

# Community & Village Plan

**Viviano at Saratoga Springs**

Pony Express Parkway, Saratoga Springs, Utah

June 13, 2022 (revised)

Revision 11/15/22

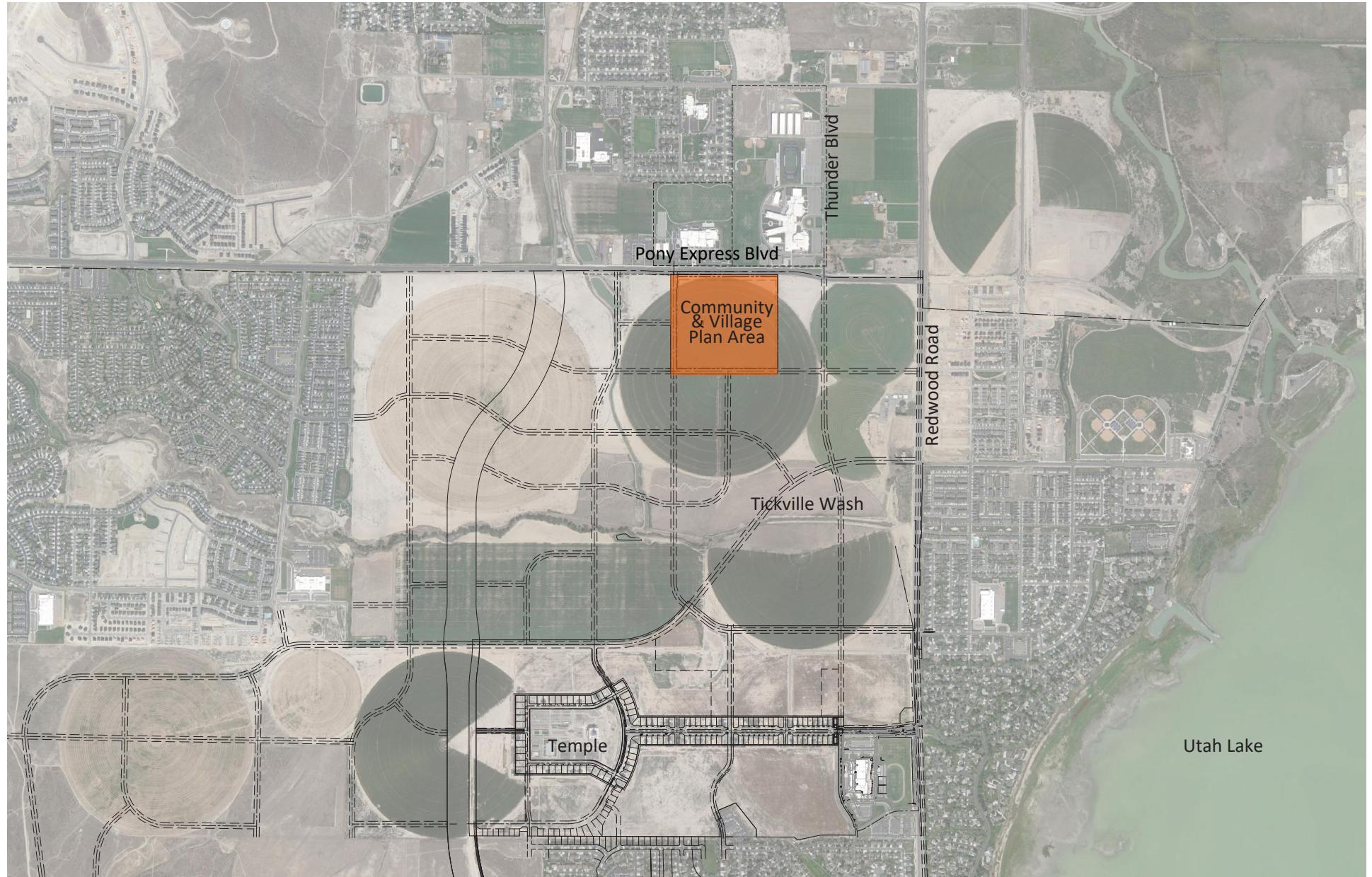


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# Vicinity Plan



# Legal Description

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## **COMMUNITY PLAN AREA** (Viviano Project + Road Rights-of-way)

Beginning at a point being South 89°41'46" East 1796.92 feet, thence South 0°05'41" East 33.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South 89°41'46" East 869.75 feet;  
thence, South 89°59'20" East 640.97 feet;  
thence, South 1328.01 feet;  
thence, South 0°01'53" East 77.00 feet;  
thence West 1508.42 feet;  
thence, North 0°05'41" West 1409.75 feet to the point of beginning.

Contains 2,123,067 Square Feet or 48.739 Acres.

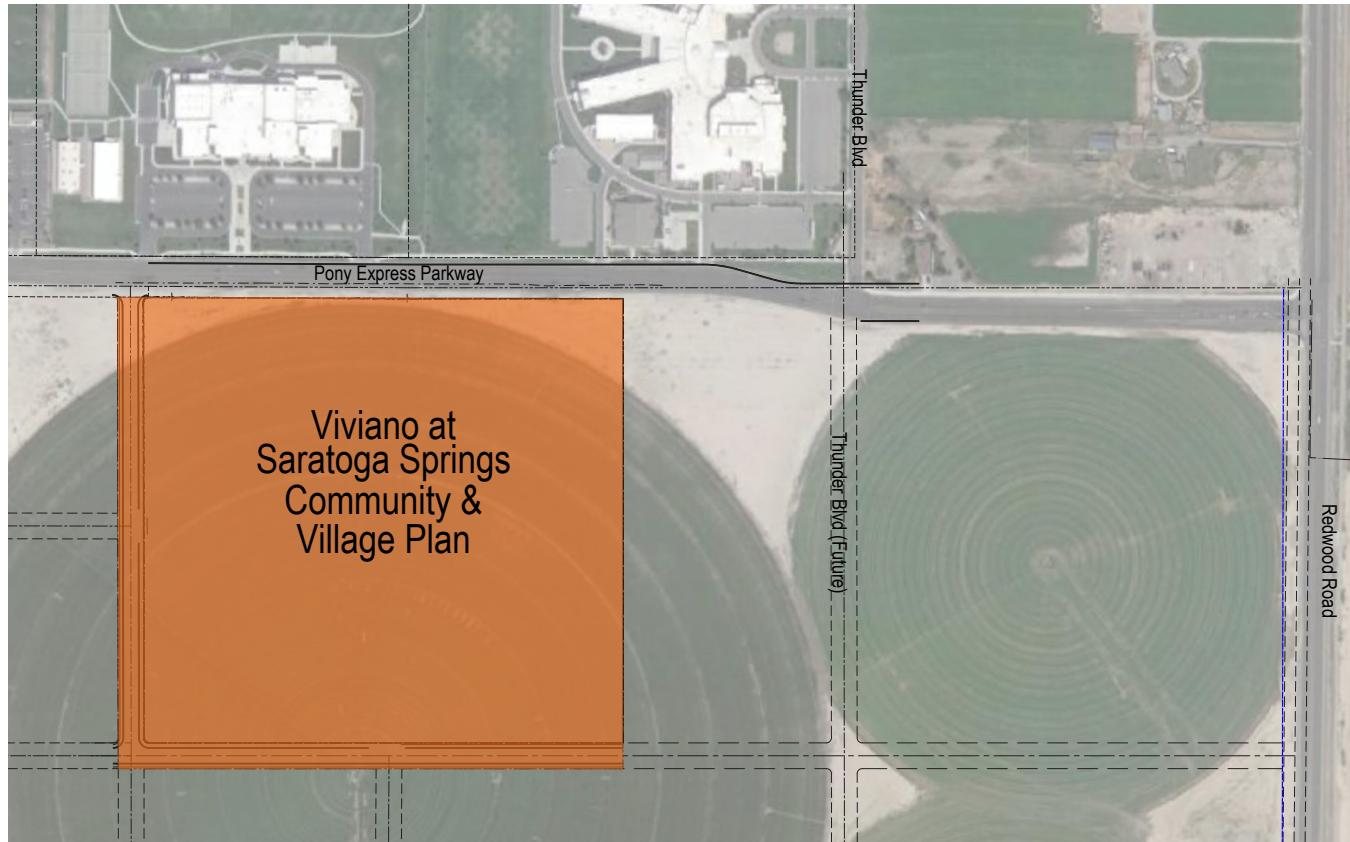
## **VILLAGE PLAN AREA** (Viviano Project)

Beginning at a point being South 89°41'46" East 1893.43 feet, thence South 0°05'41" East 60.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South 89°41'46" East 773.06 feet;  
thence, South 89°59'20" East 641.11 feet;  
thence, South 1301.01 feet;  
thence West 1416.53 feet;  
thence Northwesterly 23.54 feet along the arc of a 15.00 foot radius curve to the right (center bears North and the chord bears North 45°02'50" West 21.20 feet with a central angle of 89°54'19"); thence,  
thence, North 0°05'41" West 1043.27 feet;  
thence, North 07°02'11" East 157.08 feet;  
thence, North 0°05'41" West 91.09 feet to the point of beginning.

Contains 1,862,254 Square Feet or 42.751 Acres.

# Detailed Use Map



 Mix of single-family dwellings, multi-family dwellings and two-family dwellings

The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with Section 19.26.13 of the Saratoga Springs City Code.

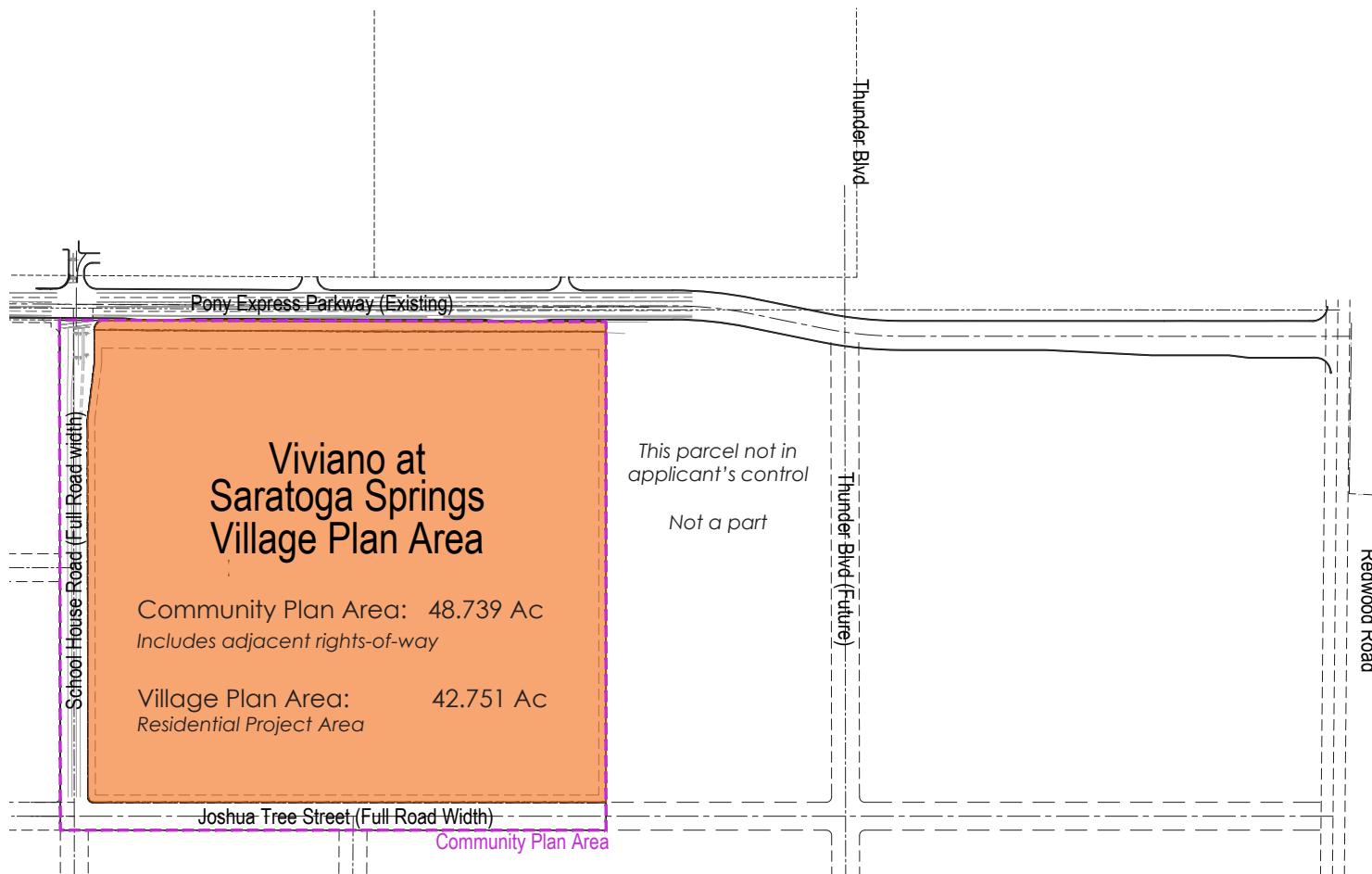
This Community & Village Plan area is allowed to contain Town Neighborhood uses allowing up to 10 dwelling units/acre.

Specific uses shall comply with the MF-10 (Multi-family, 10-units per acre) zone as permitted in Section 19.04 of the Saratoga Springs Municipal Codes.

Planning Director may approve a density increase of up to 15%.

TOWN NEIGHBORHOOD	
Range of Average dwelling units/acre	6-34 du/ac
Range of Average FAR	0.36-1.82
Range of Open Space	13-15%

# Buildout Allocation



## District Area Plan

Per the City Center District Area Plan, there are a maximum of 16,000 residential units, of which this area will be included and the total units will count toward the allotted 16,000 units.

## Community Plan

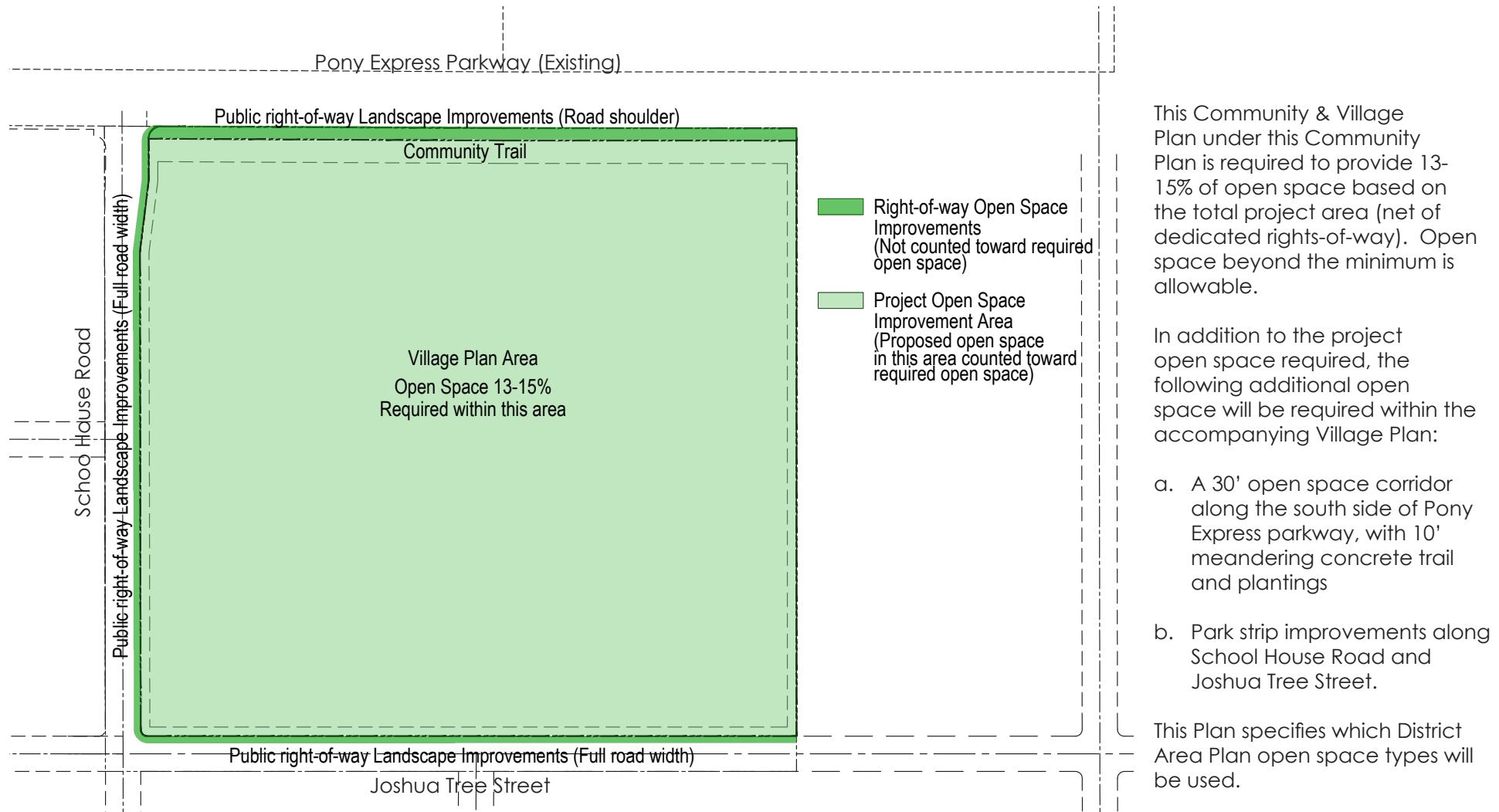
The District Plan states the FAR allowed for this Community Plan is 1.82 FAR per sq foot of project area, allowing for a maximum FAR of 3,389,265 square feet.

Phase No.	Area (Acres)*	Open Space %	Max Building Sq Ft**
Viviano at Saratoga Springs Village Plan Area	42.751 Ac	13-15%	3,389,265 Sq Ft

\* Includes right-of-way dedication

\*\* Based on maximum 1.82 FAR

# Open Space Plan



# Guiding Principles

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## Streetscape Treatments:

Streetscapes along Pony Express Parkway and Joshua Tree Street and Brookwood Boulevard shall conform to the following standards:

- a. Maximum of 50% turf. All areas not covered in turf shall be dressed with stone or cobble.
- b. Within 50' of community entrances off of Pony Express Parkway and Joshua Tree Street & Brookwood Blvd shall contain additional native shrub or perennial plantings, drought-tolerant ornamental grasses, evergreen shrubs or flowering perennials.
- c. Design of landscape along streetscapes shall be water-wise plant selection and design.

## General Landscape Guidelines:

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Code, Chapter 19.06 (Landscape and Fencing) and 19.09 (Off-street Parking).
2. Plant materials shall be described in the Village Plan.
3. Trees and plantings in park strips and parking islands along public roads shall be consistent with Saratoga Springs City Code.
4. All non-turf landscape areas shall have decorative stone or wood mulch around plantings.
5. Accent boulders may be used in landscape planting areas provided they do not block access to utilities and block signs.

6. Lawn and landscape planters shall be separated by concrete, aluminum or steel edging.

## Guiding Development Standards:

### 1. Permitted Uses

Allowed uses shall comply with the MF-10 zone as permitted, as outlined in Section 19.04 of the Saratoga Springs Municipal Code.

### 2. Minimum Lot Size

The minimum lot size for the total project (excluding any individual lots within the development) shall be 5 acres.

### 3. Setback and Yard Requirements

Public right-of-way setbacks:

Front setback: 20'  
Side-yard setbacks: 20'  
Rear-yard setbacks: 20'

Internal project setbacks:

Minimum building separation: 10'\*  
Minimum Front-yard setbacks: 10'  
Minimum Side-yard setbacks: 5'  
Minimum rear-yard Setbacks: 10'

\*(may be reduced if additional building code measures are taken to address fire code)

### 4. Building Heights

Maximum height 35'

### 5. Maximum Lot Coverage

50% Maximum

### 6. Minimum Livable Square Footage

600 Sq Ft (footprint)

## Lighting Guidelines

1. Section 19.11 (Lighting) of the Saratoga Springs Municipal Code shall govern lighting design.
2. Light poles shall be a maximum of 14' in height.
3. Additional building accent and security lighting may be provided on buildings.
4. Bollard lighting may be utilized along internal pedestrian walkways.
5. All lighting along public roads that will be maintained by Saratoga Springs City, shall be per City standard details and specifications.
6. All exterior lighting shall comply with the city's Dark Sky ordinance/requirements.

## Signage Guidelines

1. Signage shall be approved with the Village Plan.

## Trash Storage and Collection

1. On-site trash storage (other than individual trash cans for residential users) shall comply with Section 19.14.

## Guiding Principles, Continued

### Architectural Standards

#### Building Forms

1. Complimentary building materials and color schemes are required.
2. Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety throughout the project area.

#### Architectural Materials

1. Acceptable building exterior finish materials include: EIFS, brick, stone, precast concrete, metal panels, fiber-cement siding.
2. Buildings with a variety of materials are encouraged. A composition of at least one preferred primary material and one preferred accent material is required. Primary materials and accent materials may be of the same type provided color variation is incorporated.
3. Architectural colors shall be compatible with the intended use and building type.

Preferred Primary Materials	Preferred Accent Materials
EIFS Brick Stone Metal panels Fiber-cement siding Wood	Brick Stone Precast Concrete Metal Tile Fiber-cement siding

#### Primary Facades

1. Primary facades are those sides of a building where the primary entrance is located. It is possible for a building to have more than one primary façade.
2. Primary facades shall incorporate architectural features (canopy, awning, roof covered porch, architectural detail, etc) to highlight entrance locations.

#### Secondary Facades

1. A secondary façade is a side of the building that does not have a primary entrance, but is visible from internal project roadways or from public rights-of-way.
2. Secondary facades shall incorporate architectural detailing to provide visual interest, such as window boxes, breaks in building lines, roof changes, etc.

#### Roofs

1. Roofs shall have a minimum 4:12 pitch, unless a lesser pitch augments an architectural style.
2. Rooftop equipment shall be screened from public rights-of-way

#### Site furnishings



#### Typical Bench

Wabash Valley 'Dewart' Collection



#### Typical Trash receptacles

Wabash Valley 'Elegance' Collection



#### Typical Bike Racks

Madrax 'U' Collection

## Development Approval Process

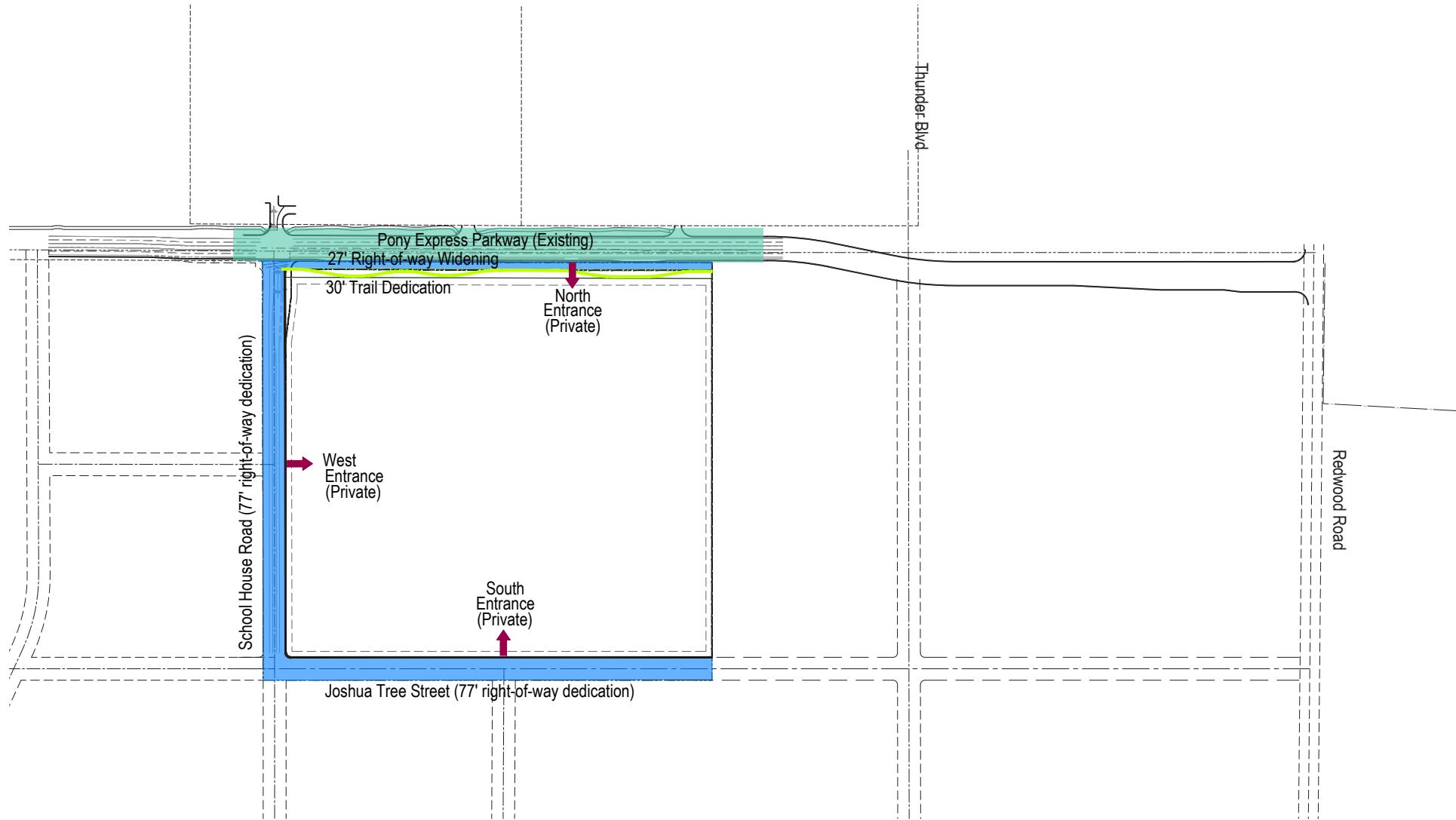
Submittal Type	Planning Director Approval	Planning Commission Public Hearing	Planning Commission Recommendation	City Council Approval
Community Plan		X	X	X
Community Plan / Major Amendment		X	X	X
Community Plan / Minor Amendment	X			
Minor Subdivision <sup>1</sup>	X			
Plat, Condominium or Final	X <sup>2</sup>			
Plat, Preliminary in CP or VP	X <sup>3</sup>			
Site Plan	X <sup>4,5</sup>			
Village Plan		X	X	X
Village Plan / Major Amendment		X	X	X
Village Plan / Minor Amendment	X			

**Notes:**

1. Minor subdivision to include subdividing land for the purposes of land sale based on no building lots being created. Amendment of lot created by minor subdivisions may be completed to allow development.
2. Planning Director approval if the condominium or final plat is consistent with the preliminary plat or as adjusted through the Village Plan Process. If not, City Council approval is required. Consistency of preliminary plat allows for adjustment of utilities based on final calculations and review, lot count decrease and lot dimension variance up to minimum established for applicable Village.
3. Planning Director approval if the preliminary plat layout, the contents of which are defined in City Code 19.26.10, is contained in the Community Plan or Village Plan. If not, the preliminary plat shall be reviewed by the Planning Commission with a recommendation to the City Council.
4. Provided the application site plan complies with the approved Village Plan, site plans may be approved by the Planning Director with consultation with the Development Review Committee.
5. Planning Director may approve a density increase of up to 15%.

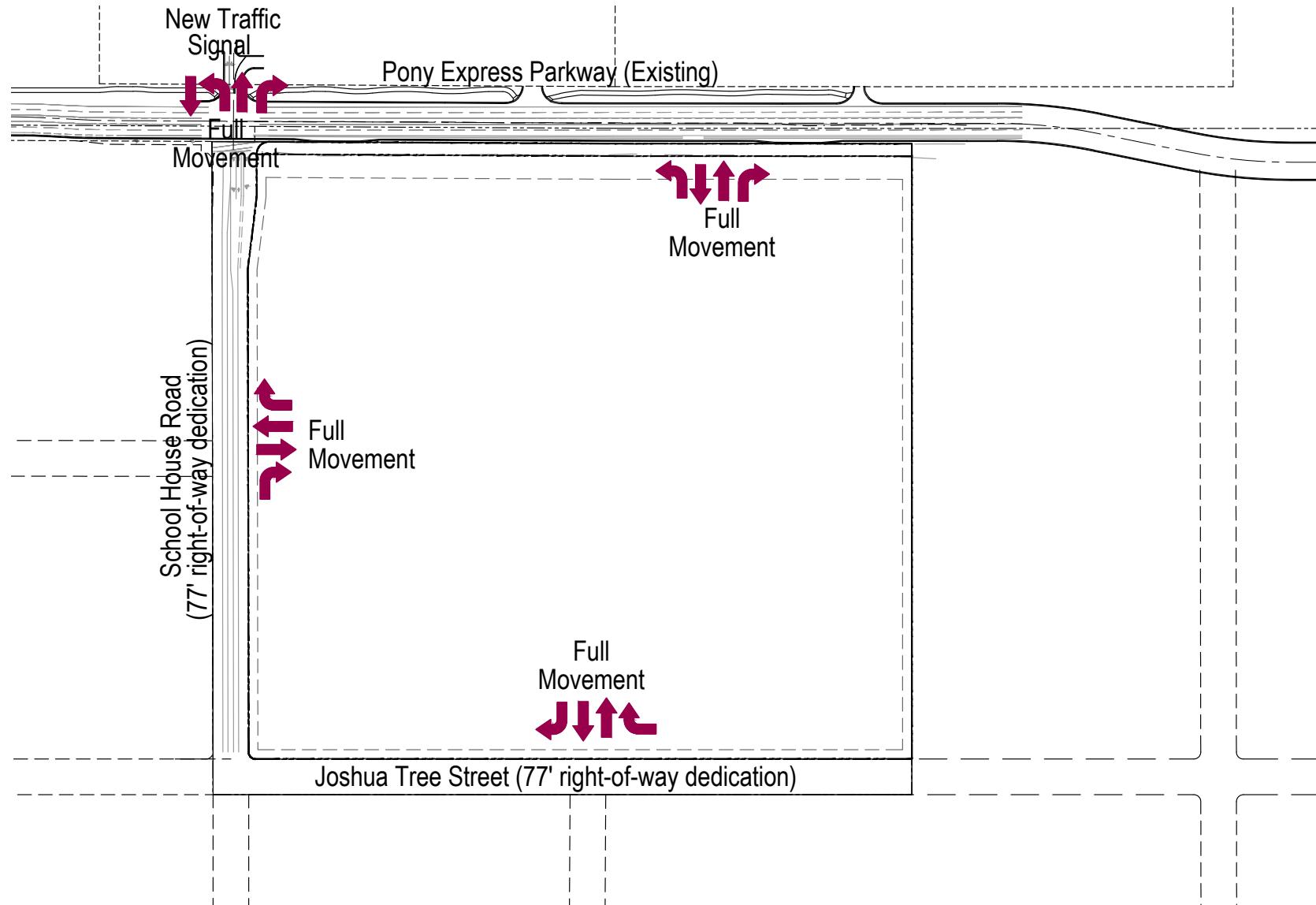
# Conceptual Plans

## Road Dedication Plan

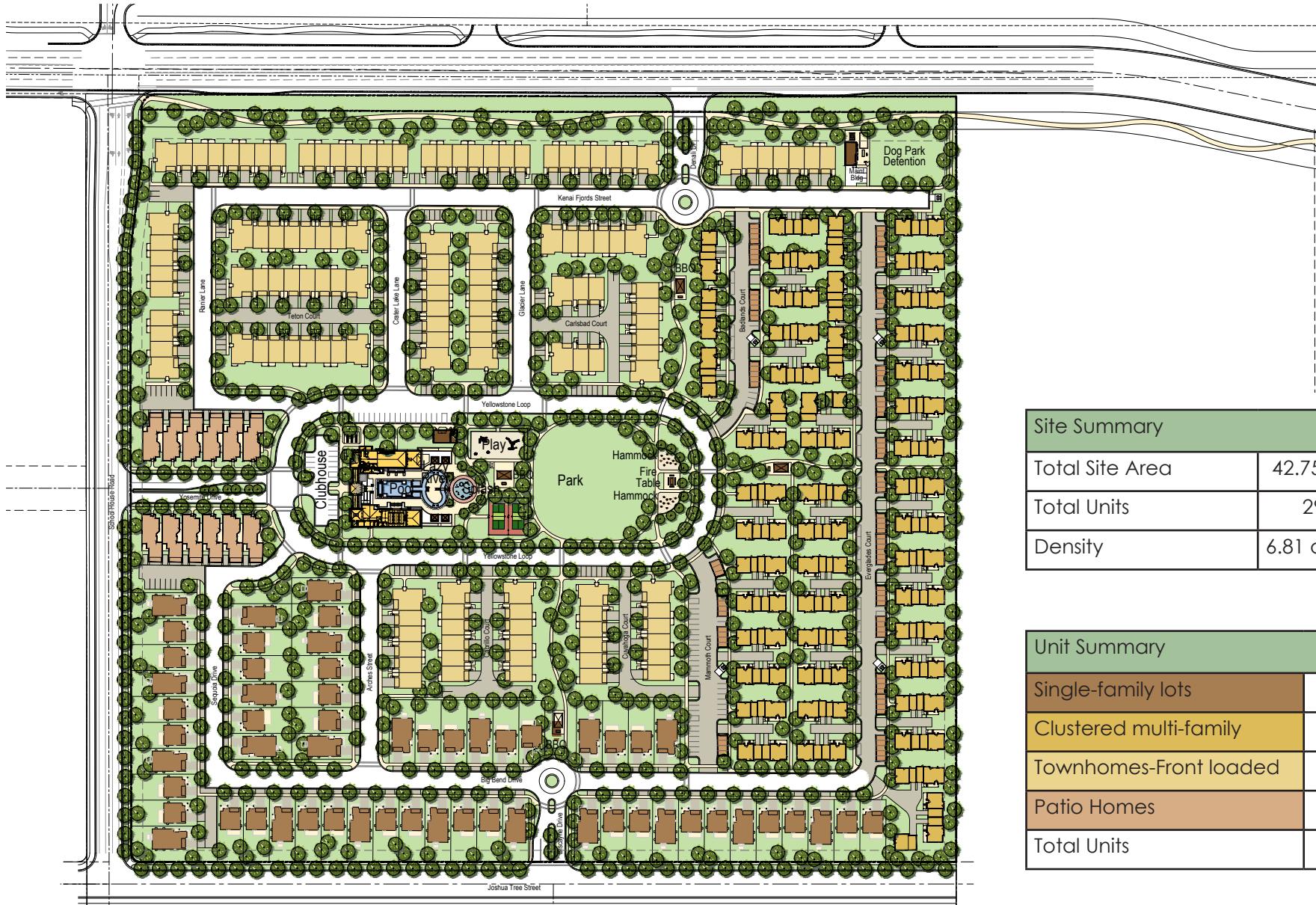


Note: Full right-of-way for Joshua Tree Street and School House Road will be dedicated at time of plat recording. Road improvements along these two streets will include full pavement width & curb/gutter construction for the area associated with this Community & Village Plan. Sidewalk and park strip on south side of Joshua Tree Street and west side of Joshua Tree Street will not be installed with the work outlined in this Village Plan.

## Road Access Plan



# Detailed Concept Plan



## Site Summary

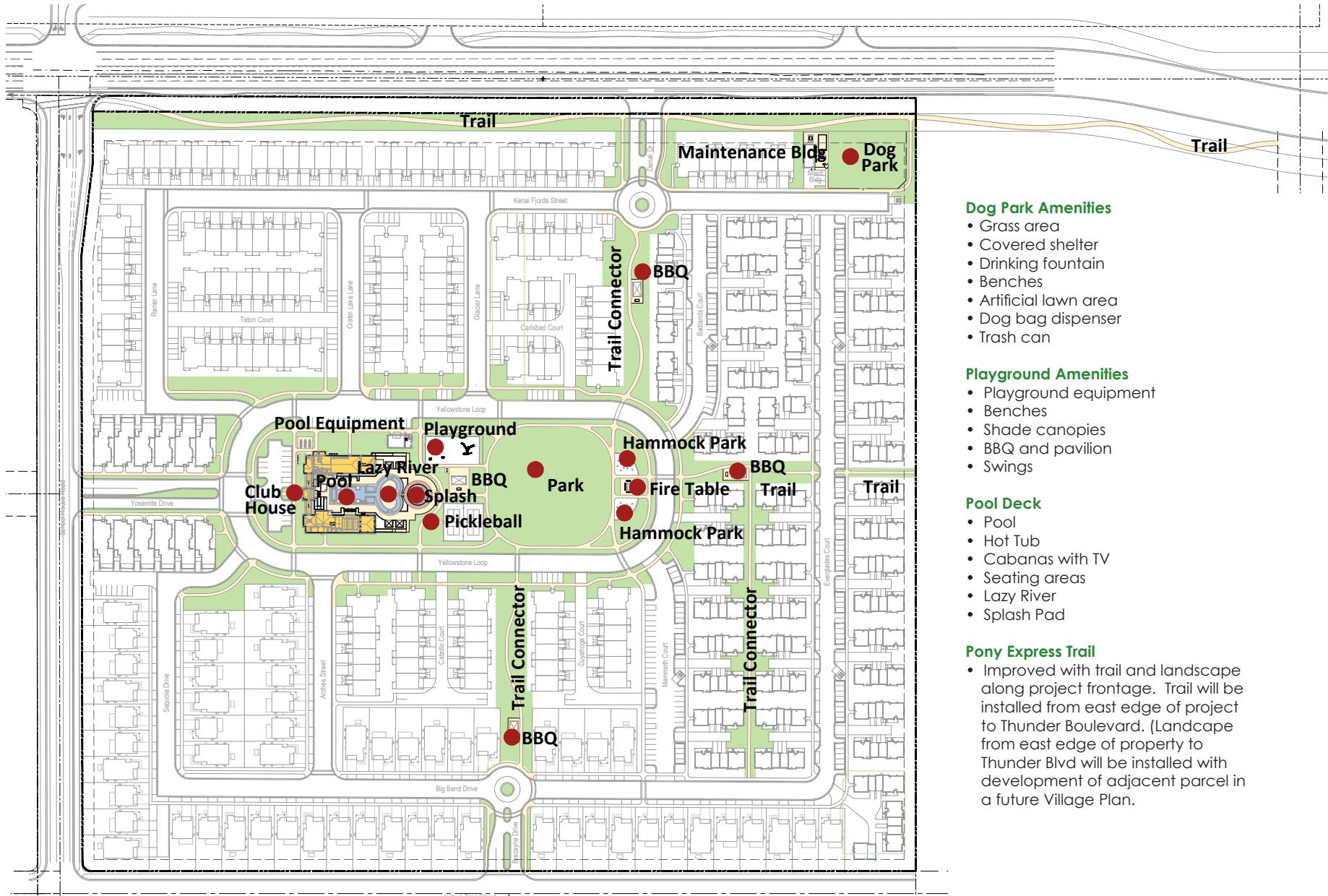
Total Site Area	42.751 Ac
Total Units	298
Density	6.81 du/ac

## Unit Summary

Single-family lots	57
Clustered multi-family	96
Townhomes-Front loaded	133
Patio Homes	12
<b>Total Units</b>	<b>298</b>

## Detailed Concept Plan, Continued

### Amenity Plan



#### Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

#### Playground Amenities

- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings

#### Pool Deck

- Pool
- Hot Tub
- Cabanas with TV
- Seating areas
- Lazy River
- Splash Pad

#### Pony Express Trail

- Improved with trail and landscape along project frontage. Trail will be installed from east edge of project to Thunder Boulevard. (Landscape from east edge of property to Thunder Blvd will be installed with development of adjacent parcel in a future Village Plan.)

## Development Standards

## 1. Setback and Yard Requirements

## Public right-of-way setbacks:

Front setback: 20'

Side-yard setbacks: 20'

Rear-yard setbacks: 20'

## Internal project setbacks:

Minimum building separation: 10' (unless additional building code measures are taken to address fire code, per Community Plan)

Minimum Front-yard setbacks: 10'

Minimum Side-yard setbacks: 5'

Minimum rear-yard Setbacks: 10'

Projections for porches, fireplaces, bay windows, etc., must be included in front-yard setbacks.

## 2. Building Heights

Maximum height 35'

### 3. Maximum Lot Coverage

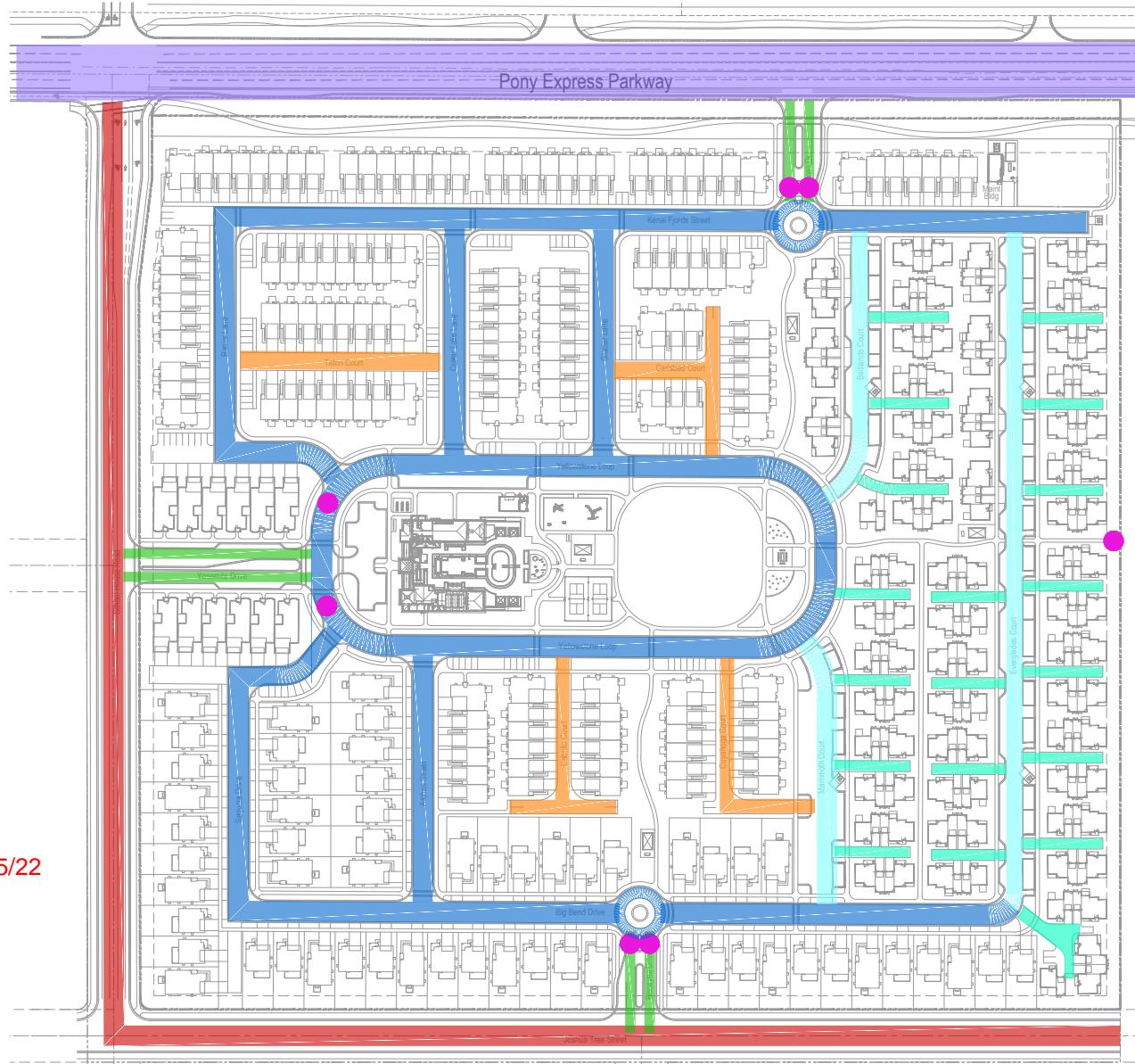
50% Maximum

#### 4. Minimum Building Footprint Size

600 Sq Ft



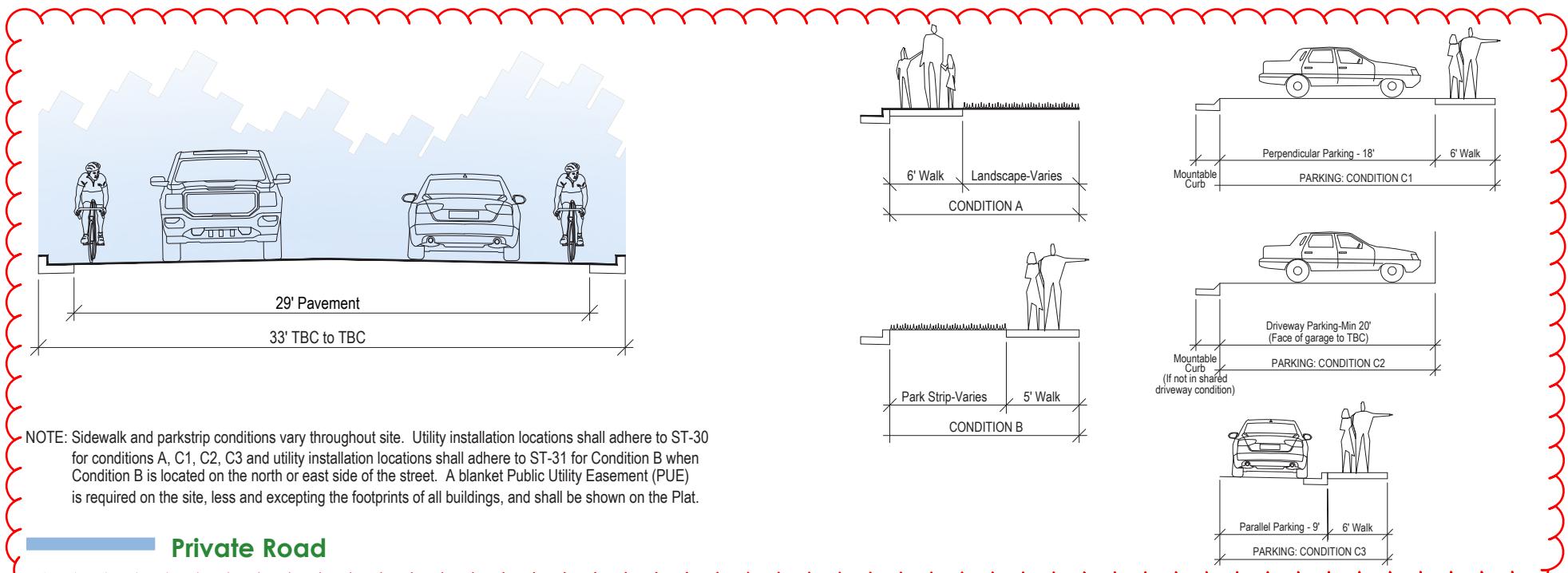
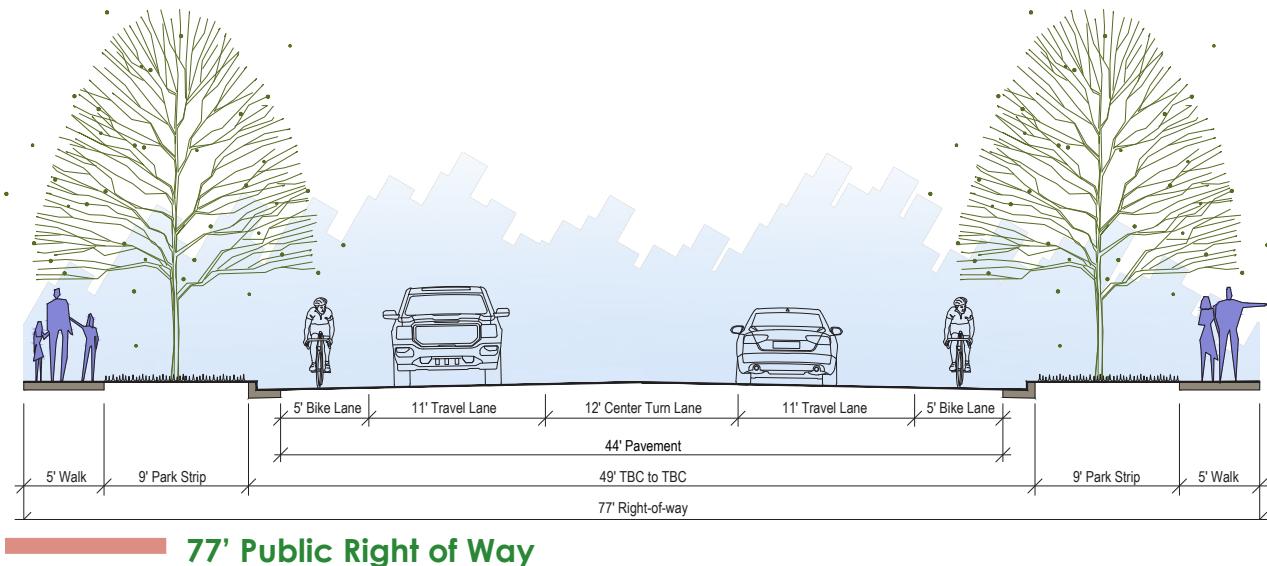
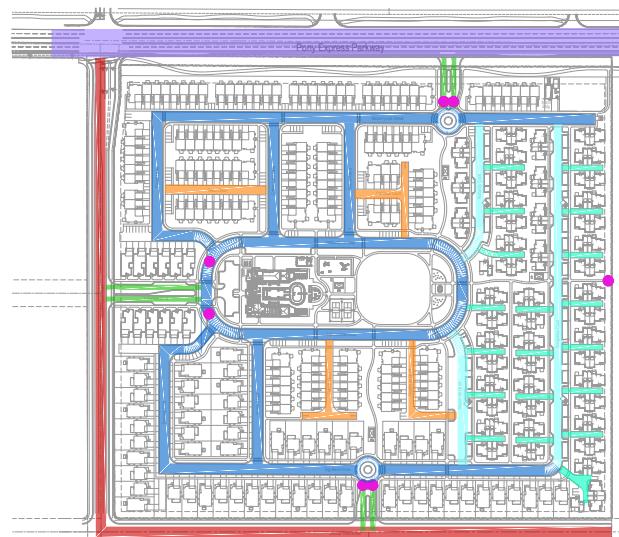
## 5. Street Types



Note: See civil engineering component of this Village Plan for Pony Express improvements

## Development Standards, Continued

### Vehicular Plan

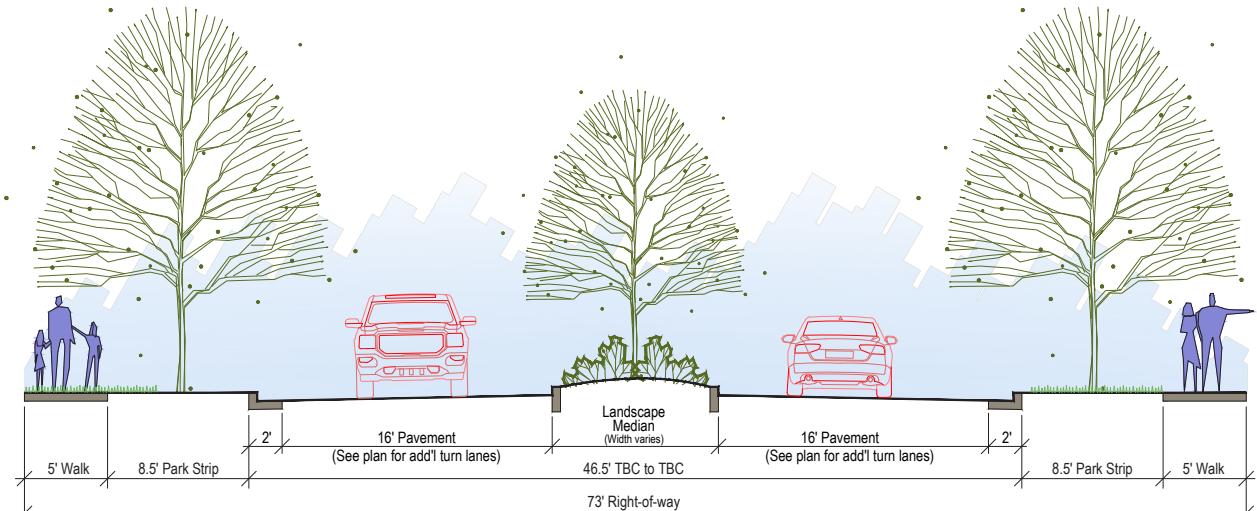
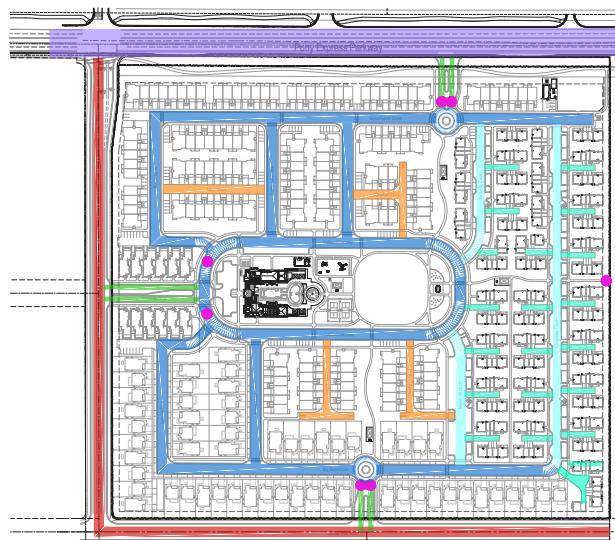


NOTE: Sidewalk and parkstrip conditions vary throughout site. Utility installation locations shall adhere to ST-30 for conditions A, C1, C2, C3 and utility installation locations shall adhere to ST-31 for Condition B when Condition B is located on the north or east side of the street. A blanket Public Utility Easement (PUE) is required on the site, less and excepting the footprints of all buildings, and shall be shown on the Plat.

### Private Road

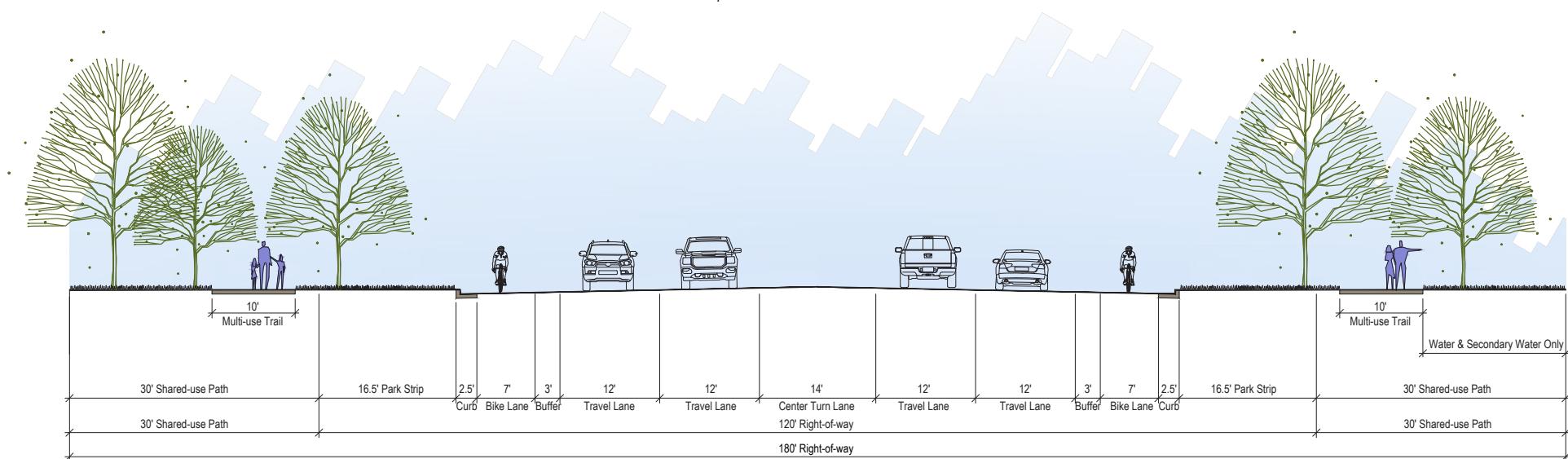
## Development Standards, Continued

### Typical Street Cross-sections



### Private Divided Entry Drive

\* Optional rolled curb on Private Streets

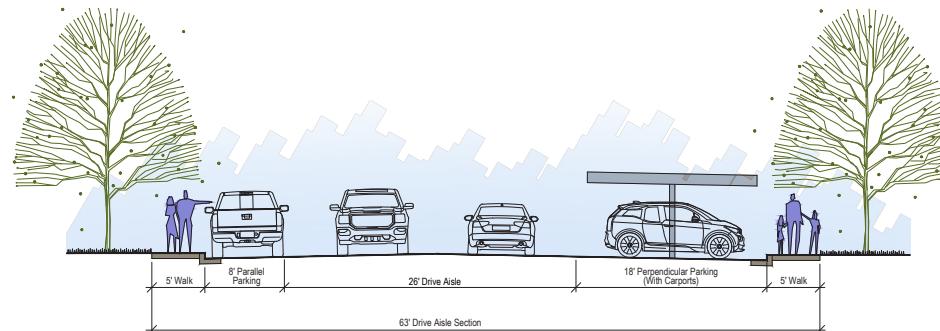
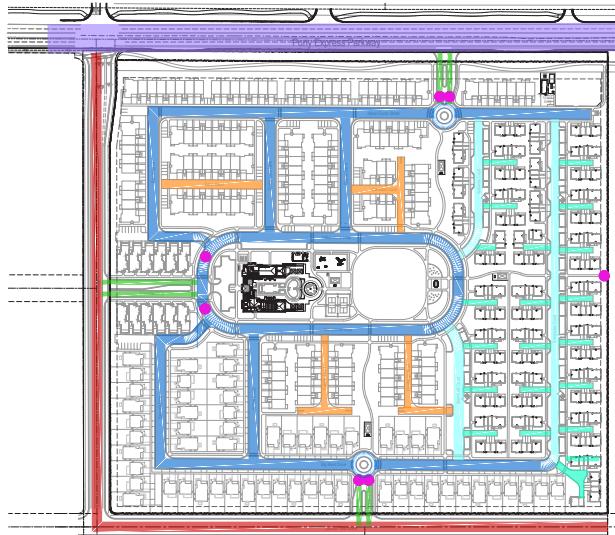


### 180' Major Arterial

Includes 27' right-of-way on south side of section line to accommodate full right-of-way and additional 30' trail

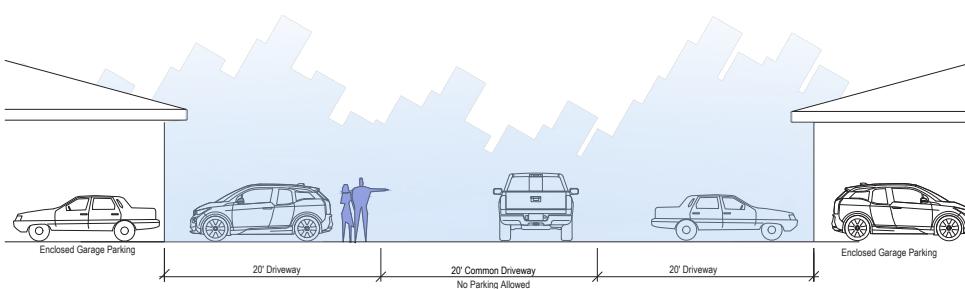
## Development Standards, Continued

### Typical Street Cross-sections



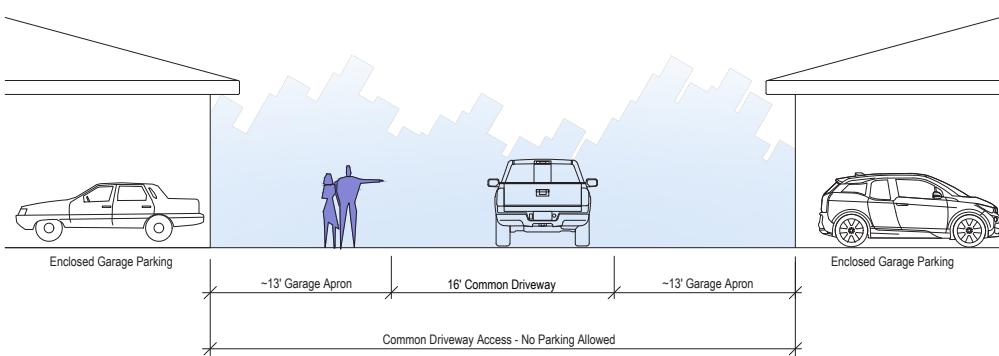
### Typical Parking Drive

See site plan for variations



### Typical Alley Drive

See site plan for variations

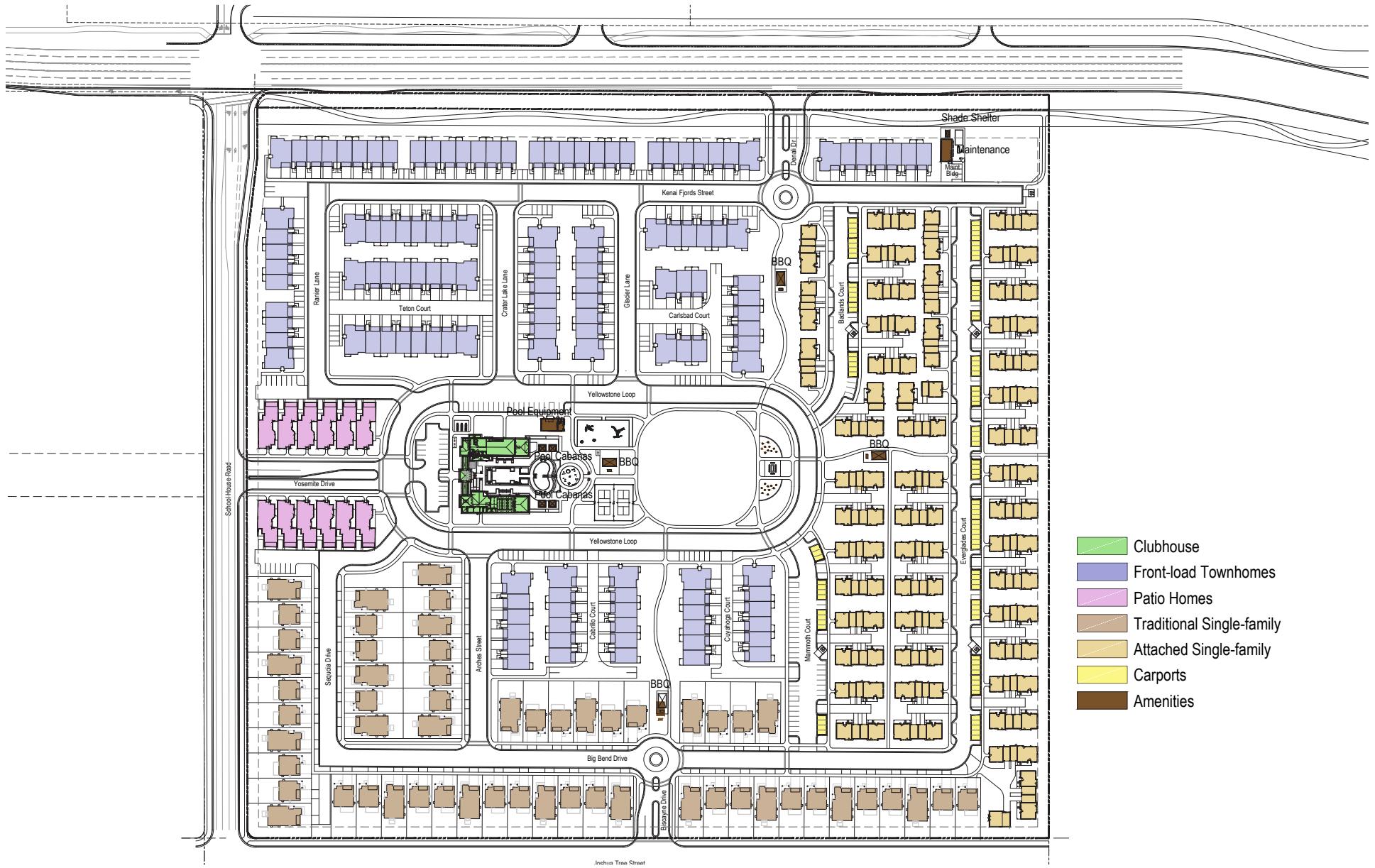


### Typical Attached Multi-family Shared Drive

See site plan for variations

## Design Guidelines

## ***Building Types***



# Design Guidelines

## Building Facades

### Upgraded Facade

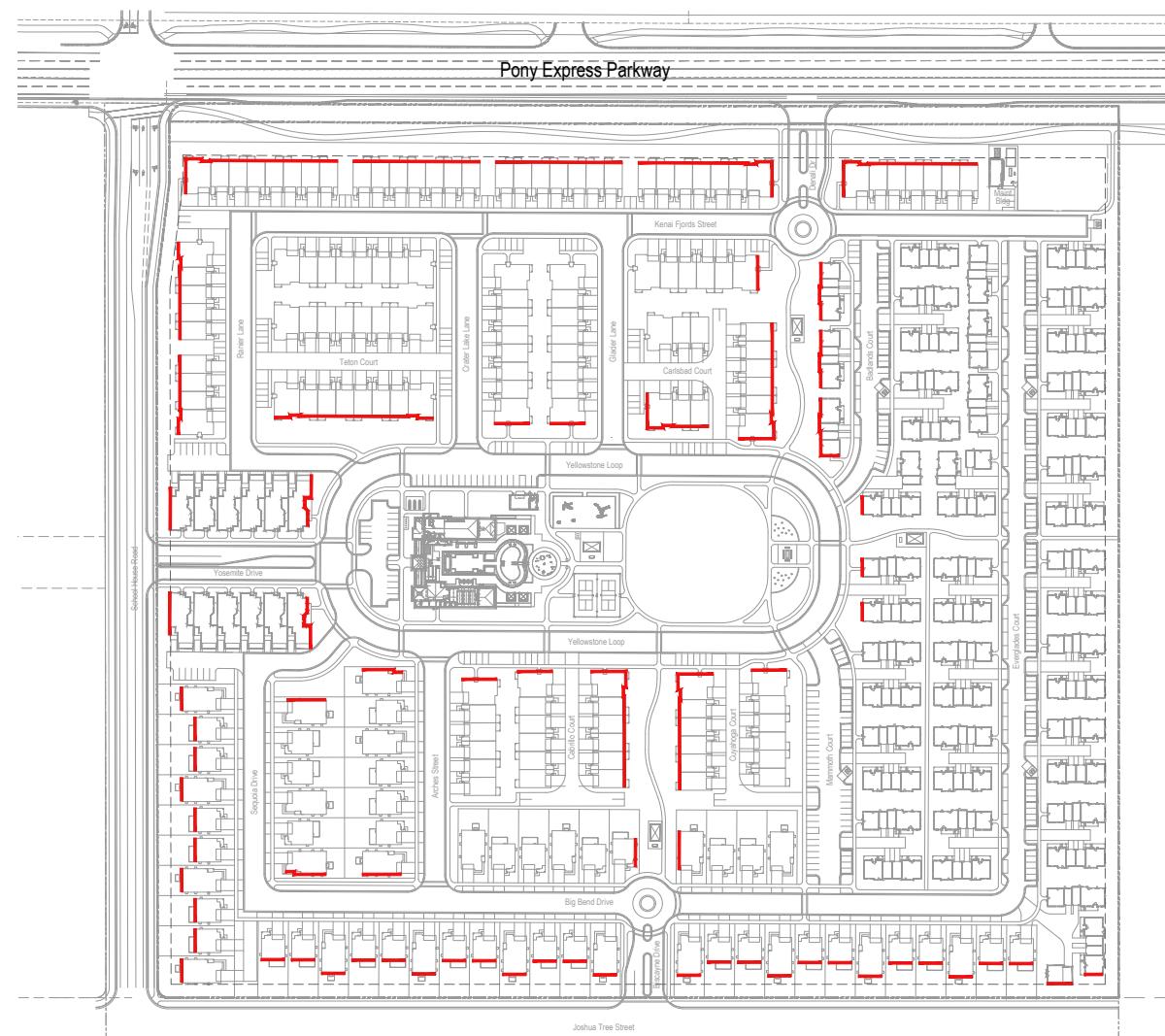
Highlighted facades shall be treated as a front facade with 25% Preferred Primary Materials and/or additional architectural features to include two or more of the following elements:

- Roof changes
- Breaks or popouts in facade walls
- Additional building trim or window treatments
- Box or Bay windows
- Color change

### Architectural Review Committee

In order to create, maintain and improve the integrity of the community and to establish and implement a consistent and harmonious design concept and to protect and promote the present and future values of the larger development, all exterior architectural building elevations and building materials, colors and usage design, site plan and landscape treatments, walls and fencing, and signage within the village shall be subject to a design review process and approval established by the Master Developer.

The committee shall consist of representatives from the following: The Master Developer and a selected team of design professionals, i.e. planners, engineers, architects, contractors, etc. The committee will review proposed materials as well as architectural and site plans for compliance with guiding principles set forth in the Community Plan



and Village Plan guidelines.

Applicants are responsible for submitting evidence of ARC approval to the city at the time of building permit application. The Master Developer shall retain the

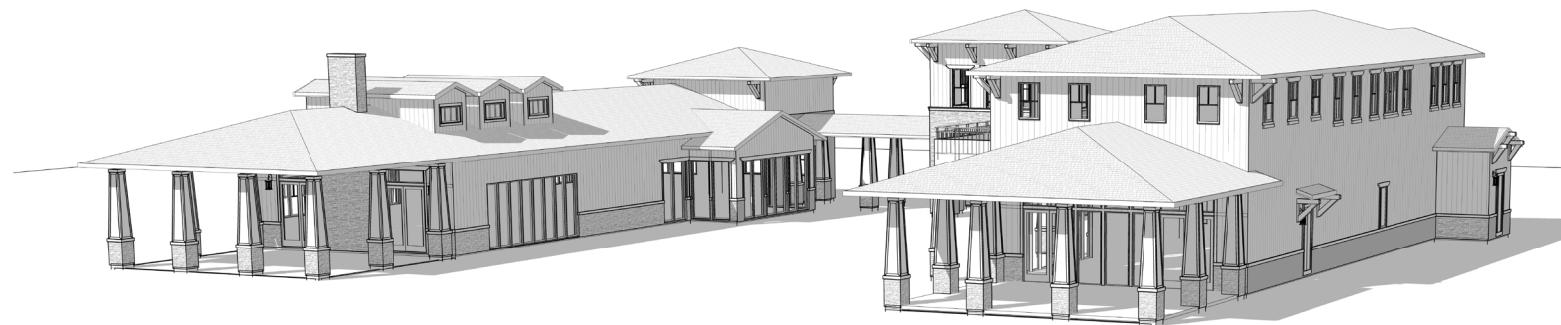
right to retain or replace members of the committee at its discretion. The Architectural Review Committee shall be the approval body until the Village Plan is fully built out, at which time it can transition responsibilities over to the management of the project.

**Building Types**

**Clubhouse**

**Amenities:**

- Leasing Office
- Event Room
- Fitness Center
- Remote Work Space
- Fitness Classes
- Outdoor fitness patio
- Pool
- Hot Tub
- Pool Deck Cabanas
- Lazy River
- Splash Pad



SOUTHEAST CORNER VIEW

1  
2020



NORTHWEST CORNER VIEW

2  
2020

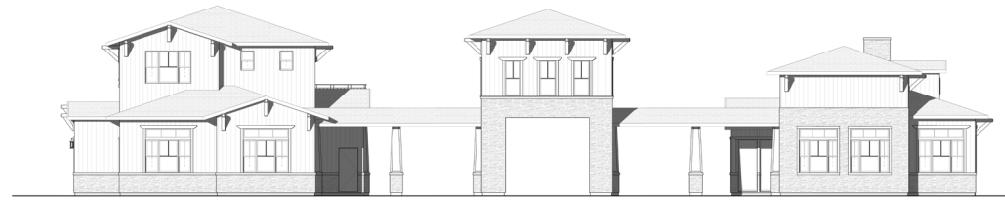
**Parking Requirements**

1 Space per 750 Sq Ft of floor area

## Development Standards, *Continued*

### Building Types

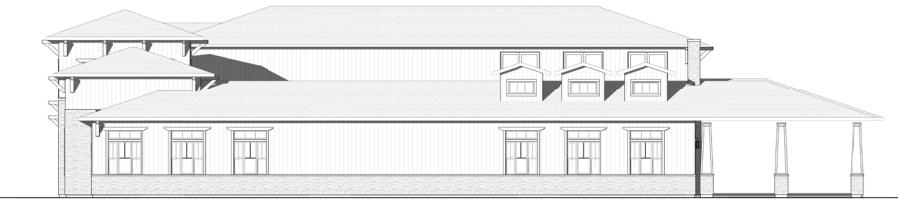
#### Clubhouse



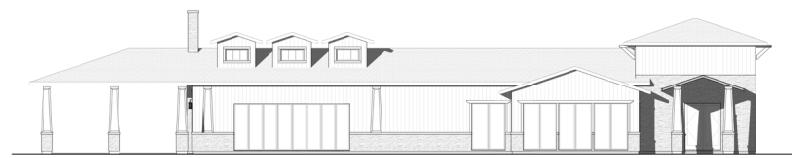
NORTH ELEVATION PRESENTATION VIEW



EAST WING EXTERIOR VIEW



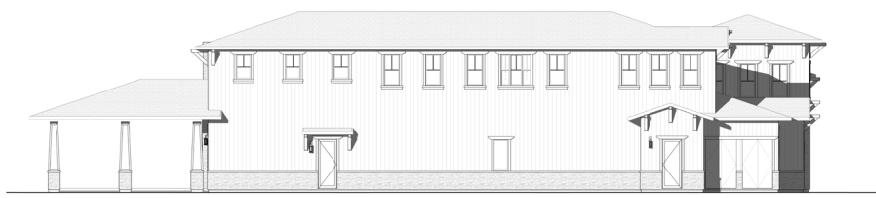
WEST ELEVATION PRESENTATION VIEW



WEST WING EXTERIOR VIEW



SOUTH ELEVATION PRESENTATION VIEW



EAST ELEVATION PRESENTATION VIEW

### Building Types

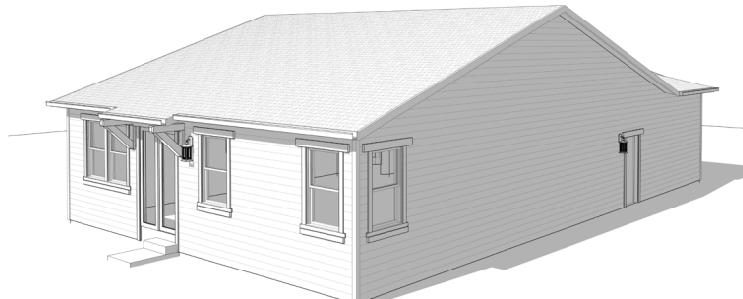
#### 1-Level Single-family

## Single-family Lots

Dwelling, Single Family

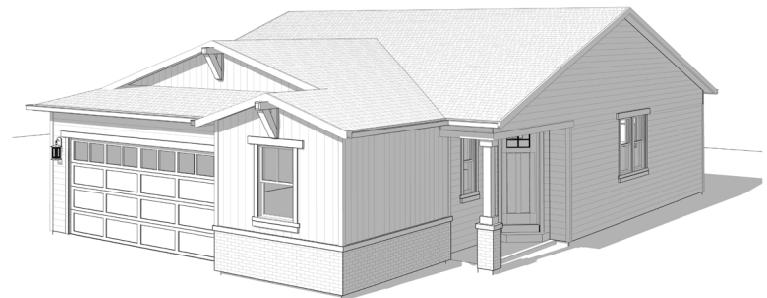
### Unit Features

- 2-Car Garage each unit
- Rambler option
- 2-level option
- 2 & 3 bedroom models
- Private, fenced back yards
- Basements
- Guest parking in driveways



NORTHWEST CORNER VIEW

1  
100'



SOUTHEAST CORNER VIEW

2  
100'



NORTH ELEVATION

10' x 12'



WEST ELEVATION

10' x 12'



SOUTH ELEVATION

10' x 12'



EAST ELEVATION

10' x 12'

### Parking Requirements (Per 19.09.10)

2 stalls per dwelling enclosed in garages.  
Driveways to be 20' in length.

### Building Types

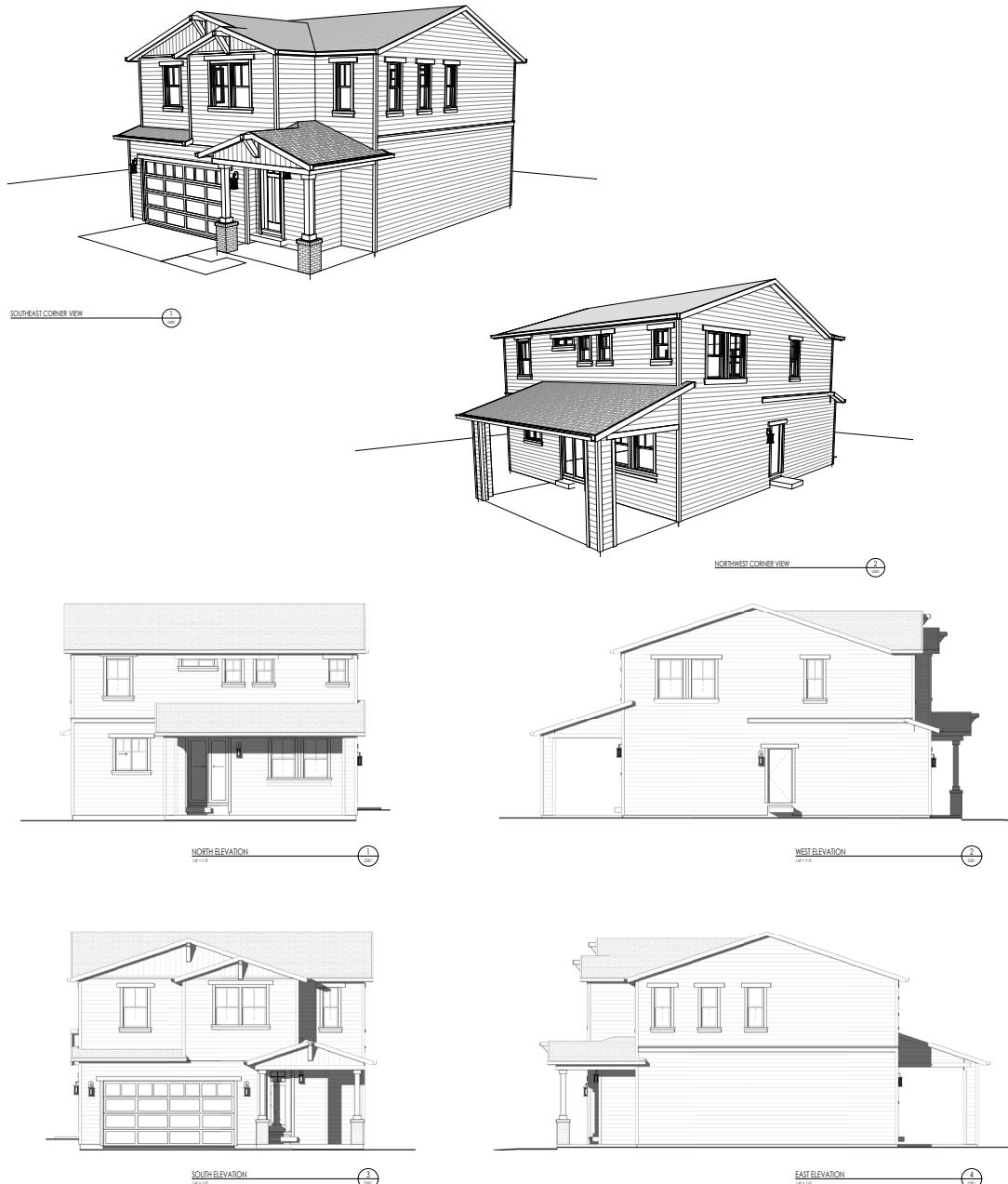
#### 2-Level Single-family

## Single-family Lots

Dwelling, Single Family

### Unit Features

- 2-Car Garage each unit
- Rambler option
- 2-level option
- 2 & 3 bedroom models
- Private, fenced back yards
- Basements
- Guest parking in driveways



### Parking Requirements

2 stalls per dwelling enclosed in garages. Driveways to be 20' in length.

## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 3-plex with end Rambler

## Townhomes

Dwelling, Multi-family

### Typical Unit Features

- Rambler end-unit on some buildings
- 2 and 3 Bedroom options
- Basements
- Fenced back yards
- 2-Car Garages



3D View 1



3D View 2



3D View 3

### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit, whichever is lower one of which must be enclosed.

0.25 Guest Spaces per dwelling unit\*  
counted as guest parking spaces

## Development Standards, *Continued*

### Building Types

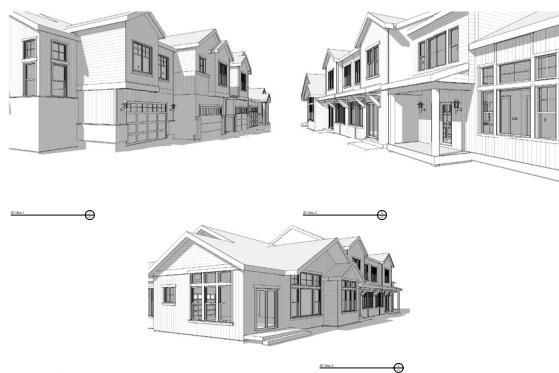
#### Front-loaded Townhomes: 3-plex with end Rambler



## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 4-plex with end Rambler



## Development Standards, *Continued*

### Building Types

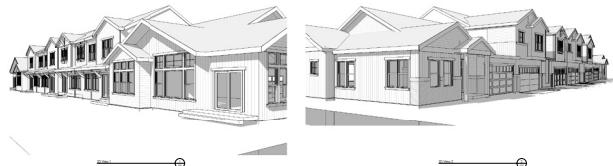
#### Front-loaded Townhomes: 5-plex with end Rambler



## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 6-plex with end Rambler Units



## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 6-plex with end Rambler



Side Elevation



Front Elevation



Right Elevation



Left Elevation

## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 7-plex



3D View 1



3D View 2



3D View 3



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 7-plex with end Rambler



## Development Standards, *Continued*

### Building Types

#### Front-loaded Townhomes: 8-plex with end Rambler



3D View 1



3D View 2



3D View 3



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

## Development Standards, Continued

### Building Types

#### Front-loaded Townhomes: 8-plex with end Rambler Units



3D View 1



3D View 2



3D View 3



FRONT ELEVATION  
18'-10"



REAR ELEVATION  
18'-10"



LEFT ELEVATION  
18'-10"

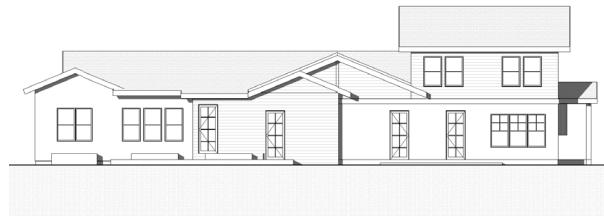
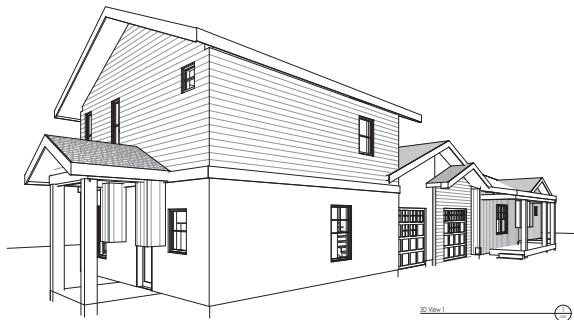


RIGHT ELEVATION  
18'-10"

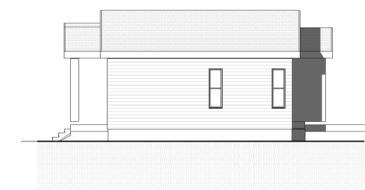
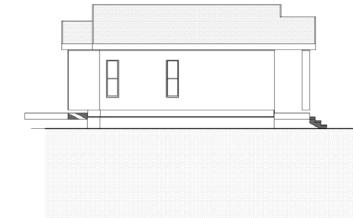
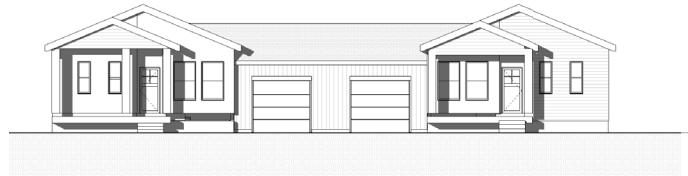
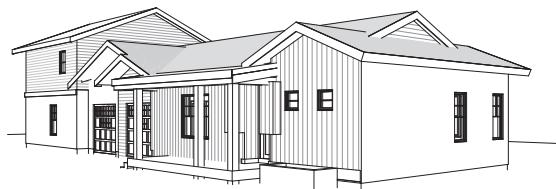
## Development Standards, *Continued*

### Building Types

#### Attached Multi-family



Type 1



Type 2

## Development Standards, *Continued*

### Building Types

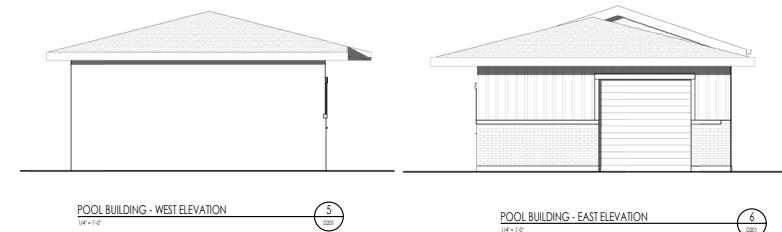
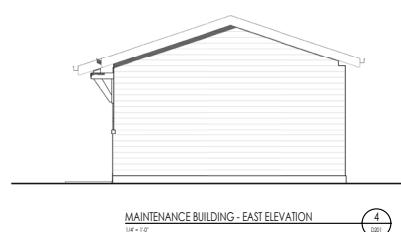
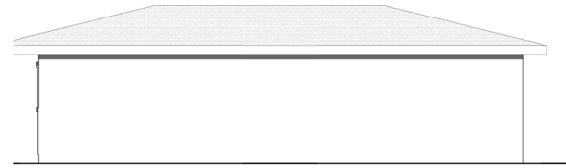
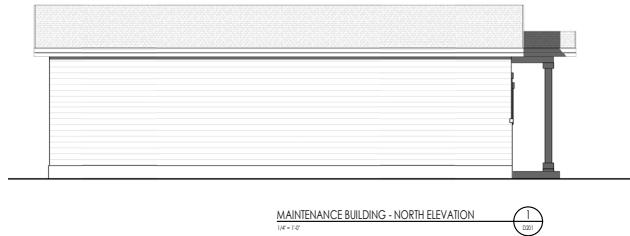
#### Patio Homes



## Development Standards, *Continued*

### Building Types

#### Pool Equipment & Maintenance Buildings



## Development Standards, Continued

### Building Color Palette

#### Typical Color Palettes

#### Color Scheme 1



#### Color Scheme 2



#### Color Scheme 3



Note: All brick veneer to be a minimum of 1/2" thickness.



Final Color Schemes will be submitted to the Planning Director for final approval prior to building permit application.

Preferred Primary Materials	Preferred Accent Materials
EIFS Brick Stone Precast Concrete Metal panels Fiber-cement siding Wood	Brick Stone Precast Concrete Metal Tile Fiber-cement siding

#### Architectural Building Materials

A minimum of 25% of the front facade or upgraded side or rear yards shall be a preferred architectural material as outlined in the Community Plan (See exhibit page 9).

## Development Standards, *Continued*

### Building Color Palette



Color Scheme 1



Color Scheme 2



Color Scheme 3

Color schemes are illustrative only. Final determination of color schemes will be approved by the Planning Director.

## Development Standards, *Continued*

### Building Color Palette



Color Scheme 1



Color Scheme 2

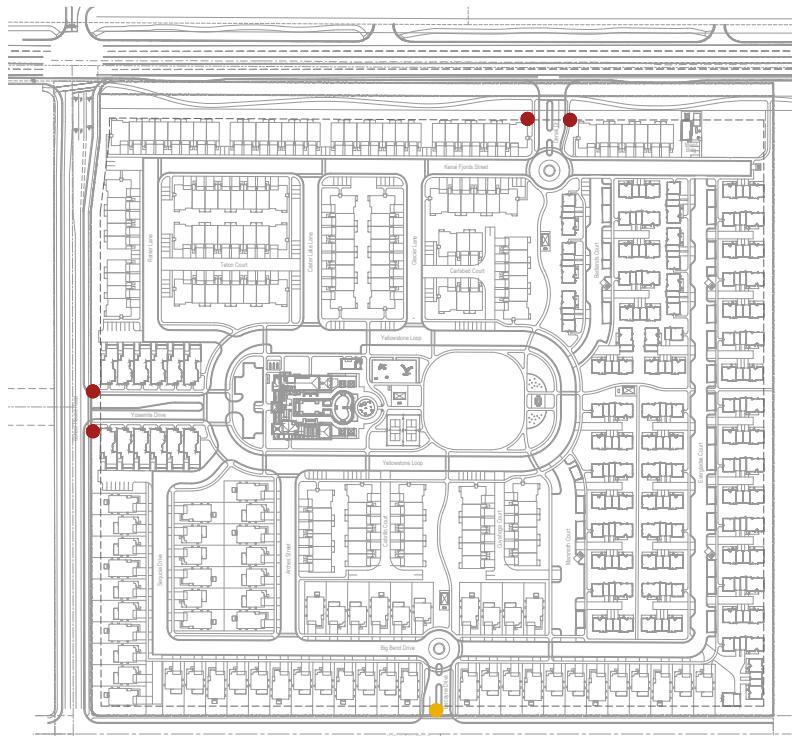


Color Scheme 3

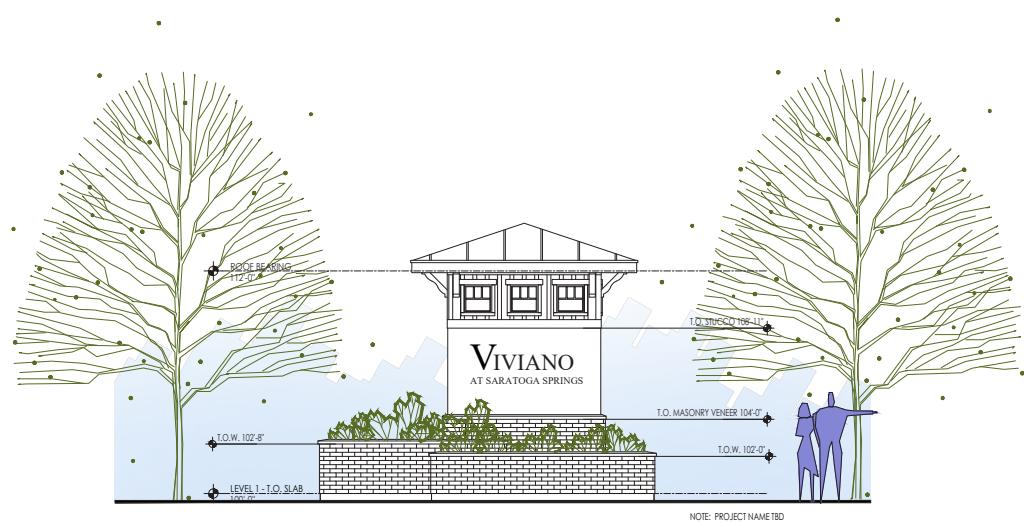
Color schemes are illustrative only. Final determination of color schemes will be approved by the Planning Director.

## Development Standards, Continued

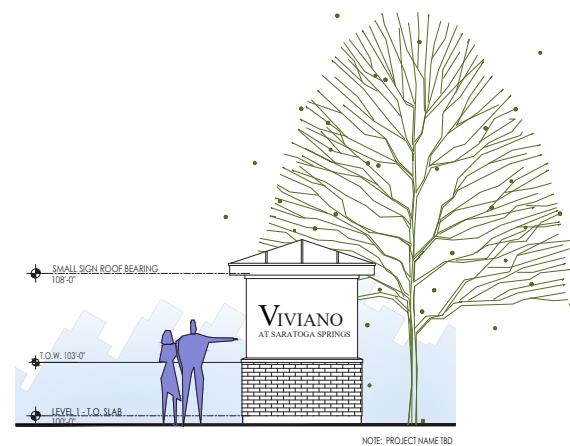
### Signage



- Primary Entrance Sign
- Secondary Entrance Sign



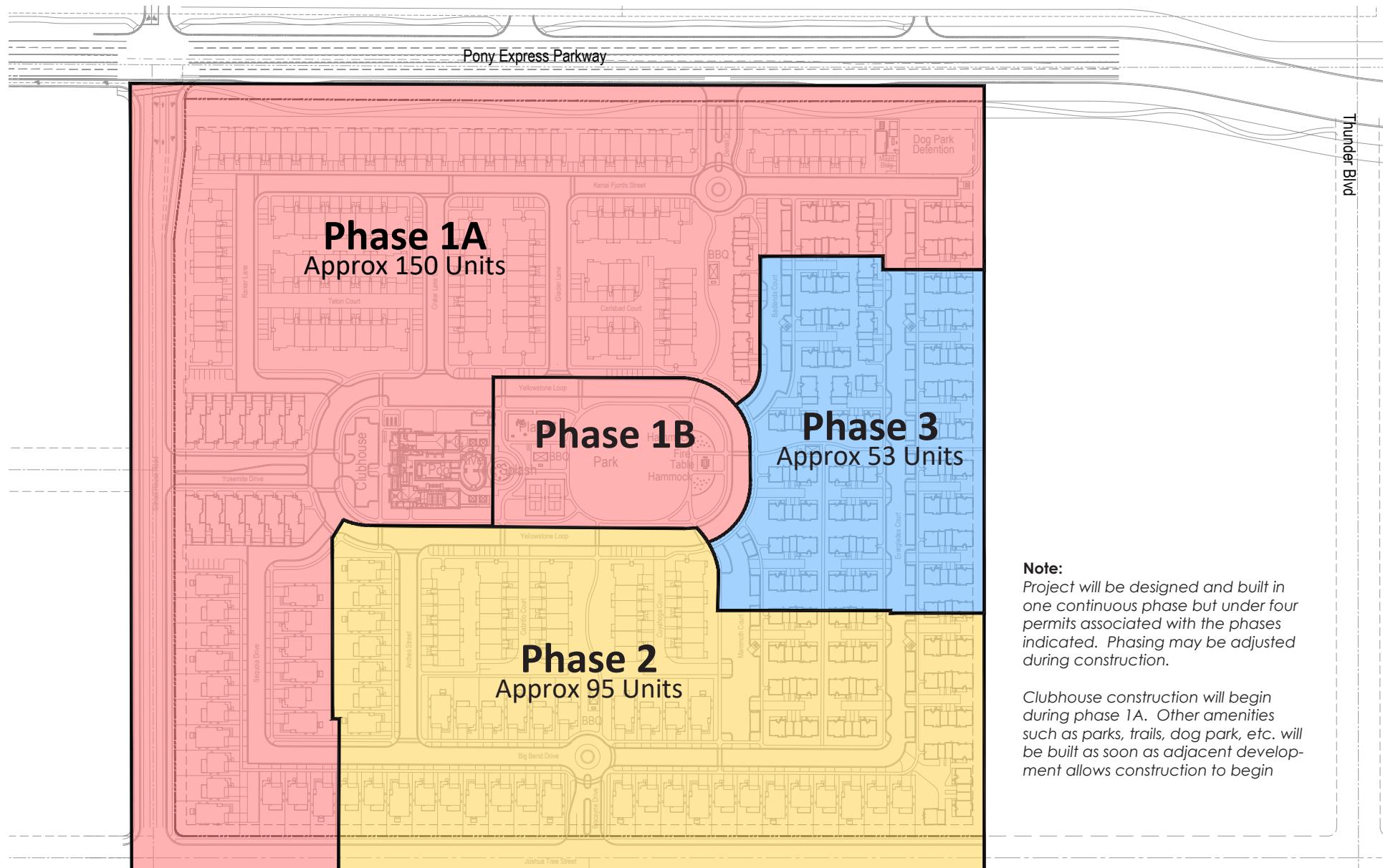
Primary Entrance Monument & Sign



Secondary Entrance Monument & Sign

Note: Signage not presented in this plan will need to comply with Title 19.18 Sign Regulations

# Phasing Plan



# Detailed Lotting Plan



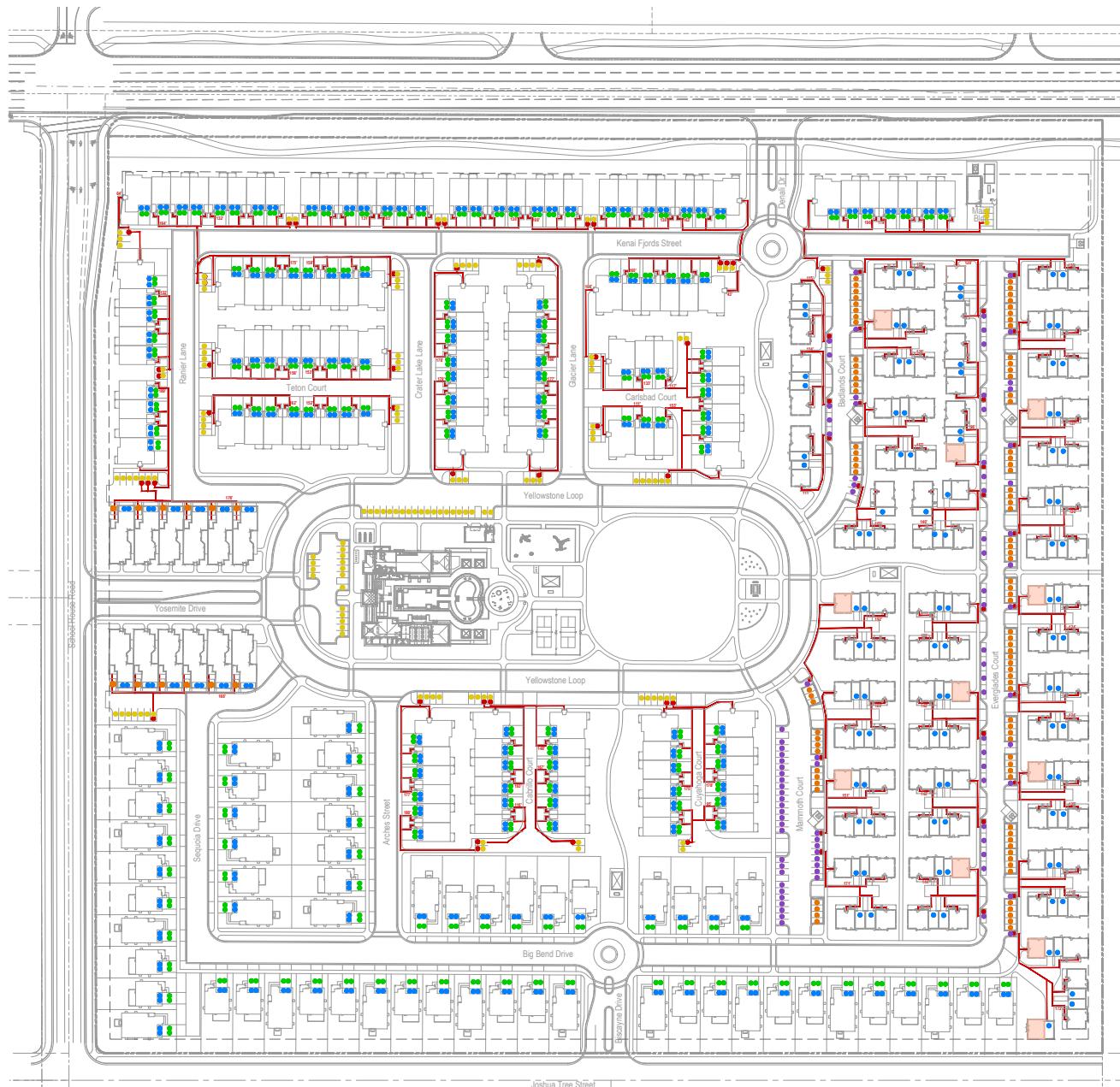
Note: Access to Lots 1-47 shall be from the internal project. No access will be allowed from adjacent public streets.

## Lot Summary

Total Village Plan Area	42.751 Ac
Total Single-family lots	57
Total Attached single-family	50
Total Multi-family Bldgs	21
Total Patio home Bldgs	2
Total Common Buildings	3
Total Common Open Space	7.968 Ac
Total Open Space %	18.63%
Total Building Coverage	638,823 Sq Ft
Total Coverage %	34.30%

Note: All buildings outside of single-family lots will be built on a single lot. Setbacks within that lot will be measured from back of curb or back of sidewalk.

# Detailed Parking Plan



## Parking Summary

Single-family	Total Units	Required/Lot (Garage)	Guest Spaces	Total
Required	57	2.0	0.0	114
Total provided				114
Townhomes (Front-load)	Total Units	Unit (Garage)	Surface Space/Unit	Guest Spaces
Required	133	1.0	1	0.25
Total provided	266	0	102	368
Townhomes (Rear-load)	Total Units	Unit (Garage)	Surface Space/Unit	Guest Space
Required	12	1.0	1	0.25
Total provided	24	0	12	36
Clustered Multi-family	Total Units	Unit (Garage)	Surface Space/Unit	Guest Spaces
Required (1-bedroom units)	10	1.0		0.25
Required (2+ bedroom units)	86	1.0	1	0.25
Total Required				194
Total provided	96	96*	89	281

\* Assigned carports

Additional Parking Spaces (not counted toward requirements above)	
Single-family Driveways (20')	114
Townhomes (Front-load)	266
Total Additional Parking Spaces	380

Note: In clustered multi-family outside of enclosed garages, additional surface parking is in parking lots in open guest spaces or carports. No parking is allowed in shared driveway access or garage approaches.

■ 1-Bedroom Units

## Parking Key

● Garage Parking
● Guest Sp (Townhomes)
● Parking Lot (Carport)
● Guest Sp (Attached Multi-family)
● Required 0.25 guest space within 200'
● Driveway Parking *

\* Driveway parking not counted toward requirement

# Fencing Plan



## 6' Precast Concrete

Note: 6' wall to be on top of 2' berm.  
Project owners will maintain the trail corridor along Pony Express (semi-private not req'd)



## 6' Vinyl Fencing

Color: Grey



## 6' Decorative Aluminum Fence

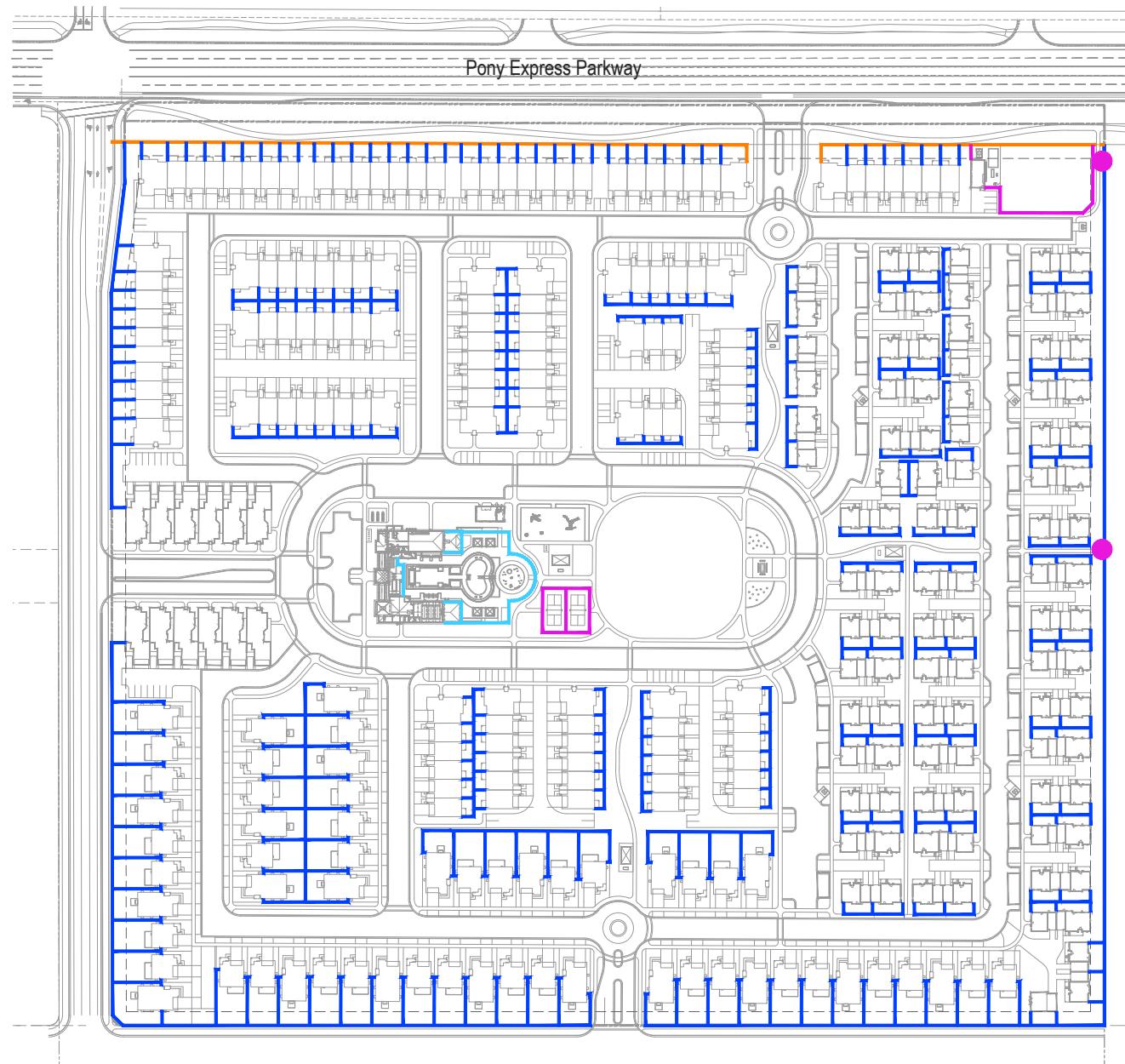


## 6' Vinyl Clad Sport Fence

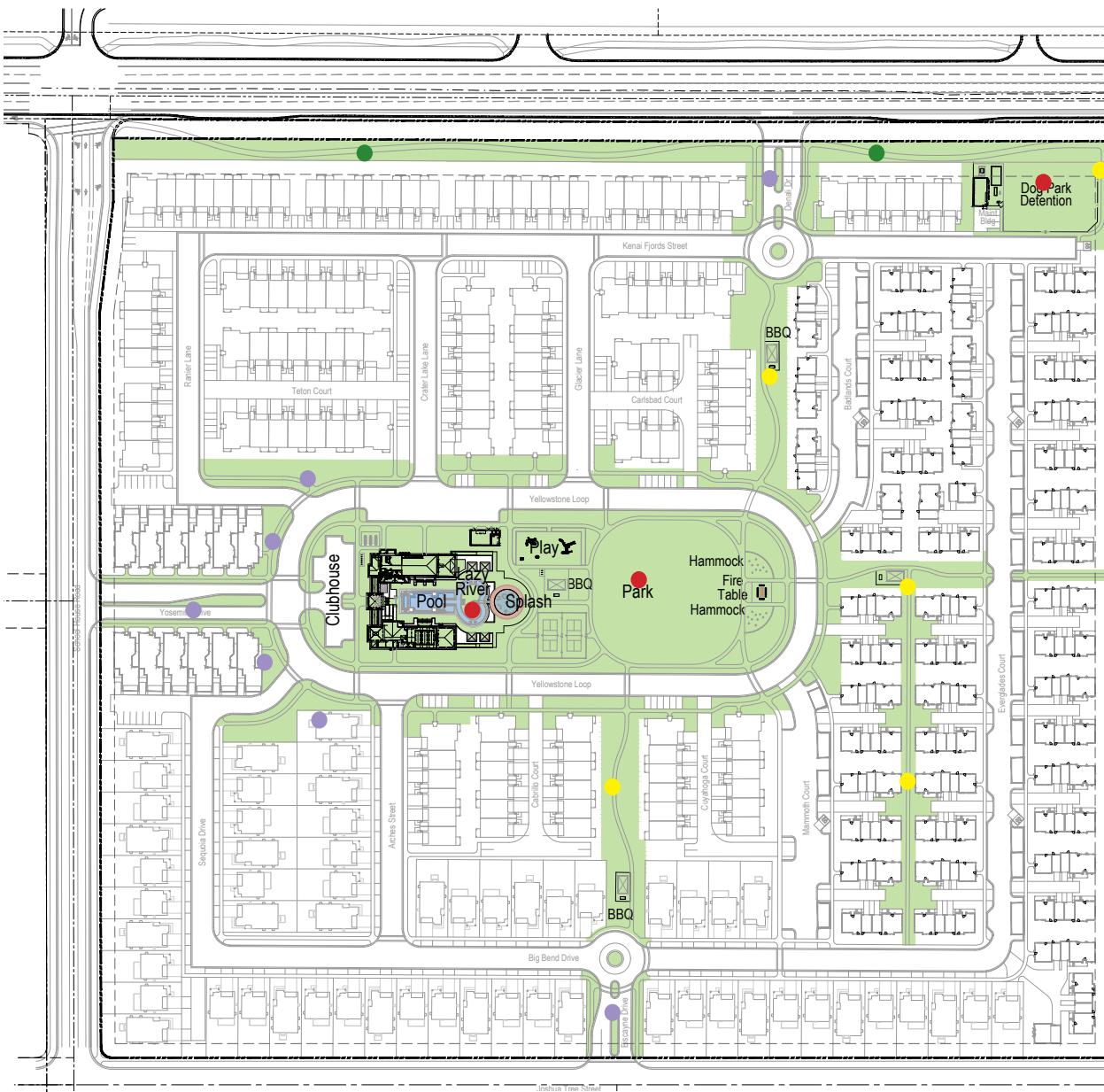
Color: Black

Around sport courts and dog park only

Note: Sight triangles at road intersections  
must be accommodated in final design



# Open Space Plan



Open Space Summary	
Total Village Plan Area	42.751 Ac
Total Common Open Space	7.968 Ac
Common Open Space %	18.63%
Required Open Space %	13-15%

Open Space Types*	
●	Entrance Park
●	Pocket Park
●	Connector Trail
●	Park Lawns

\*As defined in the Saratoga Springs City Center District Area Plan

## Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain (w/ Pet Bowl)
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

## Playground Amenities

- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings
- Bike Rack

## Pool Deck

- Pool
- Lazy River
- Splash Pad
- Hot Tub
- Cabanas with TVs
- Seating areas

# Landscape Plan



## Landscaped Areas

Areas highlighted in green indicate areas to be treated with landscape (i.e. turf, shrubs, trees, planters, mulch, etc.)

## Open Space Management

All landscaped areas, including all landscape within the residential project boundary, all park strips adjacent to residential project, and the 30' trail corridor along Pony Express Parkway will be maintained by the management company selected by the owner.

## Landscape Plan, Continued

### Landscape Palette

#### Deciduous Trees



Botanical Name	Common Name	Size
<i>Acer campestre</i> 'Queen Elizabeth'	Queen Elizabeth Hedge Maple	2" Cal
<i>Acer platanoides</i> 'Emerald Queen'	Emerald Queen Maple	2" Cal
<i>Acer freemanii</i>	Armstrong Maple	2" Cal
<i>Acer pseudoplatanus</i>	Sycamore Maple	2" Cal
<i>Acer tatarianum</i>	Tatarian Maple	2" Cal
<i>Carpinus betulus</i> 'Frans Fontaine'	Frans Fontaine Hornbeam	2" Cal
<i>Catalpa speciosa</i>	Catalpa (podless)	2" Cal
<i>Celtis occidentalis</i>	Common Hackberry	2" Cal
<i>Cercis canadensis</i>	Redbud	2" Cal
<i>Fagus sylvatica</i> 'Purple Fountain'	Weeping Purple Beech	2" Cal
<i>Fraxinus mandschurica</i>	Manchurian Ash	2" Cal
<i>Fraxinus pennsylvanica</i> 'Cimmarron'	Cimmarron Green Ash	2" Cal
<i>Ginkgo biloba</i> 'Magyar'	Magyar Maidenhair Tree (Male)	2" Cal
<i>Gleditsia triacanthos</i> inermis 'Imperial'	Imperial Honeylocust	2" Cal
<i>Gleditsia triacanthos</i> inermis 'Shademaster'	Shademaster Locust	2" Cal
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	5' Height
<i>Juniperus scopulorum</i> 'Skyrocket'	Sky Rocket Juniper	5' Height
<i>Liriodendron tulipifera</i>	Tuliptree	2" Cal
<i>Malus</i> 'Indian Magic'	Crabapple	2" Cal
<i>Malus</i> 'Spring Snow'	Spring Snow Crabapple	2" Cal
<i>Platanus acerifolia</i> 'Bloodgood'	Bloodgood London Planetree	2" Cal
<i>Prunus sargentii</i> 'Pink Flair'	Pink Flair Flowering Cherry	2" Cal
<i>Prunus serrulata</i> 'Kwanzan'	Kwanzan Flowering Cherry	2" Cal
<i>Prunus virginiana</i> 'Canada Red'	Canada Red Chokecherry	2" Cal
<i>Pyrus calleryana</i> 'Redspire'	Redspire Flowering Pear	2" Cal
<i>Quercus gambelii</i>	Gamble Oak	2" Cal
<i>Quercus macrocarpa</i>	Bur Oak	2" Cal
<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	2" Cal
<i>Tilia tomentosa</i>	Silver Linden	2" Cal
<i>Ulmus pavifolia</i>	Lace Bark Elm	2" Cal
<i>Ulmus x</i> 'Accolade'	Accolade Hybrid Elm	2" Cal
<i>Zelkova serrata</i> 'Village Green'	Village Green Zelkova	2" Cal
<i>Zelkova serrata</i> 'Wireless'	Wireless Zelkova 2" Cal	

Note: Fruit-bearing trees are not allowed within public rights-of-way

## Landscape Plan, Continued

### Landscape Palette

#### Shrubs



Botanical Name	Common Name	Size
<i>Berberis thunbergii</i> A. N. 'Crimson Pigmy'	Redleaf Barberry	5 Gal
<i>Buxus x</i> 'Green Gem'	Green Gem Boxwood	1 Gal
<i>Caryopteris x clandonensis</i> 'Blue Mist'	Blue Beard	3 Gal
<i>Cornus sericea</i> 'Cardinal'	Red Twig Dogwood	5 Gal
<i>Cornus sericea</i> 'Kelseyi'	Kelsey Dwarf Dogwood	3 Gal
<i>Euonymus alatus</i> 'Compactus'	Compact Burning Bush	1 Gal
<i>Forsythia x intermedia</i> 'Evergold'	Border Forsythia	1 Gal
<i>Hibiscus syriacus</i> 'Aphrodite'	Aphrodite Rose Of Sharon	1 Gal
<i>Juniperus chinensis</i> Var. <i>Sargentii</i>	Sargent'S Juniper	5 Gal
<i>Lavandula angustifolia</i> 'Buena Vista'	Buena Vista Lavender	5 Gal
<i>Lonicera tatarica</i> utahensis	Tatrian Honeysuckle	1 Gal
<i>Mahonia aquifolium</i> 'Compacta'	Compact Oregon Grape	5 Gal
<i>Mahonia repens</i>	Creeping Oregon Grape	1 Gal
<i>Nandina domestica</i> 'Gulfstream'	Gulfstream Heavenly Bamboo	3 Gal
<i>Physocarpus opulus</i> 'Bloomin Easy'	Bloomin Easy Ninebark	5 Gal
<i>Physocarpus opulifolius</i> 'Diablo'	Diablo Ninebark	1 Gal
<i>Pinus mugo</i> 'Pumilio'	Dwarf Mugo Pine	1 Gal
<i>Potentilla fruticosa</i> 'Abbotswood'	Abbotswood Potentilla	3 Gal
<i>Potentilla fruticosa</i> 'Jackmanii'	Jackman Potentilla	3 Gal
<i>Prunus laurocerasus</i> ' Otto Luyken' x <i>cistena</i>	Otto Luyken Laurel	5 Gal
<i>Rhamnus frangula</i> 'Ron Williams'	Fine Line Fern Leaf Buckthorn	5 Gal
<i>Rhus aromatica</i> 'Grow Low'	Grow Low Fragrant Sumac	5 Gal
<i>Ribes alpinum</i> 'Aureum'	Alpine Current 3 Gal	

## Landscape Plan, Continued

### Landscape Palette

#### Evergreen Shrubs



Botanical Name	Common Name	Size
Rosa 'Knock Out'	Knock Out Rose	3 Gal
Rosa 'Radtko'	Double Knock Out Rose	5 Gal
Rosa 'Woodsii'	Wood's Rose	5 Gal
Spirea bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal
Spirea japonica 'Neon Flash'	Neon Flash Spirea	3 Gal
Syringa meyeri 'Palibin'	Dwarf Korean Lilac	1 Gal
Syringa patula 'Miss Kim'	Miss Kim Lilac	5 Gal
Taxus baccata 'Repandens'	Japanese Yew	1 Gal
Taxus media 'Dark Green Spreader'	Dark Green Spreader Yew	5 Gal
Wigela florida 'Tango'	Tango Wigela	3 Gal

#### Ornamental Grasses



Botanical Name	Common Name	Size
Calamagrostis x acutiflo. 'Karl Foerster'	Karl Foerster Grass	1 Gal
Carex muskingumensis 'Ice Fountains'	Ice Fountains Sedge	1 Gal
Chasmanthium latifolium	Northern Sea Oats	1 Gal
Deschampsia cespitosa	Tufted Hairgrass	1 Gal
Festuca Ovina glauca	Blue Fescue Grass	1 Gal
Helictotrichon sempervirens	Blue Oat Grass	1 Gal
Miscanthus sinensis 'Yaku Jima'	Dwarf Maiden Hair Grass	1 Gal
Muhlenbergia capillaris	Pink Muhly Grass	1 Gal
Muhlenbergia reverchonii 'Undaunted'	Undaunted Pink Muhly Grass	1 Gal
Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwf Fountain Grass	1 Gal
Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	1 Gal

#### Groundcovers



Botanical Name	Common Name	Size
Euonymus fortunei	Winter Creeper	3" Pot
Ajuga reptans	Bugleweed	3" Pot
Sedum	Sedum	3" Pot

## Landscape Plan, Continued

### Landscape Palette

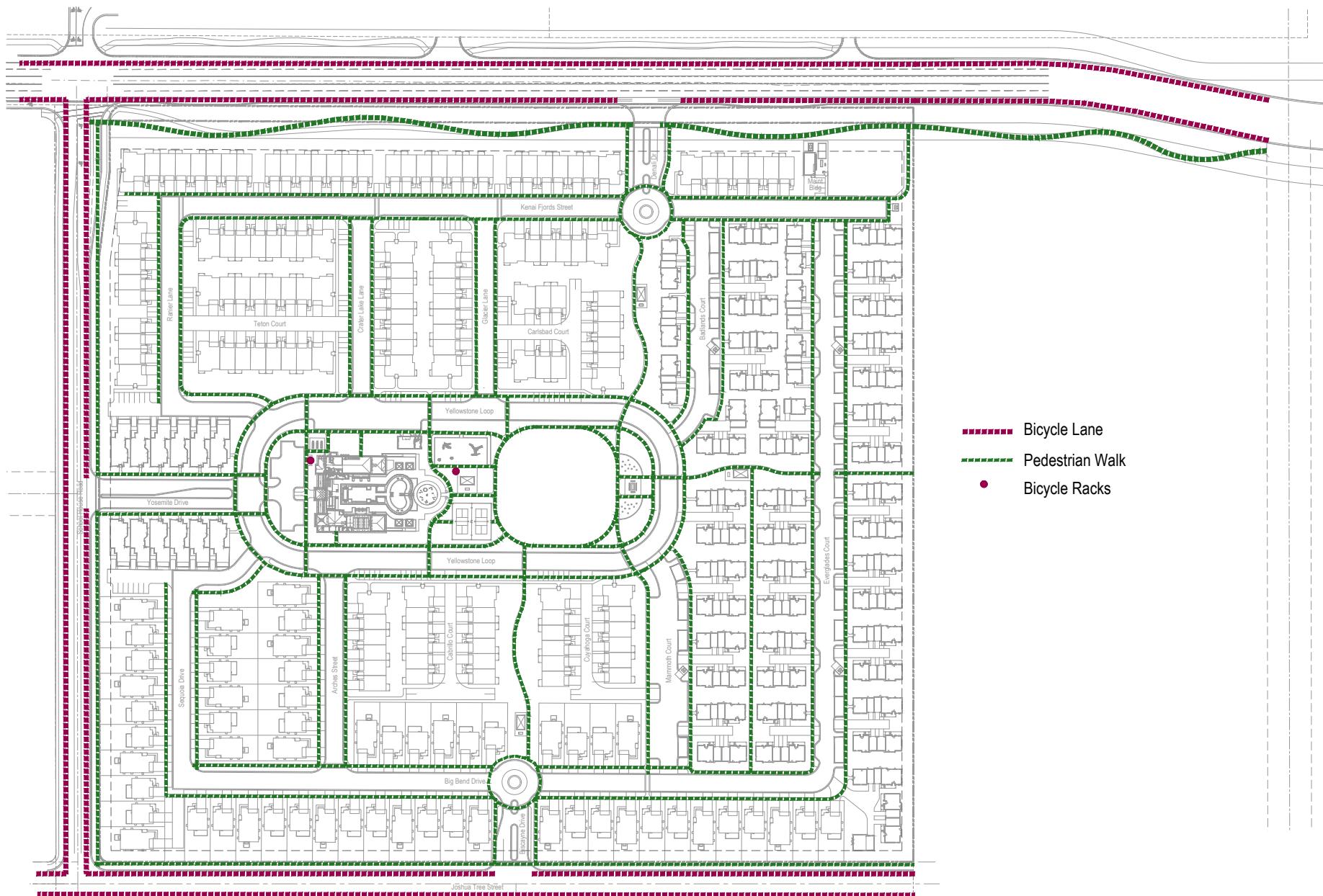
#### Perennials



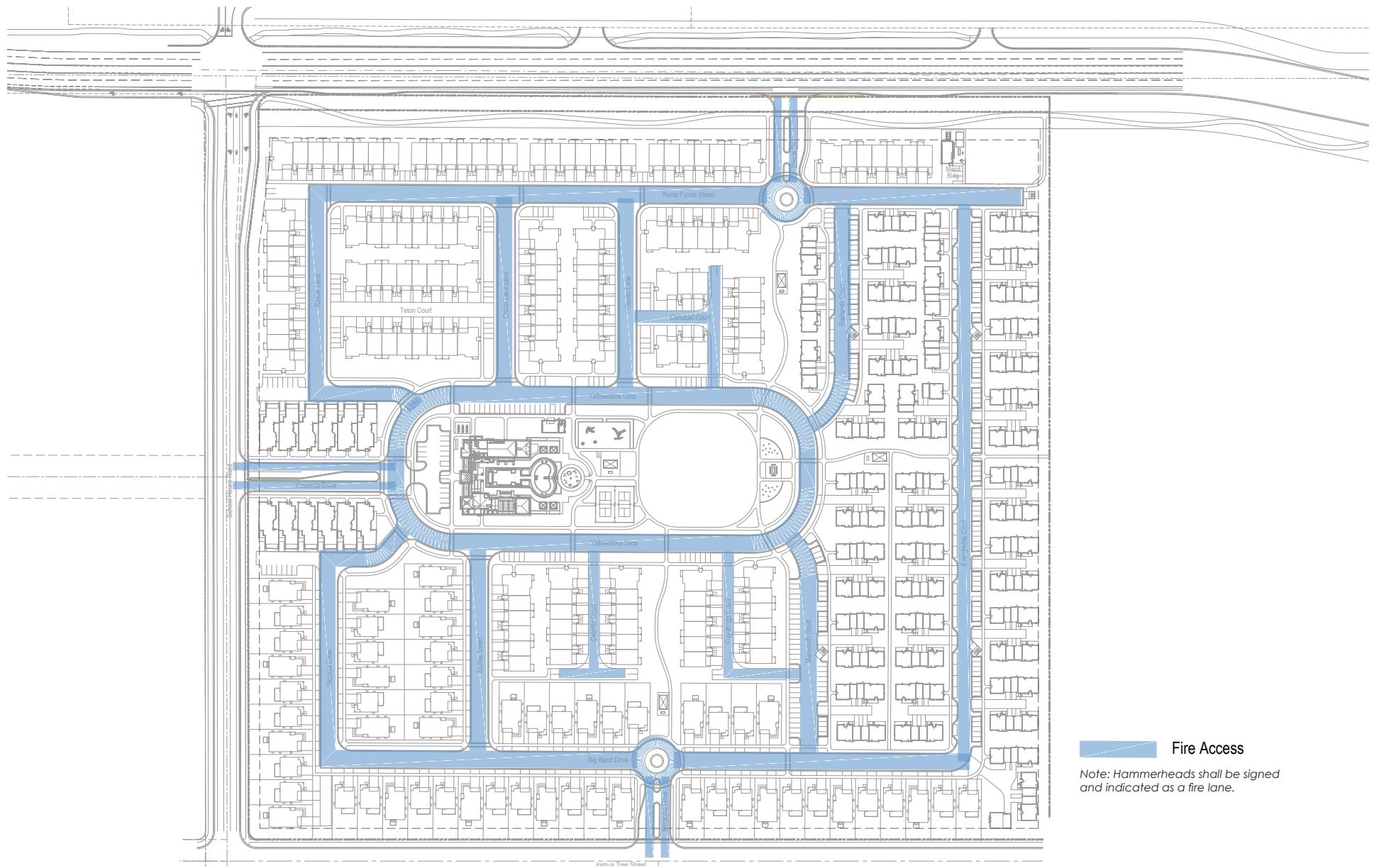
Botanical Name	Common Name	Size
<i>Agastache cana</i>	Double Bubble Mint	1 Gal
<i>Anemone hybrida 'Fantasy Pocahontas'</i>	Japanese Windflower	1 Gal
<i>Astilbe chinensis 'Visions In Red'</i>	Visions In Red False Goats Beard	1 Gal
<i>Bergenia cordifolia</i>	Heartleaf Bergenia	1 Gal
<i>Coreopsis grandiflora 'Early Sunrise'</i>	Early Sunrise Tickseed	1 Gal
<i>Echinacea purpurea</i>	Purple Coneflower	5 Gal
<i>Echinacea purpurea 'Mangus'</i>	Mangus Coneflower	1 Gal
<i>Gaillardia aristata</i>	Blanket Flower	5 Gal
<i>Gaura lindheimeri 'Crimson Butterflies'</i>	Crimson Butterflies Gaura	1 Gal
<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	1 Gal
<i>Hemerocallis 'Mauna Loa'</i>	Mauna Loa Daylily	1 Gal
<i>Hemerocallis 'Pardon Me'</i>	Pardon Me Daylily	1 Gal
<i>Hemerocallis 'South Seas'</i>	South Seas Daylily	1 Gal
<i>Hemerocallis 'Stella De Oro'</i>	Stella De Oro Daylily	1 Gal
<i>Heuchera x 'Midnight Rose'</i>	Midnight Rose Coral Bells	5 Gal
<i>Hosta x 'Blue Angel'</i>	Blue Angel Hosta	5 Gal
<i>Hosta x 'High Society'</i>	Plantain Lily 'High Society'	1 Gal
<i>Hosta x 'Royal Standard'</i>	Plantain Lily 'Royal Standard'	1 Gal
<i>Hosta x 'Stained Glass'</i>	Plantain Lily 'Stained Glass'	1 Gal
<i>Kniphofia 'Jackpot'</i>	Jackpot Red Hot Poker	1 Gal
<i>Lavandula angustifolia 'Hidcote Blue'</i>	Hidcote Blue Lavender	1 Gal
<i>Leucanthemum superbum 'Snow Cap'</i>	Snow Cap Shasta Daisy	1 Gal
<i>Liriope muscari 'Big Blue'</i>	Big Blue Lily Turf	1 Gal
<i>Paeonia lactiflora 'Celebrity'</i>	Celebrity Peony	5 Gal
<i>Rudbeckia fulgida 'Goldstrum'</i>	Black Eyed Susan	1 Gal
<i>Rudbeckia fulgida 'Little Goldstar'</i>	Little Goldstar Black Eyed Susan	1 Gal
<i>Salvia nemorosa 'May Night'</i>	May Night Sage	1 Gal
<i>Salvia x sylvestris</i>	'May Night' / Sage	1 Gal

Note: Plant list for all plant types may be modified with approval from the Planning Director

# Pedestrian Plan



# Fire Access Plan



# Site Characteristics



## Waterways

There are no existing waterways within the boundaries of the site.

## Fault Lines and geological Information

The site is in an area known to have fine-grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a major hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site. These factors will be considered by a geotechnical engineer for structural design recommendations.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Cedar Valley Tear Fault located approximately 4 miles northwest.

## General Soil Data

The site is primarily comprised of Taylorsville and Payson silty clay loams. These soils are classified as developable. A geotechnical report will be prepared to identify specific recommendations for buildings.

## Slopes

The site currently slopes from the west to east at approximately 2%. No slopes exist on the site that are greater than 30%.

## Wetlands

There are no existing wetlands within the project boundaries.

## Historical Sites

There are no known historical sites within the project boundaries.

## Endangered Plants

The site is currently being farmed. There are no endangered plants within the project boundaries.

## Wildlife

The site is currently being farmed. There is no wildlife within the project boundaries.

# Additional Elements

## Other Project Information

### Associations

There are no owner associations that will be required. The entire project will be managed and operated by the owner.

### Mitigation Plans

No significant environmental issues will be encountered on this site, and as a result, no mitigation plans are required.

### Development Agreement

This property is a part of the Saratoga Springs City Center District Area Plan. A Development agreement was signed at the time of the approval of the District Plan.

### Findings Statement

- a. This Community & Village Plan as presented is consistent with the adopted District Area Plan. Access to the site is accommodated from the existing Pony Express Parkway and entrances on proposed streets on the west and south sides of the property. Taking the vocabulary of the Community Plan we have carried through the Village Plan the critical design elements.
- b. This Plan anticipates an estimated building coverage of 638,823 square feet at full build out.
- c. The Density of approximately 7 du/ac is consistent with the District Area Plan for this development. This Plan does not exceed the total number of residential units dictated in the adopted District Plan and does not anticipate a need for a transfer of density. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures.
- d. This Plan is consistent with the utility, infrastructure, and circulation plans of the District Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. Also, future capacity for Secondary Water Lines and future phases are addressed.
- e. This Plan properly integrates utility, infrastructure, open spaces, pedestrian systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26; and exceeds the minimum required open space of 13-15% in the adopted Community Plan, and adopted District Area Plan.

## APPENDIX A: CIVIL ENGINEERING

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