

# Community & Village Plan

## Viviano at Saratoga Springs

Pony Express Parkway, Saratoga Springs, Utah

June 13, 2022 (revised)

Revision 11/15/22



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# Vicinity Plan



**COMMUNITY PLAN AREA** (Viviano Project + Road Rights-of-way)

Beginning at a point being South 89°41'46" East 1796.92 feet, thence South 0°05'41" East 33.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South 89°41'46" East 869.75 feet;  
thence, South 89°59'20" East 640.97 feet;  
thence, South 1328.01 feet;  
thence, South 0°01'53" East 77.00 feet;  
thence West 1508.42 feet;  
thence, North 0°05'41" West 1409.75 feet to the point of beginning.

Contains 2,123,067 Square Feet or 48.739 Acres.

**VILLAGE PLAN AREA** (Viviano Project)

Beginning at a point being South 89°41'46" East 1893.43 feet, thence South 0°05'41" East 60.00 feet from the North Quarter Corner, Section 27, Township 5 South, Range 1 West, Salt Lake Base and Meridian; and running

thence, South 89°41'46" East 773.06 feet;  
thence, South 89°59'20" East 641.11 feet;  
thence, South 1301.01 feet;  
thence West 1416.53 feet;  
thence Northwesterly 23.54 feet along the arc of a 15.00 foot radius curve to the right (center bears North and the chord bears North 45°02'50" West 21.20 feet with a central angle of 89°54'19"); thence,  
thence, North 0°05'41" West 1043.27 feet;  
thence, North 07°02'11" East 157.08 feet;  
thence, North 0°05'41" West 91.09 feet to the point of beginning.

Contains 1,862,254 Square Feet or 42.751 Acres.



# Detailed Use Map



 Mix of single-family dwellings, multi-family dwellings and two-family dwellings

The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with Section 19.26.13 of the Saratoga Springs City Code.

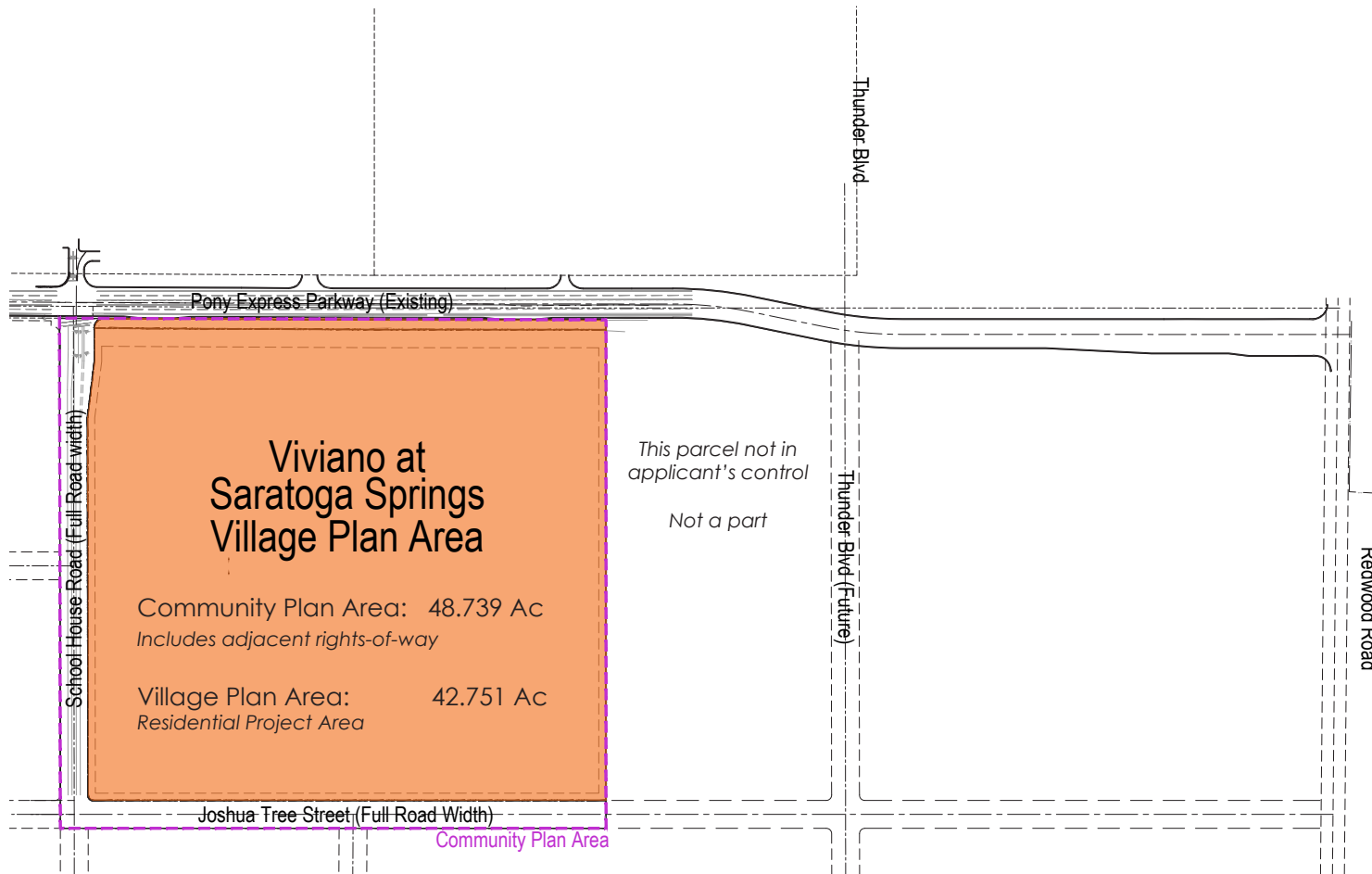
This Community & Village Plan area is allowed to contain Town Neighborhood uses allowing up to 10 dwelling units/acre.

Specific uses shall comply with the MF-10 (Multi-family, 10-units per acre) zone as permitted in Section 19.04 of the Saratoga Springs Municipal Codes.

Planning Director may approve a density increase of up to 15%.

| TOWN NEIGHBORHOOD                    |            |
|--------------------------------------|------------|
| Range of Average dwelling units/acre | 6-34 du/ac |
| Range of Average FAR                 | 0.36-1.82  |
| Range of Open Space                  | 13-15%     |

# Buildout Allocation



## District Area Plan

Per the City Center District Area Plan, there are a maximum of 16,000 residential units, of which this area will be included and the total units will count toward the allotted 16,000 units.

## Community Plan

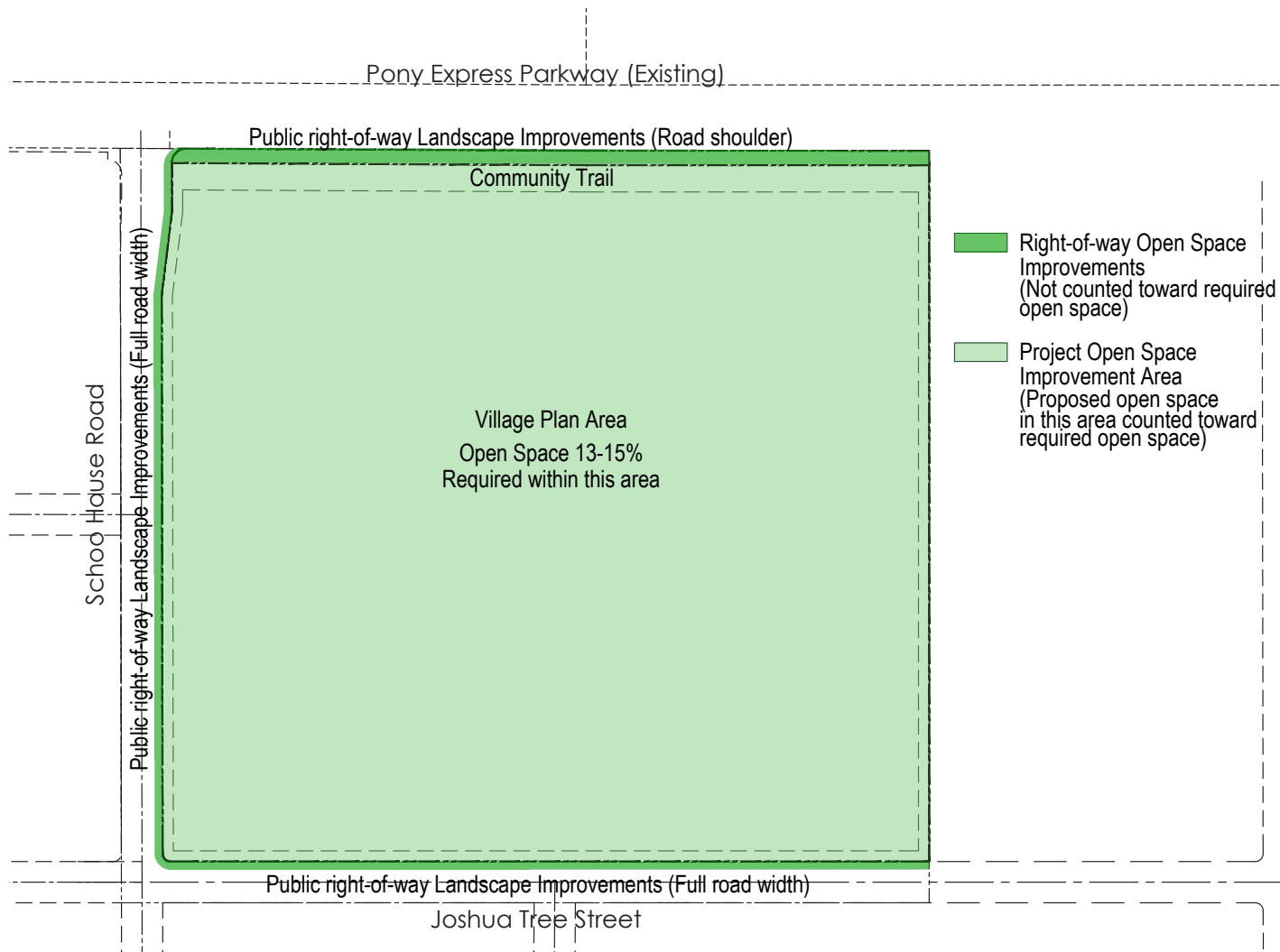
The District Plan states the FAR allowed for this Community Plan is 1.82 FAR per sq feet of project area, allowing for a maximum FAR of 3,389,265 square feet.

| Phase No.                                     | Area (Acres)* | Open Space % | Max Building Sq Ft** |
|---|---------------|--------------|----------------------|
| Viviano at Saratoga Springs Village Plan Area | 42.751 Ac     | 13-15%       | 3,389,265 Sq Ft      |

\* Includes right-of-way dedication

\*\* Based on maximum 1.82 FAR

# Open Space Plan



This Community & Village Plan under this Community Plan is required to provide 13-15% of open space based on the total project area (net of dedicated rights-of-way). Open space beyond the minimum is allowable.

In addition to the project open space required, the following additional open space will be required within the accompanying Village Plan:

- A 30' open space corridor along the south side of Pony Express parkway, with 10' meandering concrete trail and plantings
- Park strip improvements along School House Road and Joshua Tree Street.

This Plan specifies which District Area Plan open space types will be used.



# Guiding Principles

## Streetscape Treatments:

Streetscapes along Pony Express Parkway and Joshua Tree Street and Brookwood Boulevard shall conform to the following standards:

- a. Maximum of 50% turf. All areas not covered in turf shall be dressed with stone or cobble.
- b. Within 50' of community entrances off of Pony Express Parkway and Joshua Tree Street & Brookwood Blvd shall contain additional native shrub or perennial plantings, drought-tolerant ornamental grasses, evergreen shrubs or flowering perennials.
- c. Design of landscape along streetscapes shall be water-wise plant selection and design.

## General Landscape Guidelines:

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Code, Chapter 19.06 (Landscape and Fencing) and 19.09 (Off-street Parking).
2. Plant materials shall be described in the Village Plan.
3. Trees and plantings in park strips and parking islands along public roads shall be consistent with Saratoga Springs City Code.
4. All non-turf landscape areas shall have decorative stone or wood mulch around plantings.
5. Accent boulders may be used in landscape planting areas provided they do not block access to utilities and block signs.

6. Lawn and landscape planters shall be separated by concrete, aluminum or steel edging.

## Guiding Development Standards:

### 1. Permitted Uses

Allowed uses shall comply with the MF-10 zone as permitted, as outlined in Section 19.04 of the Saratoga Springs Municipal Code.

### 2. Minimum Lot Size

The minimum lot size for the total project (excluding any individual lots within the development) shall be 5 acres.

### 3. Setback and Yard Requirements

Public right-of-way setbacks:

*Front setback: 20'*

*Side-yard setbacks: 20'*

*Rear-yard setbacks: 20'*

Internal project setbacks:

*Minimum building separation: 10'\**

*Minimum Front-yard setbacks: 10'*

*Minimum Side-yard setbacks: 5'*

*Minimum rear-yard Setbacks: 10'*

*\*(may be reduced if additional building code measures are taken to address fire code)*

### 4. Building Heights

Maximum height 35'

### 5. Maximum Lot Coverage

50% Maximum

### 6. Minimum Livable Square Footage

600 Sq Ft (footprint)

## Lighting Guidelines

1. Section 19.11 (Lighting) of the Saratoga Springs Municipal Code shall govern lighting design.
2. Light poles shall be a maximum of 14' in height.
3. Additional building accent and security lighting may be provided on buildings.
4. Bollard lighting may be utilized along internal pedestrian walkways.
5. All lighting along public roads that will be maintained by Saratoga Springs City, shall be per City standard details and specifications.
6. All exterior lighting shall comply with the city's Dark Sky ordinance/requirements.

## Signage Guidelines

1. Signage shall be approved with the Village Plan.

## Trash Storage and Collection

1. On-site trash storage (other than individual trash cans for residential users) shall comply with Section 19.14.

Architectural Standards

Building Forms

- 1. Complimentary building materials and color schemes are required.
- 2. Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety throughout the project area.

Architectural Materials

- 1. Acceptable building exterior finish materials include: EIFS, brick, stone, precast concrete, metal panels, fiber-cement siding.
- 2. Buildings with a variety of materials are encouraged. A composition of at least one preferred primary material and one preferred accent material is required. Primary materials and accent materials may be of the same type provided color variation is incorporated.
- 3. Architectural colors shall be compatible with the intended use and building type.

| Preferred Primary Materials   | Preferred Accent Materials   |
|---|--|
| EIFS<br>Brick<br>Stone<br>Metal panels<br>Fiber-cement siding<br>Wood | Brick<br>Stone<br>Precast Concrete<br>Metal<br>Tile<br>Fiber-cement siding |

Primary Facades

- 1. Primary facades are those sides of a building where the primary entrance is located. It is possible for a building to have more than one primary façade.
- 2. Primary facades shall incorporate architectural features (canopy, awning, roof covered porch, architectural detail, etc) to highlight entrance locations.

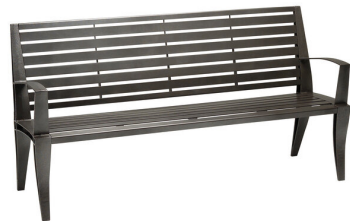
Secondary Facades

- 1. A secondary façade is a side of the building that does not have a primary entrance, but is visible from internal project roadways or from public rights-of-way.
- 2. Secondary facades shall incorporate architectural detailing to provide visual interest, such as window boxes, breaks in building lines, roof changes, etc.

Roofs

- 1. Roofs shall have a minimum 4:12 pitch, unless a lesser pitch augments an architectural style.
- 2. Rooftop equipment shall be screened from public rights-of-way

Site furnishings



Typical Bench  
Wabash Valley 'Dewart' Collection



Typical Trash receptacles  
Wabash Valley 'Elegance' Collection



Typical Bike Racks  
Madrax 'U' Collection

## Development Approval Process

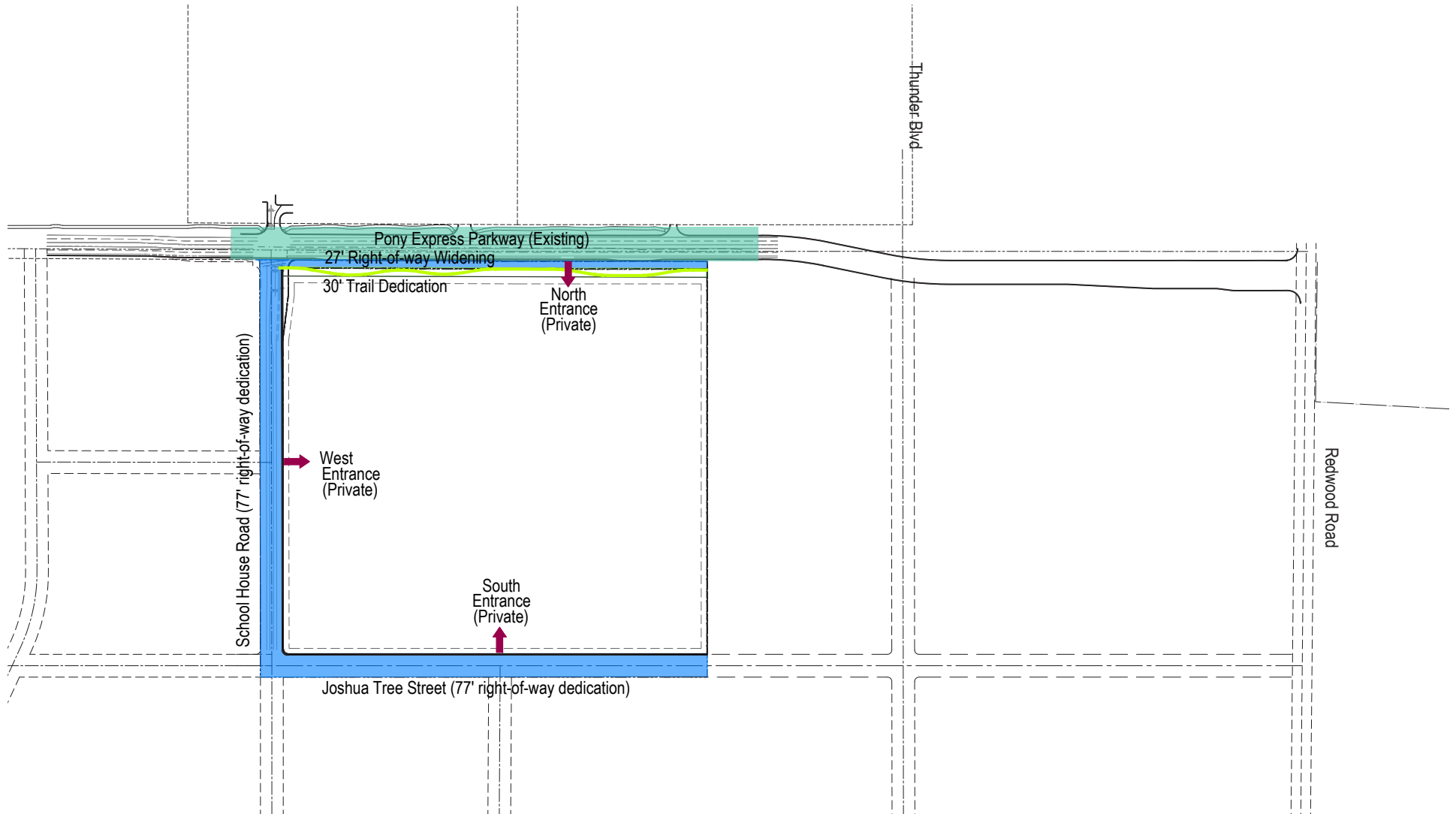
| Submittal Type                   | Planning Director Approval | Planning Commission Public Hearing | Planning Commission Recommendation | City Council Approval |
|----------------------------------|----------------------------|------------------------------------|------------------------------------|-----------------------|
| Community Plan                   |                            | X                                  | X                                  | X                     |
| Community Plan / Major Amendment |                            | X                                  | X                                  | X                     |
| Community Plan / Minor Amendment | X                          |                                    |                                    |                       |
| Minor Subdivision <sup>1</sup>   | X                          |                                    |                                    |                       |
| Plat, Condominium or Final       | X <sup>2</sup>             |                                    |                                    |                       |
| Plat, Preliminary in CP or VP    | X <sup>3</sup>             |                                    |                                    |                       |
| Site Plan                        | X <sup>4,5</sup>           |                                    |                                    |                       |
| Village Plan                     |                            | X                                  | X                                  | X                     |
| Village Plan / Major Amendment   |                            | X                                  | X                                  | X                     |
| Village Plan / Minor Amendment   | X                          |                                    |                                    |                       |

**Notes:**

1. Minor subdivision to include subdividing land for the purposes of land sale based on no building lots being created. Amendment of lot created by minor subdivisions may be completed to allow development.
2. Planning Director approval if the condominium or final plat is consistent with the preliminary plat or as adjusted through the Village Plan Process. If not, City Council approval is required. Consistency of preliminary plat allows for adjustment of utilities based on final calculations and review, lot count decrease and lot dimension variance up to minimum established for applicable Village.
3. Planning Director approval if the preliminary plat layout, the contents of which are defined in City Code 19.26.10, is contained in the Community Plan or Village Plan. If not, the preliminary plat shall be reviewed by the Planning Commission with a recommendation to the City Council.
4. Provided the application site plan complies with the approved Village Plan, site plans may be approved by the Planning Director with consultation with the Development Review Committee.
5. Planning Director may approve a density increase of up to 15%.

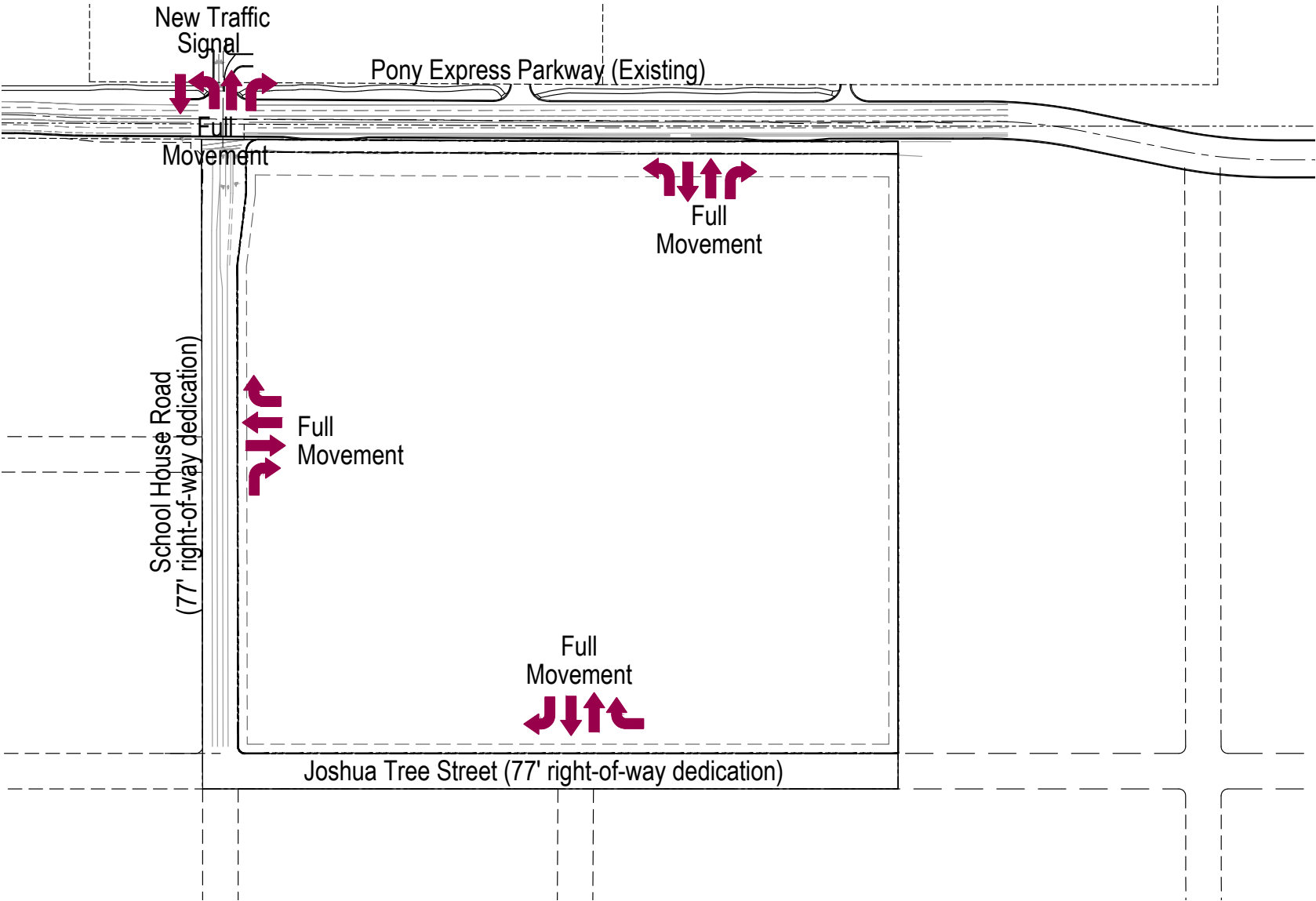
# Conceptual Plans

## Road Dedication Plan



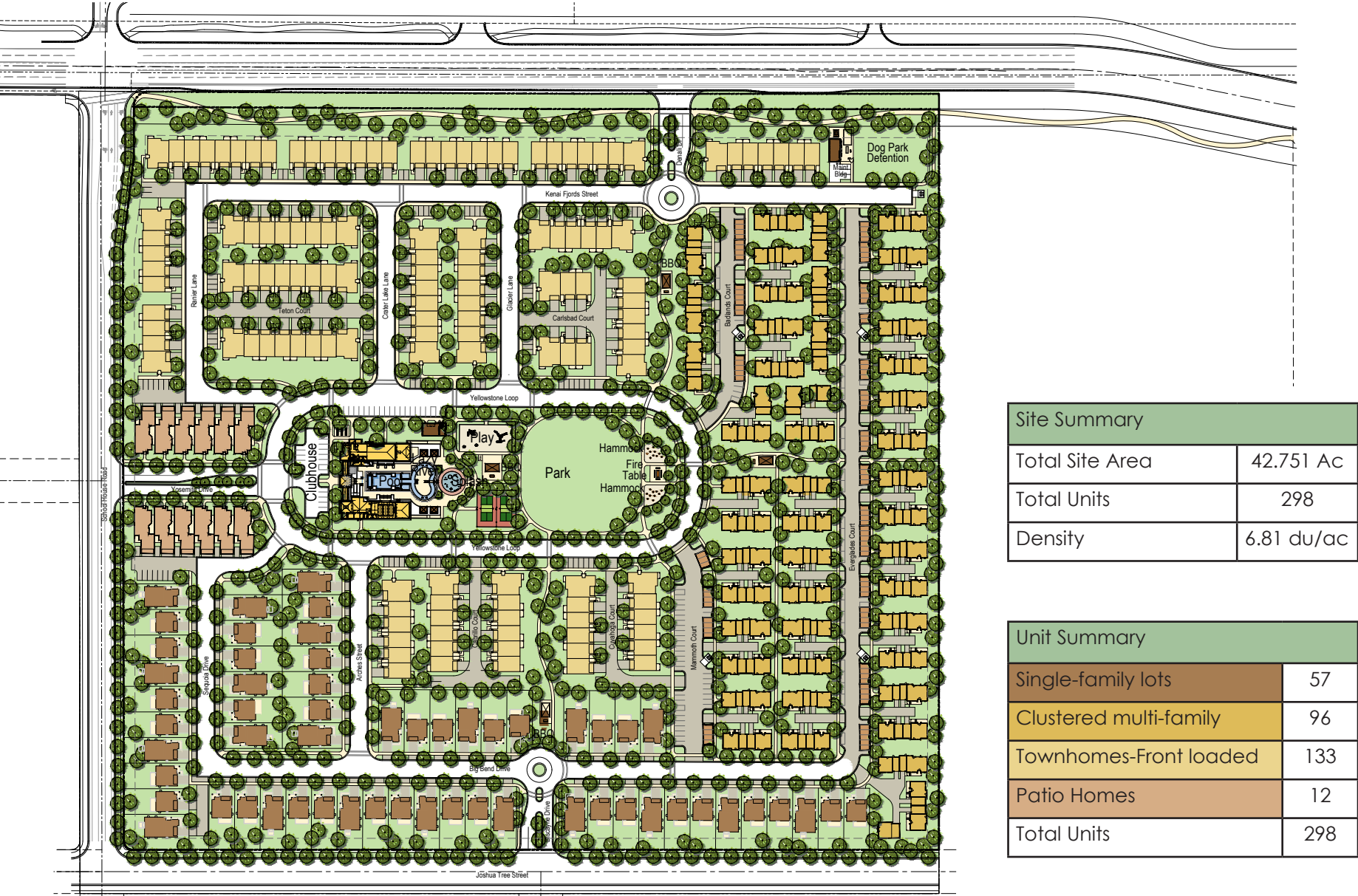
Note: Full right-of-way for Joshua Tree Street and School House Road will be dedicated at time of plat recording. Road improvements along these two streets will include full pavement width & curb/gutter construction for the area associated with this Community & Village Plan. Sidewalk and park strip on south side of Joshua Tree Street and west side of Joshua Tree Street will not be installed with the work outlined in this Village Plan.

# Road Access Plan

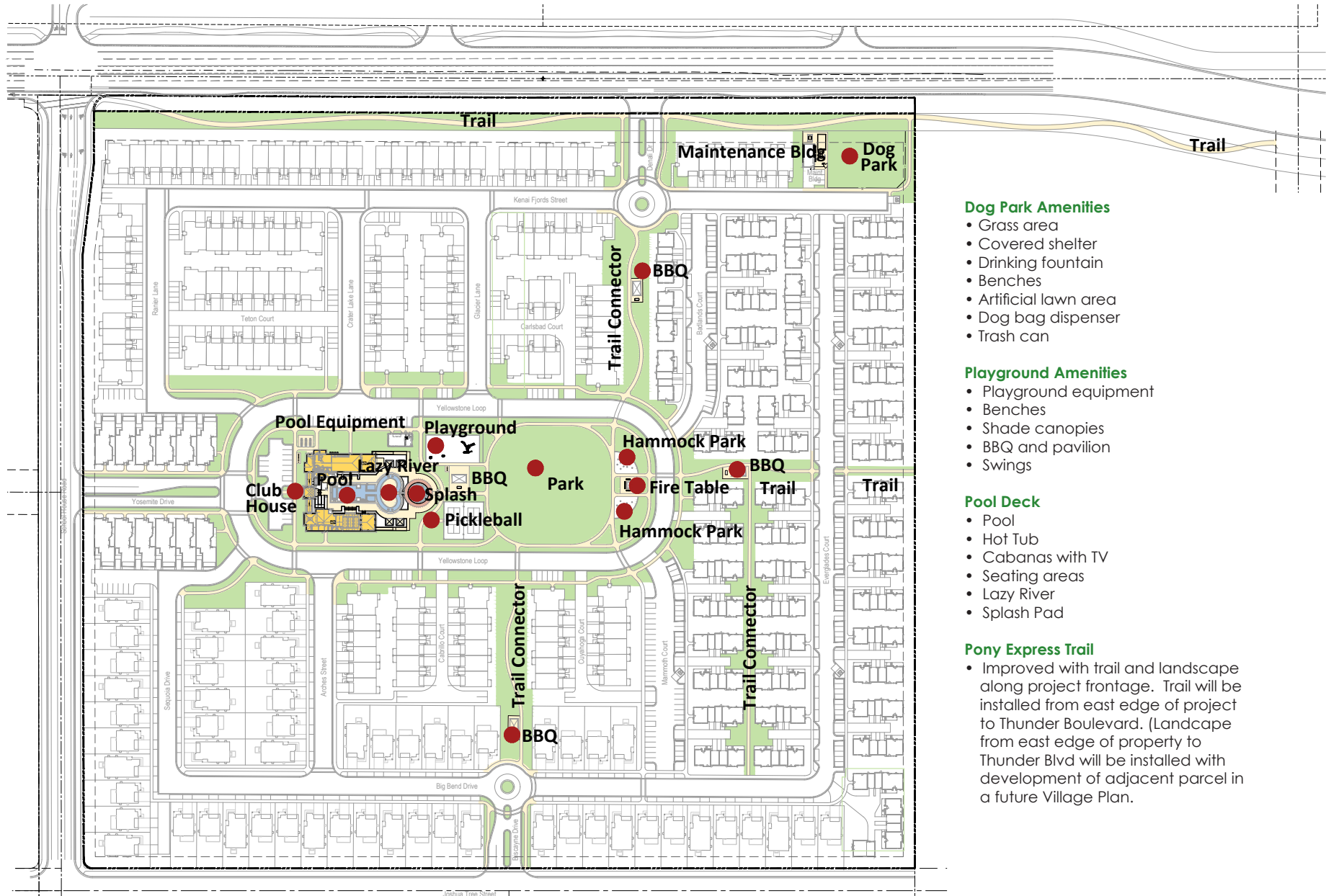




# Detailed Concept Plan



## Amenity Plan



### Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

### Playground Amenities

- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings

### Pool Deck

- Pool
- Hot Tub
- Cabanas with TV
- Seating areas
- Lazy River
- Splash Pad

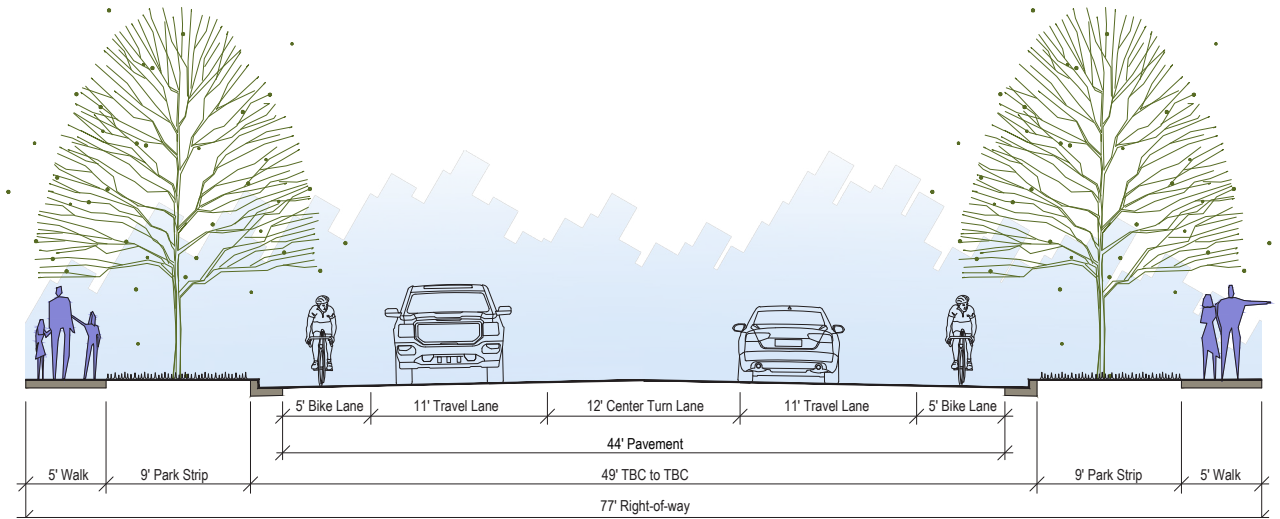
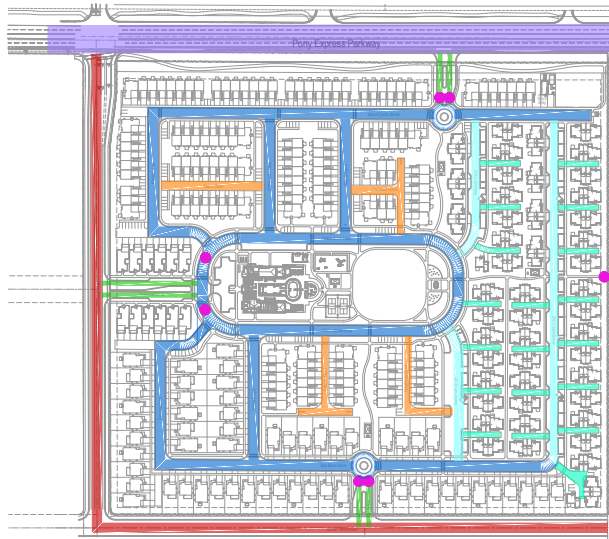
### Pony Express Trail

- Improved with trail and landscape along project frontage. Trail will be installed from east edge of project to Thunder Boulevard. (Landscape from east edge of property to Thunder Blvd will be installed with development of adjacent parcel in a future Village Plan.

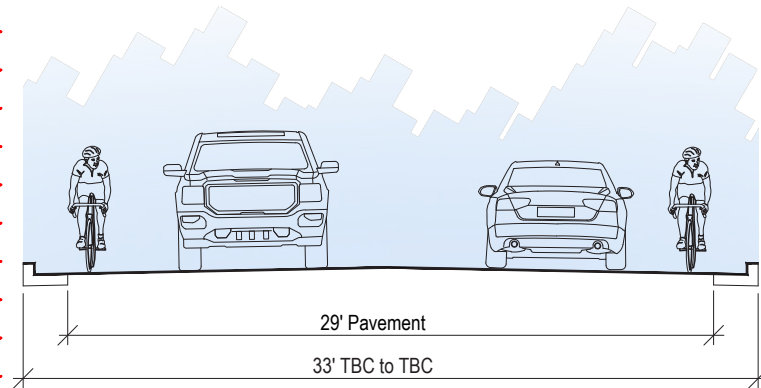




## Vehicular Plan

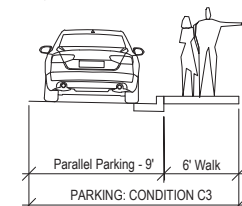
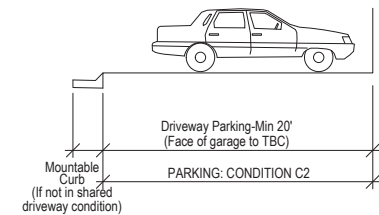
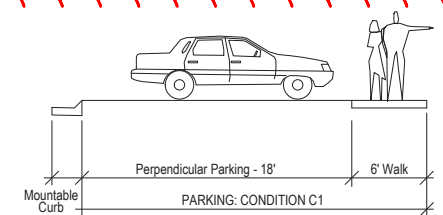
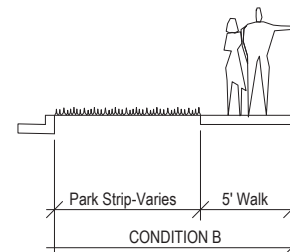
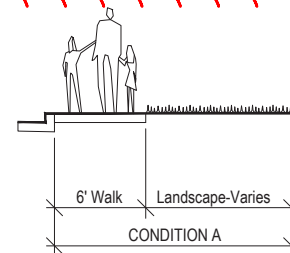


**77' Public Right of Way**

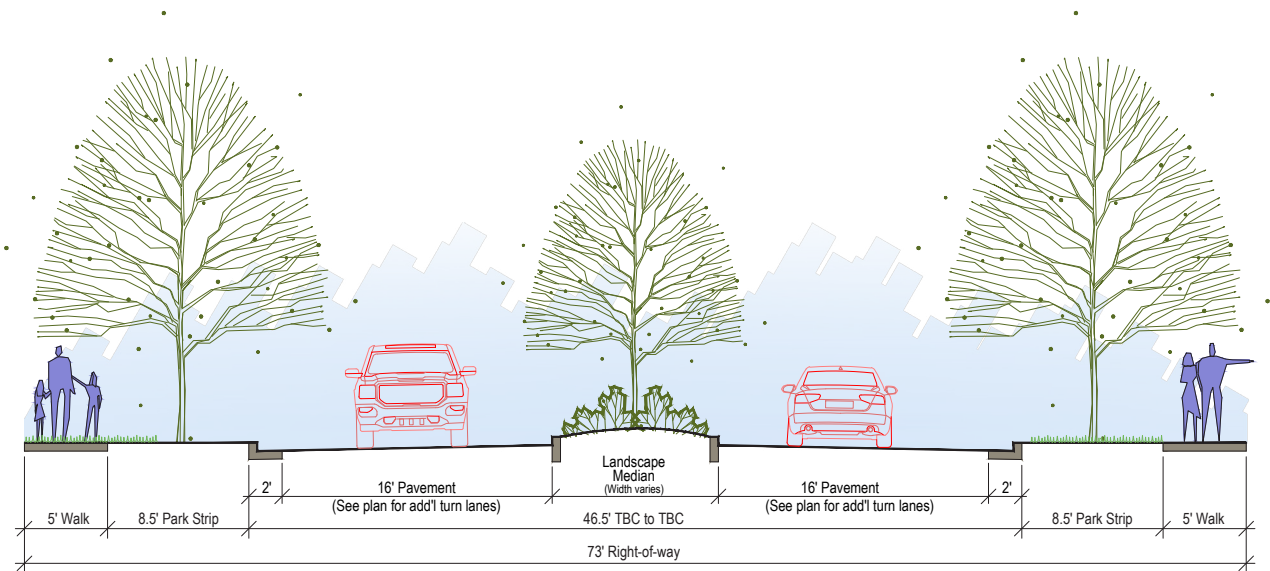
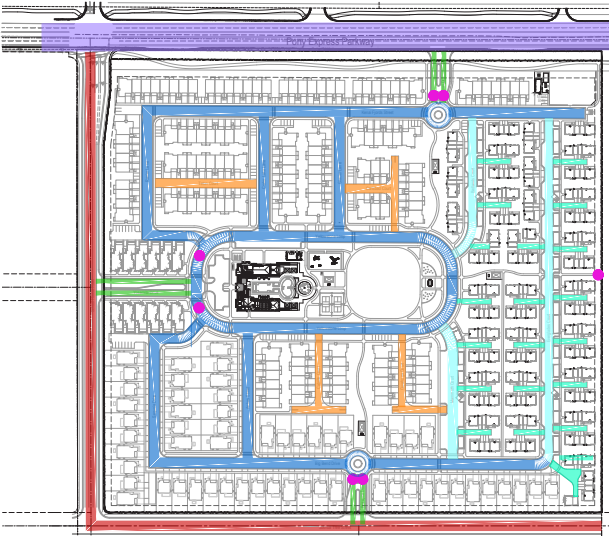


NOTE: Sidewalk and parkstrip conditions vary throughout site. Utility installation locations shall adhere to ST-30 for conditions A, C1, C2, C3 and utility installation locations shall adhere to ST-31 for Condition B when Condition B is located on the north or east side of the street. A blanket Public Utility Easement (PUE) is required on the site, less and excepting the footprints of all buildings, and shall be shown on the Plat.

## Private Road

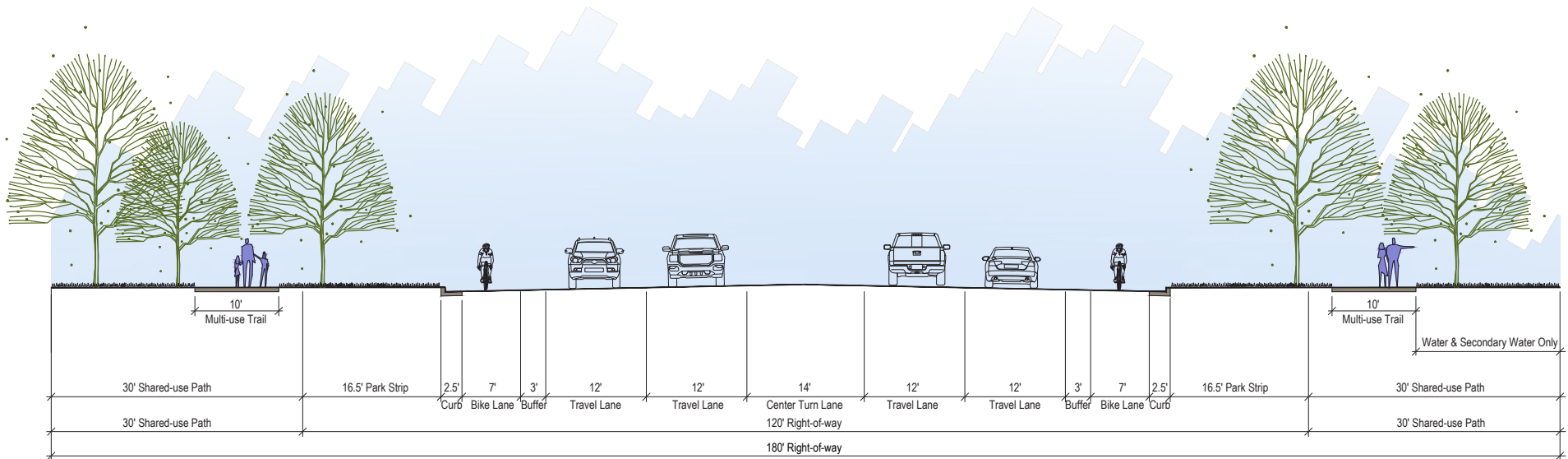


Typical Street Cross-sections



Private Divided Entry Drive

\* Optional rolled curb on Private Streets

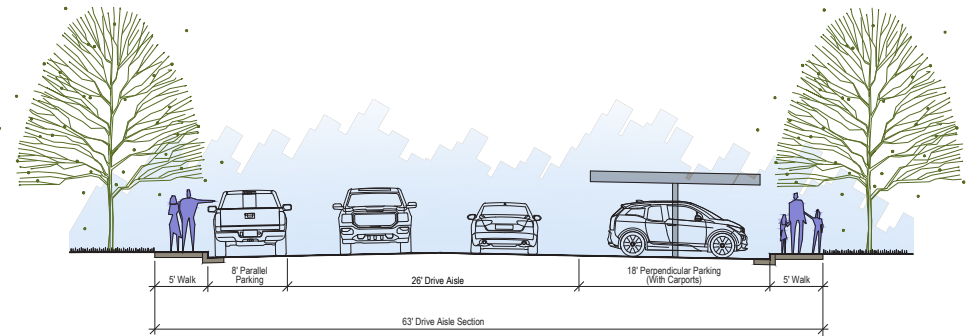
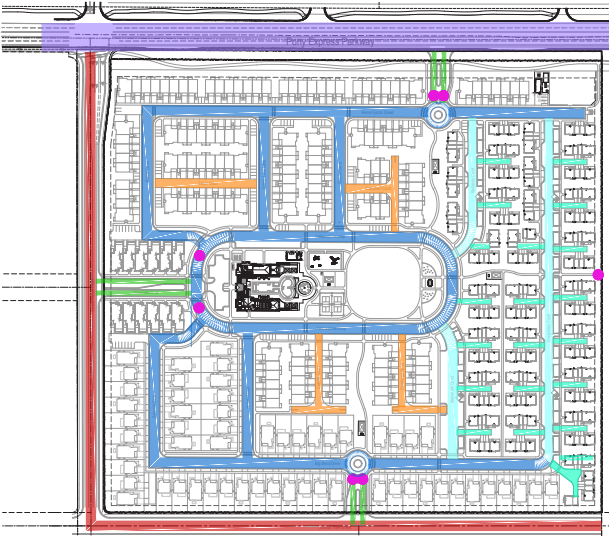


180' Major Arterial

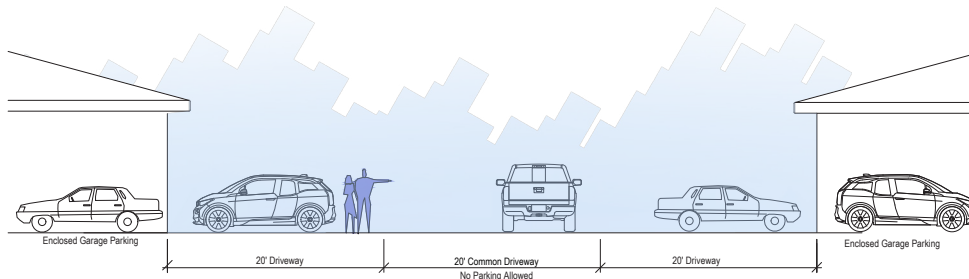
Includes 27' right-of-way on south side of section line to accommodate full right-of-way and additional 30' trail



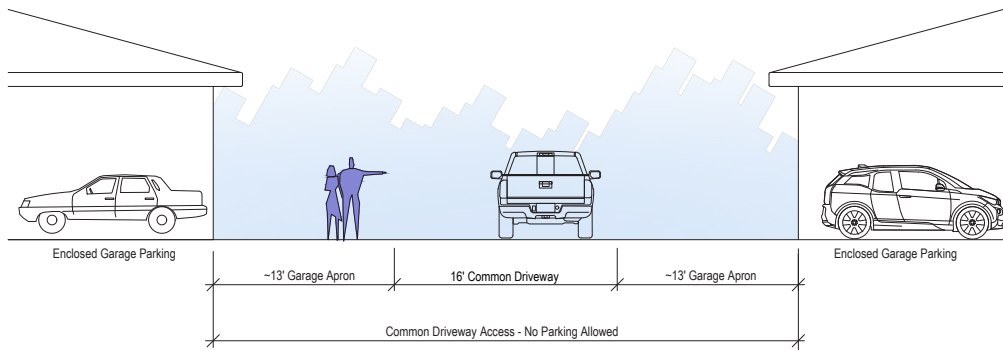
Typical Street Cross-sections



Typical Parking Drive  
See site plan for variations



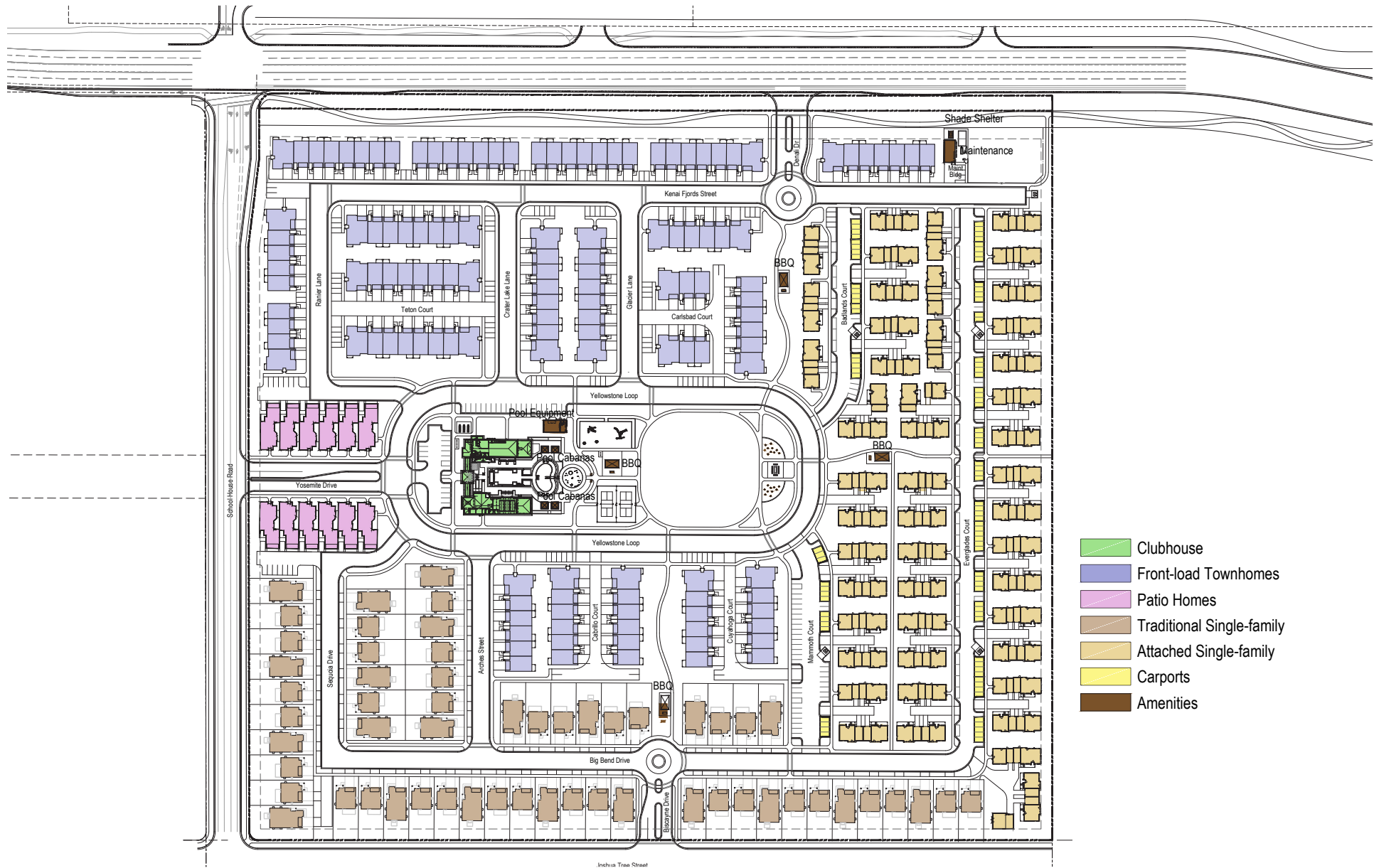
Typical Alley Drive  
See site plan for variations



Typical Attached Multi-family Shared Drive  
See site plan for variations

# Design Guidelines

## Building Types



# Design Guidelines

## Building Facades

### Upgraded Facade

Highlighted facades shall be treated as a front facade with 25% Preferred Primary Materials and/or additional architectural features to include two or more of the following elements:

- Roof changes
- Breaks or popouts in facade walls
- Additional building trim or window treatments
- Box or Bay windows
- Color change

### Architectural Review Committee

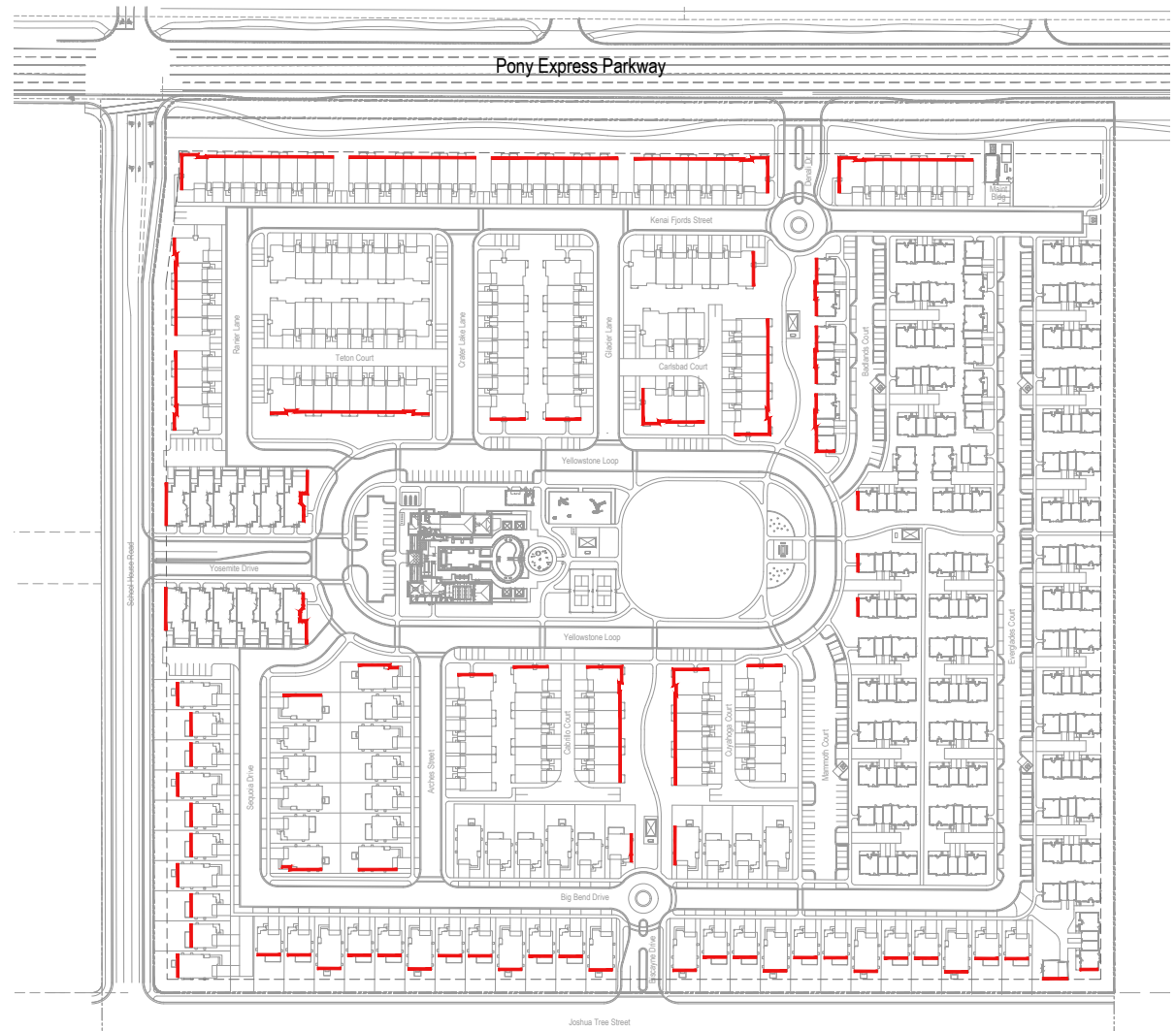
In order to create, maintain and improve the integrity of the community and to establish and implement a consistent and harmonious design concept and to protect and promote the present and future values of the larger development, all exterior architectural building elevations and building materials, colors and usage design, site plan and landscape treatments, walls and fencing, and signage within the village shall be subject to a design review process and approval established by the Master Developer.

The committee shall consist of representatives from the following: The Master Developer and a selected team of design professionals, i.e. planners, engineers, architects, contractors, etc. The committee will review proposed materials as well as architectural and site plans for compliance with guiding principles set forth in the Community Plan

and Village Plan guidelines.

Applicants are responsible for submitting evidence of ARC approval to the city at the time of building permit application. The Master Developer shall retain the

right to retain or replace members of the committee at its discretion. The Architectural Review Committee shall be the approval body until the Village Plan is fully built out, at which time it can transition responsibilities over to the management of the project.

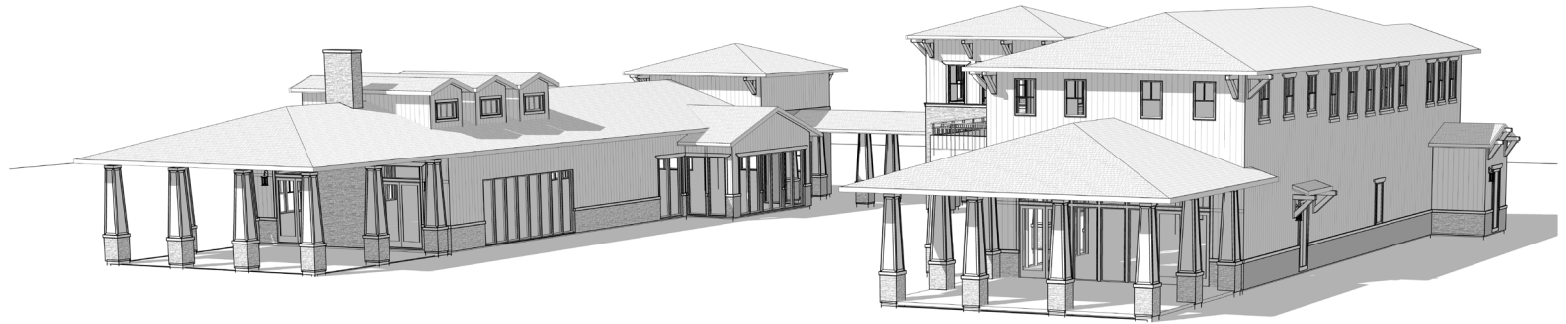


Building Types

## Clubhouse

Amenities:

- Leasing Office
- Event Room
- Fitness Center
- Remote Work Space
- Fitness Classes
- Outdoor fitness patio
- Pool
- Hot Tub
- Pool Deck Cabanas
- Lazy River
- Splash Pad



SOUTHEAST CORNER VIEW

1  
0000



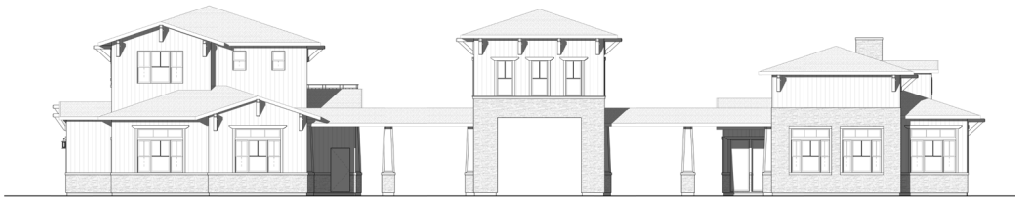
NORTHWEST CORNER VIEW

2  
0000

### Parking Requirements

1 Space per 750 Sq Ft of floor area

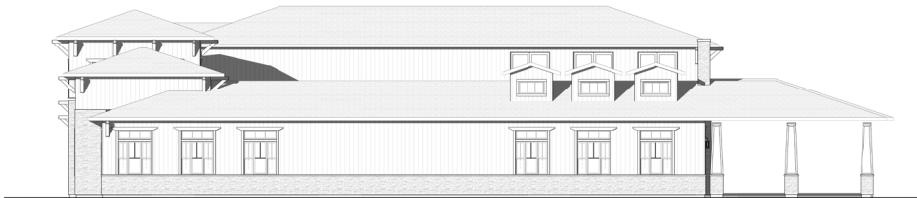
Building Types  
Clubhouse



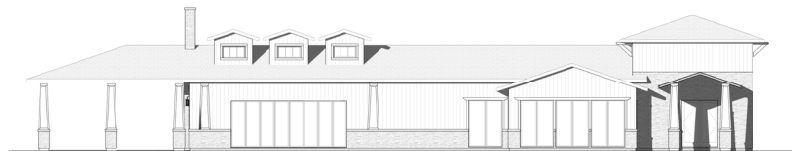
NORTH ELEVATION PRESENTATION VIEW  
01/17/20



EAST ELEVATION PRESENTATION VIEW  
01/17/20



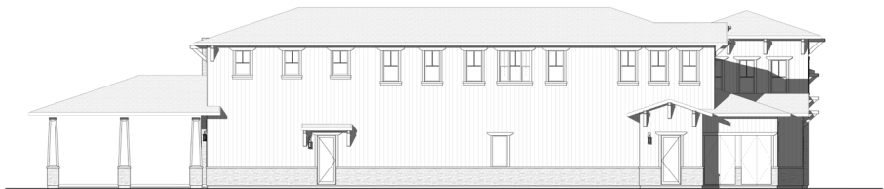
WEST ELEVATION PRESENTATION VIEW  
01/17/20



SOUTH ELEVATION PRESENTATION VIEW  
01/17/20



EAST ELEVATION PRESENTATION VIEW  
01/17/20



WEST ELEVATION PRESENTATION VIEW  
01/17/20



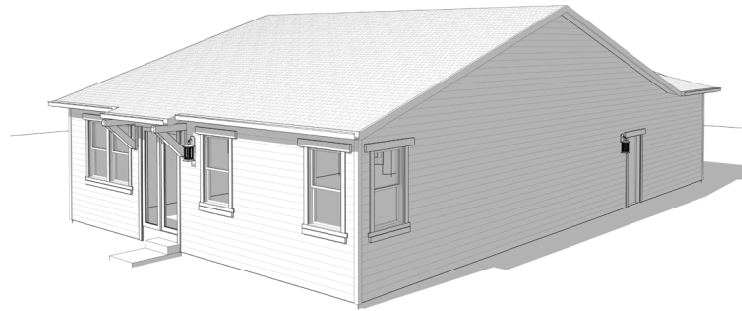
**Building Types**  
**1-Level Single-family**

## Single-family Lots

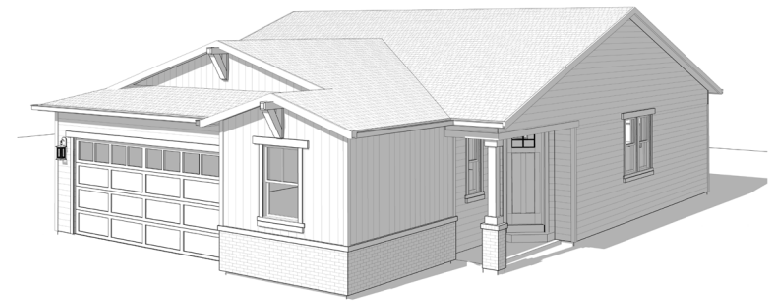
*Dwelling, Single Family*

### Unit Features

- 2-Car Garage each unit
- Rambler option
- 2-level option
- 2 & 3 bedroom models
- Private, fenced back yards
- Basements
- Guest parking in driveways



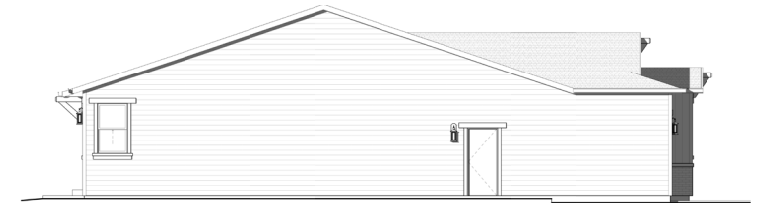
NORTHWEST CORNER VIEW



SOUTHEAST CORNER VIEW



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

### Parking Requirements (Per 19.09.10)

2 stalls per dwelling enclosed in garages.  
Driveways to be 20' in length.

**Building Types**  
2-Level Single-family

## Single-family Lots

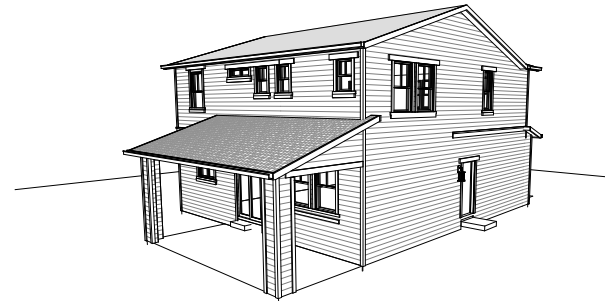
*Dwelling, Single Family*

### Unit Features

- 2-Car Garage each unit
- Rambler option
- 2-level option
- 2 & 3 bedroom models
- Private, fenced back yards
- Basements
- Guest parking in driveways



SOUTHEAST CORNER VIEW



NORTHWEST CORNER VIEW



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

### Parking Requirements

2 stalls per dwelling enclosed in garages. Driveways to be 20' in length.

## Building Types

Front-loaded Townhomes: 3-plex with end Rambler

## Townhomes

*Dwelling, Multi-family*

### Typical Unit Features

- Rambler end-unit on some buildings
- 2 and 3 Bedroom options
- Basements
- Fenced back yards
- 2-Car Garages



### Parking Requirements (Per 19.09.10)

1 stall per bedroom or 2 stalls per unit, whichever is lower one of which must be enclosed.

0.25 Guest Spaces per dwelling unit\*  
*counted as guest parking spaces*

Building Types

Front-loaded Townhomes: 3-plex with end Rambler



Building Types

Front-loaded Townhomes: 4-plex with end Rambler



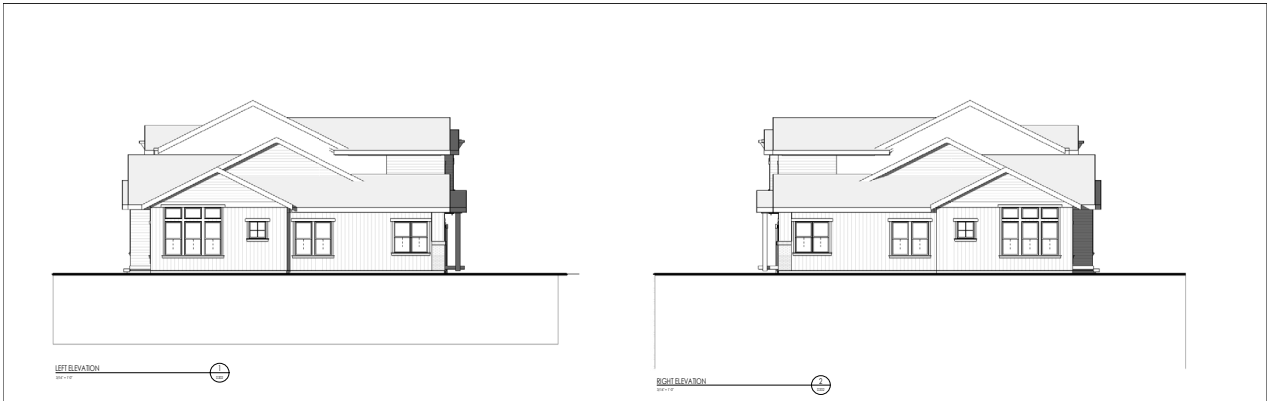
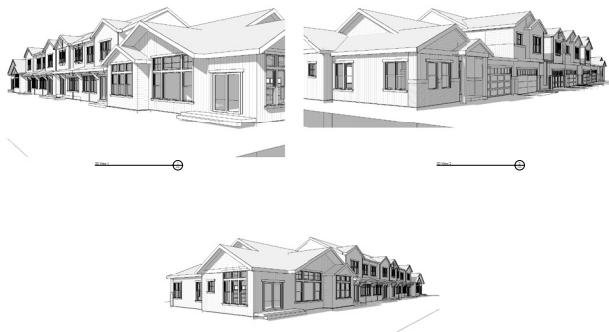
Building Types

Front-loaded Townhomes: 5-plex with end Rambler



Building Types

Front-loaded Townhomes: 6-plex with end Rambler Units





Building Types

Front-loaded Townhomes: 6-plex with end Rambler



Building Types  
Front-loaded Townhomes: 7-plex



Building Types

Front-loaded Townhomes: 7-plex with end Rambler



Building Types

Front-loaded Townhomes: 8-plex with end Rambler



3D View 1



3D View 2



3D View 3



FRONT ELEVATION

1/8" = 1' 0"

1



REAR ELEVATION

1/8" = 1' 0"

2



LEFT ELEVATION

1/8" = 1' 0"

3



RIGHT ELEVATION

1/8" = 1' 0"

4

Building Types  
Front-loaded Townhomes: 8-plex with end Rambler Units



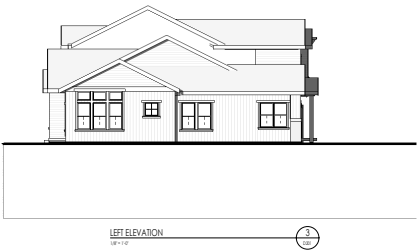
3D View 1



3D View 2

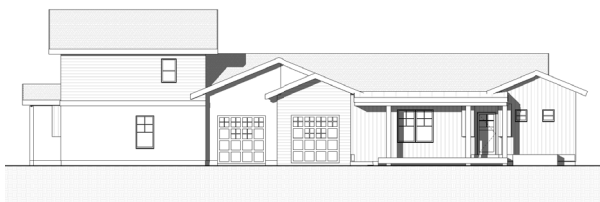
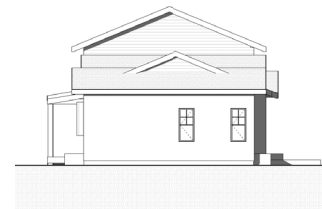
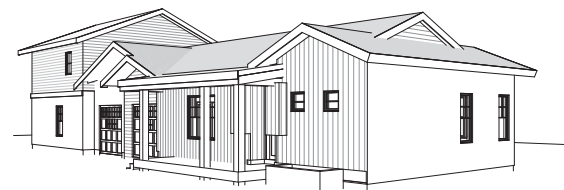
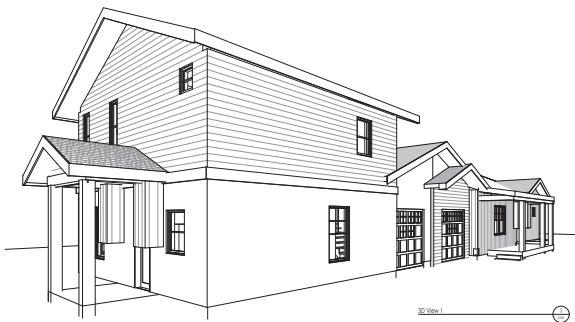


3D View 3

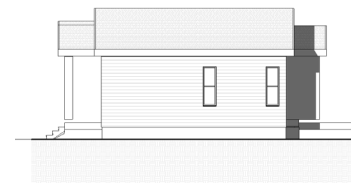
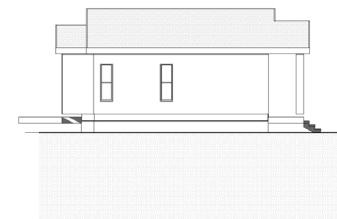
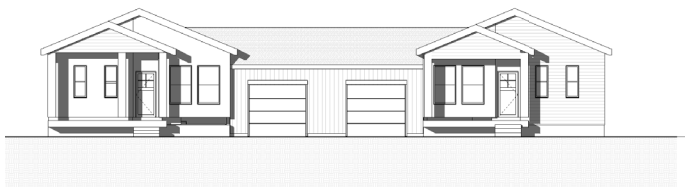




Building Types  
Attached Multi-family



Type 1

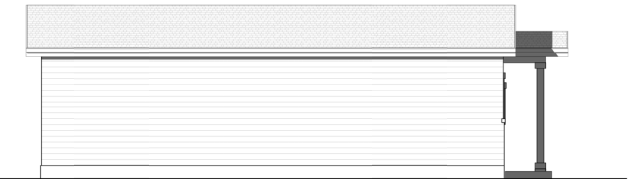


Type 2

Building Types  
Patio Homes



Building Types  
Pool Equipment & Maintenance Buildings



MAINTENANCE BUILDING - NORTH ELEVATION  
1/4" = 1'-0"

1  
100'



POOL BUILDING - NORTH ELEVATION  
1/4" = 1'-0"

2  
100'



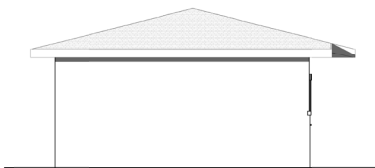
MAINTENANCE BUILDING - WEST ELEVATION  
1/4" = 1'-0"

3  
100'



MAINTENANCE BUILDING - EAST ELEVATION  
1/4" = 1'-0"

4  
100'



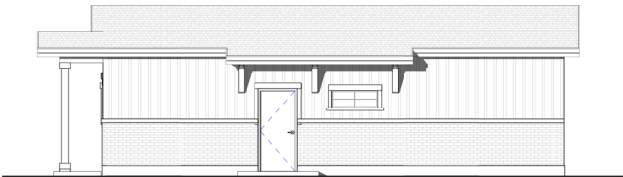
POOL BUILDING - WEST ELEVATION  
1/4" = 1'-0"

5  
100'



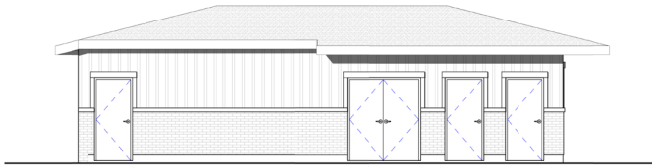
POOL BUILDING - EAST ELEVATION  
1/4" = 1'-0"

6  
100'



MAINTENANCE BUILDING - SOUTH ELEVATION  
1/4" = 1'-0"

7  
100'



POOL BUILDING - SOUTH ELEVATION  
1/4" = 1'-0"

8  
100'

Building Color Palette

Typical Color Palettes

Color Scheme 1

**LAP SIDING**  
ALLURA 7" FIBER CEMENT  
TRADITIONAL LAP SIDING  
COLOR: STERLING GRAY



**BOARD & BATTEN**  
ALLURA VERTICAL SIDING  
TRADITIONAL VERTICAL PANEL  
COLOR: STERLING GRAY



**PRIMARY STUCCO**  
OMEGA ACRYLIC STUCCO  
COLOR: 9337 ADRENALINE



**FIBER CEMENT TRIM**  
ALLURA REVERSIBLE TRIM  
SMOOTH  
COLOR: SNOW



**BRICK VENEER**  
CORONADO THIN BRICK  
SAND MOLD BRICK  
COLOR: OLD COLONIAL



**ENTRY DOOR**  
THERMA-TRU SMOOTH STAR  
COLOR: SW 7672  
ROMBURG GRAY



**GARAGE DOOR**  
WAYNE DALTON  
CARRIAGE HOUSE MODEL 9700  
COLOR: WHITE/CLAY




**ROOF MATERIAL**  
CERTANTEED SHINGLES  
LANDMARK TL  
COLOR: COUNTRY GRAY



Color Scheme 2


**LAP SIDING**  
ALLURA 7" FIBER CEMENT  
TRADITIONAL LAP SIDING  
COLOR: OLIVE



**BOARD & BATTEN**  
ALLURA VERTICAL SIDING  
TRADITIONAL VERTICAL PANEL  
COLOR: CARAMELIZED PEARS



**PRIMARY STUCCO**  
OMEGA ACRYLIC STUCCO  
COLOR: 9261 SNOW



**FIBER CEMENT TRIM**  
ALLURA REVERSIBLE TRIM  
SMOOTH  
COLOR: SNOW




**BRICK VENEER**  
CORONADO THIN BRICK  
WIRE CUT BRICK  
COLOR: LA JOLLA SPECTRUM  
WOLF GREY - EQUAL MIX



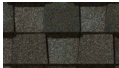
**ENTRY DOOR**  
THERMA-TRU SMOOTH STAR  
COLOR: SW 6253  
OLYMPUS WHITE



**GARAGE DOOR**  
WAYNE DALTON  
CARRIAGE HOUSE MODEL 9700  
COLOR: WHITE/CLAY



**ROOF MATERIAL**  
CERTANTEED SHINGLES  
LANDMARK TL  
COLOR: COUNTRY GRAY



Color Scheme 3

**LAP SIDING**  
ALLURA 7" FIBER CEMENT  
TRADITIONAL LAP SIDING  
COLOR: PEWTER



**BOARD & BATTEN**  
ALLURA VERTICAL SIDING  
TRADITIONAL VERTICAL PANEL  
COLOR: CAVALRY



**PRIMARY STUCCO**  
OMEGA ACRYLIC STUCCO  
COLOR: 9263 THUMPER



**FIBER CEMENT TRIM**  
ALLURA REVERSIBLE TRIM  
SMOOTH  
COLOR: SNOW



**BRICK VENEER**  
CORONADO THIN BRICK  
ROMAN BRICK  
COLOR: SORANO



**ENTRY DOOR**  
THERMA-TRU SMOOTH STAR  
COLOR: SW 6253  
OLYMPUS WHITE



**GARAGE DOOR**  
WAYNE DALTON  
CARRIAGE HOUSE MODEL 9700  
COLOR: WHITE GRAY



**ROOF MATERIAL**  
CERTANTEED SHINGLES  
LANDMARK TL  
COLOR: COUNTRY GRAY



Note: All brick veneer to be a minimum of 1/2" thickness.



Final Color Schemes will be submitted to the Planning Director for final approval prior to building permit application.

**Architectural Building Materials**  
A minimum of 25% of the front facade or upgraded side or rear yards shall be a preferred architectural material as outlined in the Community Plan (See exhibit page 9).

| Preferred Primary Materials   | Preferred Accent Materials   |
|---|--|
| EIFS<br>Brick<br>Stone<br>Metal panels<br>Fiber-cement siding<br>Wood | Brick<br>Stone<br>Precast Concrete<br>Metal<br>Tile<br>Fiber-cement siding |



Building Color Palette



Color Scheme 1



Color Scheme 2



Color Scheme 3

*Color schemes are illustrative only. Final determination of color schemes will be approved by the Planning Director.*



Building Color Palette



Color Scheme 1



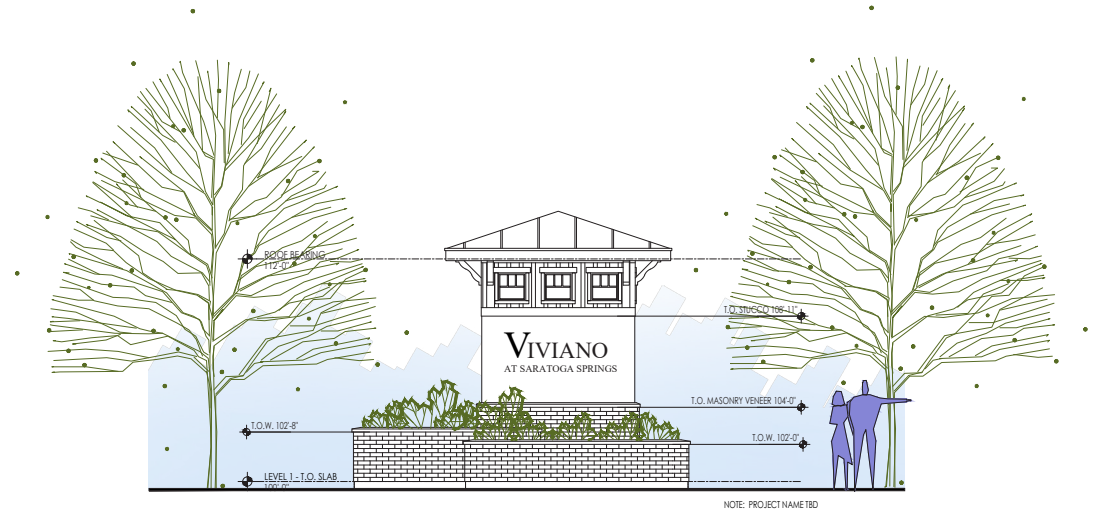
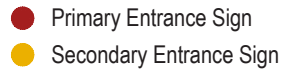
Color Scheme 2



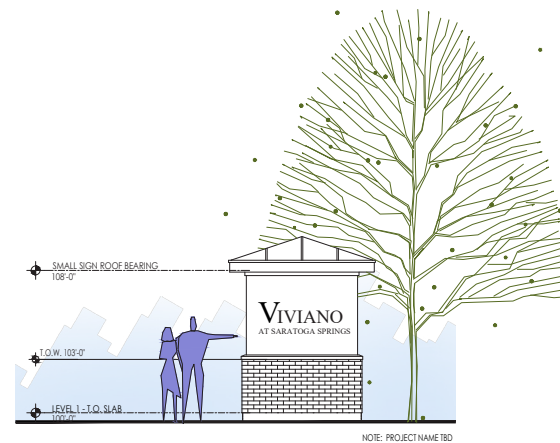
Color Scheme 3

*Color schemes are illustrative only. Final determination of color schemes will be approved by the Planning Director.*





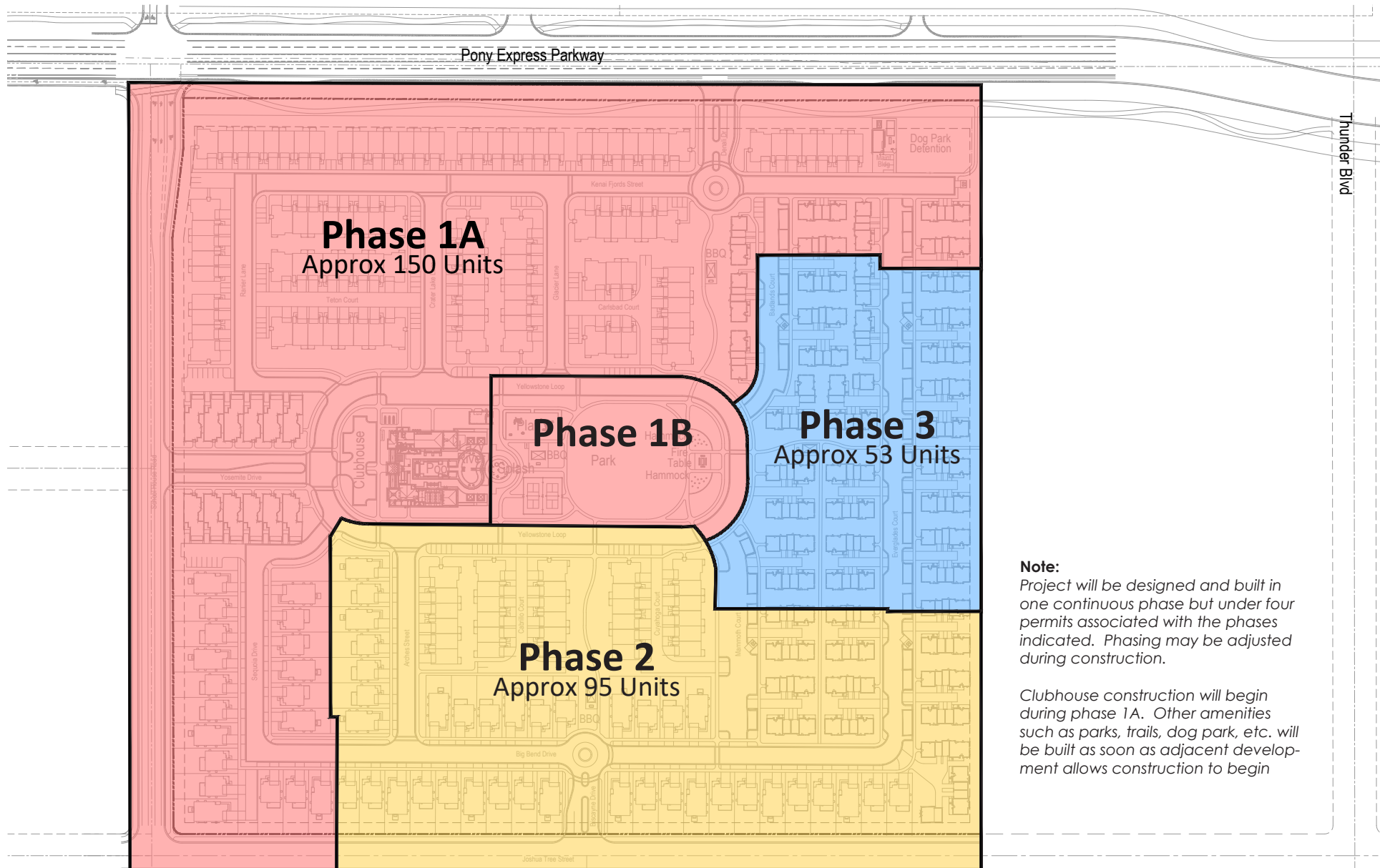
### Primary Entrance Monument & Sign



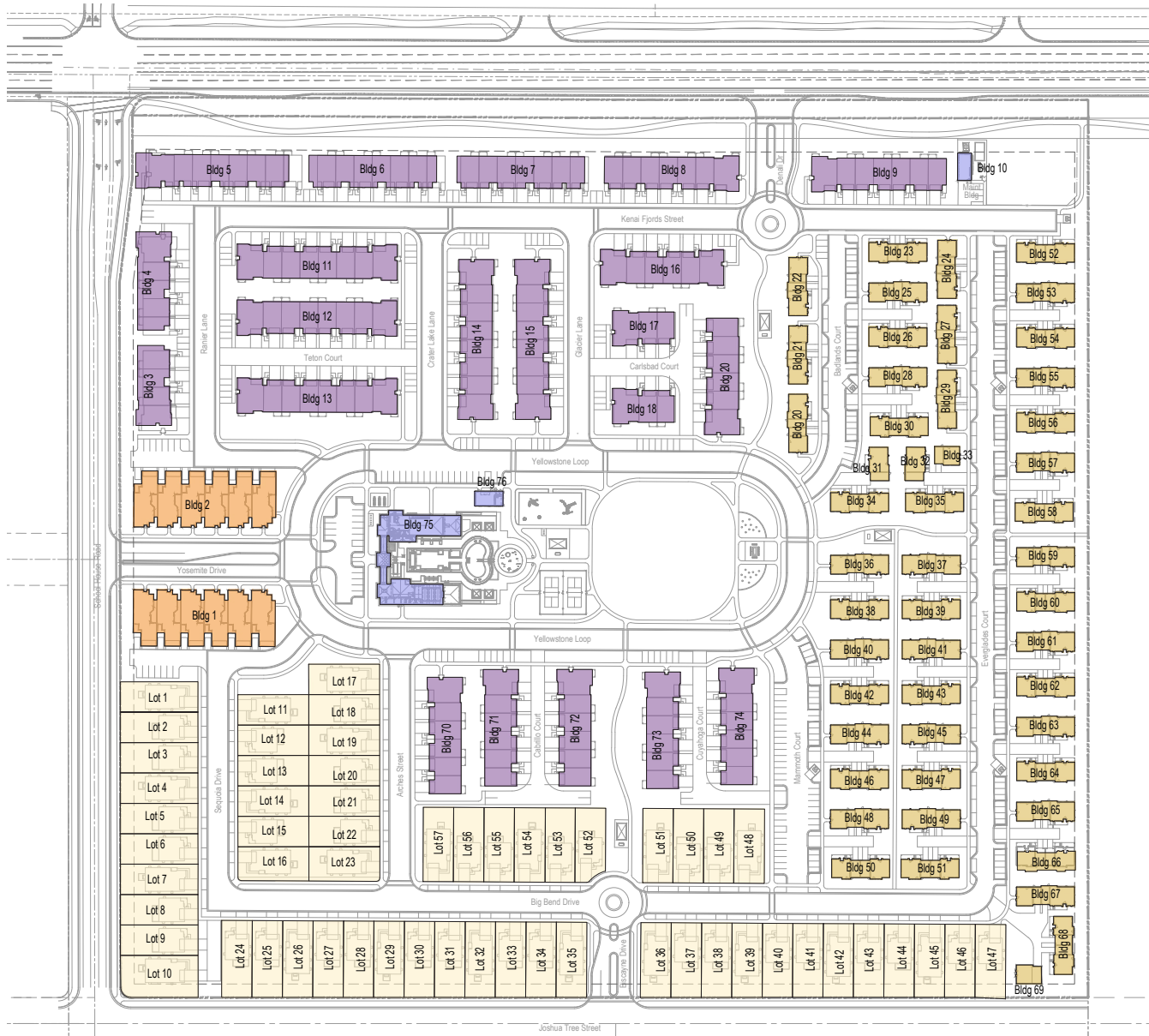
## Secondary Entrance Monument & Sign

Note: Signage not presented in this plan will need to comply with Title 19.18 Sign Regulations

# Phasing Plan



# Detailed Lotting Plan

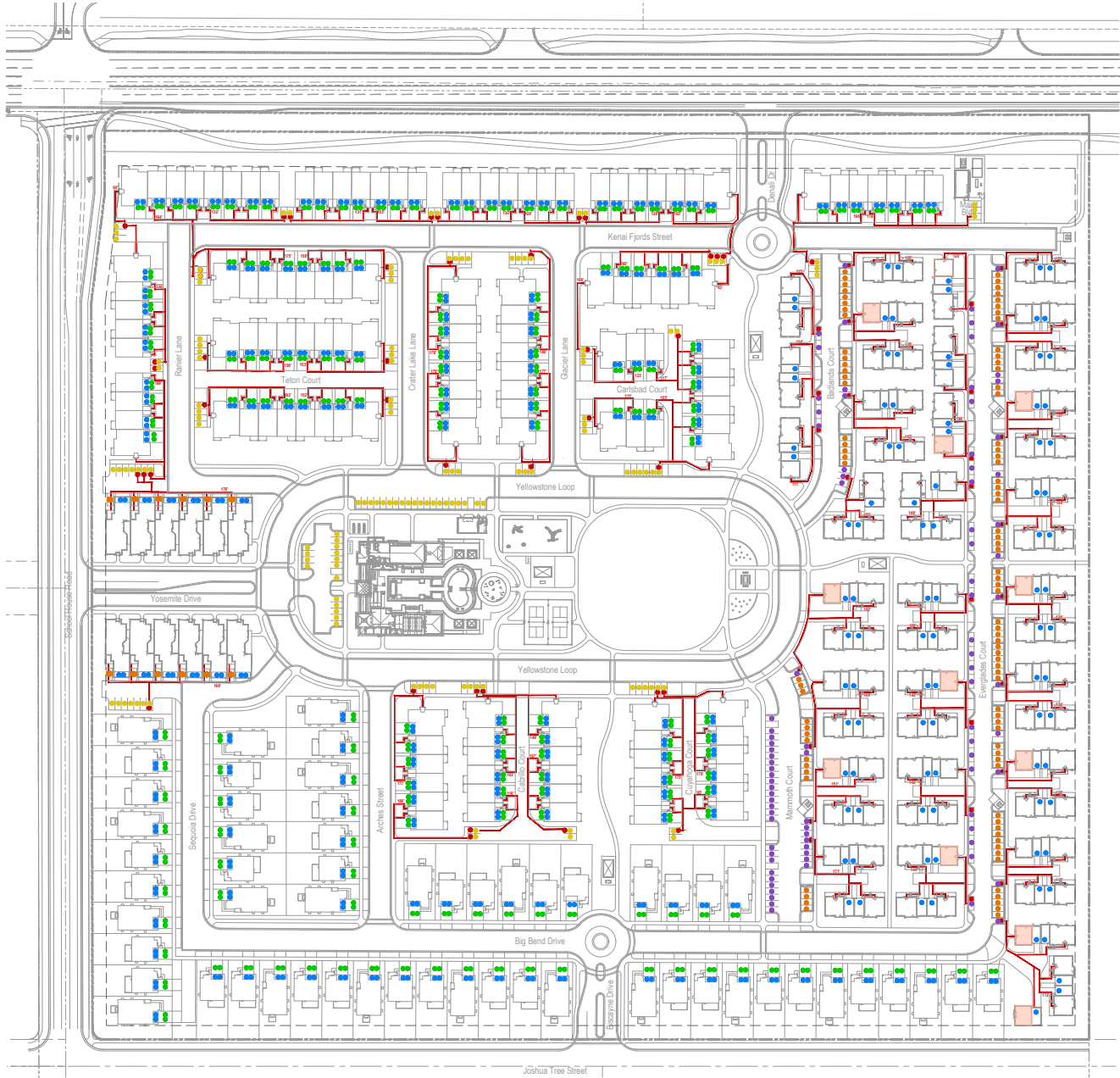


| Lot Summary                  |               |
|------------------------------|---------------|
| Total Village Plan Area      | 42.751 Ac     |
| Total Single-family lots     | 57            |
| Total Attached single-family | 50            |
| Total Multi-family Bldgs     | 21            |
| Total Patio home Bldgs       | 2             |
| Total Common Buildings       | 3             |
| Total Common Open Space      | 7.968 Ac      |
| Total Open Space %           | 18.63%        |
| Total Building Coverage      | 638,823 Sq Ft |
| Total Coverage %             | 34.30%        |

Note: All buildings outside of single-family lots will be built on a single lot. Setbacks within that lot will be measured from back of curb or back of sidewalk.

Note: Access to Lots 1-47 shall be from the internal project. No access will be allowed from adjacent public streets.

# Detailed Parking Plan



## Parking Summary

| Single-family  | Total Units | Required/ Lot (Garage) | Guest Spaces | Total |
|----------------|-------------|------------------------|--------------|-------|
| Required       | 57          | 2.0                    | 0.0          | 114   |
| Total provided |             |                        |              | 114   |

| Townhomes (Front-load) | Total Units | Unit (Garage) | Surface Space/Unit | Guest Spaces | Total |
|------------------------|-------------|---------------|--------------------|--------------|-------|
| Required               | 133         | 1.0           | 1                  | 0.25         | 300   |
| Total provided         |             | 266           | 0                  | 102          | 368   |

| Townhomes (Rear-load) | Total Units | Unit (Garage) | Surface Space/Unit | Guest Spaces | Total |
|-----------------------|-------------|---------------|--------------------|--------------|-------|
| Required              | 12          | 1.0           | 1                  | 0.25         | 27    |
| Total provided        |             | 24            | 0                  | 12           | 36    |

| Clustered Multi-family      | Total Units | Unit (Garage) | Surface Space/Unit | Guest Spaces | Total |
|-----------------------------|-------------|---------------|--------------------|--------------|-------|
| Required (1-bedroom units)  | 10          | 1.0           |                    | 0.25         | 13    |
| Required (2+ bedroom units) | 86          | 1.0           | 1                  | 0.25         | 194   |
| Total Required              |             |               |                    |              | 207   |
| Total provided              |             | 96            | 96*                | 89           | 281   |

\* Assigned carports

Additional Parking Spaces (not counted toward requirements above)

|                                 |     |
|---------------------------------|-----|
| Single-family Driveways (20')   | 114 |
| Townhomes (Front-load)          | 266 |
| Total Additional Parking Spaces | 380 |

Note: In clustered multi-family outside of enclosed garages, additional surface parking is in parking lots in open guest spaces or carports. No parking is allowed in shared driveway access or garage approaches.

1-Bedroom Units

## Parking Key

|   |
|---|
| ● Garage Parking                        |
| ● Guest Sp (Townhomes)                  |
| ● Parking Lot (Carport)                 |
| ● Guest Sp (Attached Multi-family)      |
| ● Required 0.25 guest space within 200' |
| ● Driveway Parking *                    |

\* Driveway parking not counted toward requirement



# Fencing Plan



## 6' Precast Concrete

Note: 6' wall to be on top of 2' berm.  
Project owners will maintain the trail corridor along Pony Express (semi-private not req'd)



## 6' Vinyl Fencing

Color: Grey



## 6' Decorative Aluminum Fence

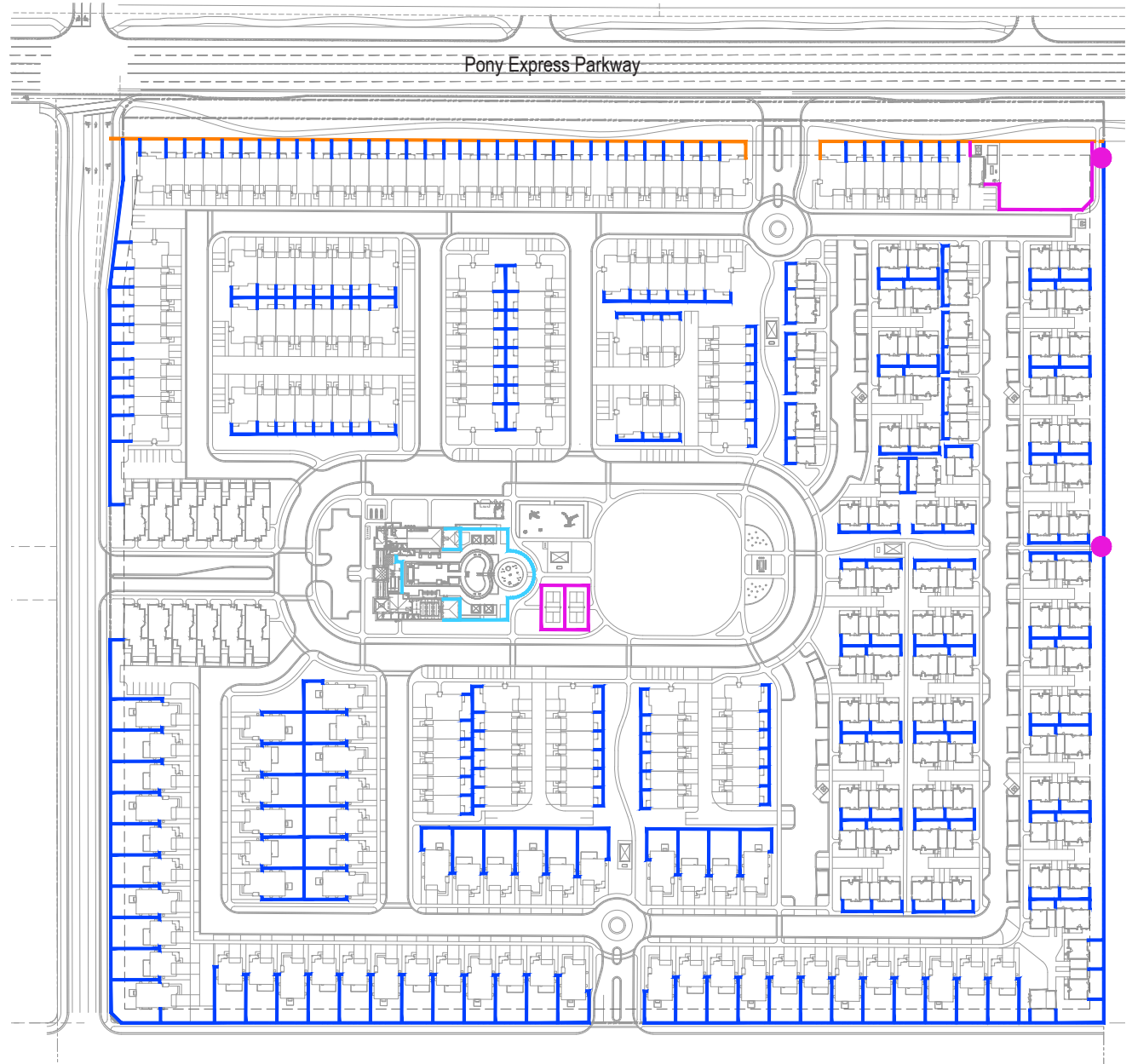


## 6' Vinyl Clad Sport Fence

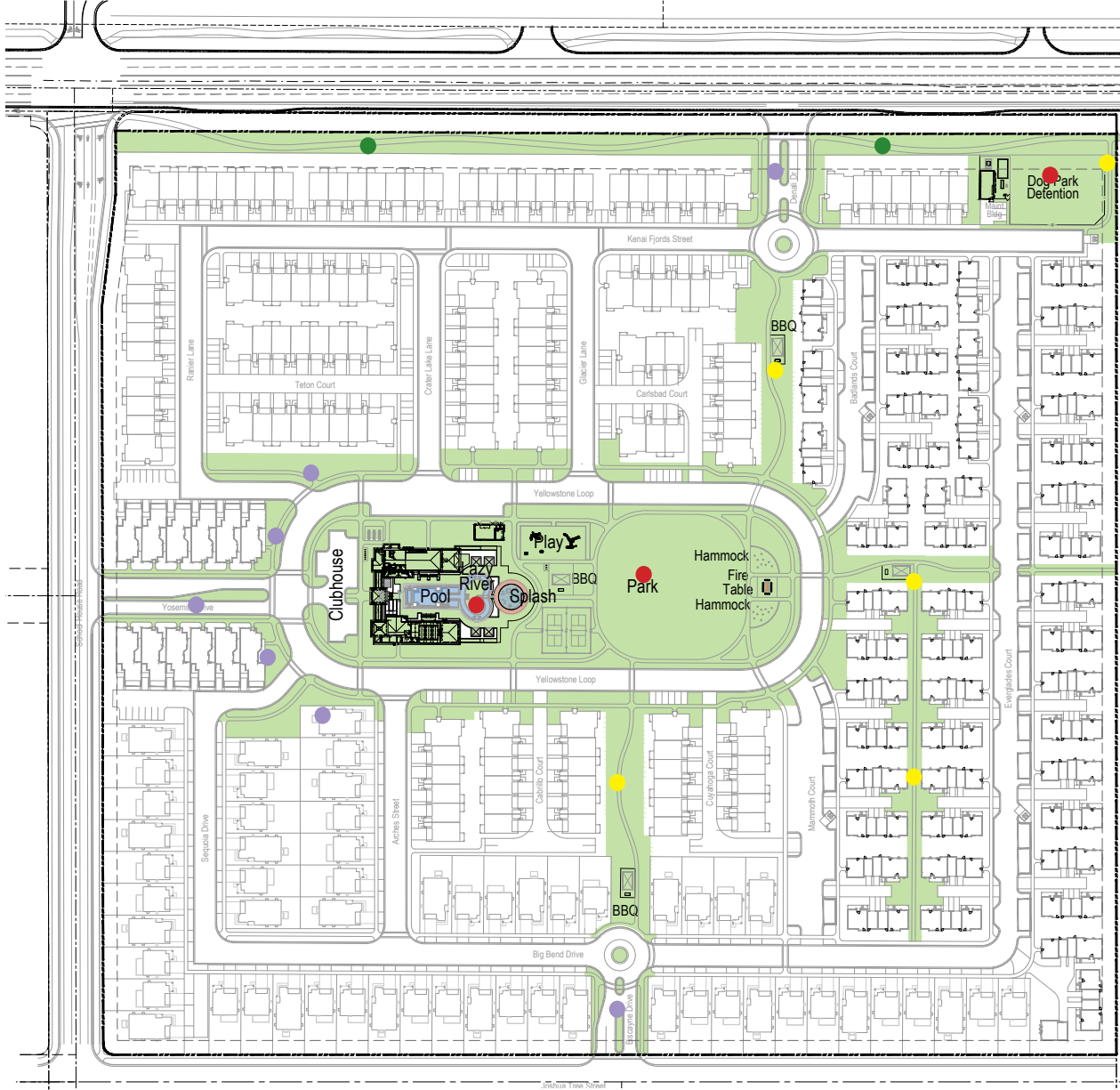
Color: Black

Around sport courts and dog park only

Note: Sight triangles at road intersections must be accommodated in final design



# Open Space Plan



| Open Space Summary      |           |
|-------------------------|-----------|
| Total Village Plan Area | 42.751 Ac |
| Total Common Open Space | 7.968 Ac  |
| Common Open Space %     | 18.63%    |
| Required Open Space %   | 13-15%    |

| Open Space Types*                     |                 |
|---------------------------------------|-----------------|
| <span style="color: purple;">●</span> | Entrance Park   |
| <span style="color: red;">●</span>    | Pocket Park     |
| <span style="color: yellow;">●</span> | Connector Trail |
| <span style="color: green;">●</span>  | Park Lawns      |

\*As defined in the Saratoga Springs City Center District Area Plan

## Dog Park Amenities

- Grass area
- Covered shelter
- Drinking fountain (w/ Pet Bowl)
- Benches
- Artificial lawn area
- Dog bag dispenser
- Trash can

## Playground Amenities

- Playground equipment
- Benches
- Shade canopies
- BBQ and pavilion
- Swings
- Bike Rack

## Pool Deck

- Pool
- Lazy River
- Splash Pad
- Hot Tub
- Cabanas with TVs
- Seating areas



# Landscape Plan



## Landscaped Areas

Areas highlighted in green indicate areas to be treated with landscape (i.e. turf, shrubs, trees, planters, mulch, etc.)

## Open Space Management

All landscaped areas, including all landscape within the residential project boundary, all park strips adjacent to residential project, and the 30' trail corridor along Pony Express Parkway will be maintained by the management company selected by the owner.

## Deciduous Trees



| Botanical Name                              | Common Name                   | Size      |
|---|-------------------------------|-----------|
| Acer campestre 'Queen Elizabeth'            | Queen Elizabeth Hedge Maple   | 2" Cal    |
| Acer platanoides 'Emerald Queen'            | Emeral Queen Maple            | 2" Cal    |
| Acer freemanii                              | Armstrong Maple               | 2" Cal    |
| Acer pseudoplatanus                         | Sycamore Maple                | 2" Cal    |
| Acer tatarian                               | Tatarian Maple                | 2" Cal    |
| Carpinus betulus 'Frans Fontaine'           | Frans Fontaine Hornbeam       | 2" Cal    |
| Catalpa speciosa                            | Catalpa (podless)             | 2" Cal    |
| Celtis occidentalis                         | Common Hackberry              | 2" Cal    |
| Cercis canadensis                           | Redbud                        | 2" Cal    |
| Fagus sylvatica 'Purple Fountain'           | Weeping Purple Beech          | 2" Cal    |
| Fraxinus mandschurica                       | Manchurian Ash                | 2" Cal    |
| Fraxinus pennsylvanica 'Cimmarron'          | Cimmarron Green Ash           | 2" Cal    |
| Ginko biloba 'Magyar'                       | Magyar Maidenhair Tree (Male) | 2" Cal    |
| Gleditsia triacanthos inermis 'Imperial'    | Imperial Honeylocust          | 2" Cal    |
| Gleditsia triacanthos inermis 'Shademaster' | Shademaster Locust            | 2" Cal    |
| Juniperus scopulorum                        | Rocky Mountain Juniper        | 5' Height |
| Juniperus scpulorum 'Skyrocket'             | Sky Rocket Juniper            | 5' Height |
| Liriodendron tulipefera                     | Tuliptree                     | 2" Cal    |
| Malus 'Indian Magic'                        | Crabapple                     | 2" Cal    |
| Malus 'Spring Snow'                         | Spring Snow Crabapple         | 2" Cal    |
| Platanus acerifolia 'Bloodgood'             | Bloodgood London Planetree    | 2" Cal    |
| Prunus sargentii 'Pink Flair'               | Pink Flair Flowering Cherry   | 2" Cal    |
| Prunus serrulata 'Kwanzan'                  | Kwanzan Flowering Cherry      | 2" Cal    |
| Prunus virginiana 'Canada Red'              | Canada Red Chokecherry        | 2" Cal    |
| Pyrus calleryana 'Redspire'                 | Redspire Flowering Pear       | 2" Cal    |
| Quercus gambelii                            | Gamble Oak                    | 2" Cal    |
| Quercus macrocarpa                          | Bur Oak                       | 2" Cal    |
| Tilia cordata 'Greenspire'                  | Greenspire Littleleaf Linden  | 2" Cal    |
| Tilia tomentosa                             | Silver Linden                 | 2" Cal    |
| Ulmus pavifolia                             | Lace Bark Elm                 | 2" Cal    |
| Ulmus x 'Accolade'                          | Accolade Hybrid Elm           | 2" Cal    |
| Zelkova serrata 'Village Green'             | Village Green Zelkova         | 2" Cal    |
| Zelkova serrata 'Wireless'                  | Wireless Zelkova              | 2" Cal    |

Community &amp; Village Plan • Viviano at Saratoga Springs

## Landscape Palette

### Shrubs



#### Botanical Name

Berberis thunbergii A. N. 'Crimson Pigmy'  
 Buxus x 'Green Gem'  
 Caryopteris x clandonensis 'Blue Mist'  
 Cornus sericea 'Cardinal'  
 Cornus sericea 'Kelseyi'  
 Euonymus alatus 'Compactus'  
 Forsythia x intermedia 'Evergold'  
 Hibiscus syriacus 'Aphrodite'  
 Juniperus chinensis Var. Sargentii  
 Lavandula angustifolia 'Buena Vista'  
 Lonicera tatarica utahensis  
 Mahonia aquaefolium 'Compacta'  
 Mahonia repens  
 Nandina domestica 'Gulfstream'  
 Physocarpus opulus 'Bloomin Easy'  
 Physocarpus opulifolius 'Diablo'  
 Pinus mugo 'Pumilio'  
 Potentilla fruticosa 'Abbotswood'  
 Potentilla fruticosa 'Jackmanii'  
 Prunus laurocerasus 'Otto Luyken' x cistena  
 Rhamnus frangula 'Ron Williams'  
 Rhus aromatica 'Grow Low'  
 Ribies alpinum 'Aureum'

#### Common Name

Redleaf Barberry  
 Green Gem Boxwood  
 Blue Beard  
 Red Twig Dogwood  
 Kelsey Dwarf Dogwood  
 Compact Burning Bush  
 Border Forsythia  
 Aphrodite Rose Of Sharon  
 Sargent'S Juniper  
 Buena Vista Lavender  
 Tatrian Honeysuckle  
 Compact Oregon Grape  
 Creeping Oregon Grape  
 Gulfstream Heavenly Bamboo  
 Bloomin Easy Ninebark  
 Diablo Ninebark  
 Dwarf Mugo Pine  
 Abbotswood Potentilla  
 Jackman Potentilla  
 Otto Luyken Laurel  
 Fine Line Fern Leaf Buckthorn  
 Grow Low Fragrant Sumac  
 Alpine Current 3 Gal

#### Size

5 Gal  
 1 Gal  
 3 Gal  
 5 Gal  
 3 Gal  
 1 Gal  
 1 Gal  
 5 Gal  
 5 Gal  
 1 Gal  
 5 Gal  
 1 Gal  
 3 Gal  
 5 Gal  
 1 Gal  
 1 Gal  
 3 Gal  
 3 Gal  
 5 Gal  
 5 Gal  
 5 Gal



## Landscape Palette

### Evergreen Shrubs



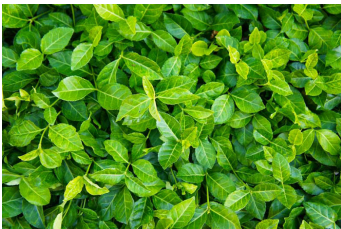
| Botanical Name                    | Common Name             | Size  |
|-----------------------------------|-------------------------|-------|
| Rosa 'Knock Out'                  | Knock Out Rose          | 3 Gal |
| Rosa 'Radtko'                     | Double Knock Out Rose   | 5 Gal |
| Rosa 'Woodsii'                    | Wood's Rose             | 5 Gal |
| Spirea bumalda 'Anthony Waterer'  | Anthony Waterer Spirea  | 3 Gal |
| Spirea japonica 'Neon Flash'      | Neon Flash Spirea       | 3 Gal |
| Syringa meyeri 'Palibin'          | Dwarf Korean Lilac      | 1 Gal |
| Syringa patula 'Miss Kim'         | Miss Kim Lilac          | 5 Gal |
| Taxus baccata 'Repandens'         | Japanese Yew            | 1 Gal |
| Taxus media 'Dark Green Spreader' | Dark Green Spreader Yew | 5 Gal |
| Wigela florida 'Tango'            | Tango Wigela            | 3 Gal |

### Ornamental Grasses



| Botanical Name                            | Common Name                         | Size  |
|---|-------------------------------------|-------|
| Calamagrostis x acutiflo. 'Karl Foerster' | Karl Foerster Grass                 | 1 Gal |
| Carex muskingumensis 'Ice Fountains'      | Ice Fountains Sedge                 | 1 Gal |
| Chasmanthium latifolium                   | Northern Sea Oats                   | 1 Gal |
| Deschampsia cespitosa                     | Tufted Hairgrass                    | 1 Gal |
| Festuca Ovina glauca                      | Blue Fescue Grass                   | 1 Gal |
| Helictotrichon sempervirens               | Blue Oat Grass                      | 1 Gal |
| Miscanthus sinensis 'Yaku Jima'           | Dwarf Maiden Hair Grass             | 1 Gal |
| Muhlenbergia capillaris                   | Pink Muhly Grass                    | 1 Gal |
| Muhlenbergia reverchonii 'Undaunted'      | Undaunted Pink Muhly Grass          | 1 Gal |
| Pennisetum alopecuroides 'Burgundy Bunny' | Burgundy Bunny Dwarf Fountain Grass | 1 Gal |
| Pennisetum alopecuroides 'Hameln'         | Hameln Dwarf Fountain Grass         | 1 Gal |

### Groundcovers



| Botanical Name    | Common Name    | Size   |
|-------------------|----------------|--------|
| Euonymus fortunei | Winter Creeper | 3" Pot |
| Ajuga reptans     | Bugleweed      | 3" Pot |
| Sedum             | Sedum          | 3" Pot |

## Landscape Palette

### Perennials



#### Botanical Name

Agastache cana  
 Anemone hybrida 'Fantasy Pocahontas'  
 Astilbe chinensis 'Visions In Red'  
 Bergenia cordifolia  
 Coreopsis grandiflora 'Early Sunrise'  
 Echinacea purpurea  
 Echinacea purpurea 'Mangus'  
 Gaillardia aristata  
 Gaura lindheimeri 'Crimson Butterflies'  
 Hemerocallis 'Happy Returns'  
 Hemerocallis 'Mauna Loa'  
 Hemerocallis 'Pardon Me'  
 Hemerocallis 'South Seas'  
 Hemerocallis 'Stella De Oro'  
 Heuchera x 'Midnight Rose'  
 Hosta x 'Blue Angel'  
 Hosta x 'High Society'  
 Hosta x 'Royal Standard'  
 Hosta x 'Stained Glass'  
 Kniphofia 'Jackpot'  
 Lavandula angustifolia 'Hidcote Blue'  
 Leucanthemum superbum 'Snow Cap'  
 Liriope muscari 'Big Blue'  
 Paeonia lactiflora 'Celebrity'  
 Rudbeckia fulgida 'Goldstrum'  
 Rudbeckia fulgida 'Little Goldstar'  
 Salvia nemorosa 'May Night'  
 Salvia x sylvestris

#### Common Name

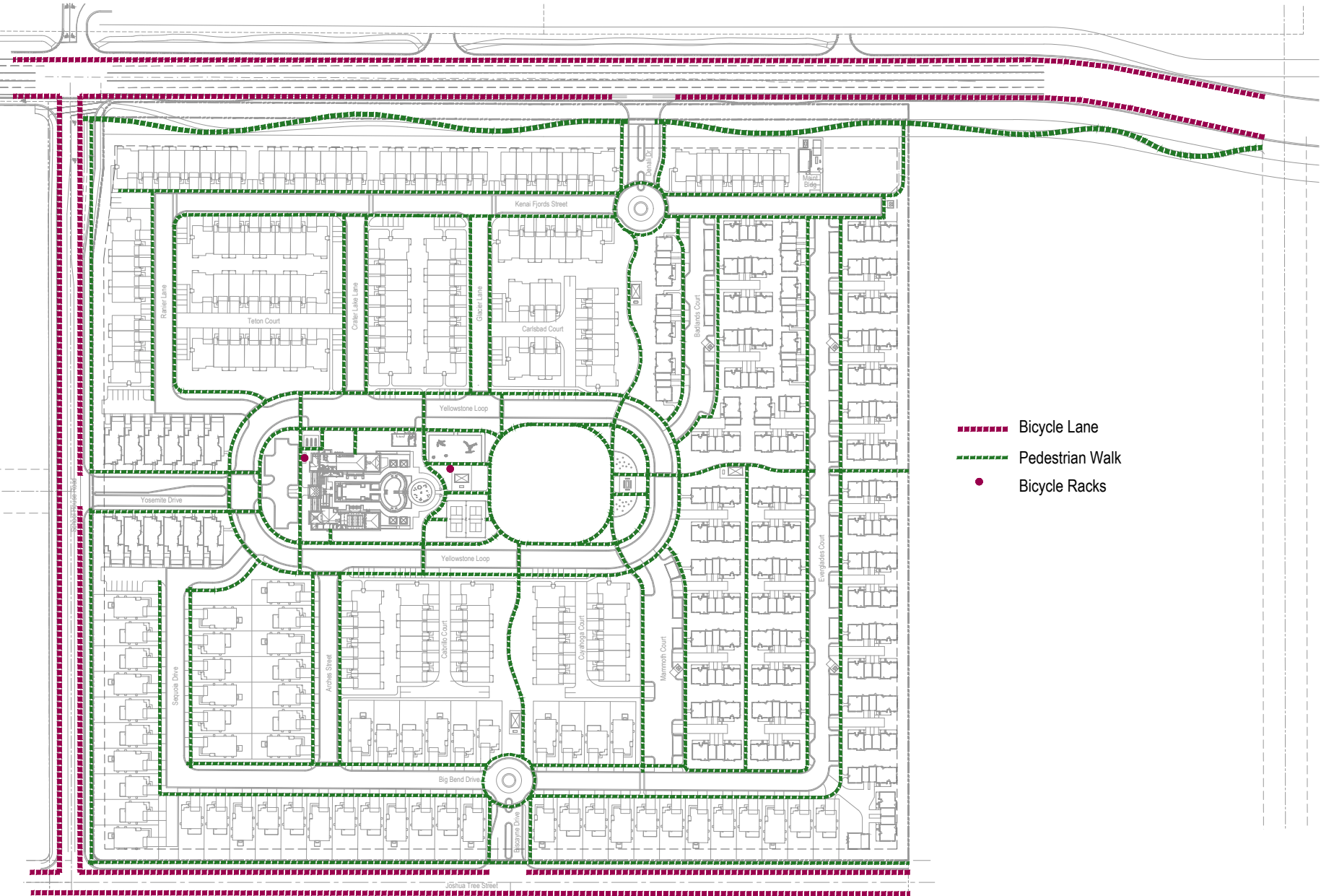
Double Bubble Mint  
 Japanese Windflower  
 Visions In Red False Goats Beard  
 Heartleaf Bergenia  
 Early Sunrise Tickseed  
 Purple Coneflower  
 Mangus Coneflower  
 Blanket Flower  
 Crimson Butterflies Gaura  
 Happy Returns Daylily  
 Mauna Loa Daylily  
 Pardon Me Daylily  
 South Seas Daylily  
 Stella De Oro Daylily  
 Midnight Rose Coral Bells  
 Blue Angel Hosta  
 Plantain Lily 'High Society'  
 Plantain Lily 'Royal Standard'  
 Plantain Lily 'Stained Glass'  
 Jackpot Red Hot Poker  
 Hidcote Blue Lavender  
 Snow Cap Shasta Daisy  
 Big Blue Lily Turf  
 Celebrity Peony  
 Black Eyed Susan  
 Little Goldstar Black Eyed Susan  
 May Night Sage  
 'May Night' / Sage

#### Size

1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 5 Gal  
 1 Gal  
 5 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 5 Gal  
 5 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 5 Gal  
 1 Gal  
 1 Gal  
 1 Gal  
 1 Gal

Note: Plant list for all plant types may be modified with approval from the Planning Director

# Pedestrian Plan





\_\_\_\_\_



# Site Characteristics



## Waterways

There are no existing waterways within the boundaries of the site.

## Fault Lines and geological Information

The site is in an area known to have fine-grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a major hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site. These factors will be considered by a geotechnical engineer for structural design recommendations.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Cedar Valley Tear Fault located approximately 4 miles northwest.

## General Soil Data

The site is primarily comprised of Taylorsville and Payson silty clay loams. These soils are classified as developable. A geotechnical report will be prepared to identify specific recommendations for buildings.

## Slopes

The site currently slopes from the west to east at approximately 2%. No slopes exist on the site that are greater than 30%.

## Wetlands

There are no existing wetlands within the project boundaries.

## Historical Sites

There are no known historical sites within the project boundaries.

## Endangered Plants

The site is currently being farmed. There are no endangered plants within the project boundaries.

## Wildlife

The site is currently being farmed. There is no wildlife within the project boundaries.

# Additional Elements

## Other Project Information

### Associations

There are no owner associations that will be required. The entire project will be managed and operated by the owner.

### Mitigation Plans

No significant environmental issues will be encountered on this site, and as a result, no mitigation plans are required.

### Development Agreement

This property is a part of the Saratoga Springs City Center District Area Plan. A Development agreement was signed at the time of the approval of the District Plan.

## Findings Statement

- a. This Community & Village Plan as presented is consistent with the adopted District Area Plan. Access to the site is accommodated from the existing Pony Express Parkway and entrances on proposed streets on the west and south sides of the property. Taking the vocabulary of the Community Plan we have carried through the Village Plan the critical design elements.
- b. This Plan anticipates an estimated building coverage of 638,823 square feet at full build out.
- c. The Density of approximately 7 du/ac is consistent with the District Area Plan for this development. This Plan does not exceed the total number of residential units dictated in the adopted District Plan and does not anticipate a need for a transfer of density. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures.
- d. This Plan is consistent with the utility, infrastructure, and circulation plans of the District Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. Also, future capacity for Secondary Water Lines and future phases are addressed.
- e. This Plan properly integrates utility, infrastructure, open spaces, pedestrian systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26; and exceeds the minimum required open space of 13-15% in the adopted Community Plan, and adopted District Area Plan.

