Administrator
Subject: Budget Amendment
Date: January 20th, 2026
Type of Item: Resolution

Summary Recommendation: Staff recommends approval of the following by resolution amending the budget for the fiscal year 2025-26.

Description

A. Topic

This is the third budget amendment for the fiscal year 2025-2026.

B. Background

Attached is the detail of the requested budget amendments for this budget amendment.

C. Analysis

Additional budgeted expenditures are detailed in the attached spreadsheet.

Recommendation: Staff recommends approval of the resolution amending the budget for the fiscal year 2025-26.

2025-2026 Budget Amendment #3						
G/L Account	Department	Description	Current FY 2026 Budget	New Budget Amount	Debit/Credit	Notes/Comments
Staff have determined that the following items do not create a substantial burden on future budgets (according to a 5-year budget analysis)						
General Fund						
Revenues						
10-3680-160	Other Revenue	Lease Revenue-New City Hall	-	200,000	200,000	The City will be leasing one floor of the new City Hall to the County.
10-3680-170	Other Revenue	Lease Revenue-Old City Hall	-	80,000	80,000	The City will be doing a lease-to-own with the New School District of the old City Hall.
Expenditures						
10-4210-110	Police	Salaries & Wages	\$ 3,648,458	\$ 3,646,014	\$ (2,444)	Convert PT Victims advocate to PT Records Clerk. Funded with savings.
10-4210-130	Police	Employee Benefits	\$ 2,540,653	\$ 2,540,466	\$ (187)	"
						Battalion Chiefs (BC) manage emergency resource allocation and administrative assignments on a 24/7 basis. Continued increase in call volume, complexity of calls, regular overlapping calls, additional daily training requirements, regular use of mutual aid resources and the need to maintain a safe span of control all necessitate a battalion level officer. As we plan for a 3rd station these individuals will aid in the planning, staffing and training needs to manage the coming growth. There is one BC assigned to each platoon and this position will complete the BC additions for a total of 3 combat BC's. Funded with Fund Balance.
10-4220-110	Fire	Salaries & Wages	\$ 3,558,643	\$ 3,613,750	\$ 55,107	
10-4220-130	Fire	Employee Benefits	\$ 693,008	\$ 722,715	\$ 29,707	"
10-4220-700	Fire	Capital Outlay	\$ 429,416	\$ 490,416	\$ 61,000	New vehicle needed for Fire Chief. Funded with Fund Balance.
10-4410-301	Streets	Traffic Signal Equipment	\$ 70,000	\$ 150,000	\$ 80,000	A significant new number of signals have needed to be ordered and installed this year, many of which were reimbursed by developers.
10-4420-134	Public Works	Overtime Pay	\$ 2,500	\$ 6,000	\$ 3,500	Extra work needed to keep up with backlog of bond administration, work orders, and encroachment permitting as well as resident email and calls
10-4510-540	Parks	Landscape Equipment Maintenance	\$ 21,500	\$ 25,000	\$ 3,500	Large number of equipment Repairs
10-4510-600	Parks	Special Events	\$ 1,000	\$ 5,000	\$ 4,000	Equipment Rental expenses for Civic and other Special Events
General Fund Total					\$ (45,817)	
Storm Drain Capital Projects Fund						
Revenues						
31-3350-000	Intergovernmental Revenues	Grant Revenue	\$ -	\$ 115,286	\$ 115,286	Anticipated additional Grant Revenues.
Expenditures						
31-4000-788	Stormwater Cap Projects	Lake Mtn Estates Debris Basin	\$ -	\$ 41,742	\$ 41,742	Project Close Out, retainage payment to contractor
Storm Drain Capital Projects Fund Total					\$ (73,544)	
Parks Capital Projects Fund						
Revenues						
32-3310-100	Intergovernmental Revenues	Grant Revenue	\$ -	\$ 5,600,000	\$ 5,600,000	Anticipated additional Grant Revenues.
Expenditures						
32-4000-694	Parks Cap Projects	Patriot Park Phase 3 Concept	\$ 5,726	\$ 6,000	\$ 274	Funding for Analysis of Additional Soccer Fields - Location and Cost. Funded with Fund Balance.
32-4000-720	Parks Cap Projects	South Marina	\$ 25,000	\$ 990,000	\$ 965,000	Project Complete - Funding for storm drainage project improvements, offset with Grant Revenue

2025-2026 Budget Amendment #3						
G/L Account	Department	Description	Current FY 2026 Budget	New Budget Amount	Debit/Credit	Notes/Comments
Staff have determined that the following items do not create a substantial burden on future budgets (according to a 5-year budget analysis)						
32-4000-734	Parks Cap Projects	North Marina	\$ 731,199	\$ 4,000,000	\$ 3,268,801	Funding for as-bid improvements, offset with grant revenue
32-4000-737	Parks Cap Projects	Cemetery	\$ 91,974	\$ 550,000	\$ 458,026	Funding for improvements per approved site plan. Impact Fee Funded for adding additional Regional Open Space.
32-4000-746	Parks Cap Projects	Heron Bay Park Ph1	\$ 18,367	\$ 10,000	\$ (8,367)	Ph1 Project Complete - Defund down to \$10k to fund concept and cost est to complete park in the future
32-4000-751	Parks Cap Projects	BLM ROW Permit	\$ -	\$ 10,000	\$ 10,000	Ongoing effort to get a permit for bike trails on BLM land above Grandview. Funded with Fund Balance.
<u>Parks Capital Projects Fund Total</u>					\$ (906,266)	
<u>Roads Capital Projects Fund</u>						
<u>Revenues</u>						
33-3310-100	Intergovernmental Revenues	Grants	\$ -	\$ 12,015,359	\$ 12,015,359	The City anticipates receiving grant monies for various projects.
<u>Expenditures</u>						
33-4000-742	Road Cap Projects	Traffic Signal at MVC and 400 N	\$ 1,251,000	\$ -	\$ (1,251,000)	Project Complete - Defund
33-4000-761	Road Cap Projects	South Elementary Underpass	\$ 811,800	\$ -	\$ (811,800)	Project Complete - Defund
33-4000-764	Road Cap Projects	Pony Express & Saratoga Road Widening	\$ 8,403,820	\$ 15,000,000	\$ 6,596,180	Additional funding per recent MAG funding increase for widening of Pony Express to 5 Lanes from Saratoga Road to Loch Lomond (Lehi Bndry)
33-4000-765	Road Cap Projects	MVC Widening - Pony to SR-73	\$ 5,136,983	\$ 1,836,665	\$ (3,300,318)	Project Complete - Defund - Remaining Retainage Payment of \$197,329.72
New GL	Road Cap Projects	Pony Express Completion - Tallulah to Saratoga Rd	\$ -	\$ 2,000,000	\$ 2,000,000	Funding to Begin Design and permitting for completing 5 lanes from Tallulah to Saratoga Road including Bridge Replacement. Funded with Fund Balance.
New GL	Road Cap Projects	800 W (Seaside St) - Public Works West Frontage	\$ -	\$ 300,000	\$ 300,000	Funding to Begin Design and permitting for completing Roadway along west frontage of Public Works Property. Funded with Fund Balance.
New GL	Road Cap Projects	Traffic Signal at MVC and Grandview Boulevard	\$ -	\$ 10,000	\$ 10,000	Funding for Warrant Study and cost estimate for future cost. Funded with Fund Balance.
<u>Roads Capital Projects Fund Total</u>					\$ (8,472,297)	
<u>Public Safety Capital Projects Fund</u>						
<u>Expenditures</u>						
34-4000-741	Public Safety Projects	Payment to Fund 35	\$ 400,000	\$ 1,650,000	\$ 1,250,000	Payoff remaining balance for Police Station Project Interfund Loan. Funded with Fund Balance.
<u>Public Safety Capital Projects Fund Total</u>					\$ 1,250,000	
<u>Capital Projects Fund</u>						
<u>Expenditures</u>						
35-4000-744	Capital Projects	Road Projects	\$ 1,752,549	\$ 1,817,291	\$ 64,742	Pedestrian Crossing at 400 S by Patriot Park. Funded with Fund Balance.
<u>Capital Projects Fund Total</u>					\$ 64,742	
<u>Street Lighting Operations Fund</u>						
<u>Expenditures</u>						
50-4000-490	Public Safety Projects	RMP Street Light Fees	\$ -	\$ 10,000	\$ 10,000	New GL created for pass through fees paid to RMP by Developers for activating new Street Lights. Paid for by Developers.

2025-2026 Budget Amendment #3						
G/L Account	Department	Description	Current FY 2026 Budget	New Budget Amount	Debit/Credit	Notes/Comments
Staff have determined that the following items do not create a substantial burden on future budgets (according to a 5-year budget analysis)						
50-5500-100	Depreciation	Depreciation	\$ 90,000	\$ 150,000	\$ 60,000	Updating Depreciation numbers
<u>Street Lighting Operations</u>						
<u>Fund Total</u>					\$ 70,000	
<u>Water Operations Fund</u>						
<u>Expenditures</u>						
51-5100-280	Drinking Water Operations	Power and Pumping	\$ 350,000	\$ 400,000	\$ 50,000	Several additional facilities and population growth has increased electrical bills. Funded with Fund Balance.
51-5100-401	Drinking Water Operations	Purification	\$ 20,000	\$ 65,000	\$ 45,000	Increase in compliance sampling due to City growth and EPA regulations. Funded with Fund Balance.
51-5100-810	Drinking Water Operations	Principal - Debt Payments	\$ 425,000	\$ 525,000	\$ 100,000	2014 Water Revenue Bond Payment. Funded with Fund Balance.
51-5500-100	Depreciation	Depreciation	\$ 2,800,000	\$ 4,000,000	\$ 1,200,000	Updating Depreciation numbers
<u>Water Operations Fund</u>						
<u>Total</u>					\$ 1,395,000	
<u>Sewer Operations Fund</u>						
<u>Expenditures</u>						
52-5500-100	Depreciation	Depreciation	\$ 1,200,000	\$ 2,000,000	\$ 800,000	Updating Depreciation numbers
<u>Sewer Operations Fund</u>						
<u>Total</u>					\$ 800,000	
<u>Sewer Capital Projects</u>						
<u>Fund</u>						
<u>Expenditures</u>						
53-4000-600	Sewer Cap Projects	Master Planning	\$ 40,000	\$ 70,000	\$ 30,000	Additional services for master planning and updates to Impact Fees. Funded with Fund Balance.
53-4000-721	Sewer Cap Projects	Northshore Lift station	\$ -	\$ 4,500	\$ 4,500	Project As-built and close out costs. Funded with Fund Balance.
53-5500-100	Depreciation	Depreciation	\$ 400,000	\$ 1,200,000	\$ 800,000	Updating Depreciation numbers
<u>Sewer Capital Projects</u>						
<u>Fund Total</u>					\$ 834,500	
<u>Storm Drain Operations</u>						
<u>Fund</u>						
<u>Expenditures</u>						
54-5500-100	Depreciation	Depreciation	\$ 1,200,000	\$ 2,000,000	\$ 800,000	Updating Depreciation numbers
<u>Storm Drain Operations</u>						
<u>Fund Total</u>					\$ 800,000	
<u>Secondary Water Capital</u>						
<u>Revenues</u>						
57-3310-100	Intergovernmental Revenues	Grant Revenue	\$ -	\$ 622,167	\$ 622,167	The City anticipates receiving grant monies for various projects.
<u>Expenditures</u>						
57-4000-800	Secondary Water Cap Projects	Interest Expenses	\$ -	\$ 112,775	\$ 112,775	2016 Water Revenue Bond Payment
57-4000-808	Secondary Water Cap Projects	South Zone 2 Pond	\$ 3,173	\$ 55,333	\$ 52,160	Project As-built and close out costs, Retainage Payment to Contractor
57-4000-810	Secondary Water Cap Projects	Principal - Debt Payments	\$ 425,000	\$ 470,000	\$ 45,000	2016 Water Revenue Bond Payment
57-5500-100	Depreciation	Depreciation	\$ 1,200,000	\$ 1,500,000	\$ 1,200,000	Updating Depreciation numbers

2025-2026 Budget Amendment #3						
G/L Account	Department	Description	Current FY 2026 Budget	New Budget Amount	Debit/Credit	Notes/Comments
Staff have determined that the following items do not create a substantial burden on future budgets (according to a 5-year budget analysis)						
<u>Secondary Water Capital</u>						
<u>Total</u>					\$ 787,768	
Total Funding Impact					\$ (3,495,914)	

RESOLUTION NO. R26-04 (01-20-26)

**A RESOLUTION AMENDING THE CITY OF
SARATOGA SPRINGS BUDGET FOR FISCAL
YEAR 2025-2026 AND ESTABLISHING AN
EFFECTIVE DATE.**

WHEREAS, the City Council of the City of Saratoga Springs has found it necessary to amend the City's current 2025-2026 fiscal year budget;

WHEREAS, pursuant to state law, the City Council has conducted a public hearing on the proposed amended budget; and,

WHEREAS, the City Council has determined that the proposed budget amendment is in the best interests of the public, will further the public health, safety, and welfare, and will assist in the efficient administration of City government.

NOW THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF SARATOGA SPRINGS, UTAH, THAT:

1. The City of Saratoga Springs does hereby adopt the amended 2025-2026 fiscal year budget as set forth and attached hereto.

BE IT FURTHER RESOLVED that this resolution shall take effect immediately upon passage.

Passed on the 20th day of January, 2026

CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION

Signed: _____
Chris Carn, Mayor

Attest: _____
City Recorder



Site Plan Amendment (major)
WAL-MART EV CHARGING STATION
January 20, 2026
PUBLIC MEETING

Applicant:	Kimley-Horn / Attn: Meaghan Farrell
Owner:	Wal-Mart Real Estate Business Trust
Location:	136 West Crossroads Boulevard
Project Acreage:	0.07 acres
Lots:	1
Current Use:	Commercial
Land Use Designation:	Regional Commercial
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	Regional Commercial
Adjacent Uses:	Regional Commercial
Type of Action:	Administrative
Land Use Authority:	City Council
Planner:	Kendal Black, Planner II

A. Executive Summary and Request:

The applicant is requesting approval of a site plan amendment within the Wal-Mart parking lot, located in the Saratoga Wal-Mart Subdivision. They would like to modify some parking stalls and add the equipment for an Electric Vehicle (EV) charging station. This modification would result in only removing 6 parking stalls. They are required to have 736 parking stalls and will still have 842 stalls (excluding pickup stalls). The only other changes would be adding an enclosure to secure the electrical equipment needed to run the chargers (which is not accessible to the public), and modifying the landscaping to fit within the new parking islands and around the enclosure. The entire lot is 20.72 acres but the portion being amended is only 0.07 acres. The lot is accessible from Crossroads Boulevard, Exchange Drive, and Redwood Road.

Recommendation:

Staff recommends that the City Council conduct a public meeting on the application, review and discuss the proposal, and choose from the options in the Recommendation and Alternatives Section of this report. Options include approval with or without conditions, denial, or continuation.

This item is being heard at the January 15, 2026 Planning Commission meeting.

B. Background:

The subject property is part of the Saratoga Wal-Mart Subdivision, which was originally approved on December 18, 2008.

C. Process:

Section 19.13 summarizes the process of site plan amendment approval. A public meeting is required with the Planning Commission, who make a recommendation to the City Council. The City Council is the Land Use Authority and makes the decision to approve with or without conditions, continue, or deny the request.

Chapter 19.14.05 of the City Code states:

- Amended site plans shall follow the process below:
 - Major amendment (Non-Residential): an amendment that alters the architectural elevations or number of buildings, or reduces parking, may be approved by the City Council (19.14.05.8(d)(iii)).
Complies. The proposed amendment reduces parking which requires a major site plan amendment.

D. Community Review:

Public Meeting: This has been noticed as a public meeting pursuant to City and State statutes, which requires posting notice of the meeting and the agenda not less than 24 hours before the meeting.

Public Comment: As of the date of this report, no public input has been received.

E. General Plan:

The site is designated as Regional Commercial on the General Plan Land Use Map. The General Plan describes the general characteristics of the Regional Commercial land use designation as follows:

Regional Commercial:

Areas that incorporate retail, employment, entertainment, and civic uses.

Staff conclusion: Consistent. The addition of EV charging stations increases the quality and livability for residents who own electric vehicles by providing them an additional way to charge vehicles.

F. Code Criteria:

For full analysis please see the attached Application Review Checklist.

List all related sections from the checklist

- 19.04, Land Use Zones: **Complies.**
- 19.06, Landscaping and Fencing: **Complies.**

- 19.09, Off Street Parking: **Complies.**
- 19.13, Process: **Complies.**
- 19.14, Site Plans: **Complies.**
- 19.16, Site and Architectural Design Standards: **Complies.**
- 19.18, Sign Regulations: **N/A.** Only signage proposed is informational signage, not needing a permit.

G. Recommendation and Alternatives:

Staff recommends that the City Council take public input, discuss the application, and choose from the following options.

Option 1 – Approval

“I move that the City Council approve the requested Walmart EV Charging Station Site Plan Amendment, located at 136 West Crossroads Boulevard, with the findings and conditions in the staff report:”

Findings

1. The application is consistent with the General Plan, as articulated in Section E of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in sections 19.04, 19.06, 19.09, 19.13, 19.14, and 19.16 of the Land Development Code, as articulated in Section F of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached Engineering Staff Report.
2. All requirements of the Fire Chief shall be met.
3. Once approved by the City Council, all remaining redlines on plans, Engineering staff report, and the Planning Review Checklist shall be corrected before the construction drawings are approved by staff.
4. All other Code requirements shall be met.
5. Any other conditions or changes as articulated by the Planning Commission:

_____.

Option 2 – Continuance

“I move to **continue** the Site Plan Amendment (major) for the Wal-Mart EV Charging Station to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____
2. _____

Option 3 – Denial

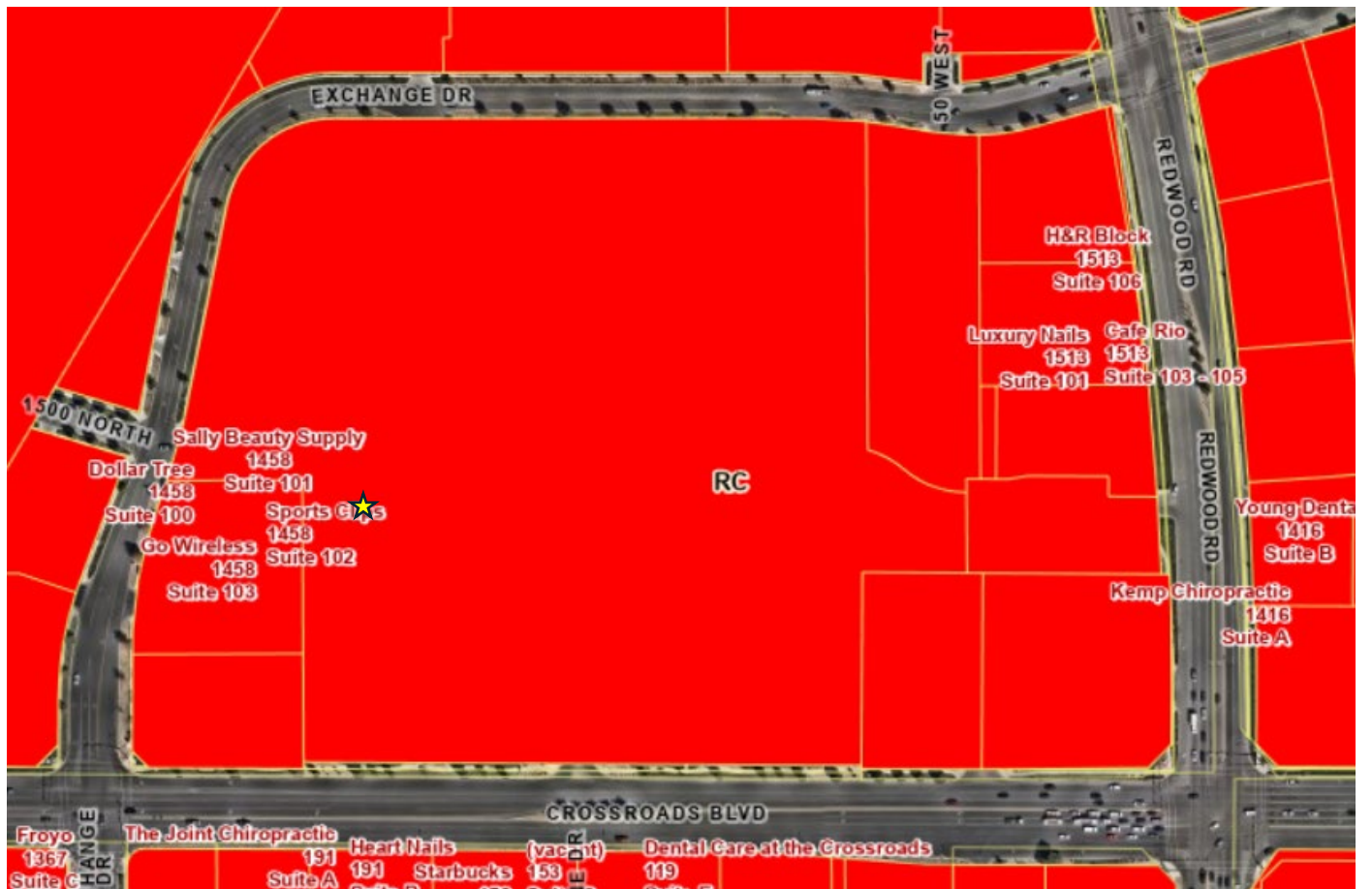
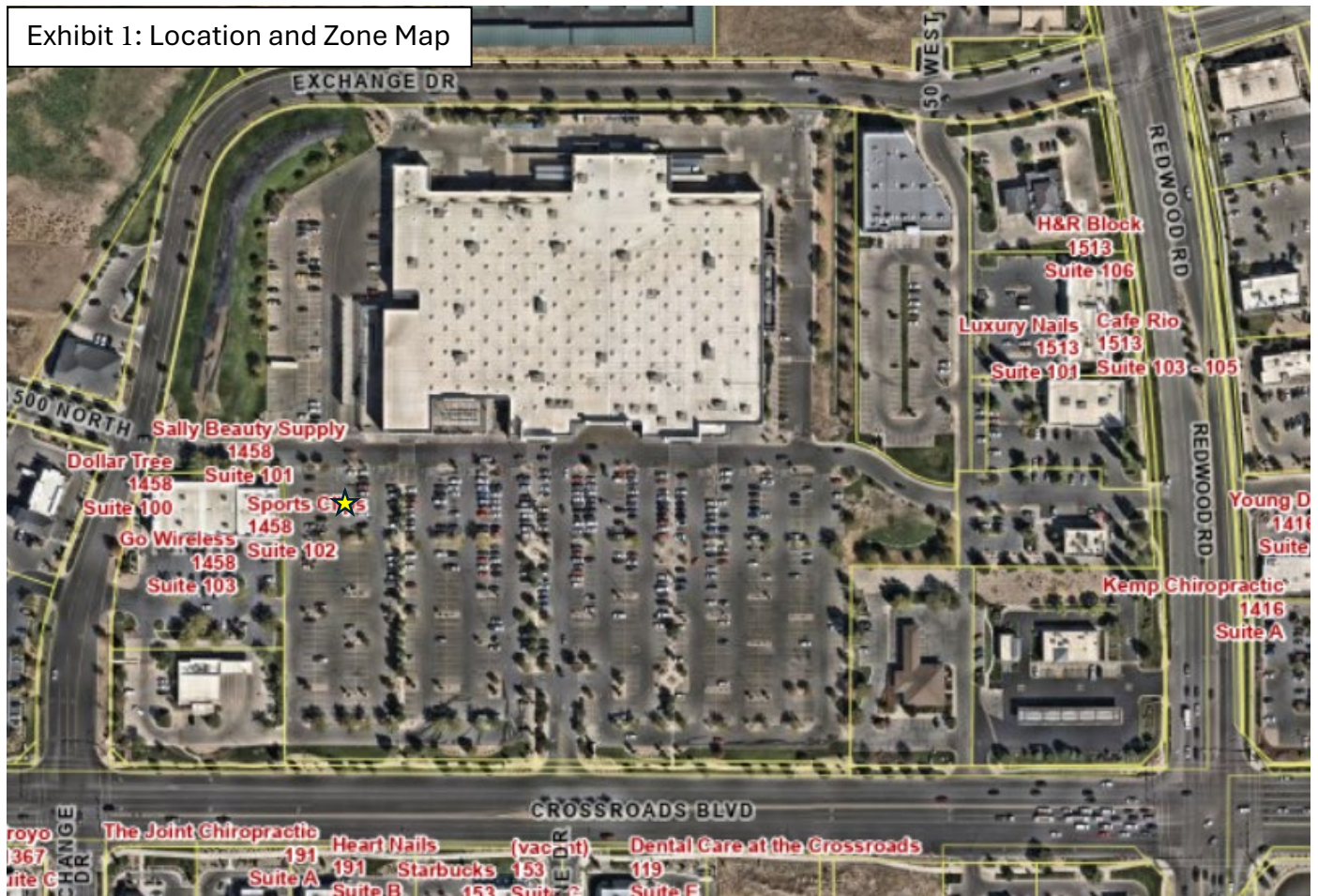
"I move that the City Council deny the requested Site Plan Amendment (major) for the Wal-Mart EV Charging Station Site Plan Amendment located at 136 West Crossroads Boulevard with the Findings below:

1. The application is not consistent with the General Plan:
 - a. _____, and/or,
2. The application is not consistent with Section {XX.XX} of the Code:
 - a. _____.

H. Exhibits:

1. Location & Zone Map
2. Application Review Checklist
3. Proposed Elevations and Site Plan
4. Landscape Plan

Exhibit 1: Location and Zone Map





SARATOGA
SPRINGS
PLANNING

APPLICATION REVIEW CHECKLIST

Updated 8.22.25

Application Information

Site Plan Amendment (major)

Wal-Mart Electric Vehicle Charging Infrastructure

Applicant:	Meaghan Farrell
Owner:	Wal-Mart Real Estate Business Trust
Location:	136 West Crossroads Boulevard
Project Acreage:	20.72 acres
Lots:	1
Current Use:	Commercial
Land Use Designation:	Regional Commercial
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	Regional Commercial
Adjacent Uses:	Commercial
Type of Action:	Legislative
Land Use Authority:	City Council
Planner:	Kendal Black, Planner II

Date Received:	1st submittal: September 3, 2025
	2nd submittal: October 2, 2025
	3rd submittal: October 30, 2025
	4th submittal: November 18, 2025
Date of Review:	1st submittal: September 3, 2025
	2nd submittal: October 6, 2025
	3rd submittal: November 7, 2025
	4th submittal: November 20, 2025
Parcel Number(s) and size:	66:270:0001 / 20.72 acres

Section 19.13 – Application Submittal

- Application Complete (Date of Payment): September 3, 2025
- Rezone Required: No
- General Plan Amendment required: No

Section 19.13.04 – Process

- Required Meetings: Planning Commission and City Council
- Planning Director Approval: No
- Public Hearing Required – check 19.13.04 process table: Yes - City Council

- Neighborhood Meeting Required: No

DRC Review

DRC Review Comments:

- Any DRC comments?

Code Review

- 19.04, Land Use Zones
 - Zone: Regional Commercial
 - General Plan Land Use: Regional Commercial

19.06 Landscaping and Fencing		
General Provisions		
Drainage across property lines shall follow International Residential Code (IRC) and International Building Code (IBC), as of 2024 (shall drain onto own property).	Complies.	No change in drainage
Landscape Plans		
Regulation	Compliance	Findings
Landscape Architect: Landscaped plans shall be prepared by a licensed landscape architect.	Complies.	Christopher M. Rose
Existing Conditions: Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	Complies.	See sheet C0.0
Planting Plan: Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	Complies.	See sheets L1.0 and L1.1
Plants: The name (both botanical and common name), quantity, and size of all proposed plants.	Complies.	See sheet L1.0
Topography: Existing and proposed grading of the site indicating contours at two-foot intervals.	N/A.	Topography is not changing
Irrigation: Irrigation plans showing the system layout and details.	Complies.	See sheet L2.0 and L2.1
Data Table: Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	Complies.	See Landscape Data Table on sheet L1.0
Planting Standards		
Deciduous Trees: Minimum 2" in caliper.	Complies.	2" caliper trees
Evergreen Trees: Minimum 6' in height.	N/A.	No additional trees proposed
Tree Base Clearance: 3' diameter around every tree must be kept clear of turf and rock mulch. In parking lot islands and other narrow strips where turf two feet or less in width would otherwise occur, this clear area may be reduced to 2'.	Complies.	See notes in landscaping details
Shrubs: 25% of required shrubs must be a minimum of 5 gallons in size at time of installation; all other required shrubs shall be a minimum of 1 gallon in size.	Complies.	48% of shrubs are 5-gallon
Turf: No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	Complies.	No turf proposed

Artificial Turf : Shall require a building permit shall meet the following requirements with documentation provided by home owner or contractor: <ul style="list-style-type: none"> i. Artificial turf shall have a minimum eight-year “no-fade” warranty; ii. Multi-color blend needed to mimic real grass iii. Must be installed according to manufacturer’s instructions; iv. Minimum pile height shall be 1.5 inches, minimum face/pile weight shall be at least 50 oz. per square yard, and water permeability shall be at least 19 inches per hour; v. Landscape plan shall provide for a minimum of 25 percent live vegetation coverage to comply with residential front and/or street side yard landscape standards; vi. Landscaping shall maintain a five-foot diameter around trees free from roc, debris, or artificial turf; vii. Rubber or inorganic infill is prohibited while organic infill is permitted; viii. The term “artificial turf” shall not be construed to include artificial trees, shrubs or bushes; and ix. Storm water runoff shall be maintained on-site. 	N/A.	<i>None proposed</i>
Drought Tolerant Plants: 50% of all trees and shrubs shall be drought tolerant.	Complies.	<i>See sheet L1.0</i>
Rock Mulch: Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	Complies.	<i>Proposed to match existing</i>
Design Requirements		
Evergreens: Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	N/A.	<i>No additional trees proposed</i>
Softening of Walls and Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	N/A.	<i>No additional trees proposed</i>
Planting and Shrub Beds: Planting and shrub beds are encouraged to be used in order to conserve water.	Complies.	<i>Will have planter beds</i>
Water Conservation: Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	Complies.	<i>No sprinkler heads and reference of a rain sensor. Drip lines shown though on plans.</i>
Energy Conservation: Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	N/A.	<i>No additional trees proposed</i>
Placement: Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	N/A.	<i>Not near buildings</i>
Trees and Power Poles: No trees shall be planted directly under or within 10’ of power lines, poles, or utility structures unless: <ul style="list-style-type: none"> a. The Land Use Authority gives its approval. b. The Power Company or owner of the power line gives written consent. c. The maximum height or width at maturity of the tree species planted is less than 5’ to any pole, line, or structure. 	N/A.	<i>No additional trees proposed</i>
Preservation of Existing Vegetation		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	N/A.	

Tree Preservation: Existing mature evergreen trees of 16' in height or greater, and existing mature deciduous or decorative trees of more than 4" in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	Complies.	<i>See sheet L1.0</i>
If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.	N/A.	
The replacement trees for evergreen trees shall be evergreens, and for deciduous shall be deciduous.	Complies.	<i>See sheet L1.0</i>
Deciduous trees smaller than 4" inches in caliper, or mature ornamental trees, that are removed shall be replaced on a 1-to-1 ratio.	Complies.	<i>See sheet L1.0</i>
Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.	Complies.	<i>See sheet L1.0</i>
Planter Beds		
Weed Barrier: A high-quality weed barrier or pre-emergent shall be used.	Complies.	<i>See note 18 in Landscape Notes on sheet L1.0</i>
Materials: High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind.	Complies.	<i>See note 16 in Landscape Notes on sheet L1.0</i>
Edging: Concrete edging must be used to separate planter and turf areas in all non-residential zones.	N/A.	<i>No turf</i>
Drip Lines: Drip lines must be used in planter beds.	Complies.	<i>See sheet L2.0</i>
Amount of Required Landscaping		
Portions of the property that are not developed with structures, rights of ways, or parking areas shall be required to be landscaped per the definition of Landscaping in Section 19.02 in all land use zones.	Complies.	<i>See sheet L1.0</i>
At least 50% of the landscaped area shall be covered with live vegetation at maturity, including shrubs, grasses, flowers, tree and shrub canopies and other live vegetation. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	Complies.	<i>51% provided.</i>
Fencing and Screening		
Height: Approval of fences over 6 feet in height will be determined on a case-by-case basis by the City Council for all new developments if fencing is proposed during the subdivision review process, or by the Planning Director for all developments that have received final approval; however, in no case will a fence be allowed to exceed eight feet in height. The following criteria shall be applied in making this determination: a. compatibility with fences of surrounding uses; b. quality of proposed materials; c. aesthetics of proposed materials; d. requirements of applicable development agreements; e. intensity of existing surrounding uses; and f. applicable conditions of approval.	Complies.	<i>6' fence proposed</i>

19.09 Off Street Parking

General Provisions

Regulation	Compliance	Findings
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Sidewalk Crossing: All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	Complies.	<i>See site plan</i>
Lighting: Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	Complies.	<i>None of the lighting changing</i>
Parking plans shall show the following: the required number of stalls and aisles scaled to the correct dimensions; the correct number of ADA accessible parking spaces; storm water drainage capabilities; lighting; landscaping and irrigation; and pedestrian walkways.	N/A.	<i>No ADA accessible stalls being removed or replaced</i>
Provide accessible parking as required by Americans with Disabilities Act, see https://www.ada.gov/topics/parking/ https://adata.org/factsheet/parking	N/A.	<i>No ADA accessible stalls being removed or replaced</i>
Parking Requirements and Shared Parking		
Pedestrian Walkways and Accesses. Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of 10' wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every 30'. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.	Complies.	<i>Walkway shown as 10' wide on sheets.</i>
Landscaping in Parking Areas		
All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than 10' in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of 3' to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the strip with spacing of no more than 30' between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.	N/A.	
All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb 6" higher than the parking surface.	Complies.	<i>All landscaped areas are curbed</i>
Clear Sight Triangles must be followed.	N/A.	
All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.	Complies.	<i>See landscape and irrigation plans</i>
On doubled rows of parking stalls, there shall be one 36' x 9' landscaped island on each end of the parking rows, plus one 36' x 9' landscaped island to be placed at a minimum of every 20 parking stalls.	Complies.	<i>Provided</i>

Each island on doubled parking rows shall include a minimum of two trees per planter.		
On single rows of parking or where parking abuts a sidewalk, there shall be one 18' x 9' foot landscaped island a minimum of every 10 stalls. Islands on a single parking row shall have a minimum of one tree per island. i. Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6' from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9' of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area.	Complies.	<i>Trees provided where required</i>
Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.	Complies.	<i>See site plan</i>
Required Minimum Parking		
<i>See table in 19.09</i>	<i>Item.</i>	

Dimensions for Parking Stalls & Aisle				
	Stall Width	Stall Length	Aisle Width (one-way traffic)	Aisle Width (two-way traffic)
90° Parking				
Required	9'	18'	24'	24'
Provided	11'+	20'	24'+	24'+

19.11 Lighting		
General Standards		
Regulation	Compliance	Findings
Material: All Lighting Fixtures and assemblies shall be metal.	N/A.	<i>No changes to any lighting</i>

19.13 Process	
Regulation	Findings
Neighborhood Meeting. Required before Planning Commission for any multi-family or non-residential development proposal adjacent to developed property in a residential zone. Inform the applicant when this is required.	<i>N/A</i>
Notice/Land Use Authority.	<i>City Council</i>
Master Development Agreement. A Master Development Agreement shall be required of any development that is in excess of 20 acres in size if non-residential or mixed-use or developments in excess of 160 acres in size if residential. A Master Development Agreement may also be required pursuant to this Title 19 including Chapter 19.26 or may be desirable or necessary pursuant to the exercise of the City Council's legislative discretion in the fact scenarios listed in Section 19.13.08.	<i>N/A</i>
Phasing Improvements.	<i>N/A</i>

Payment of Lieu of Open Space.	Amount of \$: 0
Piping of Canals	For residential projects, piping of canals per canal company specifications if a canal or canal easement that area is adjacent to or within the area of the proposed residential project, unless the canal company or Bureau of Reclamation does not allow piping. Non-residential projects shall install secure fencing adjacent to canal easements or canals per canal company specifications to prevent entry from the non-residential project onto the canal or canal easement.
Burial of Overhead Utility Lines	See Section 19.13.10

19.14 Site Plan Review		
Regulation	Compliance	Findings
Nuisances: All commercial uses shall be free from objectionable odors, noises, hazards, or other nuisances.	Complies.	<i>No nuisances proposed</i>
Ownership Affidavit: A statement of ownership and control of the subject property and a statement describing the nature of the intended use.	Complies.	<i>See Applicant and Owner Acknowledgement sheet</i>
Vicinity Map: A general location map indicating the approximate location of the subject parcel.	Complies.	<i>See cover page of drawings</i>
Context plan: A context plan shall include the existing features within 200 feet of the proposed Site Plan property line. Existing features include, but are not limited to, buildings, ingress and egress points, landscaping areas, pedestrian paths, and property names.	Complies.	<i>See cover page</i>
Site Analysis: A site analysis is a plan view drawing demonstrating land constraints and existing features. Existing features may consist of the presence of boulders, existing man-made features, significant trees, canals or ditches, access points or public rights-of-way, and existing conditions within 200 feet of the property line.	Complies.	<i>See sheet C0.0</i>
Survey: A survey prepared and stamped by a Utah registered land surveyor listing the metes and bounds legal description and the gross acreage within the subject parcel.	Complies.	<i>See sheet C0.0</i>
<p>Final Construction Drawings containing, at a minimum, all items specified in the City's "Standard Technical Specification and Drawings" manual. Applicant shall provide three full-size 24" x 36" copies and five 11 x 17 inch reductions as required on the application form, along with digital copies as outlined below.</p> <p>Additional copies may be required prior to adding the application to the Planning Commission agenda. Final Construction Drawings for a Site Plan is hereby required and shall be prepared and stamped by licensed or certified professionals including architects, landscape architects, land planners, engineers, surveyors, transportation engineers, or other professionals deemed necessary by the Planning Director. The City may require plans prepared by any or all of the above-noted professionals. A Site Plan application shall also contain the following :</p> <ul style="list-style-type: none"> i. locations, dimensions, floor plans, uses and heights of all proposed buildings and structures, including overhangs, porches, stairwells, and balconies, and the locations of all structures on adjoining properties; ii. access points, provisions for vehicular and pedestrian circulation on and off site, interconnection to adjacent sites, dimensions of such access and circulation, and pedestrian paths within 200 feet of the property boundary; iii. acceleration and deceleration lanes, and dimensions thereof, if required; 	Complies.	<i>Necessary information to this project has been provided</i>

<ul style="list-style-type: none"> iv. off-street parking and loading areas complying with the City's off-street parking requirements contained in Chapter 19.09 of this Title; v. proposed outdoor display areas; vi. screening and buffering provisions, including types and heights of existing and proposed buffering and fencing elements; vii. location and treatment of refuse collection areas, storage areas, mechanical equipment, and external structures; viii. location, type, and size of all business and on-site circulation signage; ix. tabulation of square footage devoted to various land uses, ground coverage by structures, and other impervious surfaces; x. type of construction of all structures, presence or absence of fire sprinkling, and location of existing and proposed fire hydrants; xi. Established Grade of building area. 		
Final Hydraulic and Hydrological storm drainage report and calculations. Location of all existing and proposed secondary irrigation systems, both on site and on adjacent properties, including ditches, pipes, and culverts;	N/A.	<i>No change to these</i>
Final Traffic report: Said report shall comply with the standards outlined in the City's adopted Transportation Master Plan and shall include, but not be limited to, the following: <ul style="list-style-type: none"> i. an analysis of the average daily trips generated by the proposed project; ii. an analysis of the distribution of trips on City street systems; iii. a description of the type of traffic generated; and iv. recommendations on what mitigation measures should be implemented with the project to maintain a level of service for existing and proposed residents acceptable to the City. 	N/A.	<i>No change to this</i>
Data table including: <ul style="list-style-type: none"> i. total project area ii. total number of lots, dwellings, and buildings iii. square footage of proposed building footprints and, if multiple stories, square footage by floor iv. number of proposed garage parking spaces v. number of proposed surface parking spaces vi. percentage of buildable land vii. acreage of sensitive lands and what percent sensitive lands comprise of total project area and of open space area viii. area and percentage of open space or landscaping ix. area to be dedicated as right-of-way (public and private) x. net density of dwellings by acre (sensitive lands must be subtracted from base acreage). xi. number of off-street parking spaces (e.g., number of proposed garage parking spaces, number of proposed surface parking spaces, etc.) 	Complies.	<i>Needed information is provided in plans</i>
Landscaping Plan: A landscaping plan, prepared and stamped by a licensed landscape architect, indicating the location, spacing, types, and sizes of landscaping elements and existing trees, and showing compliance with the City's off-street parking requirements, the City's design guidelines and policies, and the requirements of the appropriate zone.	Complies.	<i>See landscape plan</i>
Lighting Plan: A lighting plan indicating the illumination of all interior areas and immediately adjoining streets showing the location,	N/A.	<i>No changes to lighting</i>

candle power, and type of lighting proposed, and in conformance with the City's lighting standards. An individual photometric plan is also required.		
Elevations: The elevations of all proposed buildings, fences, and other structures viewed from all sides indicating height of structures, the average finished grade of the site at the foundation area of all structures, percentage of building materials proposed, and color of all materials. A board showing building colors and materials is required.	Complies.	<i>See sheet G2.0</i>
Signage Plan: An overall signage plan shall be approved during the Site Plan approval process. All information to be provided for the sign approval shall be submitted concurrent with Site Plan application materials, consistent with the requirements in Section 19.18.	Complies.	<i>See sheets C3.0 and C7.1</i>
Fee: A fee set by resolution of the City Council shall accompany the application for any Site Plan review.	Complies.	<i>Paid</i>
The proposed project shall comply with the City's adopted Land Use Element of the General Plan, Land Use Ordinance, land development regulations, architectural guidelines, and all other adopted ordinances, regulations, policies, and standards.	Complies.	<i>See plans on file with Planning</i>

19.16 Site and Architectural Design Standards		
General Site Design Standards		
Regulation	Compliance	Findings
Pedestrian Connectivity: All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	Complies.	<i>See sheet C3.0</i>
Safe pedestrian connections shall be provided to link between buildings with the public rights-of-way, as well as links within a development. Sidewalks shall also be provided to link the building to pedestrian facilities adjacent to the property, and when feasible between developments.	Complies.	<i>See sheet C3.0</i>
All pedestrian connections shall be shown on the related site plan or plat.	Complies.	<i>See sheet C3.0</i>
Utility Boxes: Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.	N/A.	<i>Already established</i>

19.18 Signs		
Regulation	Compliance	Findings
Site Plans require signage information (if tenant known, show location potential location size)	Complies.	<i>See sheets C3.0 and C7.1</i>

Fiscal Impact	
Regulation	Findings
Is there any City maintained open space?	<i>No</i>
What is the anticipated cost to the City?	<i>N/A</i>
When will City maintenance begin?	<i>N/A</i>

Exhibit 3: Proposed Elevations and Site Plan

A400 All-in-One EV Charger

ABB E-mobility Inc.

REV. 0

CONFIDENTIAL

Prepared by: Justin Stephenson

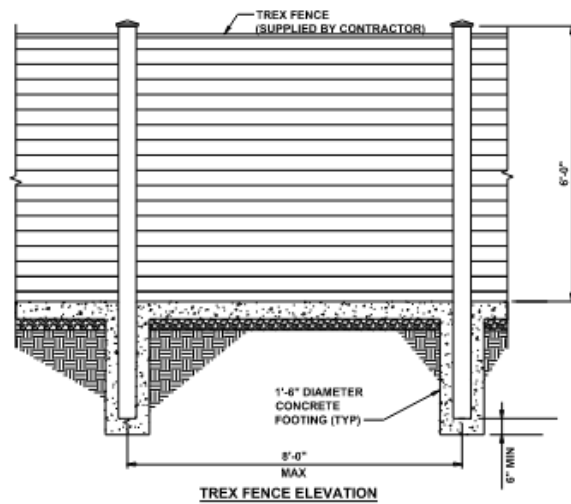
ABB ref. No. OPP-24-6808808

Date: May 23rd 2024

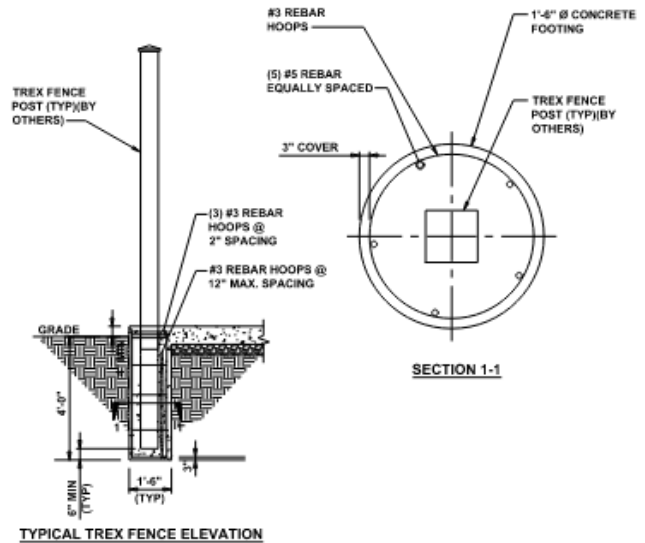


NOTES:

1. COLOR: WINCHESTER GREY
2. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
3. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
4. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.



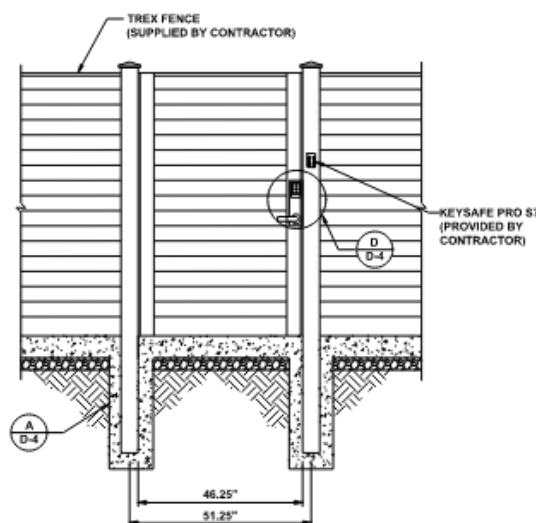
TREX FENCE ELEVATION



TYPICAL TREX FENCE ELEVATION

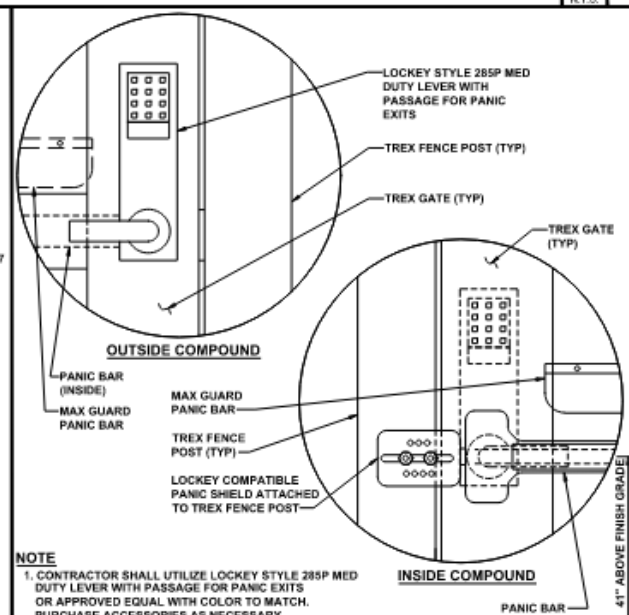
TYPICAL TREX FENCING DETAIL

SCALE
N.T.S. 1



SINGLE GATE DETAIL

SCALE
N.T.S. 2



NOTE

1. CONTRACTOR SHALL UTILIZE LOCKEY STYLE 285P MED DUTY LEVER WITH PASSAGE FOR PANIC EXITS OR APPROVED EQUAL WITH COLOR TO MATCH. PURCHASE ACCESSORIES AS NECESSARY.

LOCK DETAIL WITH KEYPAD

SCALE
N.T.S. 3

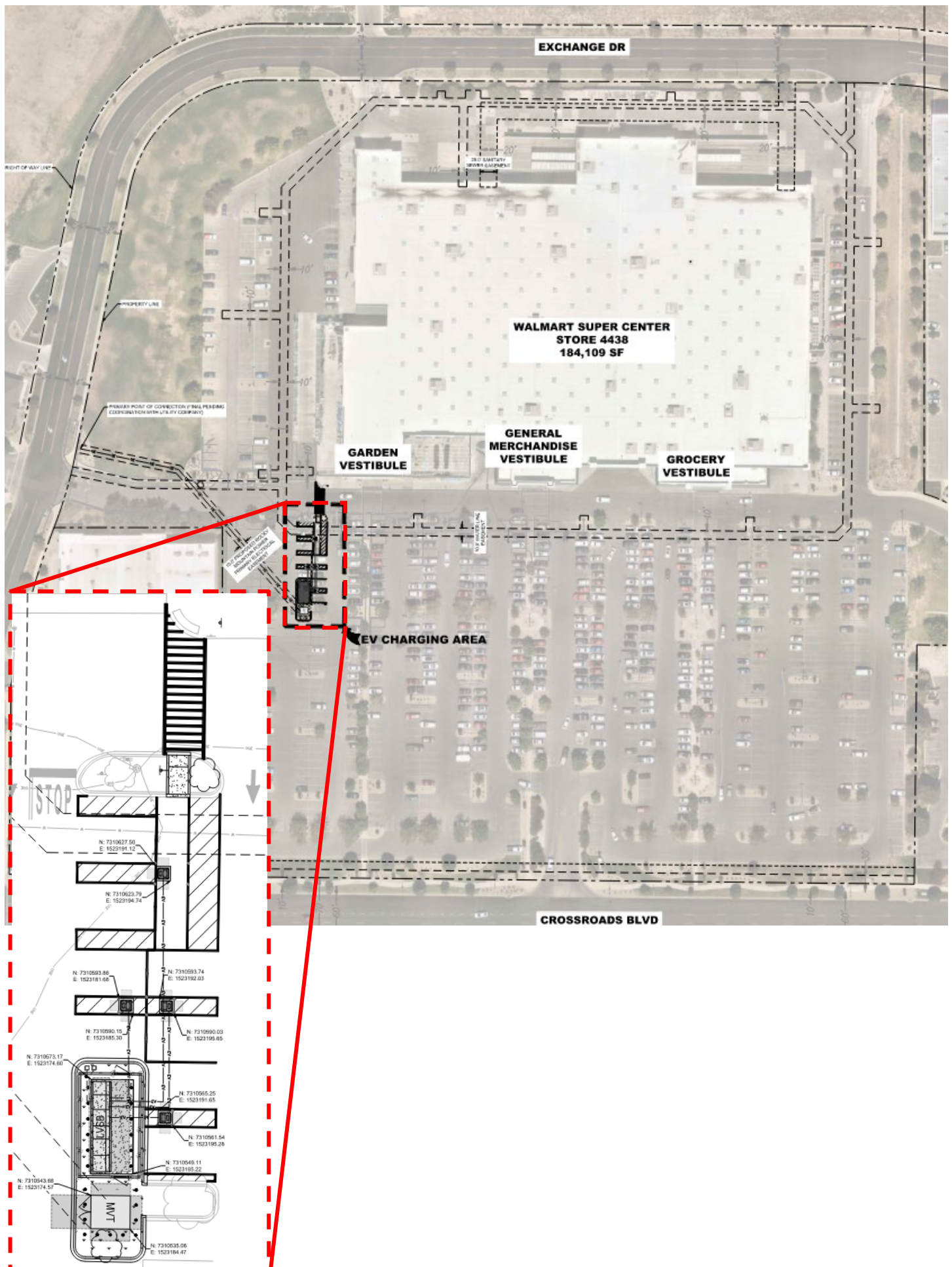
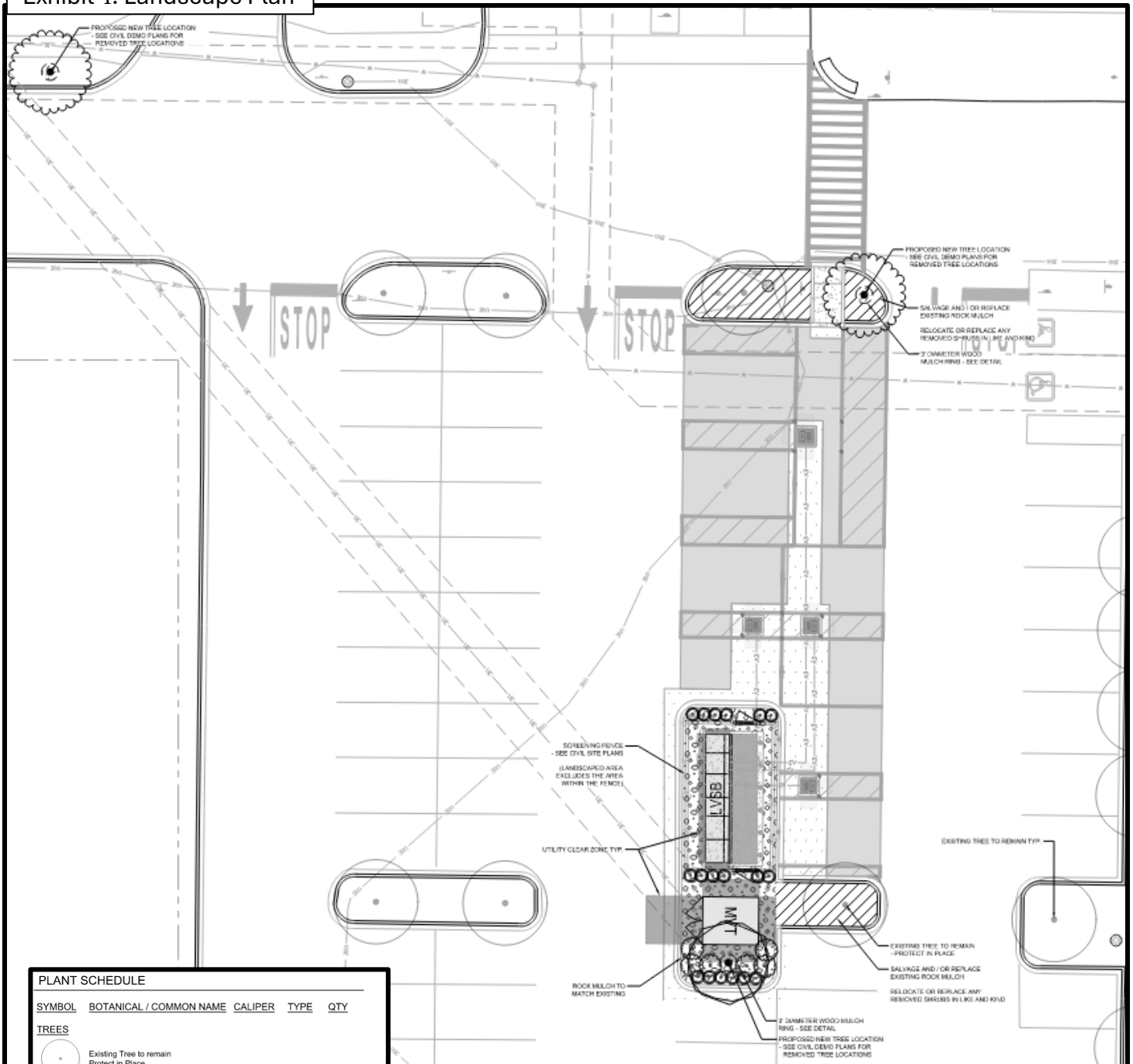


Exhibit 4: Landscape Plan



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CALIPER	TYPE	QTY
--------	-------------------------	---------	------	-----

TREES

	Existing Tree to remain Protect in Place			
	Gleditsia triacanthos f. inermis Thornless Honey Locust	2" Cal.	B&B	1
	Pyrus calleryana Callery Pear	2" Cal.	B&B	2

SYMBOL	BOTANICAL / COMMON NAME	CONT	W X H	QTY
--------	-------------------------	------	-------	-----

SHRUBS

	Calamagrostis x acutiflora "Karl Foerster"	1 gal.		18
	Karl Foerster Feather Reed Grass DROUGHT TOLERANT			
	Taxus x media "Densiformis Gem" Gem Dense Anglo-Japanese Yew	5 gal.		6

SYMBOL	BOTANICAL / COMMON NAME	SIZE	QTY
--------	-------------------------	------	-----

GROUND COVERS

	Existing Landscape Area
	Repair / Replace Impacted area

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
--------	-------------	-----

Rock Mulch

	ROCK MULCH TO MATCH EXISTING, 4" DEPTH MIN	481 sf
	WOOD MULCH, 4" DEPTH	21 sf

LANDSCAPE REQUIREMENTS

19-06-06 PLANTING STANDARDS

- 2b. 25% of shrubs to be min 5 gal.
2d. 50% of all plants to be drought tolerant

REQUIRED	PROVIDED
3 shrubs	6 shrubs
6 plants	24 plants

19-06-07 AMOUNT OF REQUIRED LANDSCAPING

- 3a. 50% of landscaped area shall be covered with
live vegetation

REQUIRED	PROVIDED
Required	Provided*

*See Landscape Data Table

19-09-08 PARKING LOT LANDSCAPING

- 1 Tree per parking island (2 per double stall)

REQUIRED	PROVIDED
Required	Provided

TREE MITIGATION:

- 2 new trees per 1 tree over 4" cal. removed
1 new tree per 1 Tree under 4" cal. removed

REQUIRED	PROVIDED
2	2**
1	1**

**Two trees removed due to improvements, one tree over 4" cal. replaced with two trees. One tree under 4" cal replaced to fulfill 1 to 1 requirement.



Site Plan

Saratoga Town Center Lot 304

January 20, 2026

PUBLIC MEETING

Applicant:	Austin Cooper
Owner:	JDH Town Center, LLC
Location:	1508 N. Redwood Road
Project Acreage:	66:387:0011 (1.98 acres)
Current Use:	Undeveloped
Land Use Designation:	Regional Commercial
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	Regional Commercial
Adjacent Uses:	Regional Commercial
Type of Action:	Administrative
Land Use Authority:	City Council
Planner:	David Jellen, Senior Planner

A. Executive Summary and Request:

The applicant is requesting approval of a site plan for a commercial building on Saratoga Town Center Lot 304, located northwest of the intersection of Crossroads Boulevard and Commerce Drive. The project area is approximately 1.98 acres and will contain a single 25,482 square-foot building that is intended for indoor recreation uses, along with the associated parking and landscaping for the building, as shown on the site plan (Exhibit 4). The building will be accessible from Redwood Road and Crossroads Boulevard through private streets within the overall subdivision.

Recommendation:

The Planning Commission will hold a public meeting on January 15, 2026, and make a recommendation to the City Council. Their recommendation will be presented to the City Council at the January 20 meeting.

Staff recommends that the City Council conduct a public meeting on the application, review and discuss the proposal, and choose from the options in the Recommendation and Alternatives Section of this report. Options include approval with or without conditions, denial, or continuation.

David Jellen, Senior Planner

djellen@saratogasprings-ut.gov

319 S. Saratoga Road • Saratoga Springs, Utah 84045
801-766-9793 x237 • 801-766-9794 fax

B. Background:

The subject property is part of the Saratoga Town Center subdivision, which was originally approved in October of 2006.

C. Process:

City Code Chapter 19.14.05.8 outlines the process for a site plan review.

Site Plan Application and Approval Process.

- a. *All persons seeking Site Plan approval shall submit an application to the Planning Department for review by the City's Development Review Committee (DRC). **Complete.***
- b. *Complete engineering drawings for all on-site and off-site improvements must be provided prior to the Site Plan application being scheduled for any public meeting or hearing. The Engineering Department and Development Review Committee shall review the drawings for compliance with City ordinances, regulations, and standards. **Complete, see Engineer's Report (Exhibit 1).***
- c. *New site plans shall follow the process below:*
 - i. *Prior to being scheduled for any public meeting or hearing, the developer shall provide a soils report for the development. **Provided.***
 - ii. *Upon compliance with the Development Review Committee's recommendations, the revised application shall be forwarded to the Planning Commission for possible recommendation. **Completed.***
 - iii. *Upon recommendation by the Planning Commission, the application shall be forwarded to the City Council. **TBD.***
 - iv. *The City Council shall review and take action to table, approve, deny, or to modify the same. **TBD.***
 - v. *Upon action by the City Council on the Site Plan application, the City Recorder shall prepare written minutes of the decision. **TBD.***

D. Community Review:

This has been noticed as a public meeting pursuant to City and State statutes, which requires posting notice of the meeting and the agenda not less than 24 hours before the meeting.

As of the date of this report, no public input has been received.

E. General Plan:

The site is designated as Regional Commercial on the General Plan Land Use Map. The General Plan describes the general characteristics of the Regional Commercial land use designation as follows:

Regional Commercial (RC): Areas that incorporate retail, employment, entertainment, and civic uses.

Staff conclusion: Consistent. The applicant is proposing a commercial building with proposed indoor recreation uses. The properties immediately adjacent to the subject property are

similarly zoned RC, with some of the properties approved for retail/restaurant uses, and with some remaining vacant until future development occurs.

F. Code Criteria:

For full analysis please see the attached Planning Review Checklist.

- 19.04, Land Use Zones: **Complies.**
- 19.05, Supplemental Regulations: **Complies.**
- 19.06, Landscaping and Fencing: **Shall Comply.** Decorative rock must be a contrasting color to the pavement and must be earth toned in color.
- 19.09, Off Street Parking: **Shall Comply.** All drive aisles adjacent to proposed parking areas shall be a minimum of 24 feet in width in order to accommodate two-way traffic between this property and all adjacent properties.
- 19.11, Lighting: **Complies.**
- 19.13, Process: **Complies.**
- 19.14, Site Plans: **Complies.**
- 19.16, Site and Architectural Design Standards: **Shall Comply.** All parking areas and other vehicular use areas shall be interconnected with all adjacent non-residential developed and undeveloped properties in order to allow maximum off-street vehicular circulation. The property to the east of this site plan shall include a vehicular connection to this site plan that allows for maximum off-street vehicular circulation between the two lots.

G. Recommendation and Alternatives:

Staff recommends that the City Council review, discuss the application, and choose from the following options.

Option 1 – Approval

“I move that the City Council approve the requested Site Plan for Saratoga Town Center Lot 304, located at 1508 N. Redwood Road, with the Findings and Conditions in the Staff Report.”

Findings

1. The application is consistent with the General Plan, as articulated in Section E of the staff report, which section is incorporated by reference herein.
2. The application complies with the criteria in the Land Development Code, as articulated in Section F of the staff report, which section is incorporated by reference herein.

Conditions:

1. All conditions of the City Engineer shall be met, including but not limited to those in the attached Engineer’s Report.
2. All requirements of the Fire Chief shall be met.

3. Once approved by the City Council, all remaining redlines on plans, Engineering staff report, and the redlines in the Application Review Checklist shall be corrected before the construction drawings are approved by staff.
4. Decorative rock must be a contrasting color to the pavement and must be earth toned in color.
5. All drive aisles adjacent to proposed parking areas shall be a minimum of 24 feet in width in order to accommodate two-way traffic between this property and all adjacent properties.
6. All parking areas and other vehicular use areas shall be interconnected with all adjacent non-residential developed and undeveloped properties in order to allow maximum off-street vehicular circulation. The property to the east of this site plan shall include a vehicular connection to this site plan that allows for maximum off-street vehicular circulation between the two lots.
7. All other Code requirements shall be met.
8. Any other conditions or changes as articulated by the City Council:

_____.

Option 2 – Continuance

"I move to **continue** the Site Plan for Saratoga Town Center Lot 304 to another meeting on [DATE], with direction to the applicant and Staff on information and/or changes needed to render a decision, as follows:

1. _____.

Option 3 – Denial

"I move that the City Council deny the requested Site Plan for Saratoga Town Center Lot 304, located at 1508 N. Redwood Road, with the Findings below:

1. The application is not consistent with the General Plan:
 - a. _____, and/or,
2. The application is not consistent with Section [XX.XX] of the Code:
 - a. _____.

H. Exhibits:

1. Engineer's Report
2. Location & Zone Map
3. Application Review Checklist
4. Site Plan
5. Building Elevations
6. Landscape Plan
7. Lighting Plan

Exhibit 1. Engineer's Report

Staff Report

Author: Ken Knight, Staff Engineer
Subject: Saratoga Town Center Lot 304 – Site Plan
Date: January 15, 2026
Type of Item: Site Plan Approval



SARATOGA
SPRINGS

Description:

A. Topic: The Applicant has submitted a Site Plan application. Staff has reviewed the submittal and provides the following recommendations.

B. Background:

<i>Applicant:</i>	<i>Austin Cooper—JDH Development</i>
<i>Request:</i>	<i>Site Plan Approval</i>
<i>Location:</i>	<i>1508 N REDWOOD RD</i>
<i>Acreage:</i>	<i>2.00 Acres - 1 Lots</i>

C. Recommendation: Staff recommends the approval of Site Plan subject to the following conditions:

1. All review comments and redlines provided by the City Engineer are to be complied with and implemented with the approved construction drawings.
2. Provide a Storm Water Pollution Prevention Plan (SWPPP) following the State template, prior to the pre-construction meeting.
3. Owner to record a Long-Term Storm Water Management Agreement and provide a Long-Term Storm Water Management Plan (LTSWMP) for the project. The plan portion will be required prior to scheduling a pre-construction meeting.
4. Project shall comply with all ADA standards and requirements.
5. Developer must secure water rights as required by the City Engineer, City Attorney, and development code.
6. Developer shall provide easements for all public utilities not located in the public right-of-way.
7. Developer is required to ensure that there are no adverse effects to adjacent properties due to the grading practices employed during construction.
8. Developer may be required by the Saratoga Springs Fire Chief to perform fire flow tests prior to the issuance of certificate of occupancy or prior to commencement of

the warranty period.

9. Submittal of as-built drawings in pdf format to the City Engineer is required prior to acceptance of site improvements and the commencement of the warranty period.
10. Project bonding for the site plan must be completed as approved by the City Engineer prior to the preconstruction meeting.
- 11.



City Parking Code

While some of these uses combine well with adjacent land uses, it is important to note that the City's required parking rates vary depending on the use. The required parking rates found in the City code for the land uses listed above are shown in Table 1.

Table 1: City Parking Rates

Land Use	Unit Type	Rate (stalls per unit)
Retail	1,000 sq. ft.	4.0
Restaurant	1,000 sq. ft.	10.0
Flex Office	1,000 sq. ft. (Office)	4.0
	1,000 sq. ft. (Warehouse)	1.0
Auto Parts	1,000 sq. ft.	4.0
Copy Center	1,000 sq. ft.	4.0
Fitness Center	1,000 sq. ft.	6.7
Gymnastics Gym*	1,000 sq. ft.	4.0
Reception Center	1,000 sq. ft.	10.0

Source: Saratoga Springs code, 2024
*Saratoga Springs is considering a code amendment to propose a rate of 4 stalls per 1,000 sq. ft. for trampoline parks, which are a similar use

Based on this information, a fitness center or a reception center would require more parking overall than other types of tenants. For this reason, a fitness center may not be ideal, particularly given that demand is high on weekdays. Standard flex office tenants would have the lowest required parking before accounting for shared parking. Below are some potential combinations of tenants that may be ideal for the site based on required parking and potential for shared parking:

- Flex office and gymnastics gym
- Flex office and reception center (with most units occupied by flex office)
- Auto parts, copy center, and gymnastics gym
- Flex office, auto parts, and copy center

If you have any questions regarding this memorandum, please contact us at 801.766.4343.

Exhibit 2: Location and Zone Map

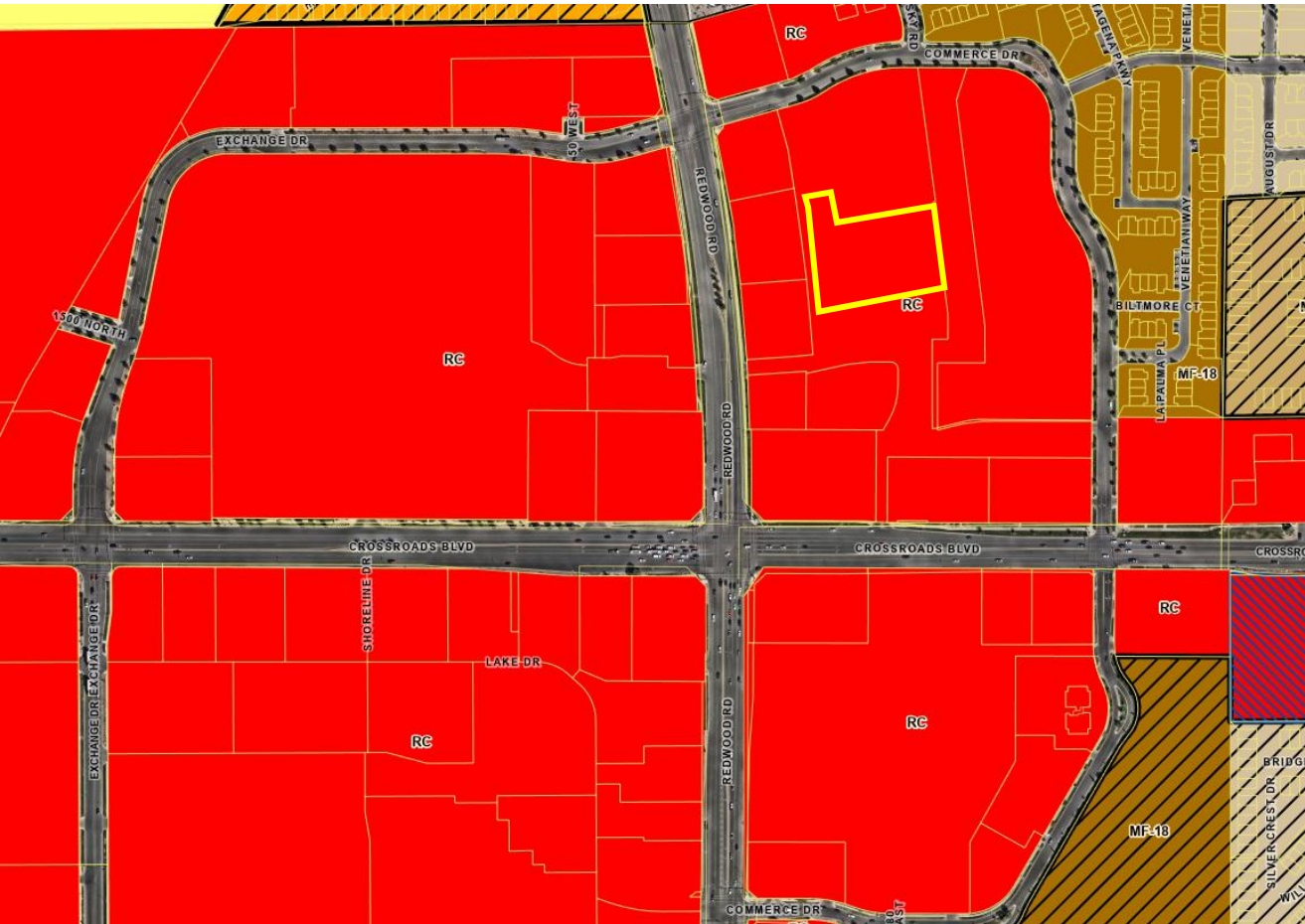
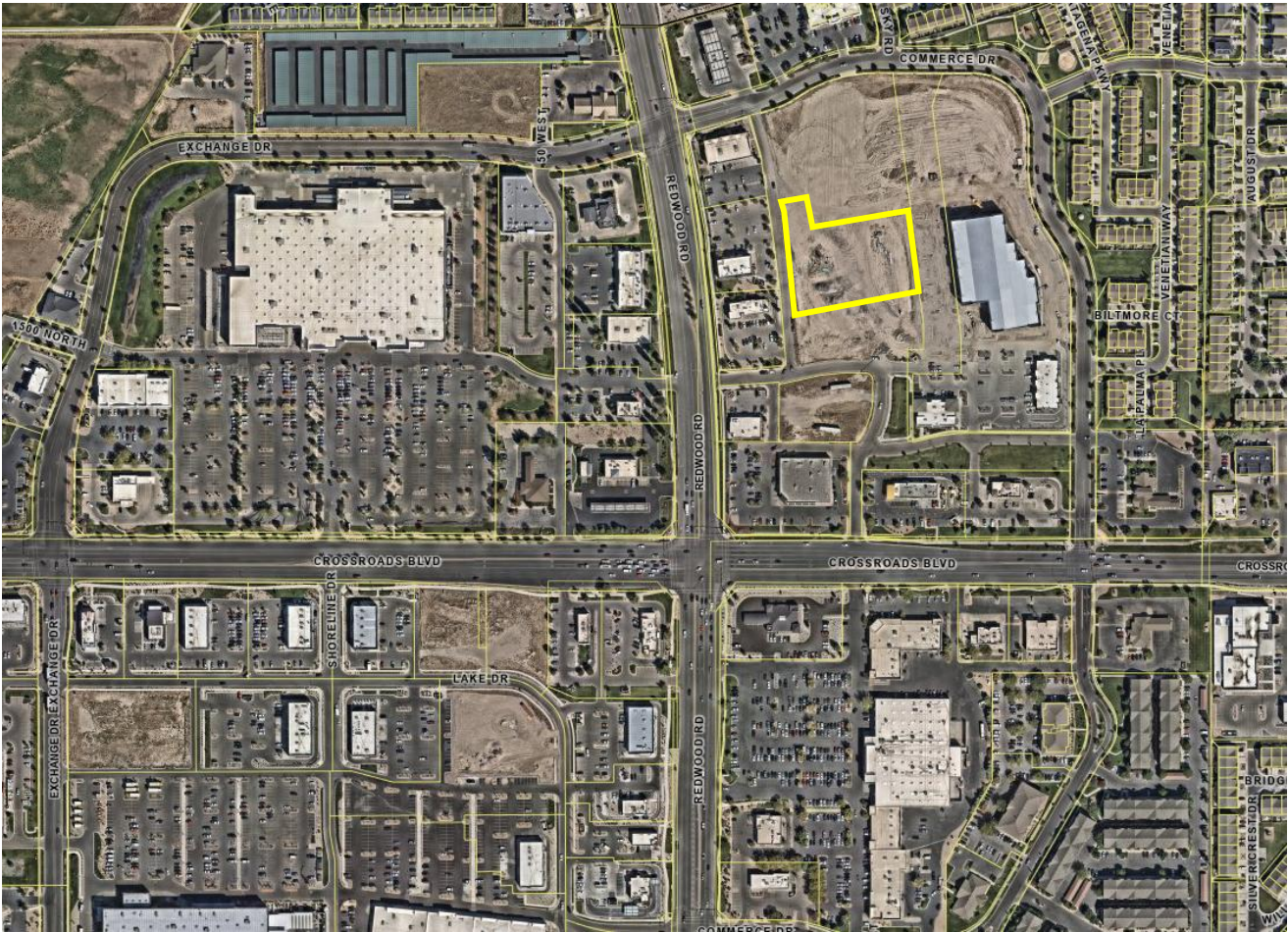


Exhibit 3. Application Review Checklist



SARATOGA
SPRINGS
PLANNING

APPLICATION REVIEW CHECKLIST

Updated 4.10.25

Application Information

Site Plan

Saratoga Town Center Lot 304

Applicant:	Austin Cooper, JDH Development
Owner:	JDH Development
Location:	1422 N Redwood Road
Project Acreage:	1.98 Acres
Residential Units/Lots:	N/A
Current Use:	Undeveloped
Land Use Designation:	Regional Commercial
Parcel Zoning:	Regional Commercial
Adjacent Zoning:	Regional Commercial
Adjacent Uses:	Commercial/Undeveloped
Past Action and Date:	Not Applicable
Type of Action:	Administrative
Land Use Authority:	City Council
Planner:	David Jellen, Senior Planner

Date Received:	1st submittal: May 13, 2025
	2nd Submittal: Oct 10, 2025
	3rd Submittal: Nov 20, 2025
Date of Review:	1st submittal: May 28, 2025
	2nd Submittal: Oct 24, 2025
	3rd Submittal: Dec 4, 2025
Parcel Number(s) and size:	66:387:0011 (2.02 Acres)

Section 19.13 – Application Submittal

- Application Complete (Date of Payment): May 13, 2025
- Rezone Required: No
- General Plan Amendment required: No
- If Preliminary Plat, is Site Plan also required? Not Applicable

Section 19.13.04 – Process

- Required Meetings: Planning Commission and City Council
- Planning Director Approval: No
- Public Hearing Required – check 19.13.04 process table: No
- Neighborhood Meeting Required: No

DRC Review

DRC Review Comments:

- None

Code Review

- 19.04, Land Use Zones
 - Zone: Regional Commercial
 - General Plan Land Use: Regional Commercial

19.04.01 Requirements		Regional Commercial	
Category To Be Reviewed	Regulation	Compliance	Findings
Development Size (Minimum)	N/A	N/A	
Lot Size (Minimum)	30,000 sq. ft.	Complies	88,075 sf
Front/Corner Side Setback (Minimum)	15'	Complies	>15'
Interior Side Setback (Minimum)	10' or height of building, whichever is greater, when adjacent to a residential zone	Complies	>10'
Rear Setback (Minimum)	30' or height of building, whichever is greater, when adjacent to a residential zone	Complies	>30'
Building Separation (Minimum)	N/A	N/A	
Lot Width (Minimum)	N/A	N/A	
Lot Frontage (Minimum)	N/A	N/A	
Building Height (Maximum)	50'	Complies	34'8"
Lot coverage (Maximum)	50%	Complies	Refer to plans on file
Building Size (Minimum)	1,000 sq. ft.	Complies	25,482 sf
Building Size (Maximum)	N/A	N/A	

Arterial Street Setback	105' off the arterial roadway centerline, or, if applicable, 15' from the back of the 30' trail corridor - whichever is greater.	N/A	
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No density shall be calculated on sensitive lands.	N/A.	
A Neighborhood Plan is required in the Mixed Residential Zone.	N/A.	
Open Space and Landscaping Requirements: For non-residential and non-agricultural uses open space is not required; however a minimum of 20 percent of the total project shall be used for landscaping, including improvements consistent with the Parks and Trails Master Plan, General Plan, Bicycle and Pedestrian Master Plan, or other applicable plan.	Complies.	Refer to plans on file
Prohibition of Creating New Residential Units. No existing Dwelling, Two-family; Dwelling, Three-family; or Dwelling, Multi-family, shall be further subdivided or otherwise approved to contain an additional dwelling(s).	N/A.	
19.04.08 & 19.04.11 Proposed Uses Allowed - Permitted Uses: <i>Proposed uses must comply with permitted uses within the RC zoning district</i>	Shall Comply.	Uses to be determined at a later date
A neighborhood meeting is required for all public parks, public playgrounds, public recreation areas, or other public park improvements prior to new construction. City staff will notify residents within the subdivision or neighborhood area prior to any meeting. Any proposal for a regional park within the City will also be required to go Through a Site Plan review according to the requirements within the Land Development Code.	N/A.	
19.04.09 (9) and 19.04.11 (superscript 2): Ancillary uses and edge uses may not exceed 20 percent of the building area within a Master Development Plan contained in a Master Development Agreement	N/A.	
19.05 Supplemental Regulations		
Regulation	Compliance	Findings
Flood Plain: All buildings and structures intended for human occupancy shall be constructed at least (1) one foot above the base flood elevation of Zone A as defined on the FEMA Flood Insurance Map.	Complies.	Refer to plans on file
Water & Sewage: Each lot shall be connected to City water and sewer.	Complies.	Refer to plans on file
Transportation Master Plan: No building lot shall be created and no structure shall be erected within the location of a proposed street, road, highway, or right-of-way as shown on the City's currently-approved Transportation Master Plan.	Complies.	Refer to plans on file
Property Access - All lots shall abut a dedicated public street or highway or a private roadway.	Complies.	Refer to plans on file
19.05.16. Special Standards and Considerations Governing Particular Uses. See Code for details	Complies.	Refer to plans on file
Automobile refueling stations and car wash operations.	N/A.	
Automobile Repair, Minor:	N/A.	
Car Wash (full service).	N/A.	
Hotels.	N/A.	
Kennel, Private.	N/A.	
Storage, Self-Storage, or Mini-Storage Units.	N/A.	

Vehicle Storage.	N/A.	
Public and Private Utility Building or Facility and Public Building Sites.	N/A.	
Bars.	N/A.	
19.06 Landscaping and Fencing		
General Provisions		
Drainage across property lines shall follow International Residential Code (IRC) and International Building Code (IBC), as of 2024 (shall drain onto own property).	Complies.	<i>Refer to plans on file</i>
Landscape Plans		
Regulation	Compliance	Findings
Landscape Architect: Landscaped plans shall be prepared by a licensed landscape architect.	Complies.	<i>Jeremy Ainsworth</i>
Existing Conditions: Show the location and dimension of all existing and proposed structures, property lines, easements, parking lots, power lines, rights-of-way, ground signs, refuse areas, and lighting.	Complies.	<i>Refer to plans on file</i>
Planting Plan: Show location and planting details for all proposed vegetation and materials. Indicate the size of the plant material at maturation. All existing vegetation that will be removed or remain must be identified.	Complies.	<i>Refer to plans on file</i>
Plants: The name (both botanical and common name), quantity, and size of all proposed plants.	Complies.	<i>Refer to plans on file</i>
Topography: Existing and proposed grading of the site indicating contours at two-foot intervals.	Complies.	<i>Refer to plans on file</i>
Irrigation: Irrigation plans showing the system layout and details.	Complies.	<i>Refer to plans on file</i>
Fencing: Location, style, and details for proposed and existing fences and identification of the fencing materials.	Complies.	<i>No fencing proposed</i>
Data Table: Table including the total number of each plant type, and total square footage and percentage of landscaped areas, domestic turf grasses, decorative rock, mulch, bark, and drought tolerant plant species.	Complies.	<i>Refer to plans on file</i>
Completion of Landscape Improvements: All required landscaping improvements shall be completed in accordance with the approved site plan, subdivision plat, landscape plan, irrigation plan, or other approval and shall be bonded for in accordance with Section 19.12.05.	Complies.	<i>Refer to plans on file</i>
Planting Standards		
Deciduous Trees: Minimum 2" in caliper.	Complies.	<i>See Sheet LP101</i>
Evergreen Trees: Minimum 6' in height.	Complies.	<i>See Sheet LP101</i>
Tree Base Clearance: 3' diameter around every tree must be kept clear of turf and rock mulch. In parking lot islands and other narrow strips where turf two feet or less in width would otherwise occur, this clear area may be reduced to 2'.	Complies.	<i>See Sheets LP101 and LP501</i>
Shrubs: 25% of required shrubs must be a minimum of 5 gallons in size at time of installation; all other required shrubs shall be a minimum of 1 gallon in size.	Complies.	<i>See Sheet LP101</i>
Turf: No landscaping shall be comprised of more than seventy percent turf, except within landscaped parks.	Complies.	<i>See Sheet LP101</i>
Artificial Turf : Shall require a building permit shall meet the following requirements with documentation provided by home owner or contractor: i. Artificial turf shall have a minimum eight-year "no-fade" warranty; ii. Multi-color blend needed to mimic real grass	Complies.	<i>No artificial turf proposed</i>

<ul style="list-style-type: none"> iii. Must be installed according to manufacturer's instructions; iv. Minimum pile height shall be 1.5 inches, minimum face/pile weight shall be at least 50 oz. per square yard, and water permeability shall be at least 19 inches per hour; v. Landscape plan shall provide for a minimum of 25 percent live vegetation coverage to comply with residential front and/or street side yard landscape standards; vi. Landscaping shall maintain a five-foot diameter around trees free from roc, debris, or artificial turf; vii. Rubber or inorganic infill is prohibited while organic infill is permitted; viii. The term "artificial turf" shall not be construed to include artificial trees, shrubs or bushes; and ix. Storm water runoff shall be maintained on-site. 		
Drought Tolerant Plants: 50% of all trees and shrubs shall be drought tolerant.	Complies.	<i>See Sheet LP101</i>
Rock Mulch: Rock mulch shall be two separate colors and separate sizes and must be contrasting in color from the pavement and other hard surfaces. All colors used must be earth tones.	Shall Comply.	<i>Refer to redlines on plans</i> <i>See Sheet LP101</i>
Design Requirements		
Evergreens: Evergreens shall be incorporated into landscaped treatment of sites where screening and buffering are required.	Complies.	<i>See Sheet LP101</i>
Softening of Walls and Fences: Plants shall be placed intermittently against long expanses of building walls, fences, and barriers to create a softening effect.	Complies.	<i>See Sheet LP101</i>
Planting and Shrub Beds: Planting and shrub beds are encouraged to be used in order to conserve water.	Complies.	<i>See Sheet LP101</i>
Water Conservation: Water-conserving sprinkler heads and rain sensors are required. Drip lines should be used for shrubs and trees.	Complies.	<i>No sprinkler heads to be used on site</i>
Energy Conservation: Placement of plants shall be designed to reduce energy consumption. Deciduous trees are encouraged to be planted on the south and west sides of structures. Evergreens are encouraged to be planted on the north side of structures.	Complies.	<i>See Sheet LP101</i>
Placement: Whenever possible, landscaping shall be placed immediately adjacent to structures, particularly where proposed structures have large empty walls.	Complies.	<i>See Sheet LP101</i>
Trees and Power Poles: No trees shall be planted directly under or within 10' of power lines, poles, or utility structures unless: <ul style="list-style-type: none"> a. The Land Use Authority gives its approval. b. The Power Company or owner of the power line gives written consent. c. The maximum height or width at maturity of the tree species planted is less than 5' to any pole, line, or structure. 	Complies.	<i>See Sheet LP101</i>
Preservation of Existing Vegetation		
Where possible and appropriate, existing native vegetation must be incorporated into the landscape treatment of the proposed site.	Complies.	<i>See Sheet LP101</i>
Tree Preservation: Existing mature evergreen trees of 16' in height or greater, and existing mature deciduous or decorative trees of more than 4" in caliper, shall be identified on the landscape plan and preserved if possible. If a mature tree is preserved, an area around the roots as wide as the existing canopy shall not be disturbed.	Complies.	<i>See Sheet LP101</i>
If preservation is not possible, the required number of trees shall be increased by double the number of such trees removed.	Complies.	<i>See Sheet LP101</i>
The replacement trees for evergreen trees shall be evergreens, and	Complies.	<i>See Sheet LP101</i>

for deciduous shall be deciduous.		
Deciduous trees smaller than four inches in caliper, or mature ornamental trees, that are removed shall be replaced on a one to one ratio.	Complies.	<i>See Sheet LP101</i>
Replacement trees shall be in addition to the minimum tree requirements of this Chapter, and shall comply with minimum sizes as outlined in the Chapter.	Complies.	<i>See Sheet LP101</i>
Planter Beds		
Weed Barrier: A high quality weed barrier or pre-emergent shall be used.	Complies.	<i>Pre-emergent to be used, per Sheet LP101</i>
Materials: High quality materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials shall be used, and materials must be heavy enough to not blow away in the wind.	Complies.	<i>See Sheet LP101</i>
Edging: Concrete edging must be used to separate planter and turf areas in all non-residential zones.	Complies.	<i>Refer to plans on file</i>
Drip Lines: Drip lines must be used in planter beds.	Complies.	<i>See Sheet IR101</i>
Fencing and Screening		
Front Yards: Fences exceeding 3' in height shall not be erected in any front yard space of any residential lot.	N/A.	
Clear Sight Triangle: All landscaping and fencing shall be limited to a height of not more than 3' and the grade at such intersections shall not be bermed or raised and comply with AASHTO Standards.	Complies.	<i>Refer to plans on file</i>
Street side yards: fencing in street side yards adjacent to a driveway shall not exceed three feet for a distance of fifteen feet back from the intersection of driveway and sidewalk, or driveway and property line where no sidewalk exists as shown in the drawing below. Fencing shall also comply with all other clear sight triangle requirements as stated in 19.06.	N/A.	
Retaining walls: for construction of retaining walls four feet or taller in height of unbalanced fill or for any wall supporting surcharge loads, a building permit must be obtained. Prior to construction of retaining walls, Chapter 18 of the City Code shall be consulted to determine if a grading permit is also required. Where there is a difference in elevation on opposite sides of the fence, the height of the fence shall be measured from the ground level on the highest side of the wall when the fence is placed on top of the wall. If the fence is placed at the bottom of the wall, the fence height shall be measured from the ground it is placed upon and there shall be at least two feet to access and maintain the retaining wall. Retaining walls shall follow all applicable regulations outlined in Chapter 19.10 of the City Code, regardless of slope.	Complies.	<i>No retaining walls proposed on site</i>
Height: Approval of fences over six feet in height will be determined on a case-by-case basis by the City Council for all new developments if fencing is proposed during the subdivision review process, or by the Planning Director for all developments that have received final approval; however, in no case will a fence be allowed to exceed eight feet in height. The following criteria shall be applied in making this determination: a. compatibility with fences of surrounding uses; b. quality of proposed materials; c. aesthetics of proposed materials; d. requirements of applicable development agreements; e. intensity of existing surrounding uses; and f. applicable conditions of approval.	Complies.	<i>No fencing proposed</i>

<p>Prohibited fencing:</p> <p>a. No barbed wire, chain link, razor, or wire (agricultural, electric, chicken wire, mesh wire, hog fencing, etc.) fences shall be allowed. This does not apply to chain link or wire fences if the fence: (1) is not being used to delineate lot boundaries; and (2) is being used for Agricultural uses or otherwise for the keeping of animals; and (3) does not occupy more than 50% of any residential yard; or (4) is for back stops, sports fields, or sport court fencing within a public or private park.</p> <p>b. No fencing that parallels existing fencing shall be permitted within an existing fenced yard. Exceptions: interior fencing to enclose chickens, bees, or other livestock as otherwise specifically permitted under this Code, and any fencing of three feet or less in height within an existing fenced yard.</p>	<p>Complies.</p>	<p><i>No fencing proposed</i></p>
<p>Double frontages: where lots have frontages onto more than one street, that area designated by the property owner as the rear yard may have a solid or view obstructing fence, wall, or hedge not exceeding six feet in height. Where the double frontage lot is also a corner lot (three frontages), clear sight across corner property shall be required and enforced. See Section 19.06.11, Clear Sight Triangles.</p>	<p>Complies.</p>	<p><i>No fencing proposed</i></p>
<p>Non-residential and Multi-family: fencing and other screening materials for multifamily, residential, commercial, or industrial projects must receive approval by the Land Use Authority through the Site Plan review process. See Chapter 19.13 for Site Plan review requirements. In addition, the following criteria shall be applied:</p> <p>a. compatibility with fences of surrounding uses;</p> <p>b. quality of proposed materials;</p> <p>c. aesthetics of proposed materials;</p> <p>d. requirements of applicable development agreements;</p> <p>e. intensity of existing surrounding uses; and</p> <p>f. applicable conditions of approval.</p>	<p>Complies.</p>	<p><i>No fencing proposed</i></p>
<p>Required Residential Fencing: Fencing in residential development shall be placed along property lines abutting open space, parks, canals, and trails. In addition, fencing may also be required adjacent to undeveloped properties.</p>	<p>N/A.</p>	
<p>Fences along open space, parks, canals, and trails shall be semi-private. Exception: privacy fencing is permitted for property lines abutting trail corridors that are not City maintained and are both adjacent to and visible from an arterial.</p>	<p>N/A.</p>	
<p>Fencing along arterial roads shall be of a consistent material and color within each development.</p>	<p>N/A.</p>	
<p>Fencing along open space, parks, and trails may be less than 6' in height but shall not be less than 3' in height, at the discretion of the property owner or HOA as applicable.</p>	<p>N/A.</p>	
<p>Screening at Boundaries of Residential Zones: For residential developments, abutting active agricultural property or operations, a solid fence or wall shall be installed and maintained along the abutting property line.</p>	<p>N/A.</p>	
<p>Amount of Required Landscaping</p>		
<p>Portions of the property that are not developed with structures, rights of ways, or parking areas shall be required to be landscaped per the definition of Landscaping in Section 19.02 in all land use zones.</p>	<p>Complies.</p>	<p><i>See Sheet LP101</i></p>
<p>Multi-family, common space not including parks and nonresidential development in all zones shall be required to adhere to the minimum landscaped standards in 19.06.07 of the Land Development Code.</p>	<p>Complies.</p>	<p><i>See Sheet LP101</i></p>

At least 50% of the landscaped area shall be covered with live vegetation at maturity, including shrubs, grasses, flowers, tree and shrub canopies and other live vegetation. The percentage may be reduced to 40% in areas where bark mulch, wood or plant fiber mulch, or rubber mulch is used instead of rock mulch.	Complies.	<i>See Sheet LP101</i>
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Landscape Amount			
Category To Be Reviewed	Regulation	Compliance	Findings
Total Square Footage	88,075		
Required Landscaping	17,615	Complies	<i>Refer to plans on file, landscaping for entire development will meet 20% requirement</i>
Required Deciduous Trees	7	Complies	<i>17 shown on landscape plans</i>
Required Evergreen Trees	5	Complies	<i>5 shown on planting table</i>
Required Shrubs	25	Complies	<i>>25</i>
Drought Tolerant Plants	19	Complies	<i>>19 drought tolerant plants</i>

19.09 Off Street Parking		
General Provisions		
Regulation	Compliance	Findings
Materials: Parking areas shall consist of concrete, asphalt, or other impervious materials approved in the City's adopted construction standards	Complies.	<i>Asphalt</i>
Parking Area Access: Common Access: Parking areas for one or more structures may have a common access so long as the requirements of all City ordinances, regulations, and standards are met. The determination of the locations for a common access shall be based upon the geometry, road alignment, and traffic volumes of the accessed road per the Standard Technical Specifications and Drawings.	Complies.	<i>See Sheet C1.1</i>
Sidewalk Crossing: All non-residential structures are required to provide parking areas where automobiles will not back across a sidewalk to gain access onto a public or private street.	Complies.	<i>Refer to plans on file</i>
Cross Access: Adjacent non-residential development shall stub for cross-access. Developers must provide the City with documentation of cross-access easements with adjacent development.	Complies.	<i>Refer to plans on file</i>
Lighting: Parking areas shall have adequate lighting to ensure the safe circulation of automobiles and pedestrians. Lighting shall be shielded and directed downward.	Complies.	<i>Refer to Sheet ES102</i>
Location of Parking Areas: Required off-street parking areas for non-residential uses shall be placed walking path of travel distance to the nearest customer entrance from the correlating non-residential use and individual tenant space as outlined in the table below. Unenclosed parking for residential areas shall not be provided in rear yards, unless said yard abuts an alley-type access or is fenced with privacy fencing.	Complies.	<i>Refer to plans on file</i>

Size of Non-Residential Use and Individual Tenant Space	Walking Path of Travel Distance to the Nearest Customer Entrances		
Up to 1,500 square feet	150'		
1,501 to 5,000 square feet	200'		
5,001 to 10,000 square feet	250'		
10,001 to 25,000 square feet	300'		
25,001 to 50,000 square feet	350'		
50,001 to 75,000 square feet	400'		
75,001 to 100,000 square feet	450'		
100,001 to 125,000 square feet	500'		
Over 125,000 square feet	600'		
Exception: To promote walkability, Mixed Use and Mixed Waterfront zones, and the Town Center Overlay (identified in the General Plan), shall be allowed to place parking garages and parking lots on the edge of shopping areas. i. The walking path travel distance from a business' main entrance shall not apply to these areas.			
Curb Cuts and Shared Parking: In most cases, shared parking areas shall share ingress and egress. This requirement may be waived when the City Engineer believes that shared accesses are not feasible. In reviewing the site plans for the shared parking areas, the City Engineer shall evaluate the need for limited access, appropriate number of curb cuts, shared driveways, or other facilities that will result in a safer, more efficient parking and circulation pattern.		Complies.	<i>See Sheet C1.1</i>
Parking plans shall show the following: the required number of stalls and aisles scaled to the correct dimensions; the correct number of ADA accessible parking spaces; storm water drainage capabilities; lighting; landscaping and irrigation; and pedestrian walkways.		Shall Comply.	<i>All drive aisles adjacent to proposed parking areas shall be a minimum of 24 feet in width in order to accommodate two-way traffic between this property and all adjacent properties.</i>
Provide accessible parking as required by Americans with Disabilities Act, see https://www.ada.gov/topics/parking/ https://adata.org/factsheet/parking		Complies.	<i>See Sheet C1.0</i>
Certain types of medical facilities need more accessible stalls, see link.		Complies.	<i>See Sheet C1.0</i>
Accessible stalls shall be as close to the primary entrance as possible.		Complies.	<i>See Sheet C1.0</i>
Parking Requirements and Shared Parking			
Available on-street parking shall not be counted towards meeting the required parking stalls.		Complies.	<i>No on-street parking shown on plans</i>
When a parking requirement is based upon square footage, the assessed parking shall be based upon gross square footage of the building or use unless otherwise specified in the requirement.		Complies.	<i>See Sheet C1.0</i>
When parking requirements are based upon the number of employees, parking calculations shall use the largest number of employees who work at any one shift. Where shift changes may cause substantial overcrowding of parking facilities, additional stalls may be required.		Complies.	<i>See Sheet C1.0</i>
When a development contains multiple uses, more than one parking requirement may be applied.		Complies.	<i>See Sheet C1.0</i>
Any fraction obtained when calculating the parking requirement shall be rounded up to the next whole number to determine the required number of parking stalls.		Complies.	<i>See Sheet C1.0</i>
Where no comparative land use standard for parking is found in Section 19.09.10, Required Minimum Parking, the Land Use Authority for the related development shall determine an appropriate requirement using the following criteria: (see code)		Complies.	<i>See Sheet C1.0</i>

Any information provided by the developer relative to trip generation, hours of operation, shared parking, peak demands, or other information relative to parking shall be considered when evaluating parking needs.	Complies.	<i>See Sheet C1.0</i>
<p>Parking Deviations. Parking requirements may deviate from the standards contained in Section 19.09.10, Required Minimum Parking, when the Land Use Authority determines that the deviation meets the intent of this Chapter. Reductions may not exceed 25% of the parking requirements and shall be based on the following criteria:</p> <ol style="list-style-type: none"> 1. the intensity of the proposed use; 2. times of operation and use; 3. whether the hours or days of operation are staggered thereby reducing the need for the full amount of required parking; 4. whether there is shared parking agreement in accordance with Section 19.09.05.10 below; 5. the number of employees; 6. the number of customers and patrons; 7. trip generation; and 8. peak demands. 	Complies.	<i>No parking deviation requested</i>
<p>Shared Parking. Up to 25% of required parking may be shared with an adjacent use upon approval by the Land Use Authority. The developer must provide:</p> <ol style="list-style-type: none"> a. an agreement granting shared parking or mutual access to the entire parking lot; and b. peak demand data by a professional traffic engineer showing that shared parking will accommodate the uses. 	Complies.	<i>No shared parking proposed</i>
<p>Guest Parking. Two-Family dwellings, Three-Family dwellings, Multi-Family dwellings, and dwellings above commercial.</p> <ol style="list-style-type: none"> a. Guest parking shall be provided at a ratio of 0.25 stalls per unit. <ol style="list-style-type: none"> i. When a rear-load product is allowed in a village plan or neighborhood plan, and is accessed with aprons rather than driveways, guest parking shall be provided at a ratio of one stall per unit. b. Driveways shall not count towards the guest parking requirement. c. Guest parking shall be located within two-hundred feet of the dwelling unit. 	N/A.	
<p>Pedestrian Walkways and Accesses.</p> <p>Parking lots larger than 75,000 square feet shall provide raised or delineated pedestrian walkways. Walkways shall be a minimum of 10' wide and shall be placed through the center of the parking area and extend to the entrance of the building. Landscaped islands along the center walkway shall be placed at a minimum interval of every 30'. Landscaped islands are encouraged to be offset from one another to create a feeling of greater coverage. Pedestrian covered walkways may be substituted for tree-lined walkways. Where the developer desires to have a driveway access at the center of the parking area, a pedestrian access shall be placed on either side of the driveway.</p>	Complies.	<i>Parking lot is less than 75,000 sf</i>
Landscaping in Parking Areas		
All parking areas (not including a driveway for an individual dwelling) for non-residential or multi-family residential uses that are adjacent to public streets shall have landscaped strips of not less than 10' in width placed between the sidewalk and the parking areas, containing a berm, hedge, or screen wall with a minimum height of 3' to minimize intrusion of lighting from headlights and other lighting on surrounding property. Trees, both deciduous and evergreen, shall be placed in the	Complies.	<i>Parking areas are not adjacent to any public streets</i>

strip with spacing of no more than 30' between trees except in the clear sight triangle, and except where located beneath powerlines. The standards of section 19.06.06, Planting Standards and Design Requirements, shall apply for the minimum size of vegetation. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees or shrubs may be clustered in the planter beds where necessary to shield light spillage.		
All landscaped areas abutting any paved surface shall be curbed (not including a driveway for an individual dwelling). Boundary landscaping around the perimeter of the parking areas shall be separated by a concrete curb 6" higher than the parking surface.	Complies.	<i>See Sheet C1.1</i>
Clear Sight Triangles must be followed.	Complies.	<i>Sight triangles shown on plans</i>
All landscaped parking areas shall consist of trees, shrubs, and groundcover. Areas not occupied by structures, hard surfaces, vehicular driveways, or pedestrian walkways shall be landscaped and maintained. All landscaped areas shall have an irrigation system.	Complies.	<i>Refer to plans on file</i>
On doubled rows of parking stalls, there shall be one 36' x 9' landscaped island on each end of the parking rows, plus one 36' x 9' landscaped island to be placed at a minimum of every twenty parking stalls. Each island on doubled parking rows shall include a minimum of two trees per planter.	Complies.	<i>Refer to plans on file</i>
On single rows of parking or where parking abuts a sidewalk, there shall be one 18' x 9' foot landscaped island a minimum of every ten stalls. Islands on a single parking row shall have a minimum of one tree per island. i. Exception: Landscaped islands are not required in single rows of parking that abut or are no farther than 6' from a landscaped area containing an equal or greater number of trees as would have been provided in islands, in addition to trees required for the landscaped area. Such trees shall be located within 9' of the edge of parking area, and shall have a canopy width that, at maturity, will extend into the parking area.	Complies.	<i>Refer to plans on file</i>
Landscaped islands at the ends of parking rows shall be placed and shaped in such a manner as to help direct traffic through the parking area.	Complies.	<i>See Sheet C1.1</i>
Required Minimum Parking		
<i>See table in 19.09</i>	Complies.	<i>4 stalls/1000 sf shown on plans 25,842 sf = 102 stalls required 102 stalls provided</i>
Drive-thru Requirements		
Each stacking space shall accommodate one vehicle and be no less than 20 feet in length from the point of service.	Complies.	<i>No drive-thrus shown on plans</i>
All drive-thru facilities must provide at a minimum 3 stacking spaces (60') per lane (up to 3 stacking spaces may count towards required parking).	Complies.	<i>No drive-thrus shown on plans</i>
Bank or financial institution (including ATMs): minimum of 3 stacking spaces per lane. Food or beverage establishment: minimum of 5 stacking spaces.	Complies.	<i>No drive-thrus shown on plans</i>
Entrances and exits of drive-thru lanes shall be clearly marked to designate the direction of traffic flow.	Complies.	<i>No drive-thrus shown on plans</i>
A Final Traffic report shall be provided and approved to demonstrate how all queuing shall be contained within the property, business, or use	Complies.	<i>No drive-thrus shown on plans</i>

and not affect the surrounding roads. Stacking shall be designed so that it does not have the potential to overflow onto the street or adjacent property, business, or use.		
Landscaping: A three foot (3') wide raised median or planter between the drive-thru aisle and the parking area shall be provided.	Complies.	<i>No drive-thrus shown on plans</i>
All drive-thru lanes adjacent to public streets shall have landscaped strips of not less than ten feet in width placed between the sidewalk and the drive-thru lanes that contain a berm, hedge, or screen wall with a minimum height of three feet to minimize intrusion of lighting from headlights and other lighting from surrounding properties.	Complies.	<i>No drive-thrus shown on plans</i>
All drive-thru lanes adjacent to residential development or residentially-zoned property shall be setback a minimum of 20 feet from the property line.	Complies.	<i>No drive-thrus shown on plans</i>

Dimensions for Parking Stalls & Aisle				
	Stall Width	Stall Length	Aisle Width (one-way traffic)	Aisle Width (two-way traffic)
90° Parking				
Required	9'	18'	24'	24'
Provided	9'	18'	26'	26'

19.11 Lighting		
General Standards		
Regulation	Compliance	Findings
Material: All Lighting Fixtures and assemblies shall be metal.	Complies.	<i>See Sheet E600</i>
Base: All lighting poles shall have a 16" decorative base.	Complies.	<i>See Sheet E600</i>
Type: All lighting fixtures shall be of the full cutoff variety. Shoebox fixtures are prohibited.	Complies.	<i>See Sheet E600</i>
Angle: Shall be directed downward.	Complies.	<i>See Sheet E600</i>
Lamp: Bulbs may not exceed 4000k.	Complies.	<i>See Sheet E600</i>
Drawings: Design and location of fixtures shall be specified on the plans.	Complies.	<i>See Sheet E503</i>
Flags: The United States flag and the state flag shall be permitted to be illuminated from dusk till dawn. All other flags shall not be illuminated past 11:00 p.m. Flag lighting sources shall not exceed 10,000 lumens per flagpole. The light source shall have a beam spread no greater than necessary to illuminate the flag.	Complies.	<i>Refer to plans on file</i>
Prohibited Lighting: Searchlights, strobe lights and any laser source light or any similar high intensity light.	Complies.	<i>No prohibited lighting fixtures proposed</i>
Descriptions: Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Shall Comply.	<i>See Sheet E600</i> <i>Refer to redlines regarding wall-mounted lighting</i>
Nonresidential Lighting		
All wall-mounted fixtures shall not be mounted above 16'. The exception shall be those instances where there is a second story access directly from the outdoors, and under-eave lighting. Wall-mounted lighting shall be only for the illumination of vertical surfaces such as building facades and signs, and shall not cast illumination beyond the surface being illuminated.	Complies.	<i>See Sheet ES102</i>

Intermittent lighting must be of the "motion sensor" type that stays on for a period of time not to exceed 10 minutes and has a sensitivity setting that allows the lighting fixture to be activated only when motion is detected on the site.	Complies.	<i>See Sheet ES102</i>
All trespass lighting shall not exceed 1.0 foot-candles measured at the property line, except that trespass lighting into residential development shall not exceed 0.1 foot-candles measured at the property line.	Complies.	<i>See Sheet ES102</i>
Service station canopies must utilize canopy lights that are fully recessed into the canopy or are fully shielded by the canopy.	N/A.	
All freestanding lighting fixtures and assemblies shall be black. Regional Parks may include theme lighting fixtures in colors other than black. The color shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	<i>See Sheets ES102 and E600</i>
Pole design shall include an arm and bell shade. Regional Parks may include theme lighting fixtures that do not include an arm and bell shade. The design shall enhance the theme of the park and shall be approved during the site plan review process.	Complies.	<i>See Sheet E600</i>
Parking lot poles shall be limited to a height of 16' when in or within 200' of a residential zone; all other locations shall have a height limit of 20'.	Complies.	<i>See Sheet E600</i>
All lighting fixtures in surface parking lots and on the top decks of parking structures shall be fitted to render them full cutoff.	Complies.	<i>See Sheet E600</i>
One hour after closing or by 11:00 pm, whichever is earlier, businesses must turn off at least 50% of building lighting and lighting fixtures in surface parking lots and on top decks of parking structures; however, those lighting fixtures turned off may be set to function utilizing a motion detector system. Lights may be turned back on one half hour prior to the first employee shift.	Complies.	<i>See Sheet ES102</i>
Business open for 24 hours must turn off 50% of their outdoor and parking lot lighting by 11:00 pm and must keep them off until one half hour before sunrise, however, those lighting fixtures turned off may be set to function utilizing a motion detector system.	Complies.	<i>See Sheet ES102</i>
Walkway Lighting		
Lighting of all pedestrian pathways is recommended.	N/A.	
All pathway, walkway, and sidewalk lighting fixtures shall be mounted at a height not to exceed 10'. i. Themed walkway lighting within Regional Parks shall not exceed a height of 25'. Such lighting within 200' of residential development shall not exceed 16'.	N/A.	
Bollard lighting shall be limited to a height of 4'.	N/A.	
Lighting Plan		
Plans indicating the location and types of illuminating devices on the premises.	Complies.	<i>See Sheets ES102 and E600</i>
Descriptions of the illuminating devices, fixtures, lamp supports, and other devices. This description may include, but is not limited to, manufacturers' specifications, drawings, and sections.	Complies.	<i>See Sheet E600</i>
Photometric sheet showing measurement of light intensity across the site and onto adjacent property in terms of candela, lumens, and foot-candles.	Complies.	<i>See Sheet ES102</i>

19.12 Subdivision		
Subdivision Layout		
Layout: The subdivision layout should be generally consistent with the City's adopted Land Use Element of the General Plan, and shall	Complies.	<i>Refer to plans on file</i>

conform to any land use ordinance, any capital facilities plan, any impact fee facilities plan, and the transportation master plan.		
Trails Master Plan: Shows required trails	Complies.	<i>Refer to plans on file</i>
Block Length: The maximum length of blocks shall be 1,000'. In blocks over 800' in length, a dedicated public walkway through the block at approximately the center of the block will be required.	N/A.	
Such a walkway shall not be less than 15' in width unless otherwise approved by the City in accordance with other applicable standards approved by the City Council.	N/A.	
Connectivity: The City shall require the use of connecting streets, pedestrian walkways, trails, and other methods for providing logical connections and linkages between neighborhoods.	Complies.	<i>Refer to plans on file</i>
Mailboxes: Group mailboxes shall be accessed only from a local street, and shall not be placed on a collector or arterial street, unless a bulbout is provided with space for a minimum of three vehicles to park outside the lane of travel and shoulder.	Complies.	<i>Refer to plans on file</i>
Private Roads: Private roads may be constructed as approved as part of the Preliminary Plat approval and so long as such roads meet the same standards identified in the Saratoga Springs Standard Street Improvement Details.	Complies.	<i>Refer to plans on file</i>
Access: Where the vehicular access into a subdivision intersects an arterial road as defined in the Transportation Master Plan, driveways shall not be placed on the intersecting road within 100' of the arterial connection.	Complies.	<i>Refer to plans on file</i>
Two separate means of vehicular access onto a collector or arterial road shall be required to be constructed to City road standards when the total number of equivalent residential units (including adjacent developments and neighborhoods) served by a single means of access will exceed thirty. Exception: Where no point of second access is available within 500' and where all units are provided with an approved sprinkler system, a second access shall not be required until the number of units reaches double the above limits.	Complies.	<i>Refer to plans on file</i>
Where two means of access are required, the points of access shall be placed a minimum of 500' apart, measured along the center of the driving lane from center of right-of-way to center of right-of-way. The City Fire Chief may require a greater distance than 500 feet if: 1. an essential link exists between a legitimate governmental interest and the requirement; and 2. the requirement is roughly proportionate, both in nature and extent, to the impact of the proposed development.	Complies.	<i>Refer to plans on file</i>
Driveway and Driveway Approaches: Construction: single driveways in the A, RA, and RR zones that are constructed of road base or gravel shall include a concrete apron at the entrance to the garage and at the intersection with the street, each a minimum of five feet in depth. Single driveways in all other zones, and shared driveways in all zones, shall be constructed of concrete or asphalt.	N/A.	
Shared Driveways: Shared driveways shall be a minimum of 26' in width and shall direct all runoff to a public or private drainage system. All dwellings on shared driveways shall provide enclosed garages or other covered parking. Shared driveways accessing more than four dwellings shall also provide a minimum of 25' of parking space between the garage and shared driveway. Shared driveways with four or fewer dwellings, if not providing a minimum of 20' of parking space, shall install a remote garage door opener prior to issuance of	N/A.	

Certificate of Occupancy. All requirements of the Fire Code shall also be met.		
<p>1. Shared Driveways may be used for clustered single-family lots.</p> <ul style="list-style-type: none"> a. When there are more than two units sharing a driveway, the maximum length shall be 150 feet. b. The maximum amount of units accessing a shared driveway shall be six. <p>2. Shared driveways may be used for two-family, three-family, and multi-family units.</p> <ul style="list-style-type: none"> a. The maximum length shall be 150 feet. b. The maximum amount of units accessing a shared driveway shall be ten. <p>3. Number of Driveway Approaches: Only one driveway approach is allowed per property frontage. A circular driveway is considered one driveway approach if installed in accordance with the provisions of this section.</p> <ul style="list-style-type: none"> a. Corner lots may have one driveway approach per street frontage. b. Circular driveways must have at least 15' between the two closest edges of the driveway approach at the property line and meet all other conditions of this code. <p>4. Driveway Approach widths: Residential driveway aprons shall not exceed 30 feet in width, except as follows.</p> <ul style="list-style-type: none"> a. Driveway aprons may be increased up to 45-ft in width if the home has a 3 car garage and/or parking pad and the combined width of all drive approaches on a single frontage does not consume more than 60% of the total property frontage and all other conditions of the section are met. 	N/A.	
<p>iii. Driveway Widths:</p> <ul style="list-style-type: none"> 1. Driveways shall be a minimum of twenty feet deep and eight feet wide for a single-wide driveway and sixteen feet wide for a double-wide driveway. 2. Rear-load alley product, as approved as part of a Community Plan, Village Plan, or Neighborhood Plan, may have an apron in lieu of a driveway approach for access to the garage from the alley. The apron shall be a minimum of five feet deep and shall not count towards required parking. 	N/A.	
<p>iv. Driveway Approach Locations: Driveway approaches shall be a minimum of 5' from any property line where water meters are located, except for corner lots as specified below.</p> <ul style="list-style-type: none"> 1. For corner lots, or where the vehicular access into a subdivision intersects a collector or arterial road as defined in the Transportation Master Plan, the minimum driveway approach distance, as measured from the edge of the right of way to the nearest edge or driveway surface shall be as follows: Local = 15 feet; Collector = 40 feet, Arterials = 100 feet. 2. Residential lots or parcels shall not be allowed to have access ways onto arterial roads such as Redwood Road, Crossroads Boulevard, Pioneer Crossing, and Pony Express. Exceptions may be made for large lots (at least 1 acre in size) or for lots where the home is set back over 150 feet from the arterial roadway. Approval by UDOT may be required. 	N/A.	
<p>v. The City may reject any permit or proposal for a driveway approach where staff has determined the proposed location would be dangerous or where it conflicts with any permanent</p>	N/A.	

improvements, existing or master planned utilities, or waterways.		
Lot Design		
All subdivisions shall result in the creation of lots that are developable and capable of being built upon. A subdivision shall not create lots that would make improvement impractical due to size, shape, steepness of terrain, location of watercourses, sanitary sewer problems, driveway grades, or other physical constraints and considerations.	Complies.	<i>Refer to plans on file</i>
All lots or parcels created by the subdivision shall have frontage on a street or road that meets the City's ordinances, regulations, and standards for public roads.	Complies.	<i>Refer to plans on file</i>
Flag lots may be approved with less frontage when the Planning Commission determines that the creation of such a lot would result in an improved design or better physical layout for the lot based on the following criteria: i. For subdivisions with 20 or less lots: no more than 10% (rounding down) of the total lots are allowed to be flag lots; ii. For subdivisions with 50 or less lots: no more than 7.5% (rounding down) of the total lots are allowed to be flag lots; and iii. For subdivision with more than 50 lots: no more than 5% (rounding down) of the total lots are allowed to be flag lots.	N/A.	
Land dedicated as public roads and rights-of-way shall be separate and distinct from land included in lots adjacent to public roads and rights-of-way. In no case may land dedicated for public roads and rights-of-way be included in the area calculation of any lots, except for non-conforming lots.	Complies.	<i>Refer to plans on file</i>
Side property lines shall be at approximately right angles to the street line or radial to the street line.	Complies.	<i>Refer to plans on file</i>
Corner lots for residential use shall be 10% larger than the required minimum lot. Corner lots in the R1-10, R1-9, R2-8, R3-6, MR-10, MF-14, and MF-18 zones shall be ten percent larger than the minimum required of the zone.	N/A.	
No lot shall be created that is divided by a municipal or county boundary line.	Complies.	<i>Refer to plans on file</i>
Remnants of property shall not be left in the subdivision that do not conform to lot requirements or are not required or suitable for common open space, private utilities, public purposes, or other purpose approved by the Land Use Authority.	Complies.	<i>Refer to plans on file</i>
Double access lots are not permitted with the exception of corner lots.	Complies.	<i>Refer to plans on file</i>
Driveways for residential lots or parcels shall not be allowed to have access on major arterials. Exception: Exceptions may be made for large lots (at least 1 acre in size) or for lots where the home is set back over 150' from the arterial roadway. Approval by UDOT may be required.	N/A.	
All subdivisions along arterial roadways shall conform to the City's requirements and adopted street cross-section including pedestrian walkways, park strips, landscaping, and fencing.	N/A.	
Street Connectivity		
Connectivity Standards. All new subdivisions shall provide connectivity with adjacent developed and undeveloped properties and with adjacent open space, amenities, parks, and natural areas. All new subdivisions are required to: Extend streets, sidewalks, and trails at least once in each direction to adjacent properties; and	Complies.	<i>Refer to plans on file</i>

Connect to all existing vehicular and pedestrian access points on adjacent developed properties; and	Complies.	<i>Refer to plans on file</i>
Install and connect public trails into all adjacent public open space, parks, and trails, which includes but is not limited to connections to trail corridors with public access easements; and	Complies.	<i>Refer to plans on file</i>
Stub public streets at least every 1,000 feet into all adjacent sides of undeveloped properties; and	Complies.	<i>Refer to plans on file</i>
Connect or stub into all adjacent master-planned rights-of-way, sidewalks, trails, and public transportation stops, stations, and facilities.	Complies.	<i>Refer to plans on file</i>
Exceptions: Connectivity Standards may be reduced by the Land Use Authority for Preliminary Plats, Final Plats, or Site Plans, as applicable, if the applicant provides clear and convincing evidence that it is impracticable to achieve due to the following: a. Right-of-way, intersection, or access spacing cannot meet the Standard Technical Specifications and Drawings for City of Saratoga Springs; or	Complies.	<i>Refer to plans on file</i>
ii. The property is adjacent to the Jordan River, Utah Lake, delineated wetlands, slopes exceeding 30%, drainage channels, natural features, open space, or waterways that do not allow for a crossing or an access; or	Complies.	<i>Refer to plans on file</i>
iii. The property is adjacent to fully developed property that does not have any vehicular or pedestrian access points.	Complies.	<i>Refer to plans on file</i>
iv. Exceptions shall be construed narrowly by the Land Use Authority.	Complies.	<i>Refer to plans on file</i>
v. These exceptions shall not apply to trail connections.	Complies.	<i>Refer to plans on file</i>
Arrangement of Streets. The arrangement of streets in new developments shall make provision for the continuation of the existing streets in adjoining areas (or their proper projection where adjoining land is not subdivided) at the same or greater width (but in no case less than the required minimum width per the City's Standard Technical Specifications and Drawings). Exceptions below shall be construed narrowly and only granted if the developer provides clear and convincing evidence to the Land Use Authority that the exception is met.	Complies.	<i>Refer to plans on file</i>
In order to develop a public street grid throughout the City, public right-of-way connections through and between developments shall be made at a minimum of every 1000 feet and in a manner that will provide safe and convenient access to existing or planned arterial/collector streets, schools, public parks, public trails, private parks or trails with public access easements, employment centers, commercial areas, or similar neighborhood activity centers. The connections may be completed over time in phases as part of a circulation plan. This requirement does not apply to commercial development; however, all streets and trails on the Transportation Master Plan and Parks, Recreation, Trails, and Open Space Master Plan shall be included and shall be public streets.	Complies.	<i>Refer to plans on file</i>
A public street connection shall be provided to any existing or approved public street right-of-way stub abutting the development, unless it is demonstrated that a connection cannot be made because of the existence of one of the following conditions: i. Physical conditions that preclude development of a public street meeting the City's Standard Technical Specifications and Drawings. Such conditions may include, but are not limited to, topography, natural resource areas, such as wetlands, ponds, streams, channels, rivers or lakes, or slopes exceeding 30%.	Complies.	<i>Refer to plans on file</i>

ii. Buildings or other existing development on adjacent lands, including previously subdivided but vacant lots or parcels, which obstruct a connection now and in the future.	Complies.	<i>Refer to plans on file</i>
Circulation Plan. A circulation plan shall be provided as part of a preliminary subdivision plat or site plan application.	Complies.	<i>Refer to plans on file</i>
The circulation plan shall include connections to adjacent parcels and shall address street, sidewalk, and trail connectivity and shall include facilities shown on the City's adopted Master Plans.	Complies.	<i>Refer to plans on file</i>
The circulation plan shall show the connectivity, block length dimensions, cul-de-sac length dimensions, bike and pedestrian trails, and any proposed traffic calming features.	Complies.	<i>Refer to plans on file</i>
The circulation plan shall include proposed connections to and across adjacent properties.	Complies.	<i>Refer to plans on file</i>

19.13 Process		
Regulation	Findings	
Neighborhood Meeting. Required before Planning Commission for any multi-family or non-residential development proposal adjacent to developed property in a residential zone. Inform the applicant when this is required.	<i>Not required</i>	
Notice/Land Use Authority.	<i>City Council</i>	
Master Development Agreement. A Master Development Agreement shall be required of any development that is in excess of twenty acres in size if non-residential or mixed-use or developments in excess of 160 acres in size if residential. A Master Development Agreement may also be required pursuant to this Title 19 including Chapter 19.26 or may be desirable or necessary pursuant to the exercise of the City Council's legislative discretion in the fact scenarios listed in Section 19.13.08.	<i>N/A</i>	
Phasing Improvements.	<i>N/A</i>	
Payment of Lieu of Open Space.	<i>N/A</i>	
Piping of Canals	For residential projects, piping of canals per canal company specifications if a canal or canal easement that area is adjacent to or within the area of the proposed residential project, unless the canal company or Bureau of Reclamation does not allow piping. Non-residential projects shall install secure fencing adjacent to canal easements or canals per canal company specifications to prevent entry from the non-residential project onto the canal or canal easement.	
Burial of Overhead Utility Lines	See Section 19.13.10	

19.14 Site Plan Review		
Regulation	Compliance	Findings
Approval Required: Site Plan approval shall be required for all developments which contain the following uses, together with any others for which it is required elsewhere in these Ordinances: 1. Any industrial use; 2. Any commercial use; 3. Any institutional use; 4. Two-Family Structures and Three-Family Structures; and	Complies.	<i>City Council is the land use authority for Site Plan approval</i>

5. A multi-family residential development.		
Site Plan Standards: The entire parcel area shall be built upon, landscaped, or paved in accordance with the zone's open space and parking requirements.	Complies.	<i>Refer to plans on file</i>
Utilities: All utility lines shall be underground in designated easements. No pipe, conduit, cable, water line, gas, sewage, drainage, steam, electrical, or any other energy or service shall be installed or maintained upon any lot outside of any building above the surface of the ground except during construction. <ul style="list-style-type: none"> a. Transformers shall be grouped with other utility meters where possible and screened with vegetation or fencing. b. Each contractor and owner or developer shall be responsible to know the whereabouts of all underground utilities. Protection of such utilities shall also be their responsibility. c. Prior to construction, contact must be made with Blue Stakes and any other utility company, public or private, not participating in Blue Stakes in the area to identify underground utility lines. d. Exception: electric power transmission lines of 46kV or above are not required to be placed underground. 	Complies.	<i>Refer to plans on file</i>
Grading and Drainage: Drainage from any lot must follow current City requirements to show on site retention and a maximum allowable discharge of 0.2 cubic feet per second (cfs) per acre. Drainage shall not be allowed to flow upon adjoining lots unless the owner of the lot upon which the water flows has granted an easement for such purpose. The Planning Commission must approve a Site Plan with grading, drainage, and clearing plans before any such activities may begin. Lot grading shall be kept to a minimum. Roads and development shall be designed for preservation of natural grade except as otherwise approved by the City Engineer based on standards and specifications.	Complies.	<i>Refer to plans on file</i>
Secondary Water System and Dedication of Water Shares: The applicant shall comply with the City's adopted Water Utility Ordinance and other adopted standards, regulations, and ordinances and shall dedicate to the City the amount of water specified in those adopted standards, regulations, and ordinances upon approval of the Site Plan.	Complies.	<i>Refer to plans on file</i>
Piping of Irrigation Ditches: All existing irrigation canals and ditches which are located on the site or straddle a site property line shall be piped with a sufficient size pipe and shall be approved by the City Engineer.	Complies.	<i>Refer to plans on file</i>
Preliminary Plat With Attached Units: When the proposed Site Plan includes attached units, the Site Plan submittal shall include a preliminary subdivision plat. Said plat shall include an ALTA survey of the property recorded with the Utah County Surveyor pursuant to the Utah Code, the proposed building locations, proposed floor plans and proposed elevations identifying each building in the development. Approval of the proposed Site Plan may occur simultaneously with the approval of the proposed preliminary plat.	N/A.	
Nuisances: All commercial uses shall be free from objectionable odors, noises, hazards, or other nuisances.	Complies.	<i>Refer to plans on file</i>
Residential Conversions: No existing residential dwelling or residential lot in any commercial or residential zone may be used or converted into a commercial use unless all of the standards set forth herein are met, including parking regulations, setbacks, landscaping, and architectural design.	N/A.	

Ownership Affidavit: A statement of ownership and control of the subject property and a statement describing the nature of the intended use.	Complies.	<i>Refer to plans on file</i>
Vicinity Map: A general location map indicating the approximate location of the subject parcel.	Complies.	<i>Refer to plans on file</i>
Context plan: A context plan shall include the existing features within 200 feet of the proposed Site Plan property line. Existing features include, but are not limited to, buildings, ingress and egress points, landscaping areas, pedestrian paths, and property names.	Complies.	<i>Refer to plans on file</i>
Site Analysis: A site analysis is a plan view drawing demonstrating land constraints and existing features. Existing features may consist of the presence of boulders, existing man-made features, significant trees, canals or ditches, access points or public rights-of-way, and existing conditions within 200 feet of the property line.	Complies.	<i>Refer to plans on file</i>
Survey: A survey prepared and stamped by a Utah registered land surveyor listing the metes and bounds legal description and the gross acreage within the subject parcel.	Complies.	<i>Refer to plans on file</i>
Compliance statement: A statement indicating how the proposed development complies with the City’s adopted Land Use Element of the General Plan.	Complies.	<i>Refer to plans on file</i>
<p>Final Construction Drawings containing, at a minimum, all items specified in the City’s “Standard Technical Specification and Drawings” manual. Applicant shall provide three full-size 24” x 36” copies and five 11 x 17 inch reductions as required on the application form, along with digital copies as outlined below.</p> <p>Additional copies may be required prior to adding the application to the Planning Commission agenda. Final Construction Drawings for a Site Plan is hereby required and shall be prepared and stamped by licensed or certified professionals including architects, landscape architects, land planners, engineers, surveyors, transportation engineers, or other professionals deemed necessary by the Planning Director. The City may require plans prepared by any or all of the above-noted professionals. A Site Plan application shall also contain the following :</p> <ul style="list-style-type: none"> i. locations, dimensions, floor plans, uses and heights of all proposed buildings and structures, including overhangs, porches, stairwells, and balconies, and the locations of all structures on adjoining properties; ii. access points, provisions for vehicular and pedestrian circulation on and off site, interconnection to adjacent sites, dimensions of such access and circulation, and pedestrian paths within 200 feet of the property boundary; iii. acceleration and deceleration lanes, and dimensions thereof, if required; iv. off-street parking and loading areas complying with the City’s off-street parking requirements contained in Chapter 19.09 of this Title; v. proposed outdoor display areas; vi. screening and buffering provisions, including types and heights of existing and proposed buffering and fencing elements; vii. location and treatment of refuse collection areas, storage areas, mechanical equipment, and external structures; viii. location, type, and size of all business and on-site circulation signage; 	Complies.	<i>Refer to plans on file</i>

<ul style="list-style-type: none"> ix. tabulation of square footage devoted to various land uses, ground coverage by structures, and other impervious surfaces; x. type of construction of all structures, presence or absence of fire sprinkling, and location of existing and proposed fire hydrants; xi. Established Grade of building area. 		
Final Hydraulic and Hydrological storm drainage report and calculations. location of all existing and proposed secondary irrigation systems, both on site and on adjacent properties, including ditches, pipes, and culverts;	Complies.	<i>Refer to plans on file</i>
Final Traffic report: Said report shall comply with the standards outlined in the City's adopted Transportation Master Plan and shall include, but not be limited to, the following: <ul style="list-style-type: none"> i. an analysis of the average daily trips generated by the proposed project; ii. an analysis of the distribution of trips on City street systems; iii. a description of the type of traffic generated; and iv. recommendations on what mitigation measures should be implemented with the project to maintain a level of service for existing and proposed residents acceptable to the City. 	Complies.	<i>Refer to plans on file</i>
Data table including: <ul style="list-style-type: none"> i. total project area ii. total number of lots, dwellings, and buildings iii. square footage of proposed building footprints and, if multiple stories, square footage by floor iv. number of proposed garage parking spaces v. number of proposed surface parking spaces vi. percentage of buildable land vii. acreage of sensitive lands and what percent sensitive lands comprise of total project area and of open space area viii. area and percentage of open space or landscaping ix. area to be dedicated as right-of-way (public and private) x. net density of dwellings by acre (sensitive lands must be subtracted from base acreage). xi. number of off-street parking spaces (e.g., number of proposed garage parking spaces, number of proposed surface parking spaces, etc.) 	Complies.	<i>Refer to plans on file</i>
Landscaping Plan: A landscaping plan, prepared and stamped by a licensed landscape architect, indicating the location, spacing, types, and sizes of landscaping elements and existing trees, and showing compliance with the City's off-street parking requirements, the City's design guidelines and policies, and the requirements of the appropriate zone.	Shall Comply.	<i>Refer to redlines on plans</i>
Lighting Plan: A lighting plan indicating the illumination of all interior areas and immediately adjoining streets showing the location, candle power, and type of lighting proposed, and in conformance with the City's lighting standards. An individual photometric plan is also required.	Shall Comply.	<i>Refer to redlines on plans</i>
Elevations: The elevations of all proposed buildings, fences, and other structures viewed from all sides indicating height of structures, the average finished grade of the site at the foundation area of all structures, percentage of building materials proposed, and color of all materials. A board showing building colors and materials is required.	Complies.	<i>Refer to plans on file</i>
Signage Plan: An overall signage plan shall be approved during the Site Plan approval process. All information to be provided for the sign	Complies.	<i>Refer to plans on file</i>

approval shall be submitted concurrent with Site Plan application materials, consistent with the requirements in Section 19.18.		
Fee: A fee set by resolution of the City Council shall accompany the application for any Site Plan review.	Complies.	<i>Refer to plans on file</i>
Public Notice and Hearing: All site plans shall comply with the noticing and public hearing requirements of Section 19.13, and applicants shall pay the cost to post and mail required notice to property owners.	Complies.	<i>Refer to plans on file</i>
Development or Bond Agreement: A development agreement and bond agreement shall be required based on the conditions, requirements, findings, and recommendations made by the City Council. The development agreement and bond agreement shall also be based on requirements of the City Code and legal requirements as specified by the City Attorney. The City Council may determine that a development agreement is not required, but in all cases a bond agreement shall be required. A development agreement is not required when conditions, requirements, findings, and recommendations are all consistent with Title 19 requirements unless the City Council, in exercising its legislative authority pursuant to Utah Code § 10-9a-102, determines that a development agreement is necessary to further the public health, safety, or welfare or any other legitimate purpose outlined in Utah Code § 10-9a-102(1).	Complies.	<i>Refer to plans on file</i>
Considerations Relating to Traffic Safety and Traffic Congestion: <ul style="list-style-type: none"> i. the effect of the site development plan on traffic conditions on adjacent street systems; ii. the layout of site with respect to location and dimensions of vehicular and pedestrian entrances, exits, driveways, and walkways; iii. the arrangement and adequacy of off-street parking facilities to prevent traffic congestion and compliance with the provisions of Chapter 19.09, off-street parking requirements; iv. the location, arrangement, and dimensions of truck loading and unloading facilities; v. the circulation patterns within the boundaries of the development; and vi. the surfacing and lighting of off-street parking facilities. 	Complies.	<i>Refer to plans on file</i>
Considerations Relating to Outdoor Advertising: Outdoor advertising shall comply with the provisions of Chapter 19.18.	Complies.	<i>Refer to plans on file</i>
Consideration Relating to Landscaping: <ul style="list-style-type: none"> i. the location, height, and materials of walls, fences, hedges, and screen plantings to ensure harmony with adjacent development, to provide buffer areas, or to conceal storage areas, utility installations, or other unsightly development; ii. the requirements of Chapter 19.06; iii. the planting of ground cover or other surfaces to prevent dust and erosion; and iv. the unnecessary destruction of existing healthy trees. 	Complies.	<i>Refer to plans on file</i>
Considerations Relating to Buildings and Site Layout: <ul style="list-style-type: none"> i. the general silhouette and mass, including location on the site, elevations, and relation to natural plan coverage, all in relationship to the character of the neighborhood; ii. the exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing the street, line and pitch of roofs, and the arrangement of structures on the parcel; iii. compliance with the City's Architectural design standards. 	Complies.	<i>Refer to plans on file</i>

The effect of the site development plan on the adequacy of the storm and surface water drainage.	Complies.	<i>Refer to plans on file</i>
Adequate water pressure and fire flow must be provided on the site as required by the applicable fire code.	Complies.	<i>Refer to plans on file</i>
The proposed project shall comply with the City's adopted Land Use Element of the General Plan, Land Use Ordinance, land development regulations, architectural guidelines, and all other adopted ordinances, regulations, policies, and standards.	Complies.	<i>Refer to plans on file</i>
Trails Master Plan: Shows required trails	Complies.	<i>Refer to plans on file</i>

19.16 Site and Architectural Design Standards

General Site Design Standards

Regulation	Compliance	Findings
Pedestrian Connectivity: All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.	Complies.	<i>Refer to plans on file</i>
Safe pedestrian connections shall be made between buildings within a development, to any streets adjacent to the property, to any pedestrian facilities that connect with the property, when feasible between developments, and from buildings to the public sidewalk to minimize the need to walk within the parking lot among cars.	Complies.	<i>Refer to plans on file</i>
Non-residential and residential developments shall provide pedestrian connections that lead to the building entrances of adjacent non-residential and residential sites and shall stub to adjacent undeveloped property to allow for future connections.	Complies.	<i>Refer to plans on file</i>
All pedestrian connections shall be shown on the related site plan or plat.	Complies.	<i>Refer to plans on file</i>
Parking Areas: On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria: <ul style="list-style-type: none"> i. The use is a big box with outparcels helping to screen parking, or ii. At least 50% of the parking is located to the side or rear of the building, or iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings, or iv. That portion of development that lies within the Waterfront Buffer Overlay, or v. The development is Office, Warehouse/Flex space and when loading docks are not adjacent to a public right-of-way. Exception: when a lot with Office, Warehouse/Flex space is adjacent to more than one public street, loading docks may face the lower classification of the streets. 	Complies.	<i>At least 50% of parking is located to the side or rear of the building</i>
Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.	Complies.	<i>Refer to plans on file</i>
Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of 3' as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.	Complies.	<i>Refer to plans on file</i>

Acceleration and Deceleration Lanes: Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.	Complies.	<i>Refer to plans on file</i>
Parking Structures: Parking structures shall be architecturally consistent with the project buildings, including the use of the same primary finish materials as the exterior of the adjacent or adjoining buildings.	N/A.	
When placement of parking structures along site frontages is necessary, visual mitigation such as landscape buffers, upper-level setbacks, or additional architectural treatment shall be used.	N/A.	
The view of a parking structure from a public street shall be minimized by placing its shortest dimension along the street edge.	N/A.	
The top deck of parking structures shall include screen walls, periphery landscape islands, or similar features where visible from public view in order to soften the appearance of the top of the parking structure and screen the view of cars on the top deck of the structure.	N/A.	
All top deck lighting shall be screened and directed downward to avoid light spill onto the street below and shall consist of only bollards or building lighting. Light poles are prohibited.	N/A.	
Trash Enclosures, Storage Areas, and External Structures: Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.	Complies.	<i>See Sheet SP501</i>
Service yards, refuse and waste-removal areas, loading docks, truck parking areas and other utility areas shall be screened from view by the use of a combination of walls, fences, and dense planting. Screening shall block views to these areas from on-site as well as from public rights of way and adjacent properties. This does not apply to Municipal Buildings.	Complies.	<i>See Sheet SP501</i>
All trash dumpsters shall be provided with solid enclosures. b. Enclosures shall be composed of 6' high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain-link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.	Complies.	<i>See Sheet SP501</i>
Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a 3' landscaped buffer shall be provided that does not impede access into and out of vehicles.	Complies.	<i>See Sheet LP100</i>
These areas shall be well maintained and oriented away from public view. The consolidation of trash areas between buildings is encouraged. The use of modern disposal and recycling techniques is encouraged. This section shall not apply to community or public recycling bins or drop boxes; however, the location shall be determined by city Staff in accordance with the standards herein.	Complies.	<i>See Sheet C1.1</i>
Utility Boxes: Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.	Complies.	<i>See Sheet LP100</i>
Interconnection. Interconnection shall occur via pedestrian and vehicular connections. All parking and other vehicular use areas shall be interconnected with, or stubbed to, all adjacent non-residential developed and undeveloped properties, as designated on the land use map or the zoning map, in order to allow maximum off-street vehicular	Shall Comply.	<i>The property to the east shall be designed in order to allow maximum off-street vehicular circulation.</i>

circulation. Walkways and trails shall be connected to adjacent sites and stubbed for future development. All residential site plans shall meet 19.12 Connectivity Standards.		
Site Design Standards: Non-Residential Development		
Shopping Cart Corrals: Shopping cart corrals are required for big box or mid box retail uses. Roof covers are recommended as the local climate includes wind, rain, and winter snow conditions. If roof covers are utilized they shall blend in with the established building design.	N/A.	
The shopping cart corral rail finish shall match or compliment the exterior finishes of the main building through the use of two out of three of the same exterior colors and finishes.	N/A.	
Uses Within Buildings: All uses established in any commercial, office warehouse, business park, or industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the City Council to be customarily and appropriately conducted in the open. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses.	Complies.	<i>Refer to plans on file</i>
Outdoor Display: All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.	Complies.	<i>No outdoor display proposed</i>
All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.	Complies.	<i>No outdoor display proposed</i>
Display areas shall not block building entries or exits, pedestrian walks, or parking spaces in front of the building. Outdoor display areas shall not spill into walkways or any drive aisle adjacent to a building.	Complies.	<i>No outdoor display proposed</i>
Seasonal uses outside of these areas may be approved through the Temporary Use process.	Complies.	<i>No outdoor display proposed</i>
Outdoor Storage Standards: Outdoor storage areas shall be located to minimize views from adjacent public rights-of-way, residential development or zones, and adjacent developments. They shall be located behind or to the side of buildings.	N/A.	<i>No outdoor storage proposed</i>
Outdoor storage shall be screened from public view. Screening shall consist of a solid wall, excluding CMU blocks. Screening shall be a minimum of 6 feet high and may reach a maximum height of 20 feet subject to approval by the Land Use Authority. A building permit is required for all fencing or walls higher than 7 feet. Chain link fencing is prohibited.	N/A.	<i>No outdoor storage proposed</i>
The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.	N/A.	<i>No outdoor storage proposed</i>
A landscape strip with a minimum width of five feet shall be installed next to the screening fence or wall when the storage area is adjacent to or visible from a public right-of-way.	N/A.	<i>No outdoor storage proposed</i>
Outdoor storage materials must be stored in an orderly manner such that fire codes are met and access to all areas of the yard is possible (e.g. access lanes).	N/A.	<i>No outdoor storage proposed</i>
The outdoor storage materials may not extend above the height of the fence or wall.	N/A.	<i>No outdoor storage proposed</i>
Access Requirements: a. Each roadway shall not be more than 40' in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and	Complies.	<i>Refer to plans on file</i>

b. the entire flare of any return radii shall fall within the right-of-way.		
Off-Street Truck Loading Space: Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.	Complies.	<i>No loading areas proposed</i>
Screening of Storage & Loading Areas: To alleviate the unsightly appearance of loading facilities, these areas shall not be located on the side(s) of the building facing the public street(s). Such facilities shall be located interior to the site. This does not apply to Municipal Buildings	Complies.	<i>No loading areas proposed</i>
Screening for storage and loading areas shall be composed of 6' high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.	Complies.	<i>No loading areas proposed</i>
Gates shall be made of opaque metal for durability. Chain-link gates with opaque slats are prohibited.	Complies.	<i>See Sheet SP501</i>
The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.	Complies.	<i>See Sheet SP501</i>
Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).	Complies.	<i>See Sheet SP501</i>
Buffers: A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least 6' in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
No chain-link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are suggested types of fences, and as circumstances require, one or the other may be required.	N/A.	
Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than 6' in height.	N/A.	
Parking Lot Buffers: There shall be a minimum of 10' of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
Building Buffer: No building shall be closer than 5' from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.	Complies.	<i>See Sheet C1.1</i>
Change in Grade Buffer: Where a proposed change in grade would increase the elevation of a non-residential development adjacent to existing residential development greater than three feet (3'), a buffer shall be established adjacent to the existing residential development, as follow:		
An increased setback requirement of two feet (2') per one-foot (1') of elevation change, as measured by the difference between the existing finished floor elevation of the nearest building on the residential property and the proposed finish floor elevation of the nearest non-residential building. The increased setback requirement shall be in addition to the existing setback requirement.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>

A six-foot (6') masonry wall shall be required along the property line between the uses.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
One (1) tree shall be required per 15 linear feet along the property line to provide additional screening and privacy.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
No drive-thru lanes shall be permitted within the setback area.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
This buffer shall be in addition to any other required buffers.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
Exceptions: The buffer shall not be required in areas where a non-residential development is separated from an existing residential development by a roadway, a canal, or a 20-foot or wider trail corridor or powerline easement.	N/A.	<i>Development does not border an existing agricultural or platted residential use</i>
General Architectural Design Standards		
General standards do not apply one-family and two-family dwellings unless governed under a DA.		
Building Articulation: Building elevations exceeding 40' in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts, stepping portions of the elevation to create shadow lines and changes in volumetric spaces of at least five feet, and a minimum of two of the following, all spaced at intervals of 20' to 50' of horizontal width: <ul style="list-style-type: none"> i. A combination of vertical and horizontal elevation shifts that together equal at least 5'. ii. Addition of horizontal and vertical divisions by use of textures or materials. iii. Primary material change. iv. Addition of projections such as balconies, cornices, covered entrances, porte-cocheres, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36". v. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs, gables or other similar devices. 	Complies.	<i>Refer to elevations</i>
Roof Treatment: Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.	Complies.	<i>Refer to elevations</i>
Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12" in height above the roof.	Complies.	<i>Refer to elevations</i>
All roofs on three-family and multi-family dwellings shall have a minimum pitch of 3/12 (25% slope). To provide architectural enhancement, residential structures are encouraged to have multiple pitch variations.	N/A.	
Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.	Complies.	<i>Noted on elevations</i>
Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.	Complies.	<i>Noted on elevations</i>

Windows: Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.	Complies.	<i>Refer to plans on file</i>
Awnings, Canopies, Trellises, Pergolas, and Similar Features: All such features must be attached to a vertical wall.	Complies.	<i>Refer to plans on file</i>
All such features shall project at least 4' from the building when located over a pedestrian traffic area and no less than 2' otherwise.	Complies.	<i>Refer to plans on file</i>
All such features shall maintain a minimum clearance above sidewalk grade of 8' to the bottom of the framework when located over a pedestrian traffic area.	Complies.	<i>Refer to plans on file</i>
Backlighting is not permitted.	Complies.	<i>Noted on elevations</i>
Mechanical Equipment: All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.	Complies.	<i>Noted on elevations</i>
Wing walls, screens, or other enclosures shall be integrated into the building and landscaping of the site, whether located on the ground or roof.	Complies.	<i>Noted on elevations</i>
Rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.	Complies.	<i>Noted on elevations</i>
Screening materials shall conform to the color scheme and materials of the primary building.	Complies.	<i>Noted on elevations</i>
Non-Residential Architectural Design Standards		
Four Sided Architecture: All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.	Complies.	<i>Refer to plans on file</i>
Color and Materials: Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building, window and door openings excluded.	Complies.	<i>Refer to plans on file</i>
Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per development.	Complies.	<i>Refer to plans on file</i>
Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.	Complies.	<i>Refer to plans on file</i>
No more than 75% of any building elevation shall consist of any one material or color. i. No more than 50% of any building elevation shall consist of CMU, except in the Office Warehouse and Industrial zones, or ii. Office, Warehouse, Flex buildings in approved zones that utilize concrete tilt up construction are exempt from the maximum 75% of one material per elevation requirement but must follow all other architectural standards.	Complies.	<i>Refer to plans on file</i>
Prohibited Materials: Tiles. Full veneer brick and tiles exceeding ½" in thickness is permitted, however veneer tile is prohibited. Stucco stone patterns and stucco brick patterns. Wood as a primary exterior finish material. Plain, grey, unfinished CMU block except as an accent material.	Complies.	<i>Refer to plans on file</i>
Stairways: All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.	Complies.	<i>Noted on elevations</i>
Roof Drains: All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.	Complies.	<i>Noted on elevations</i>

Electrical Panels: To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.	Complies.	<i>Noted on elevations</i>
Street Orientation: All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.	Complies.	<i>Refer to plans on file</i>
At least 35 percent of the first-floor elevation(s) of a building that is viewed from a public street shall include windows, and/or glass doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere. For purposes of determining the glass area, the first floor shall be the first 10 feet from the finished floor. This standard does not apply to a single-story retail building of 50,000 square feet or greater provided a single primary tenant occupies the entire building square footage and additional architectural elements are used in place of windows and/or glass doors to include awnings or canopies, and must include roof line changes and horizontal articulation.	Complies.	<i>Refer to plans on file</i>
Metal Buildings: Metal buildings are only permitted in the Agricultural, Residential Agricultural, Rural Residential, Office Warehouse and Industrial Zones.	Complies.	<i>Refer to plans on file</i>
All metal buildings shall be designed to have an exterior appearance of conventionally built structures. Stock, “off the shelf” metal buildings are prohibited.	Complies.	<i>Refer to plans on file</i>
Metal buildings in the Agricultural, Residential Agricultural, and Rural Residential zones shall only be used for agriculture as defined in Section 19.02.02 of the City Code.	Complies.	<i>Refer to plans on file</i>

19.18 Signs		
Regulation	Compliance	Findings
Site Plans require signage information (if tenant known, show location potential location size)	Complies.	<i>Refer to sheet A201</i>
Monument sign location meets code and sign details provided	Complies.	<i>No monument signs proposed</i>
Wall signs and potential locations and details	Complies.	<i>Refer to sheet A201</i>

19.27 Addressing and Street Naming		
Double Check all Addresses after GIS Assigns Them		
Regulation	Compliance	Findings
WebApp to Review Addresses assigned by GIS: https://ssgis.maps.arcgis.com/apps/webappviewer/index.html?id=b4786008c6dd420ab06445cd8d5e5fe0		
Lot Numbers: Are they correct and sequential. Lot numbers shall not be duplicated in separate phases/plats in the same development. i.e. Phase 1 and Phase 2 shall not have Lot 101.	Complies.	<i>Refer to plans on file</i>
Address Numbers: is it accurate and sequential and does it fit between the intersection coordinates	Complies.	<i>Refer to plans on file</i>
Compare Surrounding Addresses: do the addresses work with surrounding addresses? Are there any repetitions in address numbers? Do the street names match and line up with streets in other plats and across intersections?	Complies.	<i>Refer to plans on file</i>
Double Access Lots and Corner Lots. These types of lots should have an address on each road frontage, unless front door access is not allowed. If a front door is allowed, but not a driveway, this should be clear on the plat.	N/A.	
No Access on Double Frontage of Lots: The plat should state what this means. No driveway and no front door, or just no driveway	N/A.	

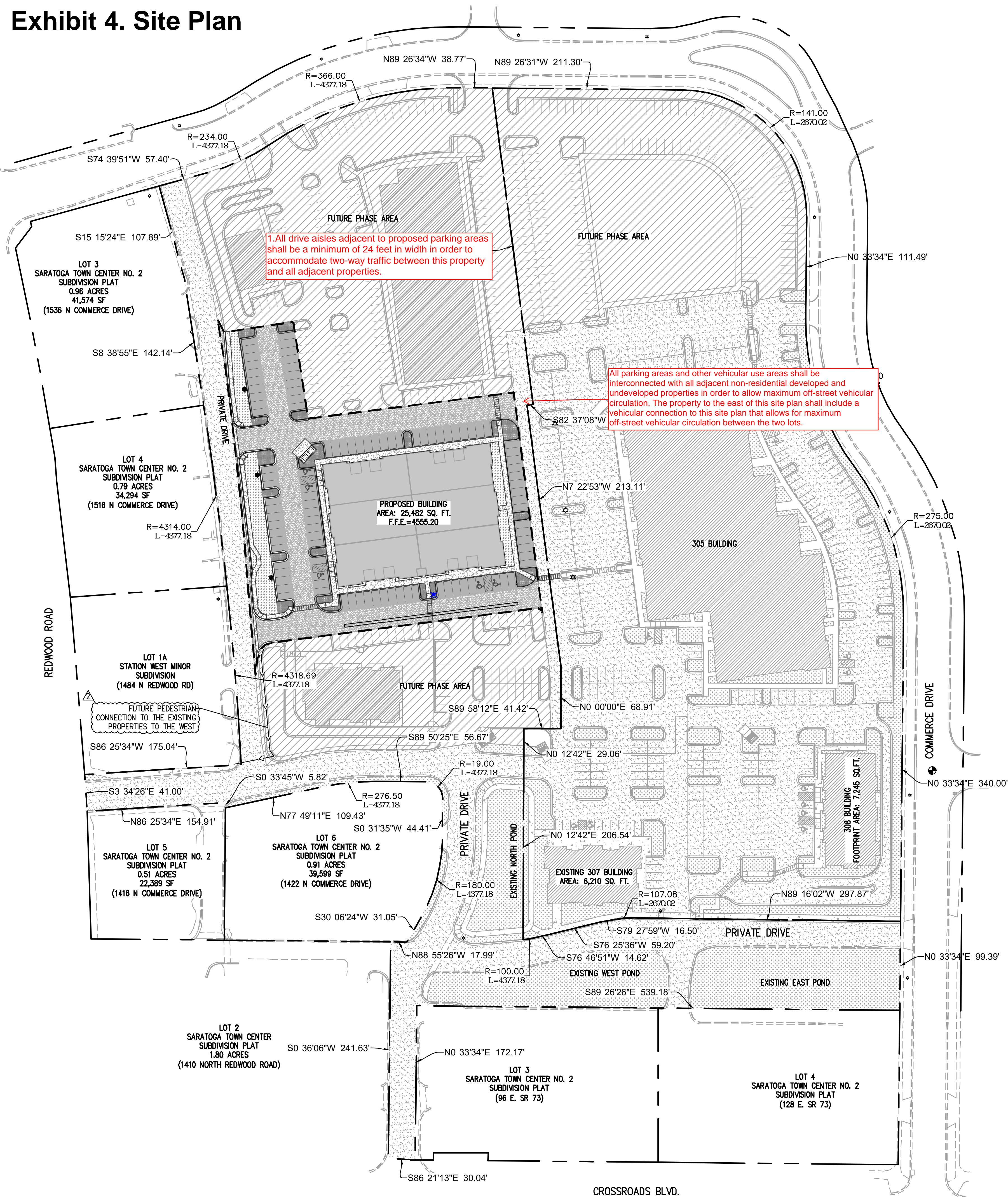
Alternate Addresses: are they in the right location on the lot and do they make sense concerning lots that have no access. What does “no access mean”?	N/A.	
Rear Load: Meet with Brian to review every time there is a rear-load product.	N/A.	
Rear Load: label “FRONT” to identify which side is the front, but check grading to see if the units can be accessed from the front.	N/A.	
Grading/Slope: Does the grade in front of rear-load product allow for front door access for EMT and deliveries?	N/A.	
New Address: street names shall be proposed by the developer and approved by City staff. Street coordinates and house numbers shall be approved by City staff and placed on the final subdivision plat by the developer before plat recordation.	N/A.	
Duplicate Street Names: No duplication of street names or numbers shall be used. No phonetic duplications shall be used (same name, spelled differently). If a street is terminated by unimproved land and continues on the same bearing beyond the unimproved land, it should continue with the same name.	N/A.	
Continuity. Proposed street names are encouraged to have the following characteristics: Historic significance, local sense of places, overall theme, compatibility with adjacent streets	N/A.	
Compass Directions. The four compass directions shall not be used as part of the street name.	N/A.	
Name Length. Street names shall not be longer than thirteen letters, including spaces between letters. (this does not include the street type designator)	N/A.	
Street Type Designations. Proposed street names and types shall be matched as follows: a. Boulevard (Blvd), Parkway (Pkwy): This name may only be used for arterials and collectors.. b. Drive (Dr), Way (Wy): Meandering, curvilinear, or diagonal street usually longer than 1000 feet. c. Road (Rd): Limited streets that may run in a direction and are most always longer than 1000 feet. d. Streets (St), Avenues (Ave): Straight directional streets. e. Lanes (Ln), Row: Short collector or minor streets which are usually less than 1000 feet in length. May be used in names for private rights-of way. f. Circle (Cir), Court (Ct), Place (Pl), Cove (Cv): Permanent dead end streets or cul-de-sac streets usually less than 600 feet in length and containing three or more lots or separate dwelling structures. g. Center (Cntr) and Mall: Designations reserved for high density commercial developments with multiple structures and occupancies that can be substituted for the street type designator in an assigned address.	N/A.	
Street and Property Numbering. Each street, lot, unit, dwellings, or parcel in the site plan or plat shall be addressed according to the following standards:	Complies.	<i>Refer to plans on file</i>
1. All street intersections shall be addressed numerically. Street intersection numbers shall end with a “0” or a “5” and with “North,” “South,” “East,” or “West”.	Complies.	<i>Refer to plans on file</i>
2. Where possible, property addresses shall be odd on the south and west sides of a street.	Complies.	<i>Refer to plans on file</i>

3. Where possible, property addresses shall be even on the north and east sides of a street.	Complies.	<i>Refer to plans on file</i>
4. Property addresses for IADUs (see Chapter 19.20), ADUs, stacked multi-family, dwelling above commercial, commercial/retail, or office building that have multiple users shall be identified by a single address, and the individual units shall have a unique identifier such as suite, apartment, dwelling, or unit number.	N/A.	
5. Dual addresses on corner lots will be assigned at plat recordation. At Building Permit issuance, one address shall be permanently assigned.	Complies.	<i>Refer to plans on file</i>
6. Buildings that are hidden behind other buildings or do not have public frontage, shall be numbered from the centerline of the principal access or driveway.	Complies.	<i>Refer to plans on file</i>
7. City Staff shall assign numbers to site plans before final site plan approval, based on the above standards.	Complies.	<i>Refer to plans on file</i>
8. If a unit faces a street, it shall be numbered on that street. If a unit faces open space, it shall be numbered to the alley way.	Complies.	<i>Refer to plans on file</i>
Building Identification. All buildings shall have approved address numbers, and such numbers shall be identified using the following standards:	Shall Comply.	<i>TBD at Building Inspection</i>
1. Background. Numbers shall be set on a background of a contrasting color.	Shall Comply.	<i>TBD at Building Inspection</i>
2. Size. Residential building numbers shall be at least four inch tall block letters. All building numbers shall be of sufficient size so as to be legible from the street or private road. Non-residential buildings shall use Western Arabic numbers or alphabetic letters that are a minimum four inches high with a minimum stroke width of 0.5 inch, installed on a contrasting background and be plainly visible from the street or road fronting the property.	Shall Comply.	<i>TBD at Building Inspection</i>
3. Visibility. Numbers shall be placed in a position that is plainly legible and visible from the street or road fronting the property. When a building is at a distance greater than the required setback from a street or when view of the building is blocked by trees or shrubs, numbers shall be displayed on a sign attached to a fence, gate, street mailbox, or lawn stake, in addition to being placed on the building. a. Stacked multi-family structures, condominiums, commercial, office, or institutional building numbers shall be placed in a prominent location at the main entrance of such buildings. b. Interior suites, apartments, units, or offices shall be clearly identified in a logical numeric or alphabetic sequence. c. Attached side-by-side town homes, commercial, office, or institutional buildings adjacent to a public or private street shall have individual addresses for each unit building numbers or letter with associated unit numbers. Developments with buildings that do not have direct access to a public or private street shall use one address from the public or private street, and each unit shall have a number or letter, such as 1, 2, 3 or A, B, C and so on. with building numbers or letters and associated unit numbers. d. Stacked multi-family structures, commercial, office, or institutional buildings shall have one address facing a public or private street and each unit shall have a number or letter such as 1, 2, d, or A, B, C and so on. with an individual building number or letter with associated unit numbers.	Shall Comply.	<i>TBD at Building Inspection</i>

<p>e. Townhomes, three-family dwellings, two-family dwellings, commercial, office, or institutional buildings that have a front door that faces a public or private road and a driveway or parking access from a rear alley shall number only attach address numbers to the front of each unit and not the rear.</p> <p>f. Townhomes, three-family dwellings, two-family dwellings, commercial, office, or institutional buildings that have a front door that faces open space or another building and have a driveway or parking access from a rear alley shall number both the front and back of each unit. The applicant shall verify that address numbers are not duplicated in units that are across the green space or across the alley.</p>		
---	--	--

Fiscal Impact	
Regulation	Findings
Is there any City maintained open space?	<i>No</i>
What is the anticipated cost to the City?	<i>None</i>
When will City maintenance begin?	<i>N/A</i>

Exhibit 4. Site Plan



COMPLIANCE NOTE: THIS PROJECT COMPLIES
WITH THE CITY'S ADOPTED LAND USE
ELEMENT OF THE GENERAL PLAN

ADA NOTE: ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.










NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

OUTDOOR DISPLAY NOTE:

1. ALL RETAIL PRODUCT DISPLAYS SHALL BE LOCATED UNDER THE BUILDING'S DISPLAY PADS WITHIN FRONT LANDSCAPE AREAS.
2. ALL DISPLAY AREAS SHALL BE CLEARLY DEFINED ON THE APPROVED SITE PLAN AND DESIGNATED ON THE SITE WITH A CONTRACTING COLORED, PAINTED, OR STRIPED SURFACE.
3. DISPLAY AREAS SHALL NOT BLOCK BUILDING ENTRIES OR EXITS, PEDESTRIAN WALKS, OR PARKING SPACES IN FRONT OF THE BUILDING. OUTDOOR DISPLAY AREAS SHALL NOT SPILL INTO WALKWAYS OR ANY DRIVE AISLE ADJACENT TO A BUILDING.

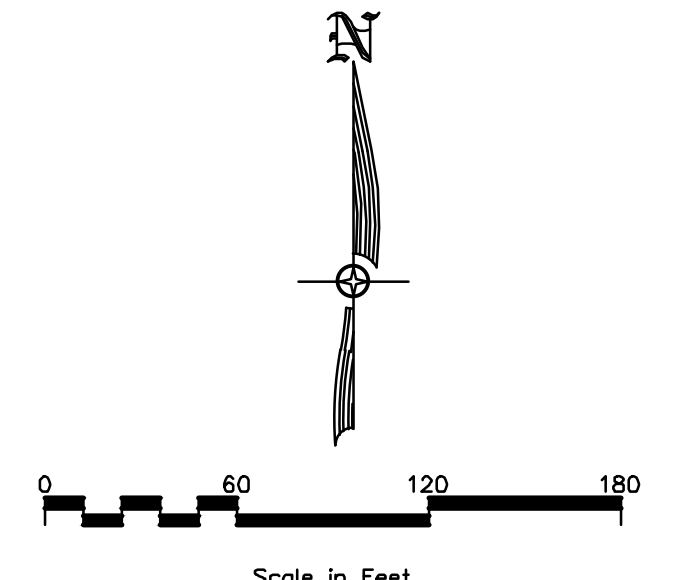
NOTE:
ANY IMPROVEMENTS SHOWN WITHIN THE
FUTURE PHASE AREA OF THE SITE ARE
SHOWN FOR REFERENCE ONLY. NO
CONSTRUCTION IS BEING PROPOSED IN THE
FUTURE PHASE AREA AT THIS TIME.

DETENTION NOTE:
SEE DRAINAGE REPORT FOR ALL DRAINAGE
CALCULATIONS.

LOT AREAS:		SQ. FT. / ACRES
LOT		349,531 SQ. FT. / 8.02 ACRES
	BUILDING FOOTPRINT	25,482 SQ. FT. / 0.58 ACRES
	PROPOSED ASPHALT	41,108 SQ. FT. / 0.94 ACRES
	EXISTING ASPHALT	66,094 SQ. FT. / 1.52 ACRES
	TOTAL LANDSCAPING	50,455 SQ. FT. / 1.16 ACRES
	PARKING LANDSCAPING	3,228 SQ. FT. / 0.07 ACRES
	REMAINING LANDSCAPING	6,506 SQ. FT. / 0.15 ACRES
	EXISTING LANDSCAPING	40,720 SQ. FT. / 0.93 ACRES
	PROPOSED CONCRETE	12,346 SQ. FT. / 0.28 ACRES
	EXISTING CONCRETE	8,647 SQ. FT. / 0.20 ACRES
	FUTURE PHASE	145,398 SQ. FT. / 3.34 ACRES




LOT LANDSCAPING AREAS:		
	SQ. FT.	CITY REQ'T
PARKING AREA	39,746 SQ. FT.	
PARKING AREA LANDSCAPING REQ'D)	3,228 SQ. FT.	(5% OF PARKING AREA: 1,987 SQ. FT.
TOTAL LANDSCAPING	50,455 SQ. FT.	(20% OF LOT: 69,906 SQ. FT. REQ'D) REMAINING LANDSCAPING WILL BE PROVIDED IN FUTURE PHASE AREAS

LOT PARKING REQUIREMENTS:			
	SQ. FT.		CITY REQ'MT
RECREATION FACILITY	25,482	SQ. FT.	54 (101.93)(4 STALLS/1000)
TOTAL REQUIRED:			102 (101.93)
TOTAL PROVIDED:			102
ACCESSIBLE SPACES			5 (5 REQ'D 101 TO 150)



SEE COVER SHEET FOR PROJECT LEGEND

SHEET LEGEND

-  ASPHALT PAVEMENT SECTION (PARKING AREA)
SEE DETAIL 9/C4.0
-  ASPHALT PAVEMENT SECTION (ROADWAY AREA)
SEE DETAIL 10/C4.0
-  PROJECT AREA BOUNDARY

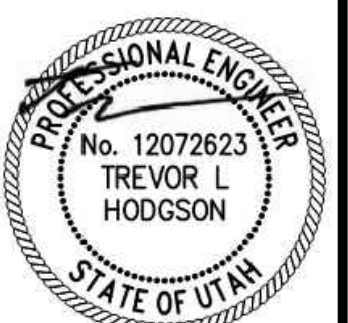
DESIGNER: TLH		PROJECT ENGINEER: TLH	
NO.	REVISIONS	BY	DATE
1	COMMENTS	TLH	09/26/25
2	COMMENTS	TLH	11/18/25
3	COMMENTS	TLH	12/30/25

**CIVIL ENGINEERING
+ SURVEYING**

CIR
10718 SOUTH B
SOUTH JORDAN,

SARATOGA TOWN CENTER—304
1508 NORTH REDWOOD ROAD, SARATOGA SPRINGS, UT 84045

OVERALL SITE PLAN

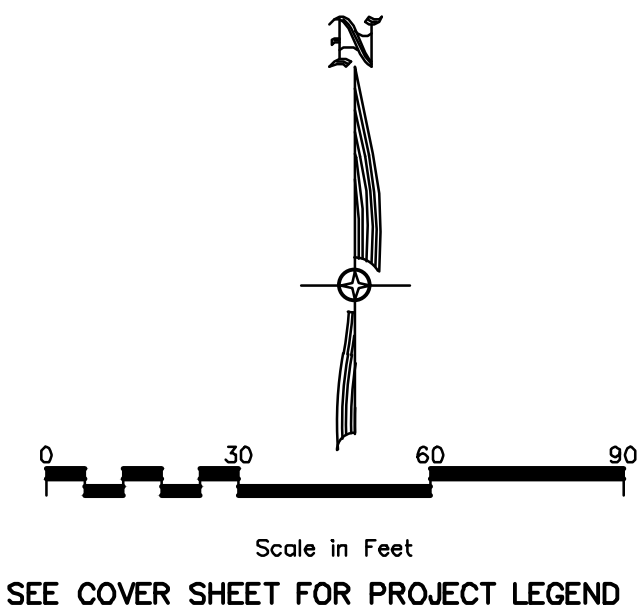


SHEET NO. C1.0	
PROJECT ID E24-021	DATE: 04/30/25
FILE NAME: PRJ-TC4	SCALE: 1"=60'





- SITE PLAN NOTES:**
- 1 PROPOSED 24" CURB & GUTTER. SEE CITY DETAIL ST-2B ON SHEET C4.3.
 - 2 PROPOSED 24" FALL-OUT CURB & GUTTER. SEE CITY DETAIL ST-2D ON SHEET C4.3.
 - 3 PROVIDE A SMOOTH TRANSITION FROM CURB & GUTTER TO FALL-OUT CURB & GUTTER. MIN LENGTH 3'.
 - 4 PROPOSED FIRE HYDRANT. SEE SHEET C3.0 FOR DETAILS.
 - 5 SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH INTO.
 - 6 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 6/C4.0.
 - 7 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 2/C4.0.
 - 8 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 1/C4.0.
 - 9 TAPER PROPOSED CURB & GUTTER TO ASPHALT, SEE DETAIL 5/C4.0.
 - 10 INSTALL TRASH ENCLOSURE. SEE SHEET A100 OF THE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - 11 INSTALL 5' WIDE PAINTED PEDESTRIAN WALKWAY.
 - 12 INSTALL 5' SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET 4.2.
 - 13 EXISTING CURB & GUTTER.
 - 14 PROPOSED ADA SIGN. SEE DETAIL 7/4.0.
 - 15 CLEAR SIGHT TRIANGLE.
 - 16 ADA RAMPS ARE TO BE INSTALLED PER SARATOGA SPRINGS STANDARD DETAIL ST-5E.
 - 17 INSTALL 3' WIDE ROLL GUTTER. SEE DETAIL 11/C4.0.
 - 18 INSTALL CONCRETE WHEEL STOP. (TYP.)



SHEET LEGEND

→ ADA ROUTE

NOTE:
ANY IMPROVEMENTS SHOWN WITHIN THE FUTURE PHASE AREA OF THE SITE ARE SHOWN FOR REFERENCE ONLY. NO CONSTRUCTION IS BEING PROPOSED IN THE FUTURE PHASE AREA AT THIS TIME.

ADA NOTE: ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

DETENTION NOTE:
SEE DRAINAGE REPORT FOR ALL DRAINAGE CALCULATIONS.

COMPLIANCE NOTE: THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN

NOTE:
OVERHEAD DOORS ARE NOT LOADING BAYS.

1	COMMENTS	DATE	BY	DATE
1	COMMENTS	09/26/25		
2	COMMENTS	11/18/25		
3	COMMENTS	12/30/25		
NO	REVISIONS			
DESIGNER: TLH	PROJECT ENGINEER: TLH			

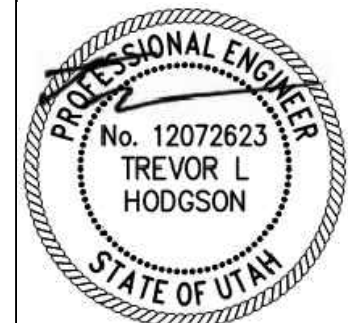
CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

SARATOGA TOWN CENTER-304
1508 NORTH REDWOOD ROAD, SARATOGA SPRINGS, UT 84045

SITE PLAN



SHEET NO.	C1.1
PROJECT ID	E24-021
DATE	04/30/25
FILE NAME	PRJ-TC4
SCALE	1"=30'

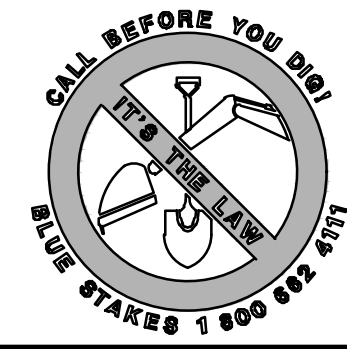
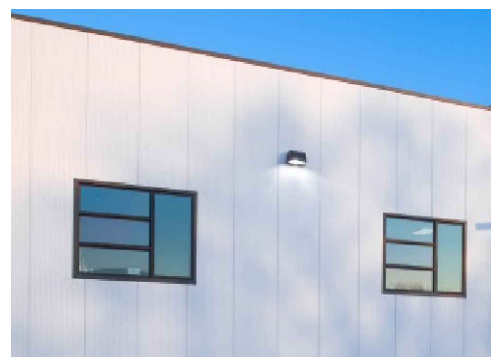
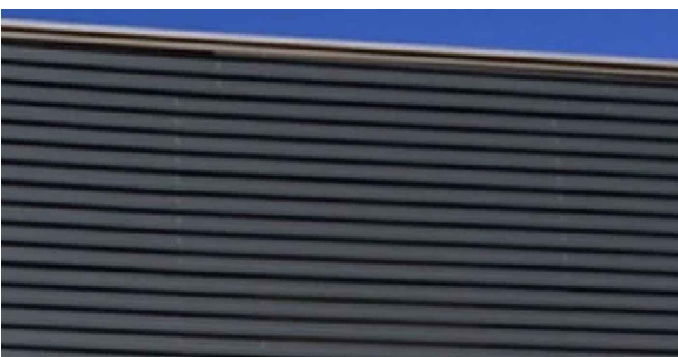


Exhibit 5. Building Elevations



DOVE GRAY IMP WALL PANEL
WITH BRNZ. ANOD. ALUM. WINDOWS



CHARCOAL GRAY ARCH. METAL PANEL



DOVER WHITE FLAT STONE VENEER
BEEHIVE BRICK AND STONE



CHARCOAL BLOCK
SUNROC SPLIT-FACED

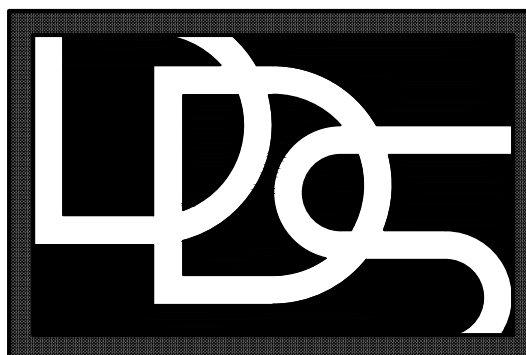


BRONZE ANOD. ALUM.
STORE FRONT WINDOWS / DOORS



BLACK PAINTED / POWDER COATED AWNINGS

NOTES:
BACKLIGHTING OF THE AWNINGS IS PROHIBITED
ROOF DRAINS, CONDUIT, PIPING, MAINTENANCE STAIRS AND LADDERS SHALL BE LOCATED IN THE INTERIOR SPACE OF THE BUILDING
PARAPET WALLS SHALL BE A MINIMUM OF 12" IN HEIGHT.
MECHANICAL EQUIPMENT IS NOT SHOWN. EQUIPMENT TO BE SCREENED TO MEET THE CITY ORDINANCE.
ELECTRICAL EQUIPMENT AND COMMUNICATIONS EQUIPMENT TO BE LOCATED TO THE INTERIOR OF THE BUILDING.



Diversified
DESIGN SERVICES AND ENGINEERING, L.C.

6236 SOUTH TURPIN ST.
MURRAY, UTAH 84107
TELEPHONE (801) 347-2369
Email: brandon@dds-slc.com

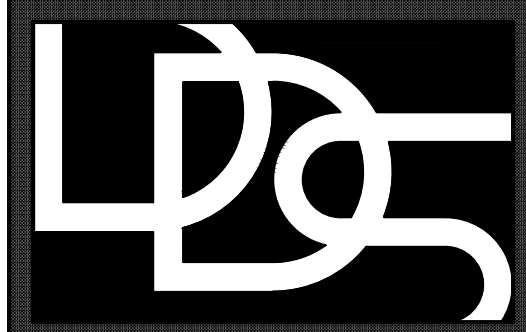
PROJECT NAME:
HADCO DEVELOPMENT
Saratoga Springs Town Center
LOT 304
SARATOGA SPRINGS, UTAH

PROJECT INFO.	
PROJECT NO.:	2024-044
CAD FILE NAME:	304 A201 Ext Elevations V3
DRAWN BY:	BL
CHECKED BY:	
SCALE:	3/32" 1'-0"
DATE:	10-27-2025

REVISIONS	
REV	DATE
DESCRIPTION	DESCRIPTION

SHEET TITLE:
**LOT 304
EXTERIOR ELEVATIONS**

A 201
SHEET **3** OF **3**



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6236 SOUTH TURPIN ST.
MURRAY, UTAH 84107
TELEPHONE (801) 347-2369
Email: brandon@dds-slc.com

HADCO DEVELOPMENT
Saratoga Springs Town Center
LOT 304
SARATOGA SPRINGS, UTAH

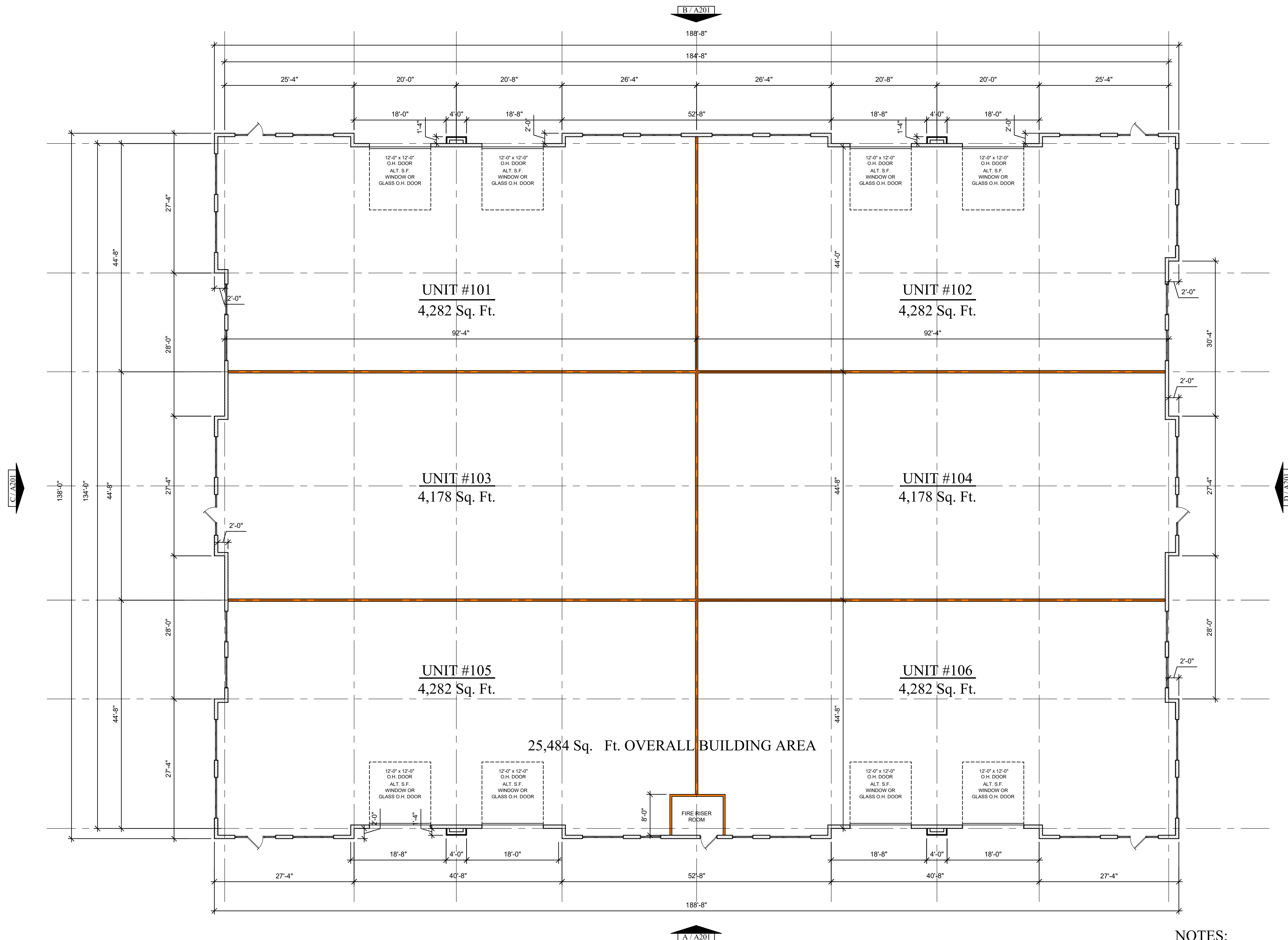
PROJECT INFO.	
PROJECT NO.:	2024-044
CAD FILE NAME:	304 A101 Main Floor Plan V3
DRAWN BY:	BL
CHECKED BY:	
SCALE:	3/32" 1'-0"
DATE:	10-27-2025

REVISIONS		
REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		

SHEET TITLE:
**LOT #304
MAIN FLOOR PLAN**

A 101

SHEET **2** OF **3**



NOTES:

BACKLIGHTING OF THE AWNINGS IS PROHIBITED

ROOF DRAINS, CONDUIT, PIPING, MAINTENANCE STAIRS AND LADDERS SHALL BE LOCATED IN THE INTERIOR SPACE OF THE BUILDING

PARAPET WALLS SHALL BE A MINIMUM OF 12" IN HEIGHT.

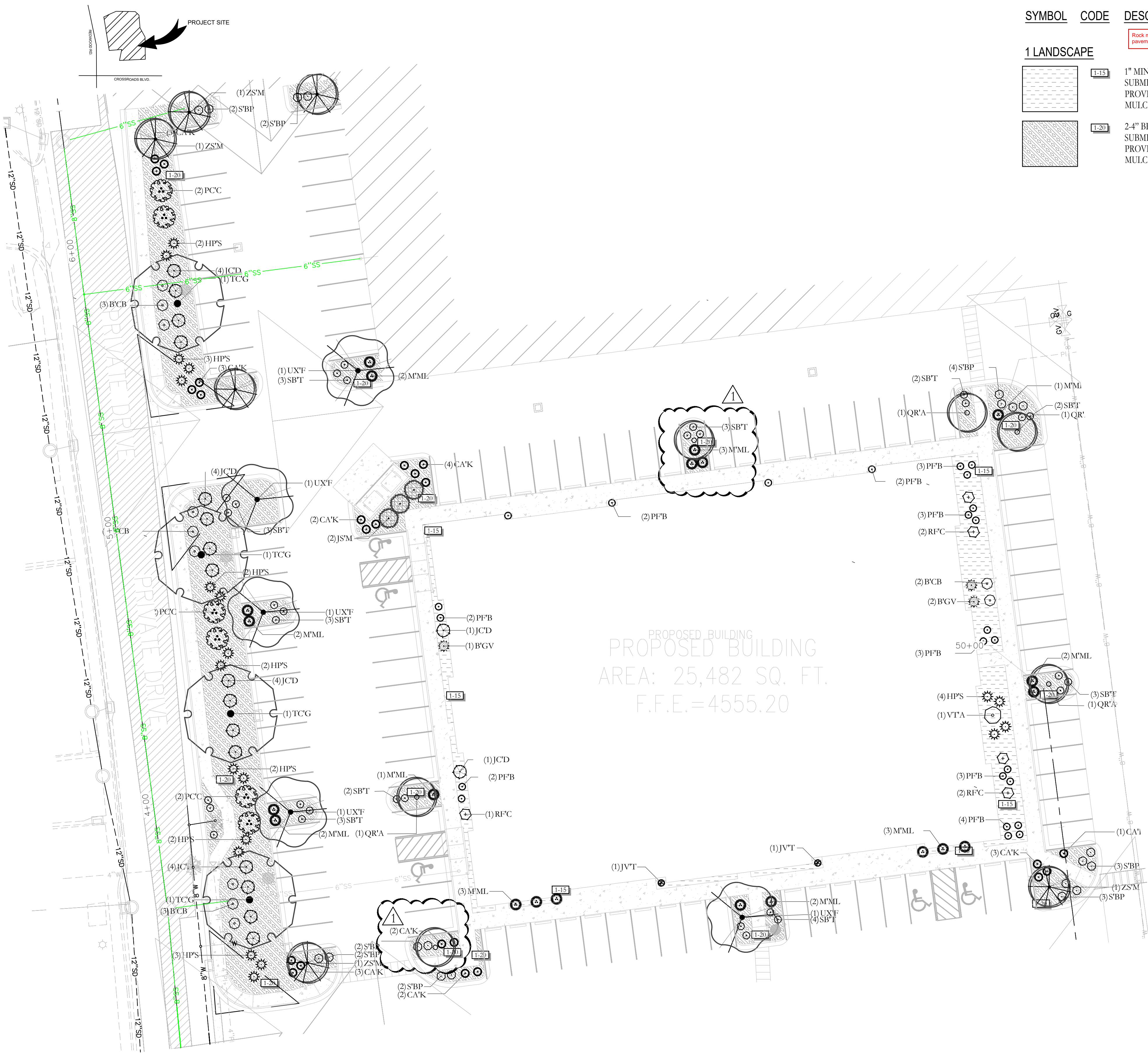
MECHANICAL EQUIPMENT IS NOT SHOWN. EQUIPMENT TO BE SCREENED TO MEET THE CITY ORDINANCE.

ELECTRICAL EQUIPMENT AND COMMUNICATIONS EQUIPMENT TO BE LOCATED TO THE INTERIOR OF THE BUILDING.

MAIN FLOOR PLAN
SCALE: 3/32" 1'-0" 25,708 Sq. Ft.



Exhibit 6. Landscape Plan



SITE MATERIALS LEGEND

SYMBOL	CODE	DESCRIPTION	QTY
1 LANDSCAPE			
	1-15	1" MINUS GREY CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	2,004 sf
	1-20	2 1/4" BROWN CRUSHED ROCK. SUBMIT SAMPLES FOR LANDSCAPE ARCHITECT AND OWNER APPROVAL. PROVIDE 4" DEPTH OF ROCK MULCH TOP DRESSING. SEE INORGANIC MULCH LANDSCAPE NOTES FOR ADDITIONAL INFORMATION. SHEET LP-101.	7,742 sf

PLANT LEGEND

CONIFERS					
	JS'M	3	Juniperus scopulorum 'Moonglow' Te2, 18x8; AV 20; sun; z3; Utah Lake water tolerant, Drought tolerant	B & B	6' DROUGHT TOLERANT
	JV'T	2	Juniperus virginiana 'Taylor' Te2; low water; 30' x 3'; sun, Z4; Utah Lake water tolerant, Drought tolerant	B & B	6' DROUGHT TOLERANT
DECIDUOUS TREES					
	QR'A	6	Quercus robur x alba 'JFS-KW1QX' TM Street Spire Oak Td4; 45x14; AV 176; sun; z4	B & B	2"Cal DROUGHT TOLERANT
	TCG	4	Tilia cordata 'Greenspire' Greenspire Littleleaf Linden Td4; 40x35; AV 314; sun; z4; Utah Lake water tolerant	B & B	2"Cal DROUGHT TOLERANT
	UX'F	5	Ulmus x 'Frontier' Frontier Elm Td3; 35x25; AV 490; sun; z4; Utah Lake water tolerant	B & B	2"Cal DROUGHT TOLERANT
	ZS'M	6	Zelkova serrata 'Musashino' Musashino Zelkova Td4; 45x15; AV 490; sun; z5; Utah Lake water tolerant, Drought tolerant	B & B	2"Cal DROUGHT TOLERANT
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
DECIDUOUS SHRUBS					
	B'CB	11	Berberis thunbergii 'Monomb' TM Cherry Bomb Japanese Barberry Sd3' 3-4x3-4; AV 28; full to part sun; z4; Utah Lake water tolerant	5 gal	DROUGHT TOLERANT
	PC'C	6	Prunus x cistena Purple Leaf Sand Cherry Moderate; 10-12'x8'; sun; z2	5 gal	DROUGHT TOLERANT
	PF'B	24	Potentilla fruticosa 'Bailmeringue' Lemon Meringue Cinquefoil Sd2; 2x3; AV 7; sun; z3; Utah Lake water tolerant, drought tolerant	5 gal	DROUGHT TOLERANT
	RF'C	5	Rhamnus frangula 'Columnaris' Tall Hedge Buckthorn moderate; 15x4; sun; z2; Utah Lake water tolerant	5 gal	DROUGHT TOLERANT
	S'BP	20	Syringa x 'SMNJRPJ' TM Bloomerang Dwarf Purple Lilac moderate; 4-5 x 4-5; sun; z3; Utah Lake water tolerant	5 gal	DROUGHT TOLERANT
	SB'T	31	Spiraea betulifolia 'Tor' Birchleaf Spirea moderate; 2-3 x 2-3; sun to part sun; z4	5 gal	DROUGHT TOLERANT
	VT'A	1	Viburnum trilobum 'Alfredo' Alfredo Cranberrybush Viburnum low; 6x6; sun to part sun; z3;	5 gal	DROUGHT TOLERANT
EVERGREEN SHRUBS					
	B'GV	3	Buxus x 'Green Velvet' Green Velvet Boxwood 3'x4'; part sun to shade; moderate water; z4; Utah Lake water tolerant.	5 gal	DROUGHT TOLERANT
	HP'S	20	Hesperaloe parviflora 'Straight Up Red' Straight Up Red Yucca P1; 5-6 x 3-4; AV 7; sun; z5; Utah Lake water tolerant, drought tolerant	5 gal	DROUGHT TOLERANT
	JCD	18	Juniperus chinensis 'Daub's Frosted' Daub's Frosted Juniper low; 1.5 x 5; sun to part sun; z4; Utah Lake water tolerant, drought tolerant	5 gal	DROUGHT TOLERANT
GRASSES					
	CA'K	24	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass Tw2; 4x5; AV 7; sun; z4; Utah Lake water tolerant, drought tolerant	1 gal	DROUGHT TOLERANT
	M'ML	21	Miscanthus sinensis 'Morning Light' Morning Light Maiden Grass Tw2; 5x4; AV 32; sun to light shade; z5; Utah Lake water tolerant, drought tolerant	2 gal	DROUGHT TOLERANT

1/2/2026

UT24001

NO.	REVISION	DATE
1	CITY COMMENTS	11-13-2025
2		
3		
4		
5		
6		
7		

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

SARATOGA SPRINGS
TOWN CENTER-304
EAST COMMERCE DR.
SARATOGA SPRINGS, UTAH

AE URBIA
909 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
801-575-6455

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PKJ DESIGN GROUP

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DESIGN GROUP
Landscape Architecture & Planning & Visualization

3450 N. TRIUMPH BLVD. SUITE 102
LEHI, UTAH 84043 (801) 753-5644
www.pkdesigngroup.com

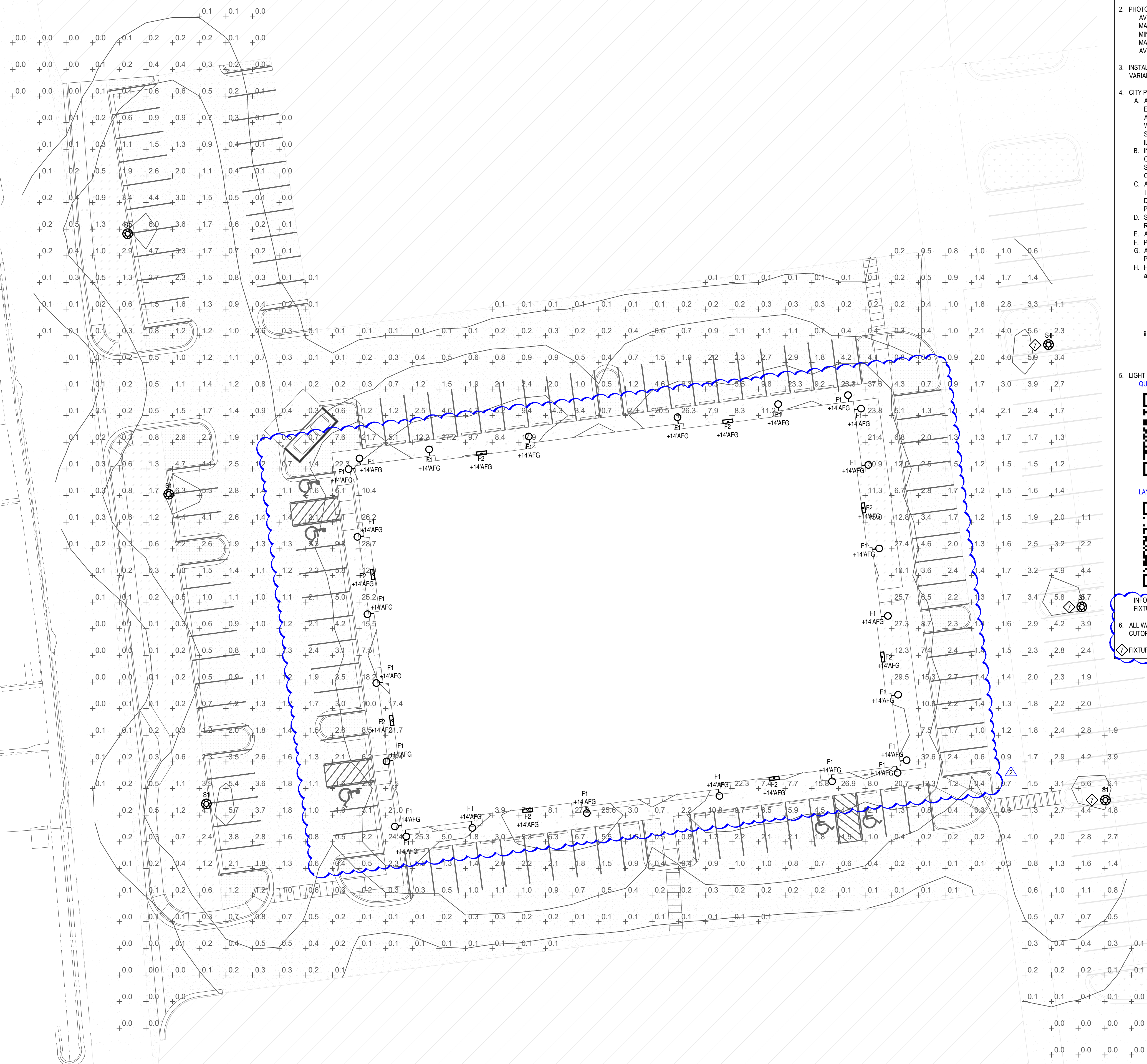
DRAWING INFO

PM: JTA
DRAWN: ACP
CHECKED: JMA
PLOT DATE: 1/2/2026

LANDSCAPE OVERALL PLAN
CITY PERMIT SET

LP-100

Exhibit 7. Lighting Plan



NOTES:

- ILLUMINATION LEVELS INDICATED IN FOOT-CANDLES.
- PHOTOMETRIC STATISTICS:
AVERAGE: 2.6 FC
MAXIMUM: 37.6 FC
MINIMUM: 0.0 FC
MAXMIN: -
AVGMIN: -
- INSTALLATION SHALL COMPLY WITH SARATOGA SPRINGS TITLE 19 EXCEPT AS VARIANCES HAVE BEEN ALLOWED IN VILLAGE PLAN.
- CITY PLANNING NOTE (TITLE 19.11 SECTION 3) -
 - ALL WALL-MOUNTED FIXTURES SHALL NOT BE MOUNTED ABOVE 16'F. THE EXCEPTION SHALL BE THOSE INSTANCES WHERE THERE IS A SECOND STORY ACCESS DIRECTLY FROM THE OUTDOORS, AND UNDER-EAVE LIGHTING. WALL-MOUNTED LIGHTING SHALL BE ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS BUILDING FACADES AND SIGNS, AND SHALL NOT CAST ILLUMINATION BEYOND THE SURFACE BEING ILLUMINATED.
 - INTERMITTENT LIGHTING MUST BE OF THE "MOTION SENSOR" TYPE THAT STAYS ON FOR A PERIOD OF TIME NOT TO EXCEED TEN (10) MINUTES AND HAS A SENSITIVITY SETTING THAT ALLOWS THE LIGHTING FIXTURE TO BE ACTIVATED ONLY WHEN MOTION IS DETECTED ON THE SITE.
 - ALL TRESPASS LIGHTING SHALL NOT EXCEED ONE FOOT-CANDLES MEASURED AT THE PROPERTY LINE, EXCEPT THAT TRESPASS LIGHTING INTO RESIDENTIAL DEVELOPMENT SHALL NOT EXCEED 0.1 FOOT-CANDLES MEASURED AT THE PROPERTY LINE.
 - SERVICE STATION CANOPIES MUST UTILIZE CANOPY LIGHTS THAT ARE FULLY RECESSED INTO THE CANOPY OR ARE FULLY SHIELDED BY THE CANOPY.
 - ALL FREESTANDING LIGHTING FIXTURES AND ASSEMBLIES SHALL BE BLACK.
 - POLE DESIGN SHALL INCLUDE AN ARM AND BELL SHADE.
 - ALL LIGHTING FIXTURES IN SURFACE PARKING LOTS AND ON THE TOP DECKS OF PARKING STRUCTURES SHALL BE FITTED TO RENDER THEM FULL CUTOFF.
 - HOURS:
 - ONE HOUR AFTER CLOSING OR BY 11:00PM, WHICHEVER IS EARLIER. BUSINESSES MUST TURN OFF AT LEAST FIFTY PERCENT (50%) OF BUILDING LIGHTING AND LIGHTING FIXTURES IN SURFACE PARKING LOTS AND ON TOP DECKS OF PARKING STRUCTURES. HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTOR SYSTEM. LIGHTS MAY BE TURNED BACK ON ONE HALF HOUR PRIOR TO THE FIRST EMPLOYEE SHIFT.
 - BUSINESS OPEN FOR 24 HOURS MUST TURN OFF 50% OF THEIR OUTDOOR AND PARKING LOT LIGHTING BY 11:00PM AND MUST KEEP THEM OFF UNTIL ONE HALF HOUR BEFORE SUNRISE, HOWEVER, THOSE LIGHTING FIXTURES TURNED OFF MAY BE SET TO FUNCTION UTILIZING A MOTION DETECTOR SYSTEM.

5. LIGHT FIXTURE PRODUCT INFORMATION:

QUANTUM LIGHTING

STEVEN SALES COMPANY



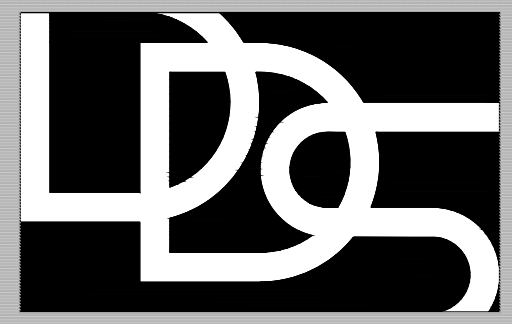
LAYTON SALES AGENCY



INFORMATION IS FROM VARIOUS MANUFACTURERS LISTED IN LIGHTING SCHEDULE. FIXTURE PACKAGE SELECTED BY SUCCESSFUL BIDDER.

6. ALL WALL-MOUNTED LIGHT FIXTURES SHALL BE AIMED DOWNWARD AND BE FULL CUTOFF (B-U-G UO RATED).

△ FIXTURE EXISTING TO REMAIN.



Diversified
DESIGN SERVICES AND ENGINEERING, L.C.

6236 SOUTH TURPIN ST.
MURRAY, UTAH 84107
TELEPHONE (801) 347-2369
Email: brandon@dds-slc.com



BREINHOLT
POWER ENGINEERING, PLLC

805 SOUTH 1430 WEST, LEHI UT 84043
(801) 367-5180 PROJECT BPE24H1

PROJECT NAME:

HADCO DEVELOPMENT
Saratoga Springs Town Center
LOT 304
SARATOGA SPRINGS, UTAH

PROJECT INFO.

PROJECT NO.:	2024-044
CAD FILE NAME:	ES102 SSTC 204
DRAWN BY:	KLB
CHECKED BY:	
SCALE:	AS SHOWN
DATE:	10-15-2024

REVISIONS

REV.	DATE	DESCRIPTION
	10-15-2024	SITE APPROVAL
	01-06-2025	SITE BACKGROUND UPDATE
△	09-26-2025	SARATOGA SPRINGS PLAN REVIEW
△	10-28-2025	SARATOGA SPRINGS PLAN REVIEW

SHEET TITLE:

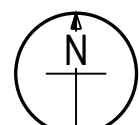
**SITE PHOTOMETRIC
PLAN**

ES102

SHEET **5** OF **11**

1 SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"





City Council Staff Report

Author: Dean R. Free, Assistant Public Works Director (Utilities)

Subject: New Pedestrian Crossing at 400 S (Patriot Park) Project

Date: January 20, 2026

Type of Item: Resolution

Description: Award of Construction Project

A. Topic:

This item is for the approval of a contract with Woodward Company to construct the new pedestrian crossing at 400 S at Patriot Park as a joint project with Public Works Electrical Team.

B. Background:

In response to public and Council interests, Public Works designed a pedestrian crossing for 400 S at Patriot Park to improve the safety for pedestrians crossing 400 S to positively impact both school pedestrian traffic and park visitors. The crossing will be hard-wired with AC power rather than solar power to improve the crossing's reliability, and durability of the crossing controls and warning signs (vs. the similarly priced solar-powered option), so that lights remain sufficiently visible throughout the nighttime hours. The Public Works' Electrical and Street teams will coordinate and support the project by supplying a new streetlight, the electrical conductors, and performing wiring activities for the project. The crossing will be properly delineated with signs and roadway paint that meets ADA standards.

C. Analysis:

The project crossing was designed by Avenue Engineers; Public Works' Electrical will provide the lighted signs and push buttons as part of the crossing kit; Streets will provide the area approach signs and their installation; and Woodward Co. will perform the construction, including the directional-boring and electrical conduit installation across 400 S. Two competitive and qualified quotes were received for the project construction and the lowest bidder was selected to complete the project.

D. Fiscal Impact:

The funding for this project will be assigned to the separate Council request to increase existing FY 2025 budget GL 35-4000-744. The cost items for this project are as follows:

- Engineering (Avenue): \$ 11,630.
- Electrical Crossing Kit: \$ 6,912.
- Streets signage (est.): \$ 1,000.
- Construction (Woodward): \$ 64,742.
- **Total (rounded): \$85,000.**

E. Recommendation

Staff recommends the City Council approve the resolution awarding the contract for the New Pedestrian Road Crossing of 400 S to Woodward Co. in the amount of \$64,741.40.

400 S Crossing - Woodward Co

<u>Description</u>	<u>Bid Qty.</u>	<u>UM</u>	<u>Unit Bid Price</u>	<u>Total Bid Price</u>
<u>Base Bid</u>				
Mobilization	1	LS	\$4,500.00	\$4,500.00
Traffic Control	1	LS	\$2,200.00	\$2,200.00
SWPPP	1	LS	\$500.00	\$500.00
			Subtotal	\$7,200.00
<u>Demolition</u>				
Asphalt 4" Thick	951	SF	\$2.75	\$2,615.25
Existing Concrete (ADA Ramp, C&G, Box)	1	LS	\$1,800.00	\$1,800.00
Stripping	1	LS	\$500.00	\$500.00
Trees	2	EA	\$250.00	\$500.00
			Subtotal	\$5,415.25
<u>Improvements</u>				
8' Sidewalk	81	SF	\$12.54	\$1,015.74
30" Curb and Gutter	98	LF	\$44.30	\$4,341.40
SD Connection	1	EA	\$550.00	\$550.00
Inlet Box (includes 15" RCP)	1	EA	\$2,682.57	\$2,682.57
CO Box (includes 15" RCP)	1	EA	\$4,633.09	\$4,633.09
8" Road Base	607	SF	\$2.55	\$1,547.85
1/2 HMA Asphalt 5" thick	607	SF	\$10.66	\$6,470.62
Landscape	427	SF	\$3.00	\$1,281.00
ADA curb ramps (with Detectable Warning Surface)	2	EA	\$2,180.00	\$4,360.00
Concrete testing	1	LS	\$1,230.00	\$1,230.00
*Boring	1	LS	\$9,757.51	\$9,757.51
Signage (R1-5) Installed	2	EA	\$818.07	\$1,636.14
Lighting Pedestal	1	LS	\$1,580.00	\$1,580.00
Pavement Markings and Striping	1	LS	\$11,040.23	\$11,040.23
			Subtotal	\$52,126.15
			Total	\$64,741.40

* Permits And Fees Not Included

* Survey Not Included

* Over Ex Due to Rocky Conditions Not Included

*When drilling in Saratoga Springs there is

always the possibility of heavy rock. This estimate does not include any heavy rock adders. After three drilling attempts, we will contact Saratoga Springs Public Works, Owners, to discuss other options. After three attempts and are unsuccessful with no other option available, driller will be due mobilization fees and \$4,500 per day.

*We will be placing two customer supplied 1 1/4" conduit totaling about 70' long each.

We will leave both ends in an open pit for others to connect to and finish the run.

Signature (Name)

Signature (Name)

RESOLUTION NO. R26-05 (01-20-26)

**A RESOLUTION APPROVING A CONTRACT FOR THE CONSTRUCTION
OF A PEDESTRIAN ROAD CROSSING AT 400 S AT PATRIOT PARK**

WHEREAS, the City Council of the City of Saratoga Springs has found it in the public's interest to obtain services from qualified contractors to provide construction services in accordance with the New Pedestrian Road Crossing Project ("Project"); and

WHEREAS, the City obtained two competitive bids from qualified contractors in order to acquire services for the Project; and

WHEREAS, a City engineering consultant, Avenue, provided the design for the Project with assistance from Public Works Electrical and Streets staff to support the receipt of the construction bids to select the lowest responsible contractor; and

WHEREAS, the City Council has determined that awarding the project to the lowest responsible contractor is in the best interest of the public will further the public health, safety, and welfare with respect to pedestrian traffic and access to parks infrastructure.

NOW THEREFORE, BE IT RESOLVED by the governing body of the City of Saratoga Springs, Utah, that the New Pedestrian Road Crossing of 400 S at Patriot Park be awarded to the lowest responsible bidder, Woodward Company, in the amount of \$64,742. This resolution shall take effect immediately upon passage.

PASSED on January 20, 2026.

**CITY OF SARATOGA SPRINGS
A UTAH MUNICIPAL CORPORATION**

Christopher Carn, Mayor

Attest: _____
Nicolette Fike, City Recorder