



APPROVAL

The City of Saratoga Springs approves this Community Plan or Village Plan Minor Amendment by way of the Planning Director approval for being in general compliance with Title 19: Land Use Development code on **July 14, 2023**. Responsibility for the completeness and accuracy of these plans and related designs resides with the owner/developer. The City assumes no responsibility or liability whatsoever for the plans and designs submitted.

By:  Date: 08/01/2023
Printed Name: Gina Grandpre
Title: Senior Planner



SARATOGA
SPRINGS

AREA 3 VILLAGE PLAN AMENDMENT 1

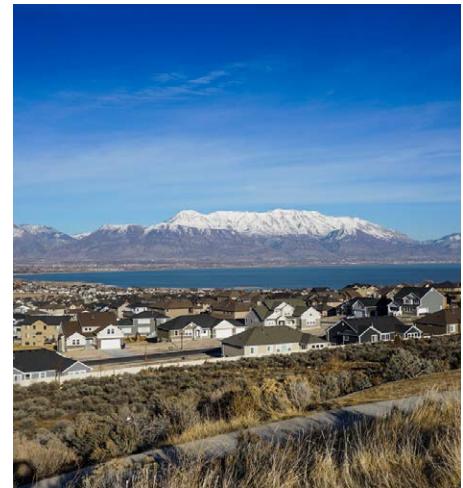


JORDAN
PROMENADE



OAKWOOD

JUNE 26, 2023



JORDAN PROMENADE

AT SARATOGA SPRINGS

AREA 3 VILLAGE PLAN AMENDMENT 1

Prepared by:





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VILLAGE AREA BOUNDARY MAP



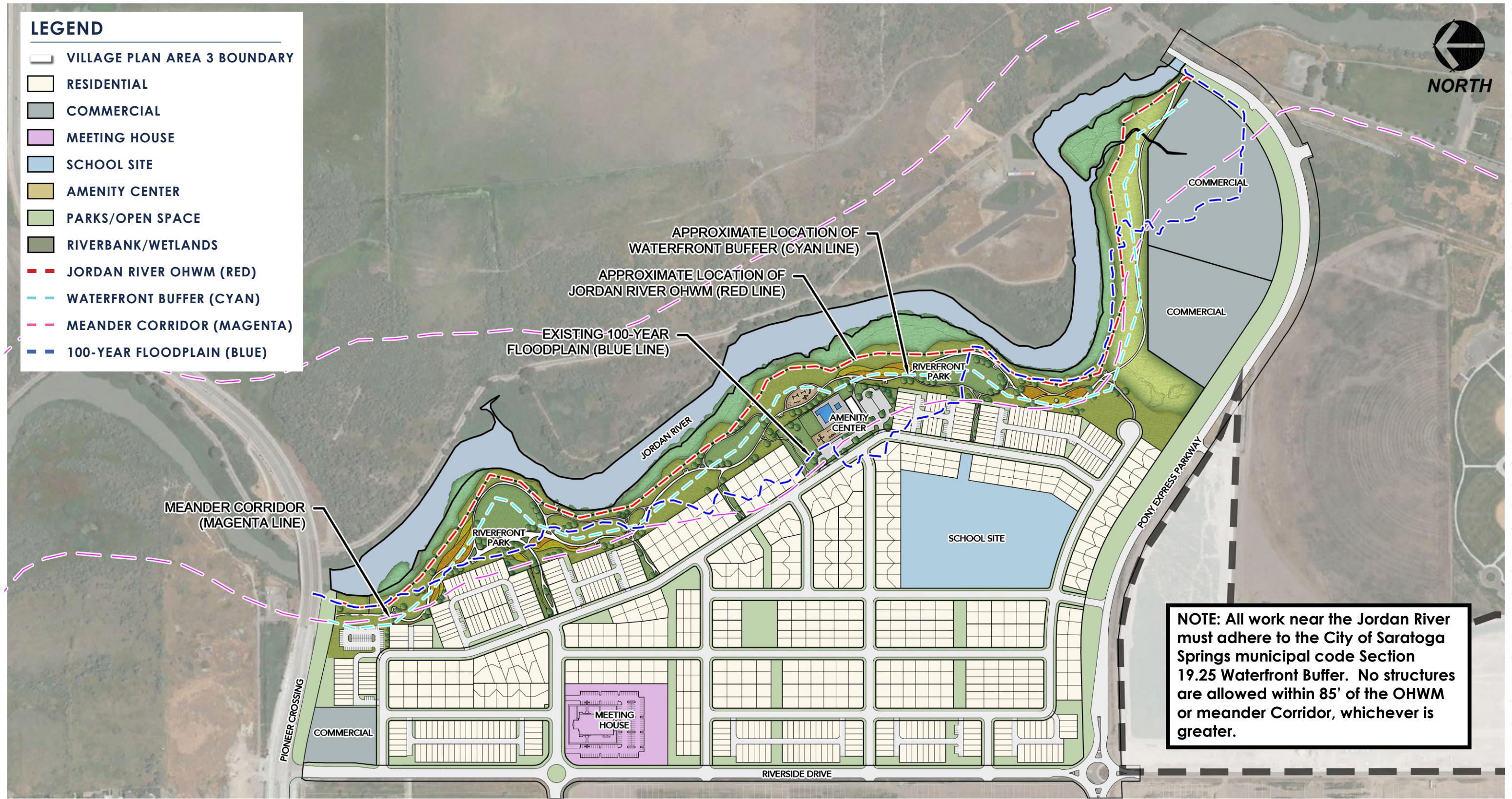


SECTION 1 - LEGAL DESCRIPTION

The parcel metes and bounds legal description is as follows:

COM N 2523.63 FT & W 1158.61 FT FR E 1/4 COR. SEC. 26, T5S, R1W, SLB&M.; N 37 FT; ALONG A CURVE TO R (CHORD BEARS: N 53 DEG 3' 0" E 6.89 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 53 DEG 2' 57" E 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 68 DEG 44' 39" E 65.62 FT, RADIUS = 90.5 FT); E 17.09 FT; N 2 DEG 58' 20" W 70.3 FT; S 86 DEG 11' 25" W 3.55 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 21' 32" W 15.33 FT, RADIUS = 64.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 69 DEG 25' 36" W 43.75 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 36 DEG 57' 3" W 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 21 DEG 37' 43" W 64.52 FT, RADIUS = 90.5 FT); N 2410.12 FT; ALONG A CURVE TO R (CHORD BEARS: N 53 DEG 3' 0" E 6.89 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 53 DEG 2' 57" E 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 68 DEG 44' 40" E 65.62 FT, RADIUS = 90.5 FT); E 17.09 FT; N 2 DEG 58' 20" W 70.3 FT; S 86 DEG 10' 59" W 3.55 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 21' 38" W 15.33 FT, RADIUS = 64.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 69 DEG 25' 38" W 43.75 FT, RADIUS = 35.5 FT); ALONG A CURVE TO L (CHORD BEARS: N 36 DEG 57' 0" W 16.38 FT, RADIUS = 84.5 FT); ALONG A CURVE TO R (CHORD BEARS: N 21 DEG 37' 43" W 64.52 FT, RADIUS = 90.5 FT); N 751.29 FT; N 6 DEG 32' 2" E 100.65 FT; N 147.62 FT; ALONG A CURVE TO R (CHORD BEARS: N 1 DEG 35' 44" E 65.9 FT, RADIUS = 1008.26 FT); N 52 DEG 6' 31" E 44.07 FT; ALONG A CURVE TO R (CHORD BEARS: S 79 DEG 37' 12" E 61.21 FT, RADIUS = 1394.03 FT); S 77 DEG 12' 47" E 545.01 FT; ALONG A CURVE TO L (CHORD BEARS: S 82 DEG 5' 57" E 151.05 FT, RADIUS = 1143.68 FT); S 16 DEG 36' 59" W 113.17 FT; S 6 DEG 16' 31" E 143.75 FT; S 40 DEG 15' 3" E 199.57 FT; S 52 DEG 15' 0" E 326.5 FT; S 60 DEG 15' 43" E 271.16 FT; S 13 DEG 20' 52" W 150.65 FT; S 42 DEG 43' 56" W 159.53 FT; S 20 DEG 23' 15" W 180.74 FT; S 12 DEG 40' 30" E 257.32 FT; S 38 DEG 30' 26" E 446.67 FT; S 32 DEG 44' 40" E 135.96 FT; S 50 DEG 30' 29" E 240.72 FT; S 64 DEG 50' 34" E 70.79 FT; S 28 DEG 30' 43" E 128.54 FT; S 3 DEG 51' 59" E 124.82 FT; S 17 DEG 6' 35" W 75.45 FT; S 26 DEG 49' 30" E 144.48 FT; S 11 DEG 14' 52" E 99 FT; S 1 DEG 25' 50" W 228.24 FT; S 5 DEG 51' 50" E 265.23 FT; S 36 DEG 31' 3" W 221.75 FT; S 11 DEG 52' 35" W 207.96 FT; S 17 DEG 28' 58" E 200.11 FT; S 71 DEG 9' 38" E 381.7 FT; N 83 DEG 49' 20" E 241.9 FT; N 80 DEG 53' 56" E 338.24 FT; S 63 DEG 16' 27" E 141.94 FT; S 86 DEG 19' 21" E 148.71 FT; S 31 DEG 7' 21" E 155.89 FT; S 37 DEG 31' 9" E 248.04 FT; S 26 DEG 8' 49" W 296.68 FT; S 13 DEG 4' 11" W 32.62 FT; N 86 DEG 30' 0" W 1734.33 FT; ALONG A CURVE TO R (CHORD BEARS: N 33 DEG 7' 39" E 3.57 FT, RADIUS = 120.5 FT); N 33 DEG 58' 38" E 22.04 FT; S 86 DEG 40' 1" E 182.15 FT; S 86 DEG 58' 39" E 63.19 FT; ALONG A CURVE TO R (CHORD BEARS: N 63 DEG 18' 57" W 172.47 FT, RADIUS = 680 FT); N 56 DEG 1' 47" W 542.96 FT; ALONG A CURVE TO L (CHORD BEARS: N 73 DEG 44' 34" W 578.07 FT, RADIUS = 950 FT); S 88 DEG 32' 39" W 559.47 FT TO BEG. AREA 160.955 AC.

SECTION 2 - DETAILED USE MAP





SECTION 3 - DETAILED BUILDOUT ALLOCATION

The following information details the allocation of all acreages within Village Plan Area 3:

DEVELOPMENT TYPE	ACRES	% OF TOTAL AC	UNITS	DENSITY
SINGLE FAMILY DETACHED	0.0	0.0%	0	N/A
TOWNHOMES/PAIRED HOMES	21.1	13.1%	327	15.4 DU/AC
CLUSTER HOMES	41.7	25.9%	515	12.3 DU/AC
AMENITY	3.3	2.0%	-	-
COMMERCIAL	18.0	11.2%	-	-
MEETING HOUSE	4.4	2.7%	-	-
SCHOOL SITE	9.3	5.8%	-	-
PARKS/OPEN SPACE	35.4	22.0%	-	-
RIGHTS-OF-WAY	27.8	17.3%	-	-
TOTALS	161.0¹	100%	842	5.2 DU/AC

¹Approximate total; final acreage to be determined during Plat application process.



SECTION 4 - DEVELOPMENT STANDARDS

SECTION 4a - SINGLE FAMILY DETACHED

Single family detached dwellings are arranged on a single residential lot and are not attached to any other dwellings. One driveway per single family detached lot provides direct access to the street.

BUILDING CONFIGURATION

Number of Bldgs. per Lot	1 + outbuilding
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Height - Outbuilding	Per Saratoga Springs Municipal Code
Lot Coverage	50% maximum
Lot Frontage	35' minimum measured at front setback
Lot Size	Min. 4,000 sq. ft.

SETBACKS - PRINCIPAL STRUCTURE

Front Yard	15' minimum
Front to Covered Porch	10' minimum
Front to Garage	20' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Rear Yard	15' minimum
Rear Yard to Rear Porch	10' minimum (5' maximum encroachment to rear setback)
Rear Yard to Rear Patio	0' when patio is at grade

SETBACKS - ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT*

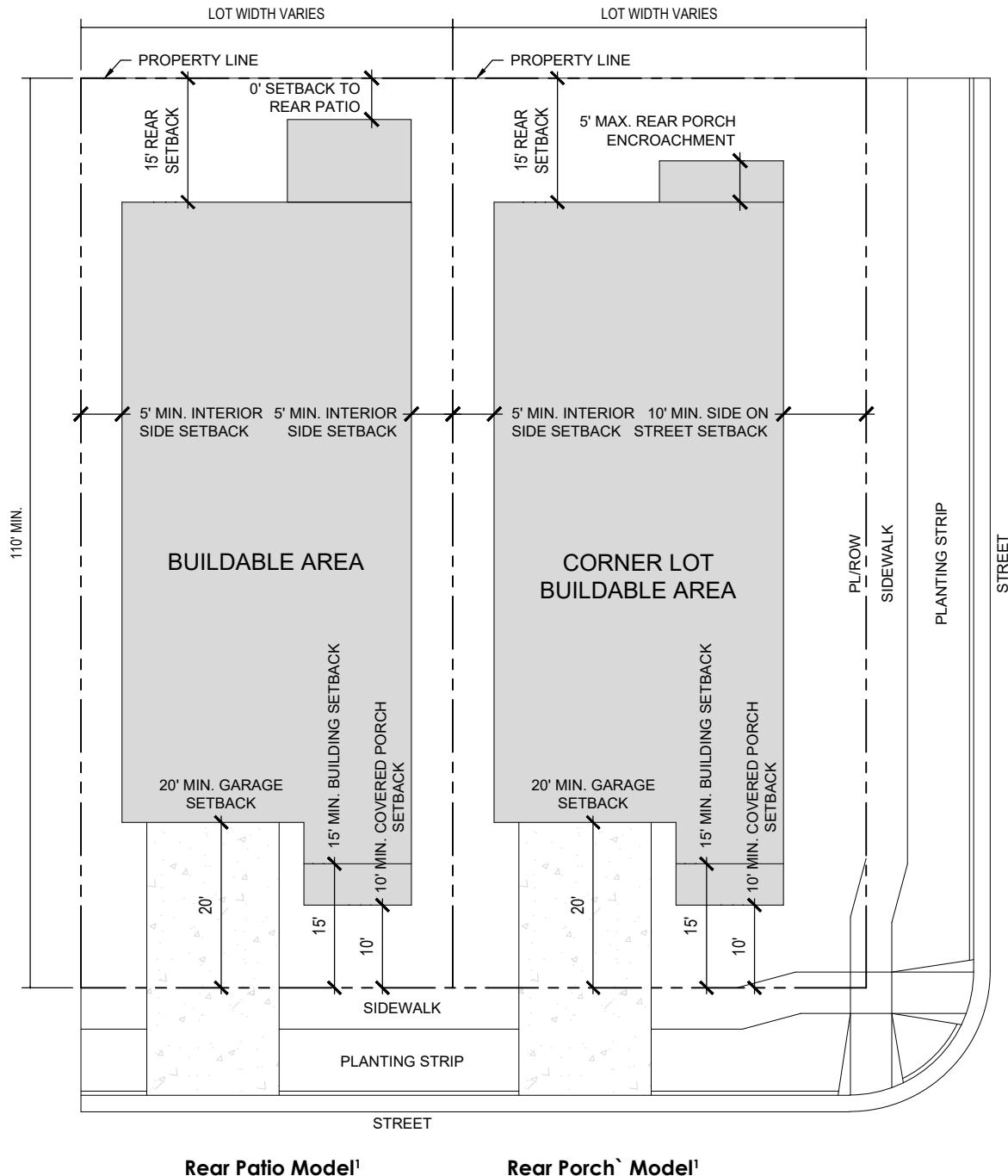
Front Yard	15' minimum
Rear Yard	5' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum

OTHER STANDARDS

Parking	2 off-street spaces per unit (per Saratoga Springs Municipal Code) ¹
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.

*Accessory Structures shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.05.

SECTION 4a - SINGLE FAMILY RESIDENTIAL LOT TYPICAL



NOTE: PLAN NOT TO SCALE

¹Any typical Single Family Residential Lot may contain either a Porch or Patio model.





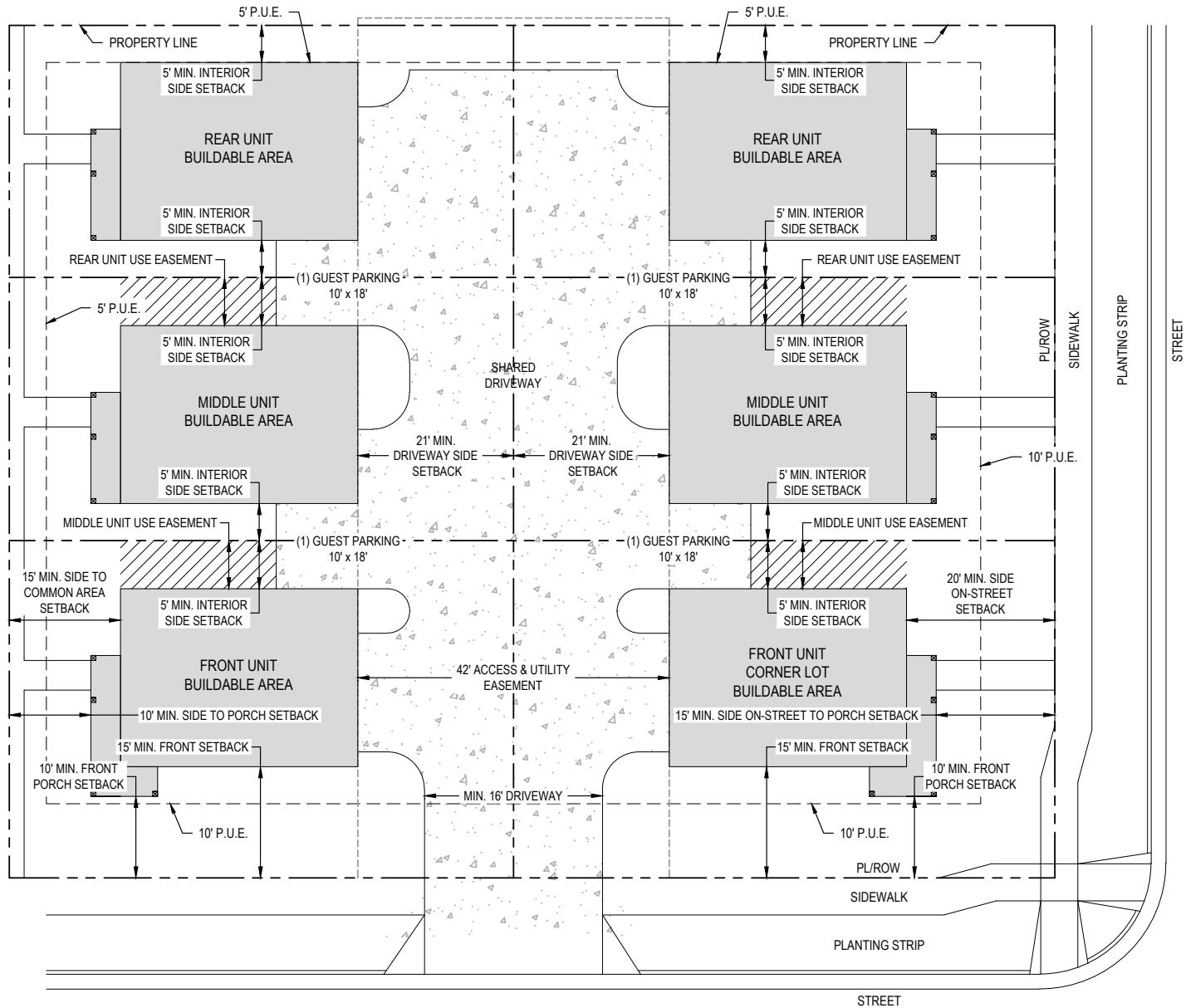
SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4b - SINGLE FAMILY CLUSTER HOMES - AMERICAN DREAM

The American Dream product consists of 2 to 6 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Lot Size	Varies
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	10' minimum
Front to Covered Porch	5' minimum
Side to Common Area	15' minimum
Side to Covered Porch	10' minimum
Interior Side Yard	5' minimum
Side On-Street	20' minimum
Driveway Side	21' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

SECTION 4b - CLUSTER HOMES - AMERICAN DREAM



NOTE: PLAN NOT TO SCALE





SECTION 4 - DEVELOPMENT STANDARDS (cont.)

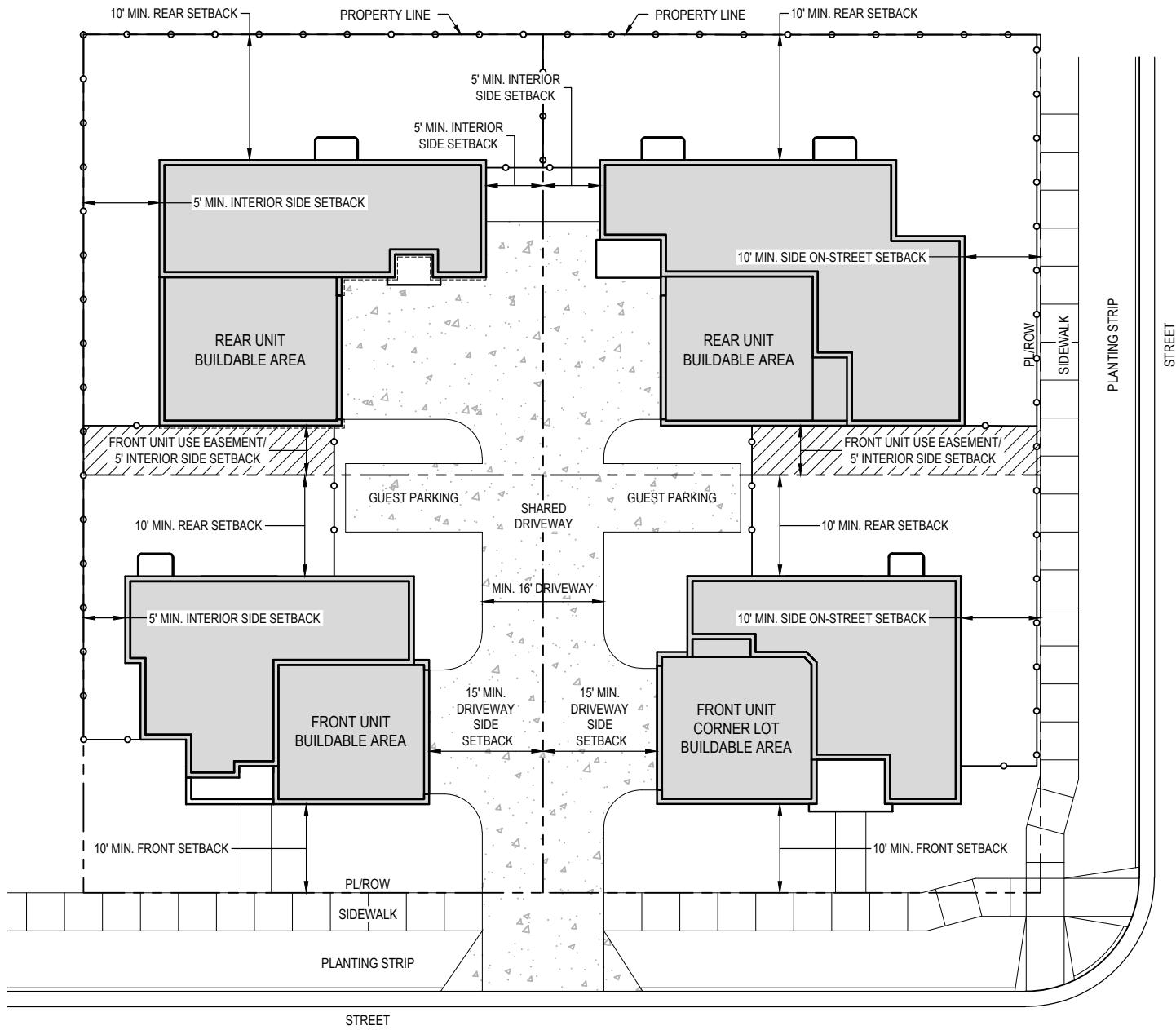
SECTION 4c - SINGLE FAMILY CLUSTER HOMES - PORCHLIGHT

The Porchlight product consists of 2 to 4 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum
Lot Size	Varies
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Driveway Side	15' minimum ¹
Rear Yard	10' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

¹ Driveways for single family detached units meet this requirement.

SECTION 4c - CLUSTER HOMES PORCHLIGHT



NOTE: PLAN NOT TO SCALE





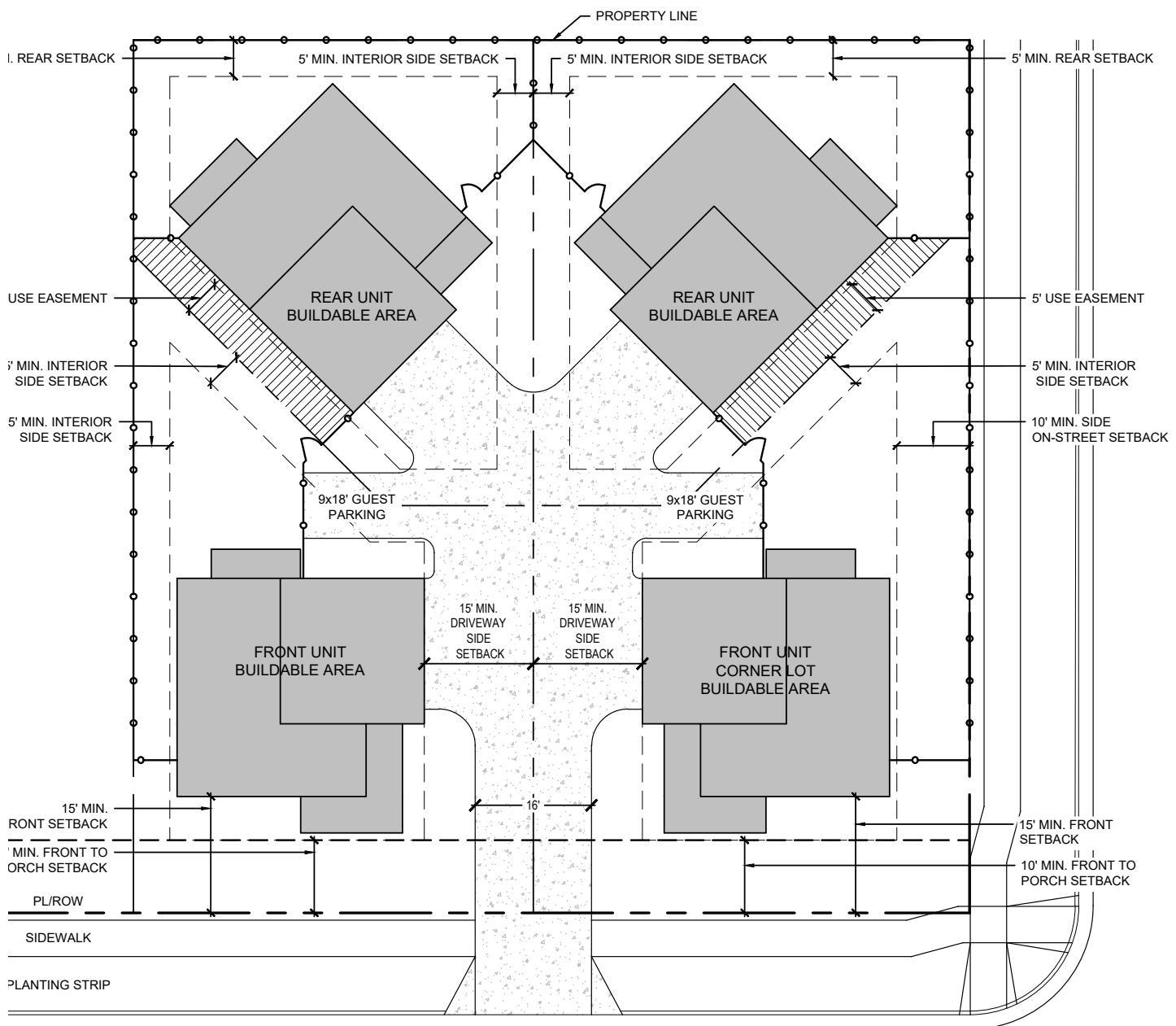
SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4d - SINGLE FAMILY CLUSTER HOMES - CARRIAGE

The Carriage product consists of 2 to 6 single family detached homes arranged on a shared access drive. Each dwelling occupies a single residential lot that is accessed via a shared drive.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	60% maximum
Lot Size	Varies
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard	15' minimum
Front Yard to Porch	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Driveway Side	15' minimum
Rear Yard	5' minimum
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Use Easement	5' easement benefit/use of adjacent lot for maintenance purposes.

SECTION 4d - CLUSTER HOMES CARRIAGE HOUSE

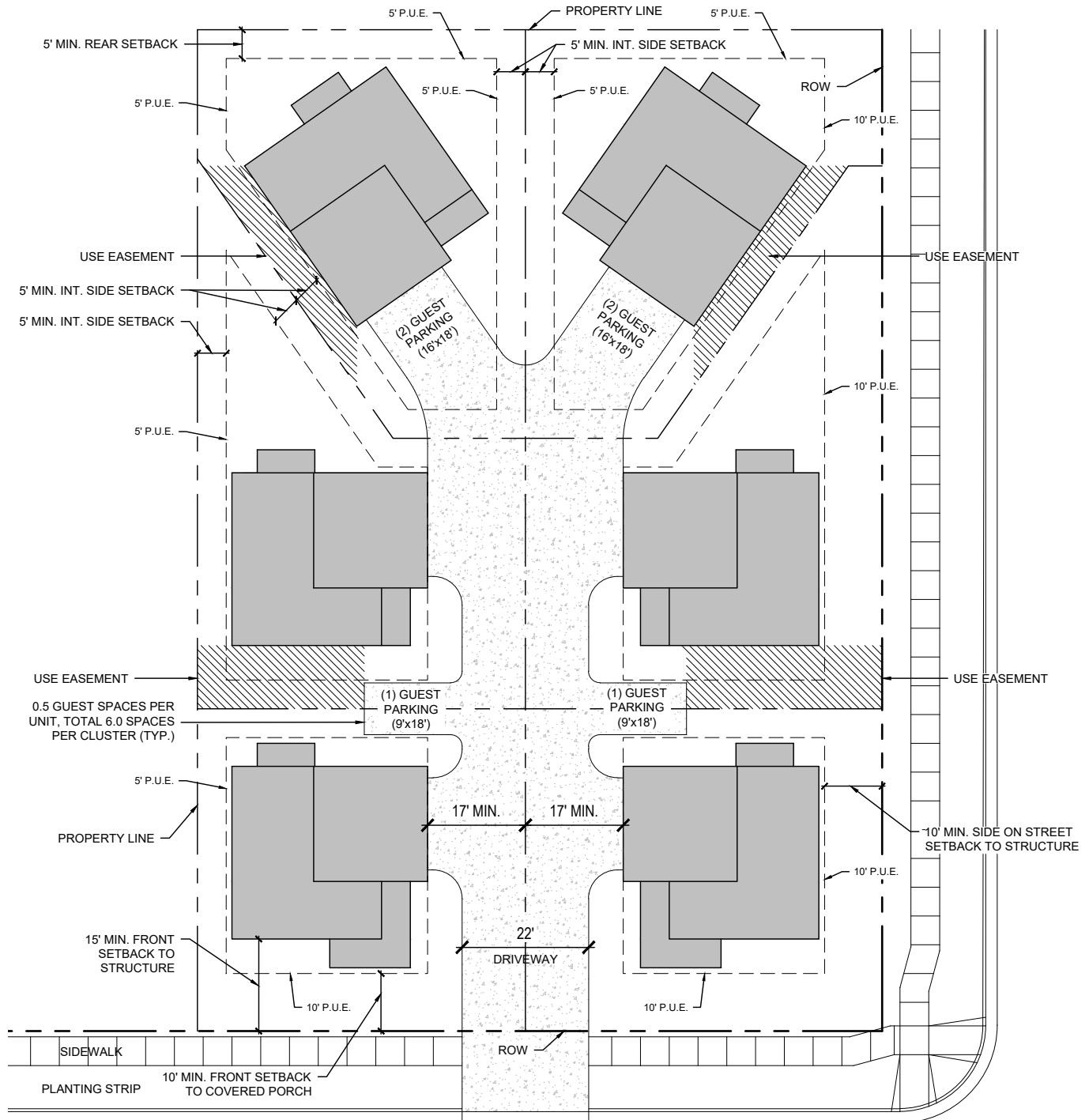


NOTE: PLAN NOT TO SCALE



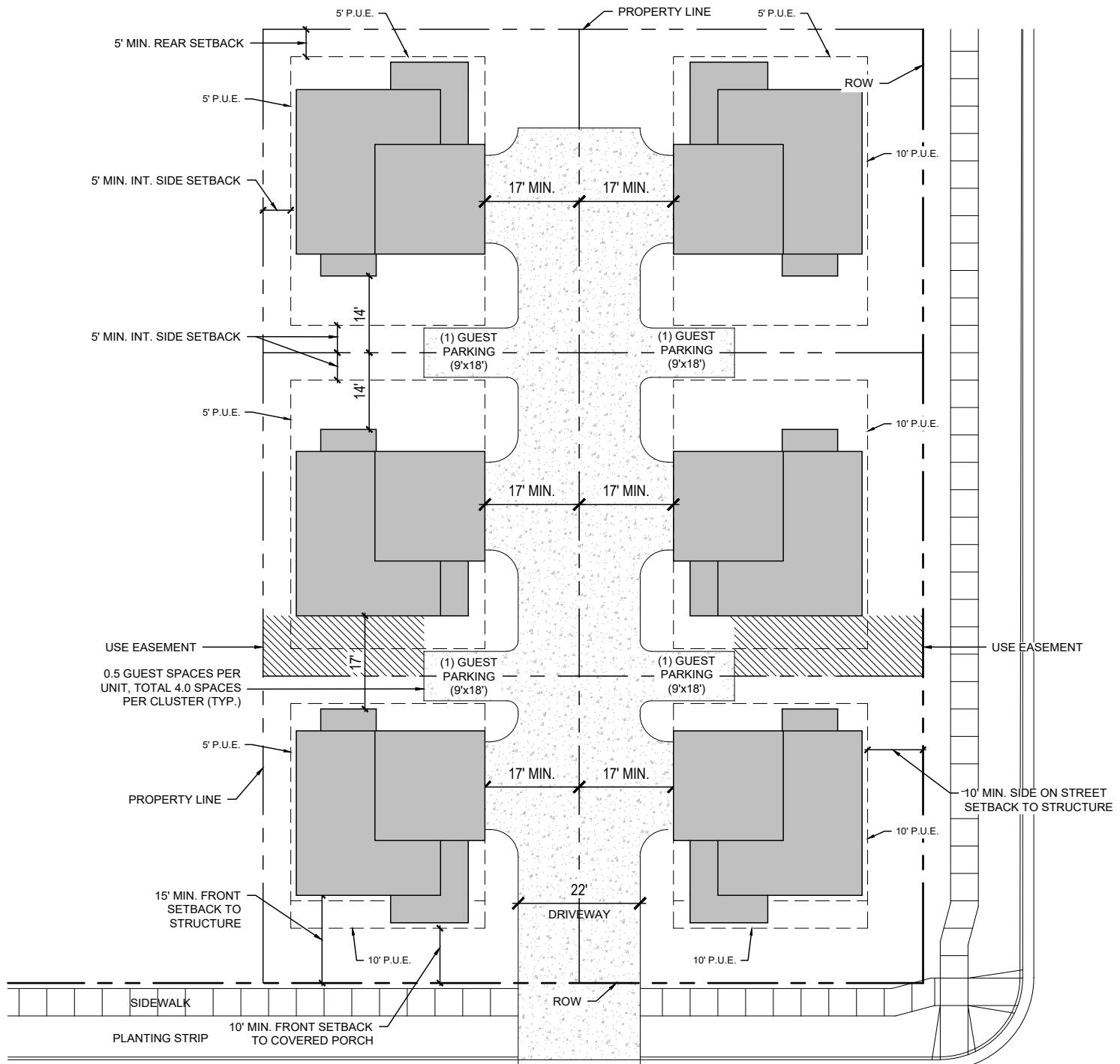


SECTION 4d - CLUSTER HOMES CARRIAGE HOUSE



NOTE: PLAN NOT TO SCALE

SECTION 4d - CLUSTER HOMES CARRIAGE HOUSE



NOTE: PLAN NOT TO SCALE





SECTION 4 - DEVELOPMENT STANDARDS (cont.)

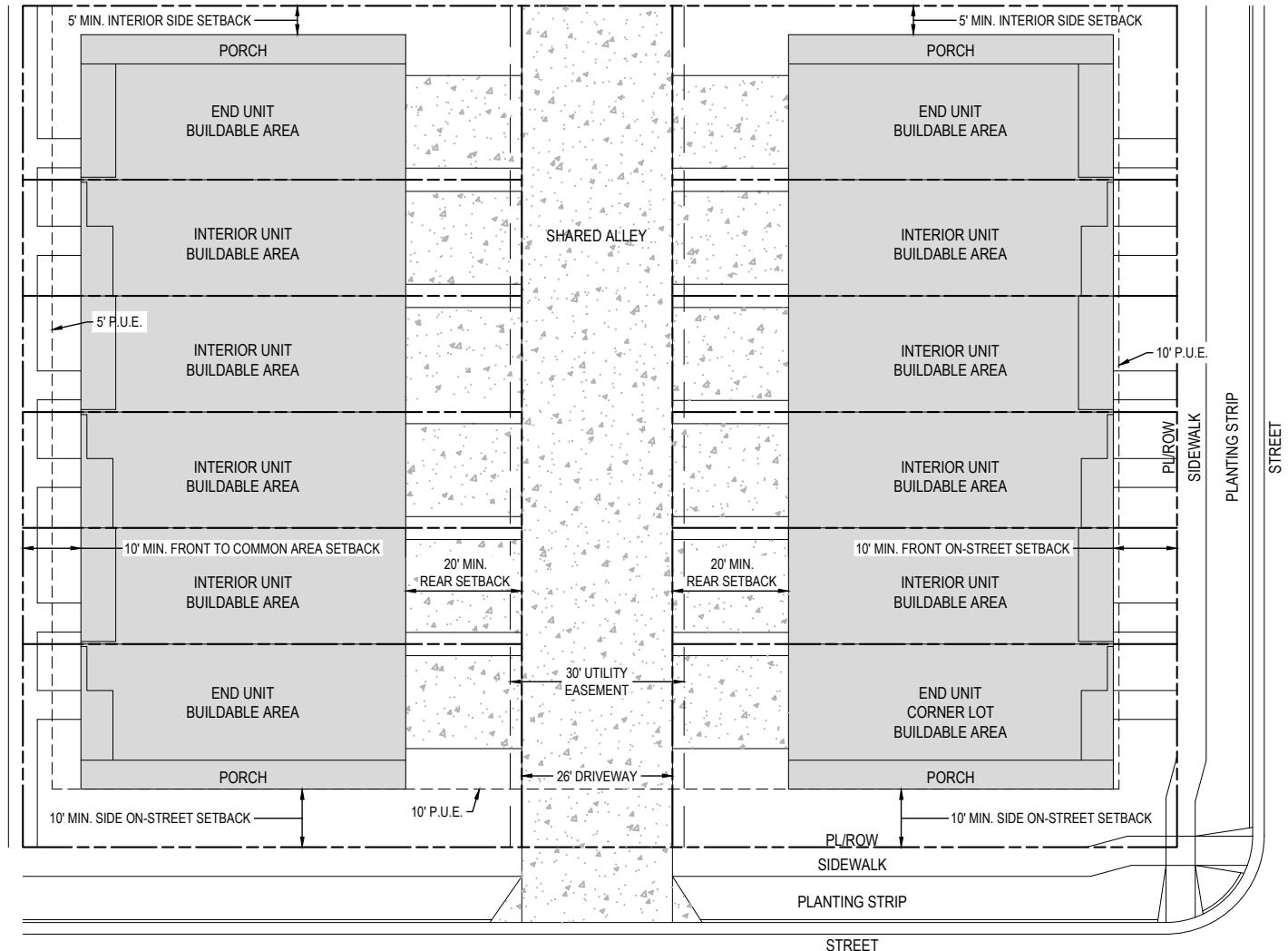
SECTION 4e - TOWNHOMES

Townhomes consist of 2 to 6 single family attached homes that are rear loaded onto an alley accessible from the street. All units include a 2-car garage.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1
Height - Principal Building	35' maximum (Per Saratoga Springs Municipal Code)
Lot Coverage	80% maximum
SETBACKS - PRINCIPAL STRUCTURE	
Front Yard On-Street	10' minimum
Front to Common Area	10' minimum
Interior Side Yard	5' minimum
Side On-Street	10' minimum
Garage	To Alley Drive: 3' no driveway, 20' with driveway/guest parking
OTHER STANDARDS	
Sight Triangle	All structures to maintain sight triangle per AASHTO standards.
Optional Porch	5' side porch optional for end units. ¹
Units per Building	2 to 6 units per building.
Garages	Two-car or one-car garages are allowed as per Section 19.09 of the Saratoga Springs Municipal Code
Open Space	20% minimum
Parking	Off-street guest parking will be provided for any product with less than a 20' driveway, at a minimum rate of 0.25 spaces per unit.

¹ For Townhome products only, option not available for Paired Homes.

SECTION 4e - TOWNHOME LOT TYPICAL



6-unit townhome shown. Development standards are identical for 2- and 4-unit townhomes.





SECTION 4 - DEVELOPMENT STANDARDS (cont.)

SECTION 4f - PRIVATE OPEN SPACE

Private Open Space consists of areas on private homeowner lots that is not taken up by the building, driveway, sidewalks or other impervious surfaces.

DEVELOPMENT STANDARDS - PRIVATE OPEN SPACE	
Permitted Elements	Front Yard: Fences, hedges, & masonry walls (4' max. height/3' max. height inside clear-view triangle). Rear & Side Yard: 6' max. privacy fence.
Surface Treatments	Groundcover, lawn, flower gardens, vegetable gardens, trees, grasses, small shrubs, and landscape boulders. Min. 25% of front and corner street side yards shall consist of non-rock and non-hardscape landscaping. Artificial turf is not permitted.
Schedule	All front and side yards in a single family lot shall be landscaped within one year, and interior side and back yards within two years after receiving a Certificate of Occupancy or once ownership is established by the current owner (as per Section 19.06.08.d of the SSMC). Please reference Section 19.06.05 of the SSMC for exceptions of this requirement due to weather conditions.

SECTION 4g - COMMERCIAL STANDARDS

The commercial sites within Jordan Promenade Area 3 will realize a balance that is compatible with both the natural and built environment, establishment of a strong community identity in the City of Saratoga Springs as the properties are at high visibility corners after crossing the Jordan River while heading west into the city.

The property will incorporate design aspects that are inviting, attractive, well-designed, and maintained. Site development shall be designed to create a distinct sense of place which is cohesive with the overall Jordan Promenade development.

Special attention will be made to site design techniques that incorporate best practices in planning for circulation, aesthetics, environmental sustainability, and safety. Signage and landscaping will be consistent in quality and design to the other surrounding uses in the village plan and subject to Title 19.

Commercial areas occurring in Jordan Promenade are classified under the Neighborhood Commercial Land Use place type as outlined under the Saratoga Springs City Center District Area Plan. Neighborhood commercial is modeled after the American tradition of "Main Street" as a place for living, working and shopping. These are active areas with buildings usually right up to the sidewalk and parking available on-street. Businesses will be visible from the street and sidewalk, with storefront windows encouraging interaction with the sidewalk activity. It serves as a center for small community or neighborhood services including retail and offices. Buildings include one story retail, office, single family, townhouses and potentially some mixed use. Streets will have street trees and wide sidewalks, with treatments such as pavement textures, bulb out curbs at intersections for easy pedestrian crossings and on-street parking separating pedestrians from traffic.

The Commercial areas may also be located in a future Gateway Overlay zone and subject to the development standards and guidelines in Section 19.04.14 of the Saratoga Springs Municipal Code except for variances contained within this Village Plan.

The Neighborhood Commercial Land Use Zone is intended to create, preserve, and enhance areas of retail establishments serving frequently recurring needs for goods and services in convenient locations to neighborhoods. Facilities should be oriented to serve residents' commercial service needs, to strengthen neighborhood interaction and neighborhood character, to minimize the need for automobile trips and to make commercial services more readily available to residents of adjacent neighborhoods.

Improvements such as trails, seating and lighting that would help create gathering spaces and promote pedestrian activity are required, where appropriate, and are considered an essential part of developments in the Neighborhood Commercial zone. Developments in the Neighborhood Commercial Zone shall also be characterized by increased landscaping and architectural compatibility with the surrounding neighborhood.





SECTION 4g - COMMERCIAL STANDARDS (cont.)

The following table outlines the land use regulations and minimum setback requirements for the Neighborhood Commercial Land Use Zone (Section 19.04.10 of the SSMC):

LAND USE REGULATIONS (NC)	
Minimum Lot Size	15,000 sq. ft.
Maximum Building Size	15,000 sq. ft.
Minimum Lot Width	100'
Minimum Lot Frontage	100'
Max. Height of Structures	35'
Maximum Lot Coverage	50%

MINIMUM SETBACK REQUIREMENTS (NC)	
Front/Corner Side Setback	25'
Interior Side Setback	25'
Rear Setback	25'

The following table outlines prohibited and conditional uses for the Neighborhood Commercial Land Use Zone (Section 19.04.11 of the SSMC):

PROHIBITED USES (NC)	
Prohibited Uses	All uses designated as permitted in the underlying zoning are allowed in the GO zone, except for the following: <ul style="list-style-type: none"> 1. Automobile Rental & Leasing Agency 2. Automobile Repair (major and minor) 3. Automobile Sales; 4. Automobile, Boat, All-Terrain Vehicle (ATV), Motorcycle, Recreation Vehicle, Sales & Service 5. Equipment Sales and Services (with outdoor storage); 6. Pawn Shop; 7. Retail: Auto Parts and Tire Sales only; 8. Sexually Oriented Businesses,
Conditional Uses	None

SECTION 5 - DESIGN GUIDELINES

ARCHITECTURAL GUIDELINES

The standards listed in this section are to be viewed as design guidelines for the homes of the Jordan Promenade Development. Repetitious and homogeneous building styles will not be permitted in Jordan Promenade. Single family homes with the same style, floor plan or color scheme will not be built on lots next to, adjacent to, or across the street from each other.

Elements such as roof shape and pitch, window size, shape and placement, and construction materials such as brick, stucco or wood can all be used to create the subtle details that foster individuality in a home. Enhanced secondary facades will occur on all house elevations facing major arterial roadways, and primary facades will occur on all house elevations facing local and collector roadways.

Architectural design standards shall follow the requirements as defined under Section 19.16 of the Saratoga Springs Municipal Code. Residential lighting standards shall follow the requirements as defined under Section 19.11 of the Saratoga Springs Municipal Code.

This Village Plan calls out a variety of allowable architectural elements and building materials for the Jordan Promenade development. Should any of the items included in these guidelines (such as siding, roofing, fencing, etc.) have been discontinued, are unavailable, or are otherwise unable to be obtained in a timely manner due to unavoidable circumstances, city staff may approve alternatives without requiring city council approval.

Site Plans for attached residential development areas may be approved administratively by staff when lotting plans, landscape plans, and building elevations are provided with the Village Plan application submittal.

Jordan Promenade offers three dwelling types to appeal to a broad range of potential buyers, including Single Family Detached Homes, Cluster Homes and Townhomes/Paired Homes. Each dwelling type is characterized by a variety of colors, styles, materials, and architectural elements. A mix of architectural styles shall be used to create the unique and individual character desired for each home. Examples of dwelling types and their architectural style options are provided on the following pages.





SECTION 5a - ARCHITECTURAL STYLES

SINGLE FAMILY DETACHED

CLASSIC



CONTEMPORARY



CRAFTSMAN



SECTION 5a - ARCHITECTURAL STYLES (cont.)

CLUSTER HOMES

CLASSIC



CRAFTSMAN





SECTION 5a - ARCHITECTURAL STYLES (cont.)

TOWNHOMES



SECTION 5b - EXTERIOR COLOR PALETTE

All exterior colors will be compatible with the architectural style of each dwelling. Bright artificial colors such as neons, fluorescents, etc. are prohibited.

The exterior color palette of Jordan Promenade is based on the natural tones found in the Utah landscape. The earthy, neutral hues chosen for the homes contributes to the overall character of the community and compliments the architectural elements of each dwelling.

Color schemes for Jordan Promenade will have a subtle contrast between main body and trim colors. This approach creates an attractive streetscape and unity within the neighborhood without relying on stark, contrasting colors to catch the eye.

The palette below is a selection from the exterior color palette and may include additional colors and materials:





POOLHOUSE EXTERIOR COLOR PALETTE

All exterior colors will be compatible with the architectural style of the community. Bright artificial colors such as neons, fluorescents, etc. are prohibited.

The exterior color palette of Jordan Promenade is based on the natural tones found in the Utah landscape. The clubhouse siding shall be primarily light earthy, neutral hues. Siding styles include lap siding, board and batten, or other typical siding styles. Accent colors may be used for doors, casing, window trim or other architectural features and could include reds, dark bronze or others.

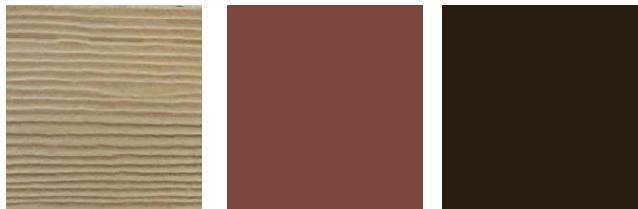
Roof material may be shingles or standing seam metal roofing. Roof colors shall be darker tones including grays, dark browns, or similar.

The palette below shows typical selections from the exterior color palette. Additional colors shall be allowed per the guidelines above.

SIDING



ACCENT COLORS



ROOF TYPES/COLORS

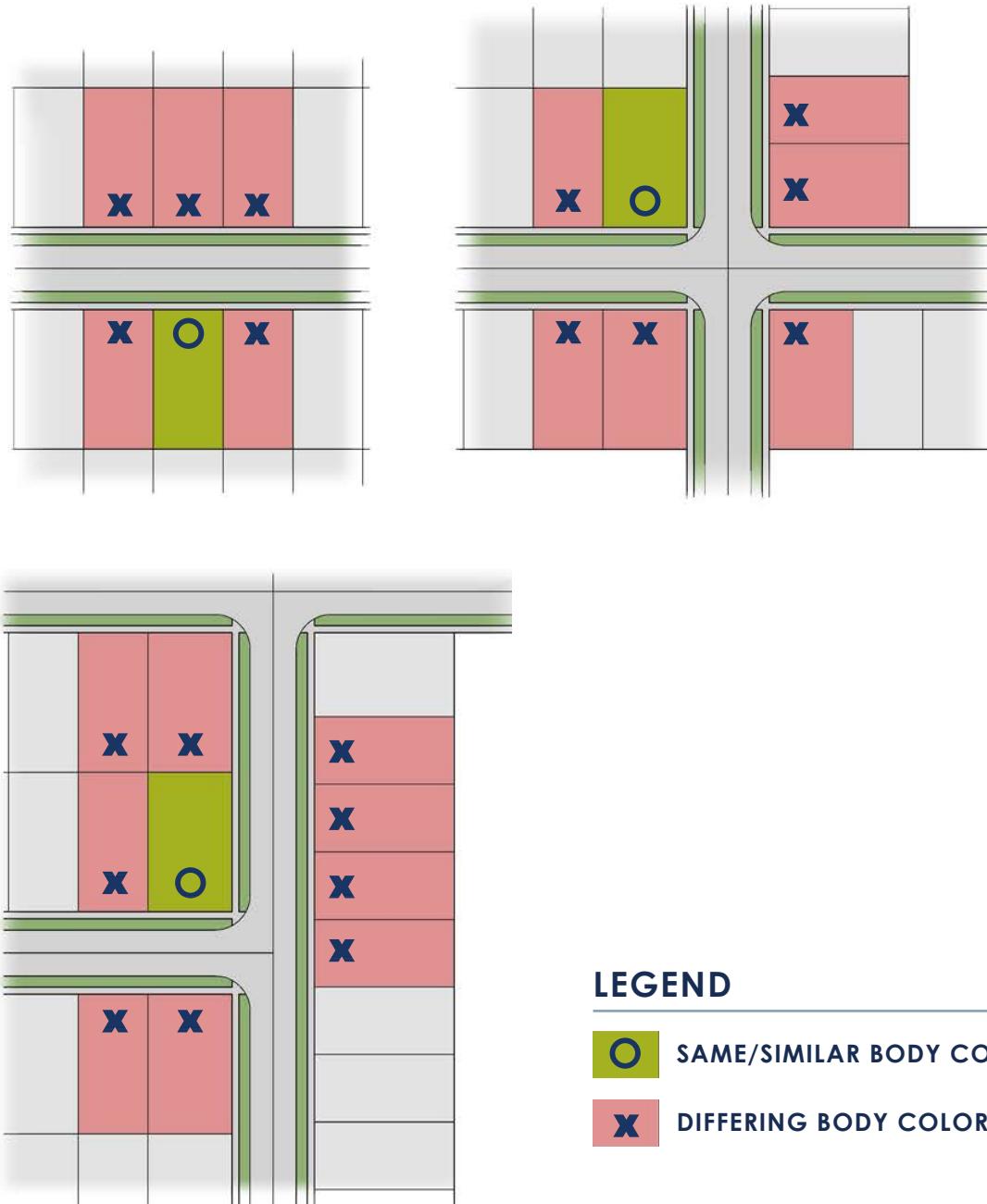


STONE



RHYTHM AND PLACEMENT

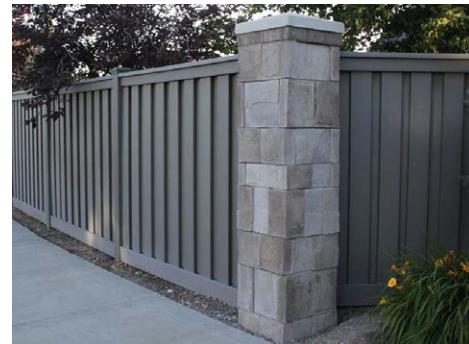
Color variation is critical in establishing a sense of character in each neighborhood and for preserving architectural interest in each home. Therefore, homes with the same or similar main body color may not occur across from, next to or diagonal from each other. Neighboring dwellings may share similar trim, accent, roof and stone colors. Verification of rhythm and placement to be the responsibility of the homebuilder. Verification will be completed with the building permit application. The following diagrams illustrate the guidelines described above:





SECTION 5c - FENCING GUIDELINES

Fencing guidelines shall adhere to the standards set forth in the approved Jordan Promenade Community Plan. Fencing layouts and styles shall be determined at Final Plat. Jordan Promenade establishes a consistent theme for project fencing and site furnishings that reflects the natural elements of the Jordan River and the Utah Lake area. Fencing types and site furnishings incorporate materials that complement the proposed entry monuments and overall character of the neighborhood.



Perimeter Fence Option A

- **Project Perimeter Fence:** Privacy fencing (6' tall) shall be constructed of vinyl or Trex material along perimeter arterial roadways with regularly spaced stone columns in a style that relates to the character and theme of project entry features.
- **Internal Privacy Fence:** Privacy fencing (6' or 8' tall) shall be constructed of vinyl material along internal collector roadways with stone columns located at boundary corners in a style that relates to the character and theme of project entry features.
- **Open Space Fence:** Two options for open space fencing shall be constructed along internal trail and open space corridors, on property lines adjacent to open space tracts, and along the Jordan River and hot springs park. Stone columns are located at boundary corners in a style that relates to the character and theme of project entry features.



Perimeter Fence Option B and Internal Privacy Fence



Vinyl Rail Fencing



Ornamental Metal Fencing

SECTION 5d - FENCING PLAN



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Area 3 | Village Plan



SECTION 5e - RIVERFRONT PARK

Amenities Plan

The Riverfront Park at Wander comprises approximately 25 acres of land situated along the west bank of the Jordan River. The park will be constructed by the Developer and dedicated to the City of Saratoga Springs for ownership and ongoing maintenance. The park shall be designed and constructed in sections concurrent with the platting and construction of adjacent neighborhood areas. A Conceptual Plan shown on Page 64 shows the Initial Improvements of the park which includes all the upland areas. Another Conceptual Plan on Page 65 shows the Final Improvements which includes riverbank improvements which are primarily on land owned by the State of Utah. The following is a list of improvements for the Riverfront Park.

Initial Improvements - Trails, Landscaping and Amenities

Constructed by: Developer

Maintained by & Dedicated to: City of Saratoga Springs

Accessible to: General Public

Amenities include:

- a. Trails
- b. Landscaping
- c. Trailhead and parking lot
- d. Public Restrooms
- e. Playground (Ages 2-5 and/or Ages 5-12)
- f. Shade Structures
- g. Site furnishings (benches/trash receptacles/bike racks/picnic areas)

The initial improvements of the park shall be designed and constructed concurrent with the platting and construction of adjacent neighborhood areas. The improved areas will be limited to the area of land being dedicated to the city. Improvements on (or to) State of Utah land (riverbanks) will not be included in the intial phases of construction.

Final Improvements - River Bank Improvements

Constructed by: Developer

Maintained by & Dedicated to: State of Utah and/or City of Saratoga Springs

Accessible to: General Public

Amenities include:

- a. River put-in locations
- b. Stabilization / Erosion Mitigation
- c. Phragmites Removal
- d. Habitat Restoration



SECTION 5e - RIVERFRONT PARK (cont.)

Park Minimum Requirements

The amenities listed below are the minimum required amenities for the Riverfront Park. As specified in the Community Plan, amenities shall be constructed and paid for by the developer. Per the approved Development Agreement, some amenities are eligible for reimbursement from the city. Provisions for additional amenities not listed below, along with cost sharing agreements shall be negotiated between the city manager/city planning staff and the developer.

- Primary Trail – 10' wide concrete trail, extending from Pioneer Crossing to Pony Express Pkwy. per the approved Development Agreement
 - Note: The marshy area north of the neighborhood commercial areas is undergoing an environmental study. If this area is determined to be a Jurisdictional Wetland per the US Army Corps of Engineers, then alternative trail alignments or construction methods (such as a boardwalk) may be required.
- Restrooms – Public restrooms will be constructed with one toilet per 5 acres of park per city standards. Location may vary depending on geologic conditions and/or utility connection capabilities.
- Access Trails to Neighborhood – 6' wide concrete
- Secondary Trails – 4'-6' wide concrete or soft surface at developers discretion. All secondary trails that lead to river overlook points, or river access points shall be 5' wide concrete.
- North Trailhead/Parking Area
- Primary Shade Shelter / Pavilion– At least one shade shelter of at least 1,000 sq. ft. (25'x40')
- Playground (Ages 2-5) – at least 3 pieces of equipment
- Playground (Ages 5-12) – At least 5 pieces of equipment including one swing set and one multi-play structure
- Benches – Benches shall be provided along the primary trail at least every 500'. Benches along the primary trail shall also include a shade shelter.
- Kayak Launch - public access kayak launch for the Jordan River

A conceptual site plan of the Riverfront Park is provided on Page 64 of this Village Plan that include the amenities listed below. Please note that this plan is CONCEPTUAL only. The final location of each amenity may be changed as necessary to meet state, federal and local ordinances, or to respond to physical site characteristics such as topography, groundwater, wetlands, etc.

Public Art / Sculpture Garden

An area for public art will be provided on secondary pathways along the primary trail. The developer will provide paths/walkways, benches, decorative plantings and an area to display public art/sculpture. The Developer will provide one sculpture for the sculpture garden area shown on the conceptual site plan.

SECTION 5e - RIVERFRONT PARK (cont.)

Phasing / Timing

The park shall be designed and constructed in sections concurrent with the platting and construction of adjacent neighborhood areas.

Construction and Cost Sharing Plan

As specified in the Community Plan, all open space amenities and improvements will be constructed by the developer. Additional amenities beyond those required, may be paid for through a negotiated cost sharing agreement between the City and the developer.

Amenities constructed by and paid for by Developer

- Parking Area
- Trails
- Playgrounds
- Restrooms
- Shade Shelters
- Kayak Launch
- Landscaping
- Site Furnishings
- One Sculpture Garden display area (including 1 sculpture)

Ownership and Maintenance

After the construction of each phase of the Riverfront Park, the developer will warranty and maintain all required amenities, trails and landscaping for a period of one (1) year. The Developer and City staff will conduct a turnover walk at the end of this period and the developer shall remedy any deficiencies after which ownership and maintenance responsibilities will be transferred to the City of Saratoga Springs.





SECTION 6 - ASSOCIATIONS

HOMEOWNERS' ASSOCIATION

In accordance with Section 19.26.03.2.d of the Planned Community Zone Ordinance in the Saratoga Springs Municipal Code, a Homeowners' Association (HOA) will be established to review, approve, and enforce architectural requirements and restrictions, and to address common area maintenance obligations. HOA-specific rules and regulations including CC&Rs (Covenants, Conditions & Restrictions) will be utilized to enforce the neighborhood requirements of the HOA.

SECTION 7 - PHASING & MAINTENANCE

PHASING

Jordan Promenade Village Plan Area 3 is the third of 3 major phases for the Jordan Promenade Development. Village Plan Area 3 will be developed in 3 phases as illustrated in the Phasing Plan (Section 7a). Due to the unpredictable nature of the real estate market, the phases may not occur in the numbered order below. Each phase shall construct all necessary utilities (including off-site improvements) to service the homes being platted.

Phase 1 of Village Plan Area 3 is planned with the development of a school site, two commercial parcels, a private amenity center and a portion of the Jordan Riverfront Park. The residential portion in this phase will include Single Family Detached Homes, Cluster Homes and Townhomes/ Paired Homes.

Phase 2 of Village Plan Area 3 is planned with the development of a model home complex, a meeting house and a portion of the Jordan Riverfront Park. The residential portion in this phase will include Cluster Homes and Townhomes/Paired Homes.

Phase 3 of Village Plan Area 3 is planned with the development of a commercial parcel and a portion of the Jordan Riverfront Park. The residential portion in this phase will include Cluster Homes and Townhomes/Paired Homes.

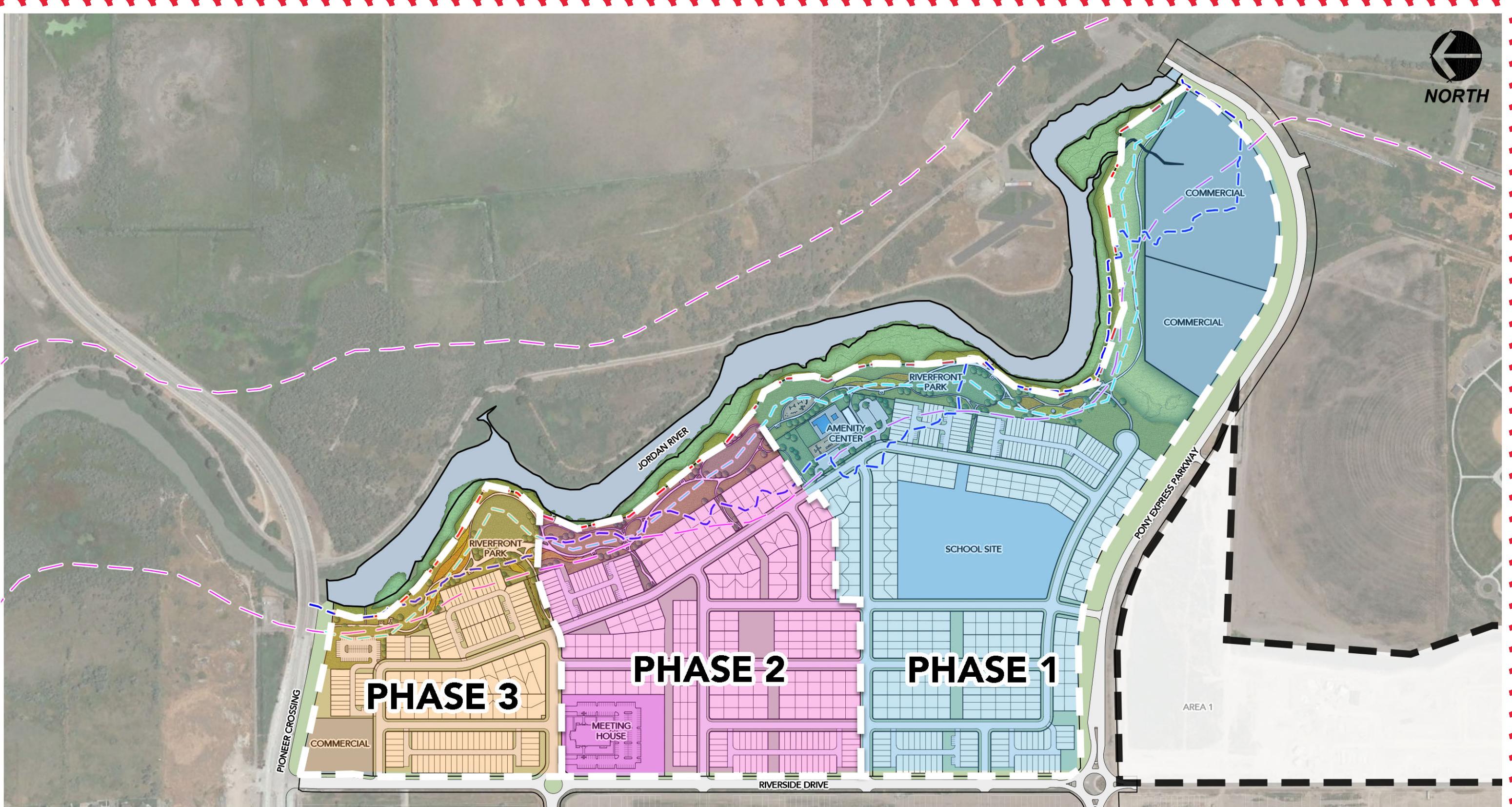
MAINTENANCE

Maintenance for all parks and open space areas within the Area 3 Village Plan will be provided by the Jordan Promenade Homeowners' Association or by the City of Saratoga Springs. Maintenance of city owned parks and open space (such as the Riverfront Park) will be provided by the City of Saratoga Springs. Maintenance of privately owned parks and open space (such as the private clubhouse/pool and landscape tracts) will be provided by the Jordan Promenade Homeowners' Association.

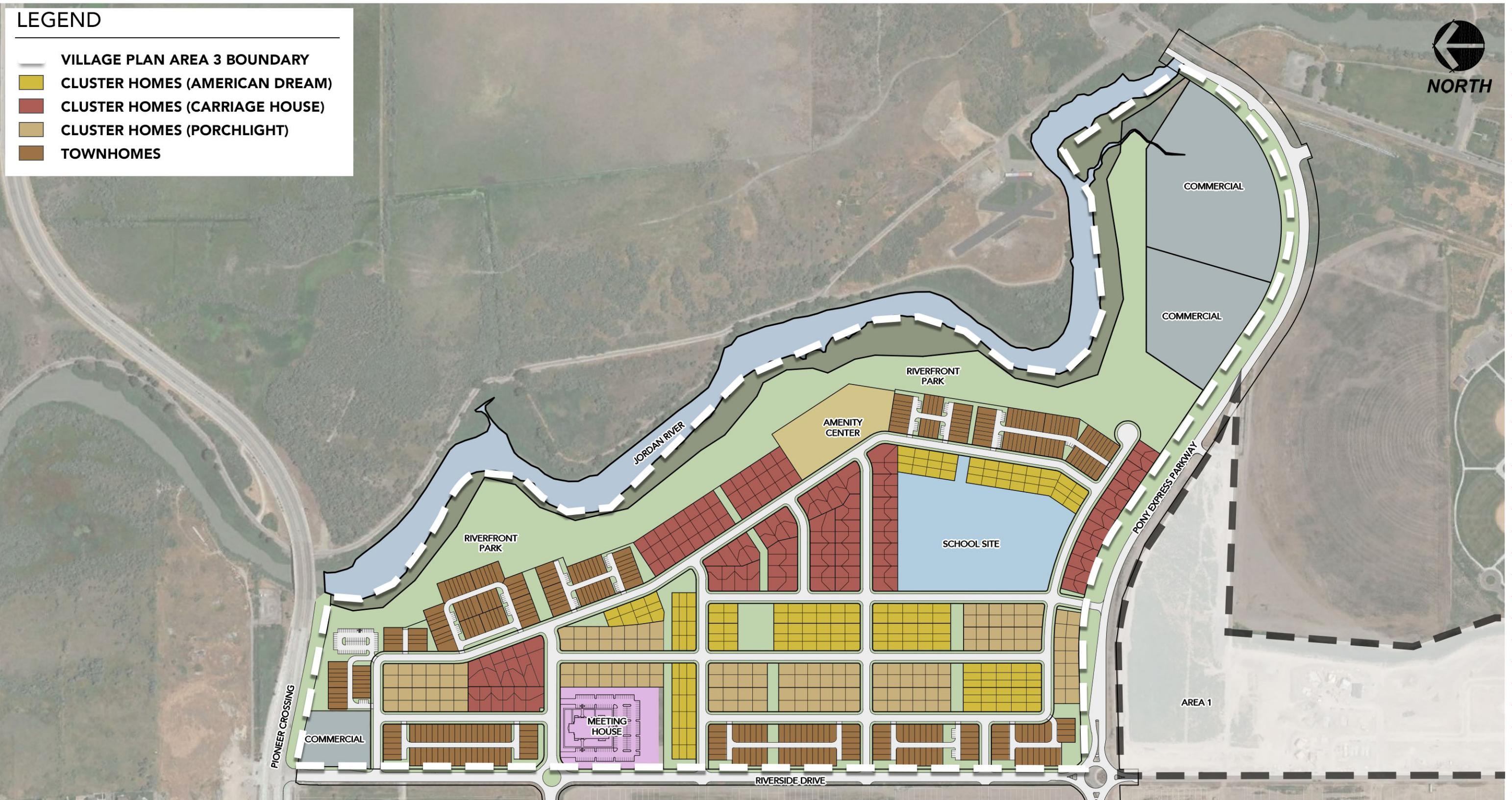
The Riverfront Park Maintenance Exhibit on Page 67 show approximate boundaries of ownership and maintenance responsibilities for the City of Saratoga Springs owned park and adjacent HOA. These boundaries will be finalized with legally defined tracts during the plat process.



SECTION 7a - PHASING PLAN



SECTION 8 - LOTTING MAP



JORDAN
PROMENADE

Area 3 | Village Plan

SECTION 9 - LANDSCAPE PLAN & PLANT PALETTE

Jordan Promenade establishes a consistent landscape theme that reflects the natural elements of the Jordan River and the Utah Lake area. Project entryways and developed parks will provide landscaping that is manicured and conducive to high-intensity uses while areas along the project perimeter, internal trail corridors and along passive portions of the Jordan River are designed with native plant material to compliment the natural elements of the area. General descriptions of the proposed landscape treatments for various project areas, landscape plans, and the Village Plan plant palette are below.

Proposed community landscaping shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.06.

PROJECT ENTRYWAY LANDSCAPE

Landscaping at major project entry points incorporates irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to accent the entryway monument areas as well as the vehicular and pedestrian access points leading into the community.

JORDAN RIVERFRONT PARK LANDSCAPE

Landscaping at the Jordan Riverfront Park incorporates treatments that are conducive to high-intensity uses and that provide a manicured appearance in areas of gathering. Landscape treatments include irrigated lawn areas, dense groundcover and shrub plantings, and layered tree plantings using ornamental, shade and evergreen trees. Landscaping is designed to provide open areas for recreation, buffering to adjacent roadways and structures, as well as shaded areas around passive uses and features such as playgrounds. Landscaping along passive corridor spaces in the Jordan Riverfront Park incorporates natural plantings schemes, swaths of native grass areas and opportunities for viewing the Jordan River. Restoration efforts are planned for selected areas along the banks of the Jordan River, with native and riverside plantings replacing the existing invasive species.

PROJECT PERIMETER, TRAIL CORRIDORS, & NATURAL AREA LANDSCAPE

Landscaping along the project perimeter, internal trail corridors, and along passive portions of the Jordan River reflects the natural appeal of the Jordan River and the Utah Lake area. Native grasses accented by wildflowers are planted adjacent to trail corridors and pedestrian walkways. Native deciduous and evergreen shrub and tree plantings are dispersed throughout the native areas to buffer existing roadways and perimeter fence lines and to provide transition from manicured park areas to the banks of the Jordan River bordering the east edge of the community.



SECTION 9a - OVERALL LANDSCAPE CONCEPT PLAN



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Area 3 | Village Plan

SECTION 9b - PLANT PALETTE

LARGE TREES (>50', 2" CALIPER)		
TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER PLATANOIDES 'EMERALD QUEEN'*	EMERALD QUEEN NORWAY MAPLE*
DECIDUOUS	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE
DECIDUOUS	PLATANUS ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANE TREE
DECIDUOUS	QUERCUS MACROCARPA*	BUR OAK*
DECIDUOUS	TILIA TOMENTOSA*	SILVER LINDEN*
EVERGREEN	PINUS NIGRA	AUSTRIAN PINE
EVERGREEN	PINUS SYLVESTRIS	SCOTCH PINE

MEDIUM TREES (45' to 50', 2" CALIPER)		
TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	ACER FREEMANII 'JEFFERSRED'*	JEFFERSRED ARMSTRONG MAPLE*
DECIDUOUS	GLEDTISIA TRIACANTHOS VAR. INERMIS*	THORNLESS HONEYLOCUST*
EVERGREEN	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER

ORNAMENTAL TREES (<25', 2" CALIPER)**		
TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	AMELANCHIER SPP.	SERVICEBERRY
DECIDUOUS	CRATAEGUS CRUS-GALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN
DECIDUOUS	MALUS X 'PRAIRIEFIRE'	PRARIEFIRE CRABAPPLE
DECIDUOUS	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE
DECIDUOUS	PRUNUS CERASIFERA 'THUNDERCLOUD'	FLOWERING PLUM

*DENOTES COMPATIBILITY FOR USE AS A STREET TREE.

**FRUIT-BEARING TREES SHALL NOT BE PLACED ADJACENT TO PUBLIC SIDEWALKS.

TURF GRASS		
TYPE	BOTANICAL NAME	COMMON NAME
TURF GRASS	POA PRATENSIS	KENTUCKY BLUEGRASS
TURF GRASS	BOUTELOUA DACTYLOIDES	BUFFALO GRASS
TURF GRASS	VARIOUS	NATIVE GRASS MIXTURE

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.





SECTION 9b - PLANT PALETTE (cont.)

SHRUBS (5 GALLON)

TYPE	BOTANICAL NAME	COMMON NAME
DECIDUOUS	CHRYSOTHAMNUS NAUSEOSUS	RABBITBRUSH
DECIDUOUS	CORNUS SERICEA	RED OSIER DOGWOOD
DECIDUOUS	PEROVSKIA ARTIPLOCIFOLIA	RUSSIAN SAGE
DECIDUOUS	PHILADELPHUS CORONARIUS 'AUREUS'	GOLDEN MOCK ORANGE
DECIDUOUS	ROSA 'RADRAZZ'	KNOCKOUT ROSE
DECIDUOUS	SYRINGA X PRESTONIAE 'JAMES MACFARLANE'	JAMES MACFARLANE LILAC
EVERGREEN	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM
EVERGREEN	PINUS MUGO 'SLOWMOUND'	DWARF MOUNTAIN PINE

GRASSES & PERENNIALS

TYPE	BOTANICAL NAME	COMMON NAME
PERENNIAL	ASCLEPIAS SPECIOSA	SHOWY MILKWEED
PERENNIAL	ASTER SP.	ASTER
PERENNIAL	AURINIA SAXATILIS	BASKET OF GOLD
PERENNIAL	CARYOPTERIS CLANDONENSIS	BLUE MIST SPIREA
PERENNIAL	CERASTIUM TOMENTOSUM	SNOW-IN-SUMMER
PERENNIAL	ECHINACEA PURPUREA	PURPLE CONEFLOWER
PERENNIAL	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY
PERENNIAL	LEUCANTHEMUM X SUPERBUM 'ALASKA'	ALASKA SHASTA DAISY
PERENNIAL	LINUM LEWISII	LEWIS BLUE FLAX
PERENNIAL	PENSTEMON STRICTUS	ROCKY MOUNTAIN PENSTEMON
PERENNIAL	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM
PERENNIAL	STACHYS BYZANTINA 'HELEN VON STEIN'	LAMB'S EAR
GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS
GRASS	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
GRASS	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS
GRASS	PENNISETUM ALOPERCUROIDES 'HAMELN'	HARDY FOUNTAIN GRASS

NOTE: THIS LIST IS MEANT AS A SAMPLE PALETTE AND IS NOT REPRESENTATIVE OF ALL SPECIES THAT MAY BE USED.

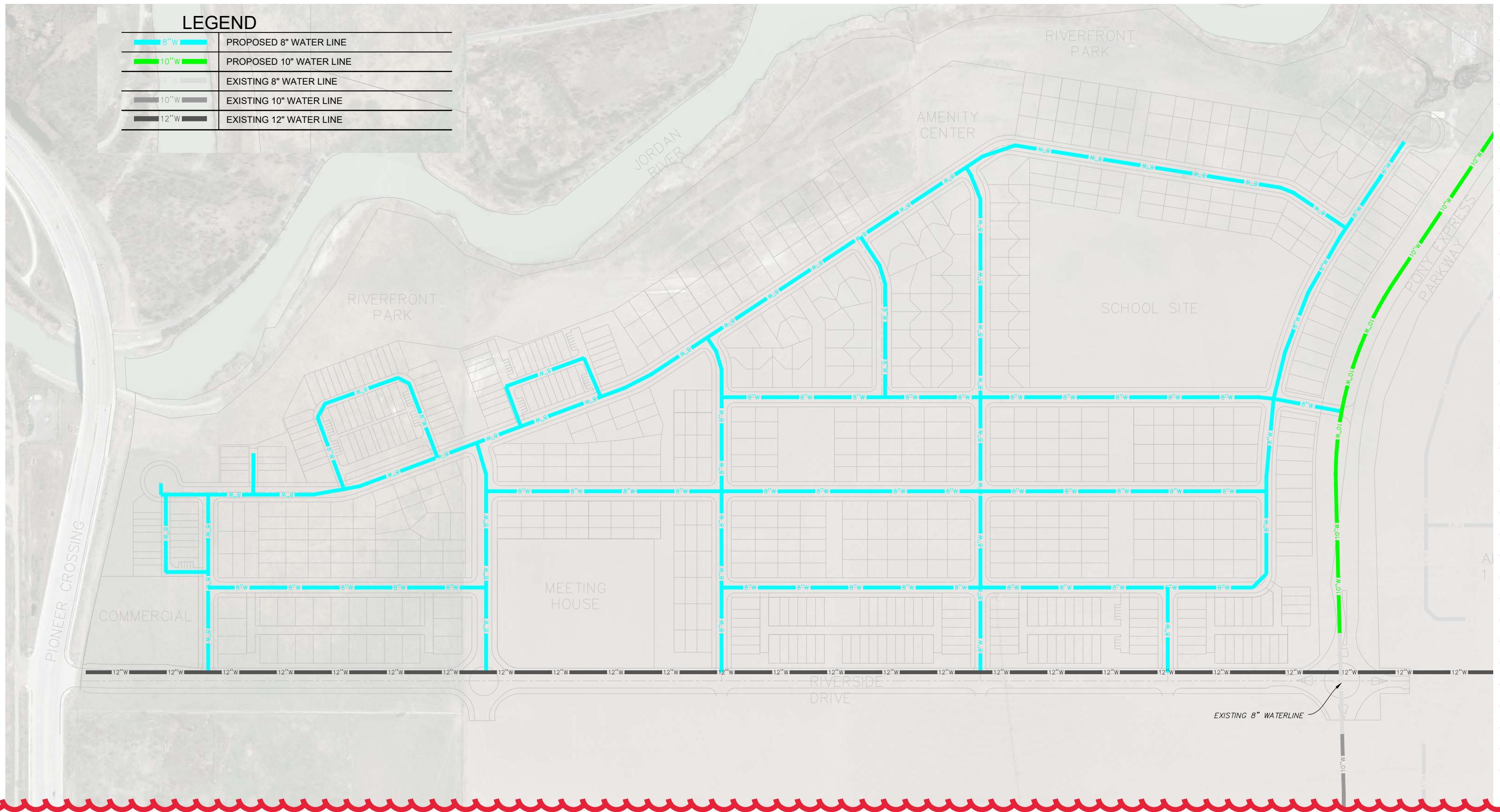
SECTION 10 - UTILITY PLANS

The following plans provide further detail on the utilities provided in Jordan Promenade Village Plan Area 3:

- Section 10a: Culinary Water Plan
- Section 10b: Secondary Water Plan
- Section 10c: Sanitary Sewer Plan
- Section 10d: Storm Water Drainage Plan
- Section 10e: Storm Water Drainage 100 Year Overland Flow Route



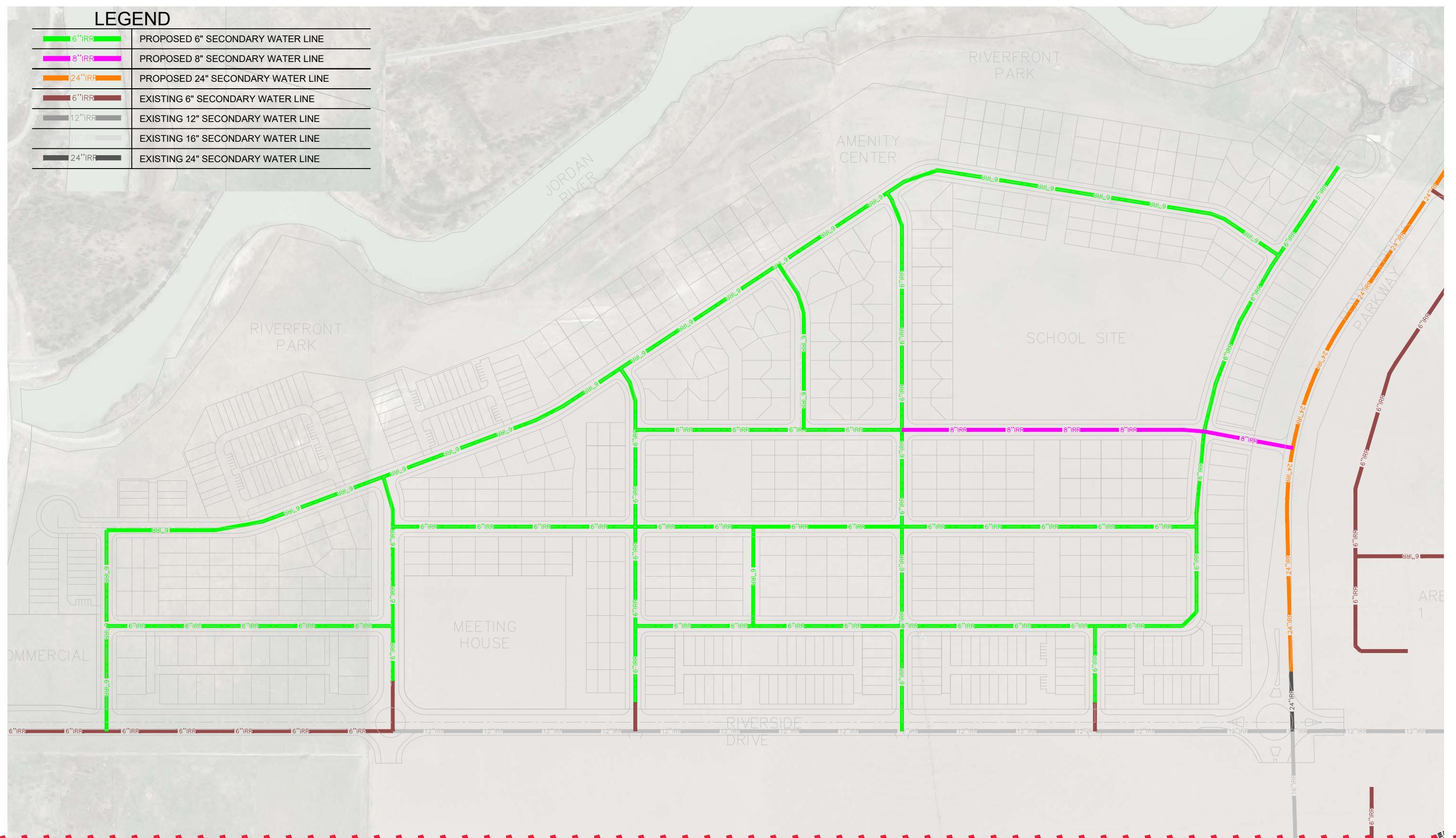
SECTION 10a - CULINARY WATER PLAN



NOTE: Refer to the Community Plan for additional information.



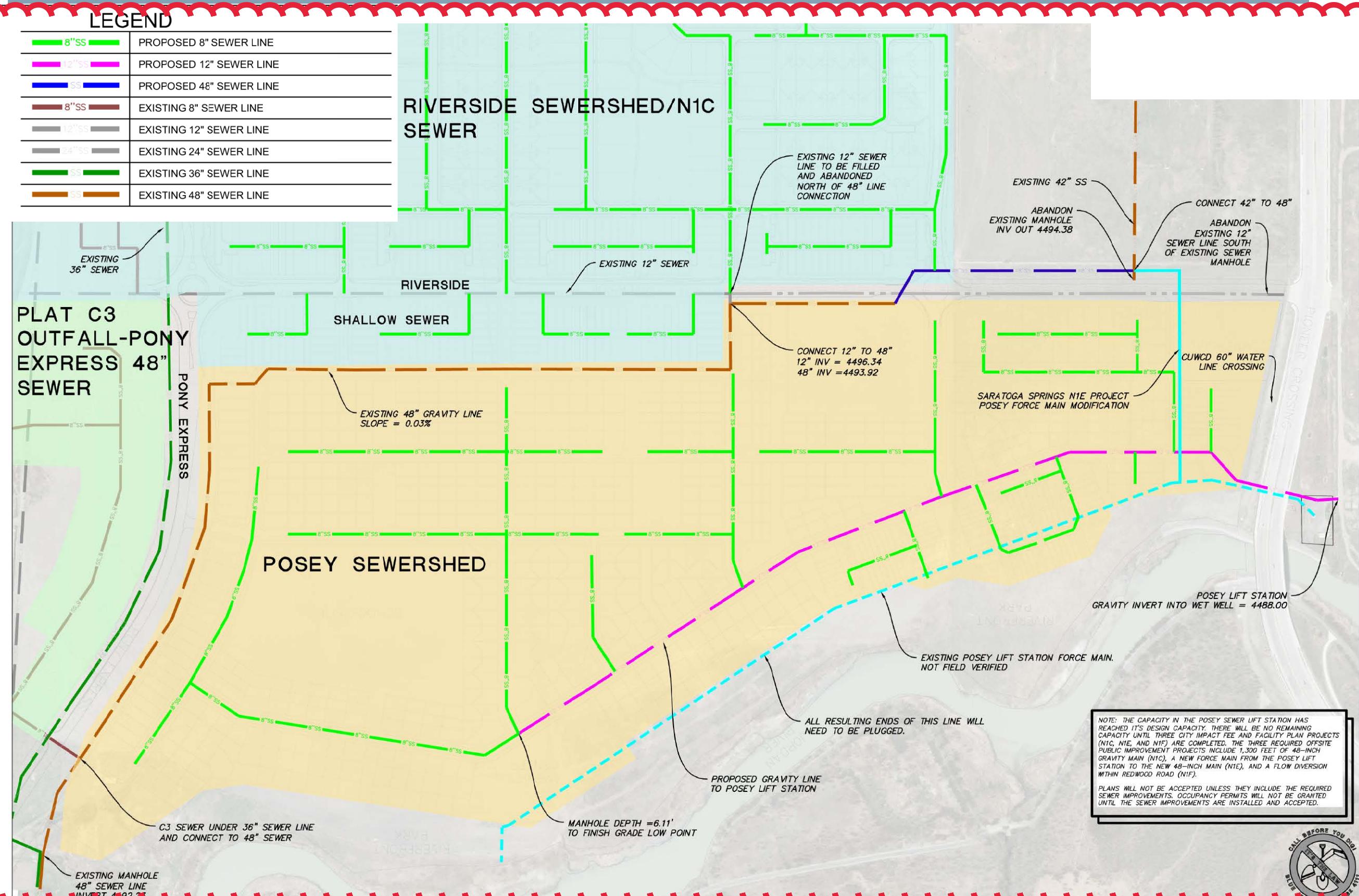
SECTION 10b - SECONDARY WATER PLAN



NOTE: Refer to the Community Plan for additional information.



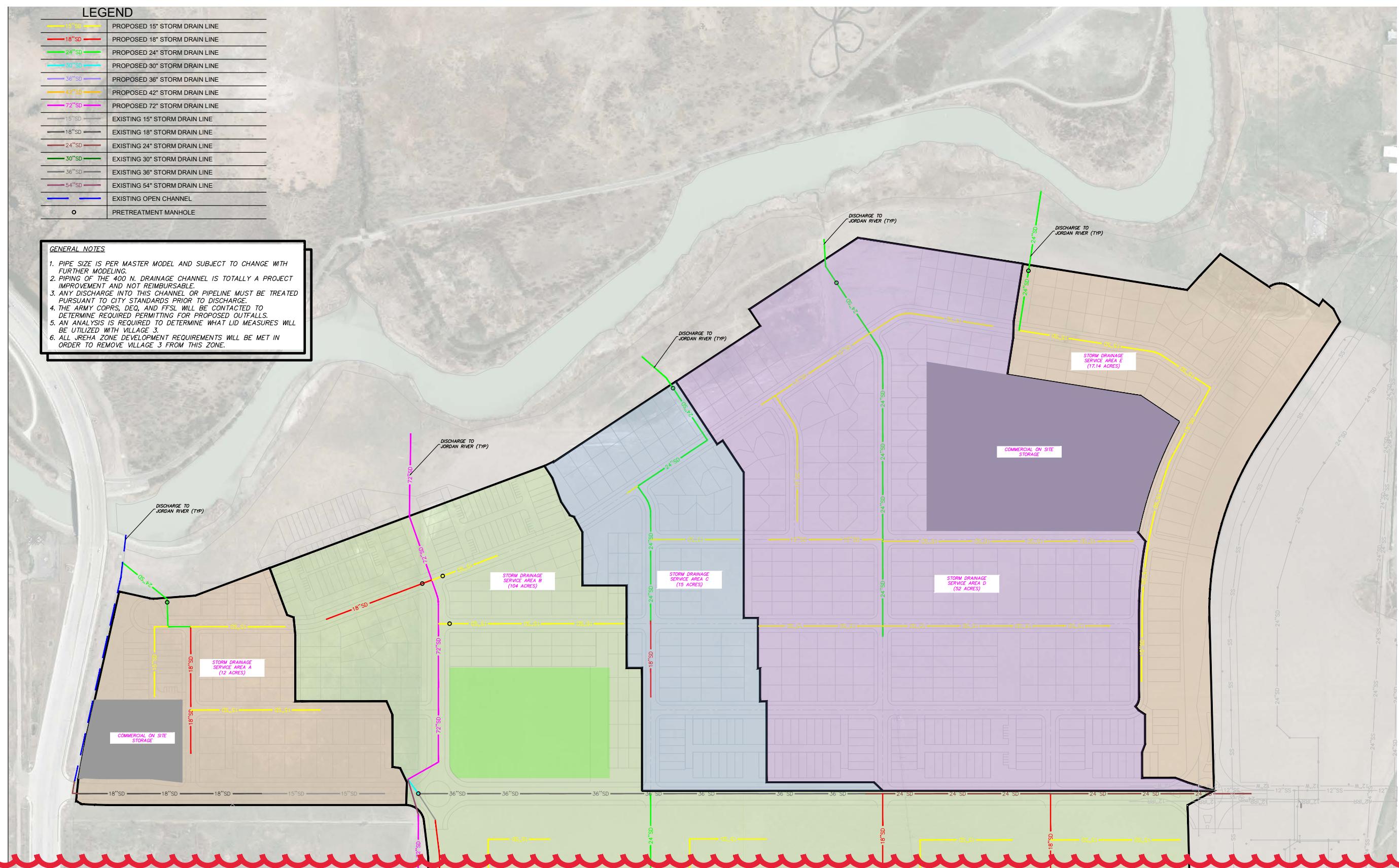
SECTION 10c - SANITARY SEWER PLAN



NOTE: Refer to the Community Plan for additional information.



SECTION 10d - STORM WATER DRAINAGE PLAN



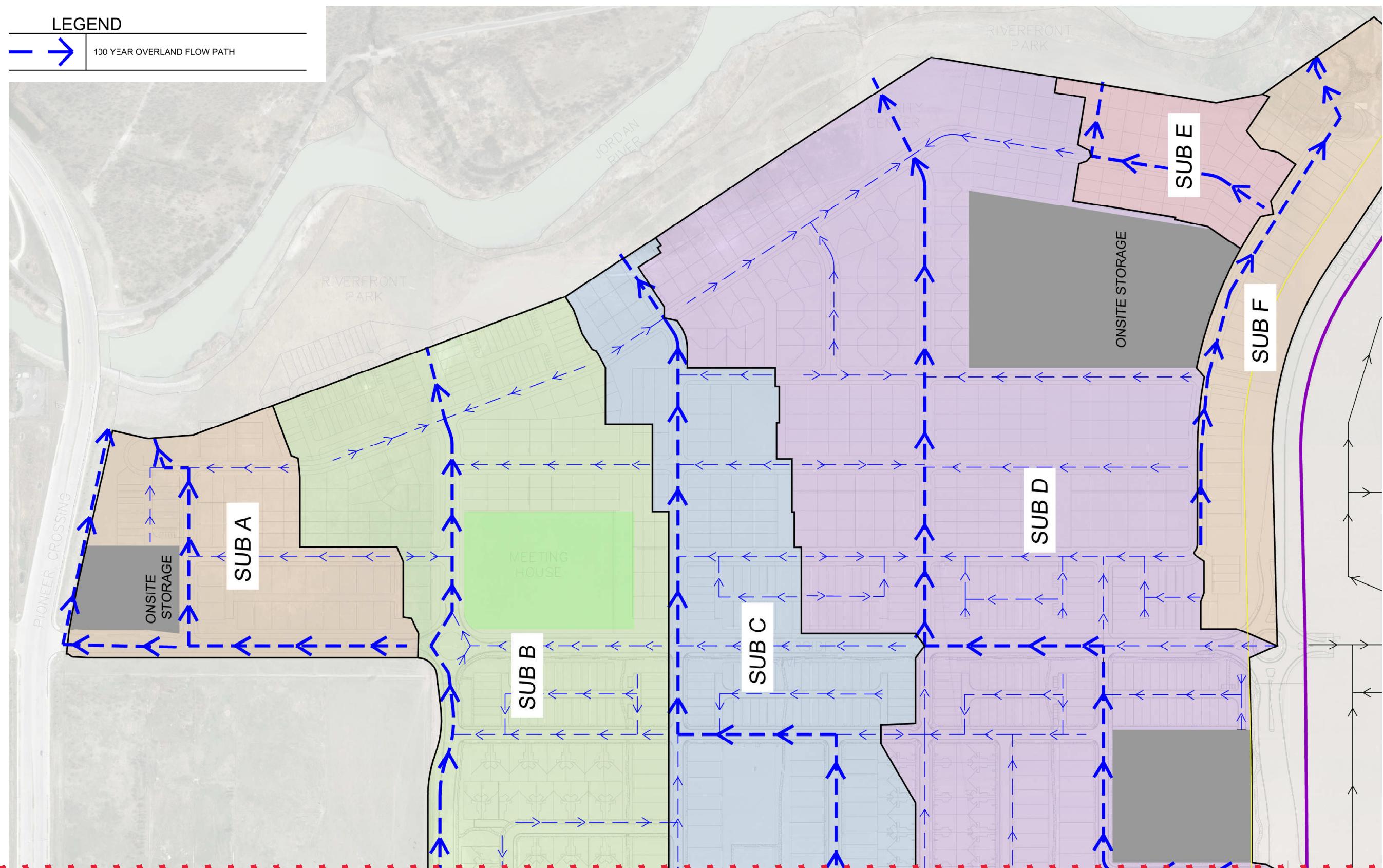
NOTE: Refer to the Community Plan for additional information



SECTION 10e - STORM DRAINAGE 100 YEAR OVERLAND FLOW ROUTE

LEGEND

— → 100 YEAR OVERLAND FLOW PATH



NOTE: Refer to the Community Plan for additional information.



JORDAN
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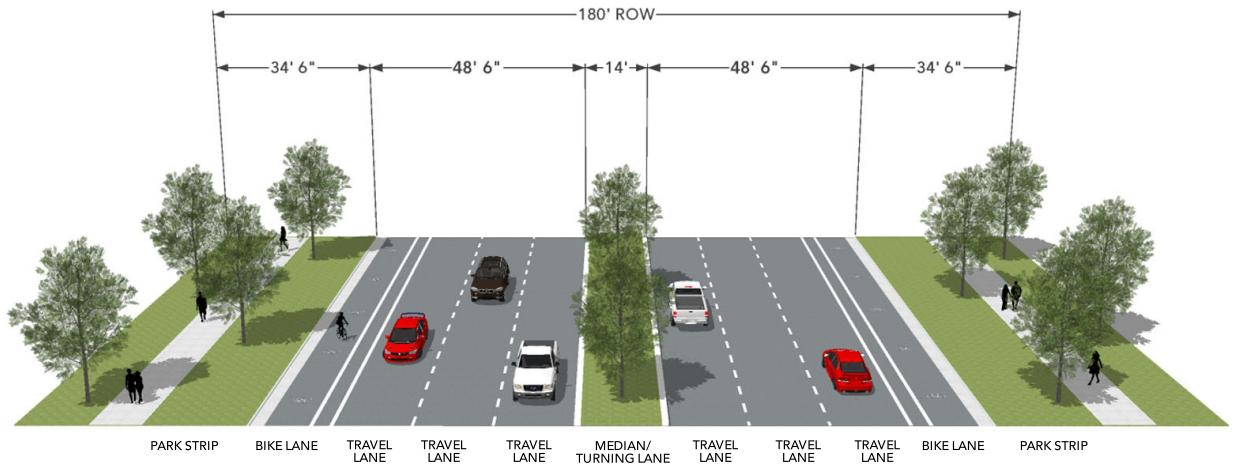
Area 3 | Village Plan

SECTION 11 - VEHICULAR PLAN

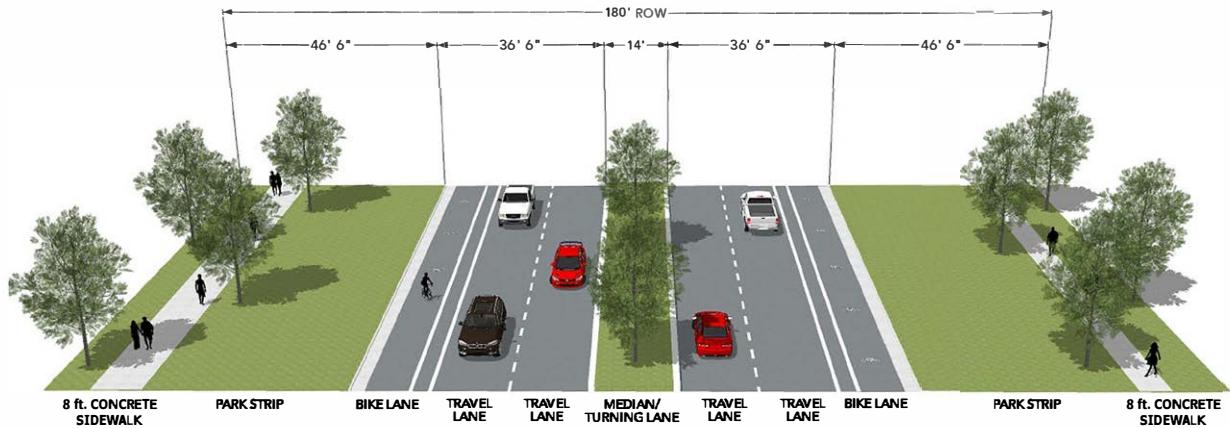


TYPICAL ROADWAY DIAGRAMS

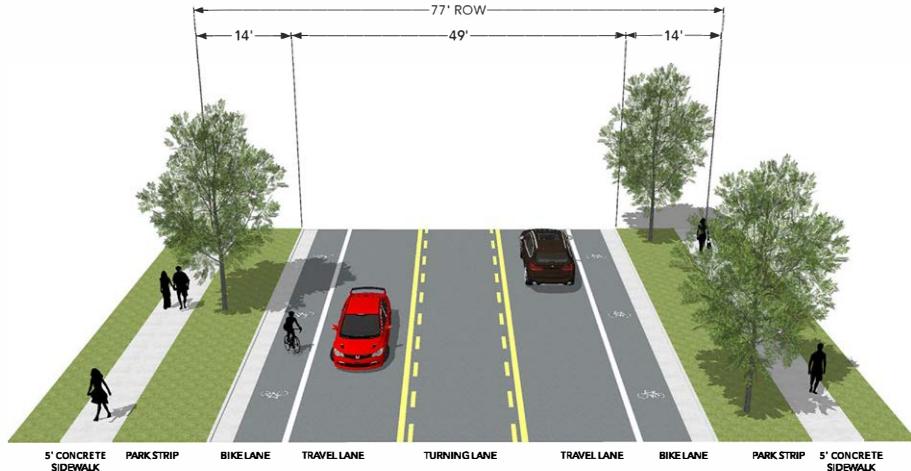
PRINCIPAL ARTERIAL ROADWAY (180' ROW) - PIONEER CROSSING TYP.



MAJOR ARTERIAL ROADWAY (180' ROW) - PONY EXPRESS PARKWAY TYP.



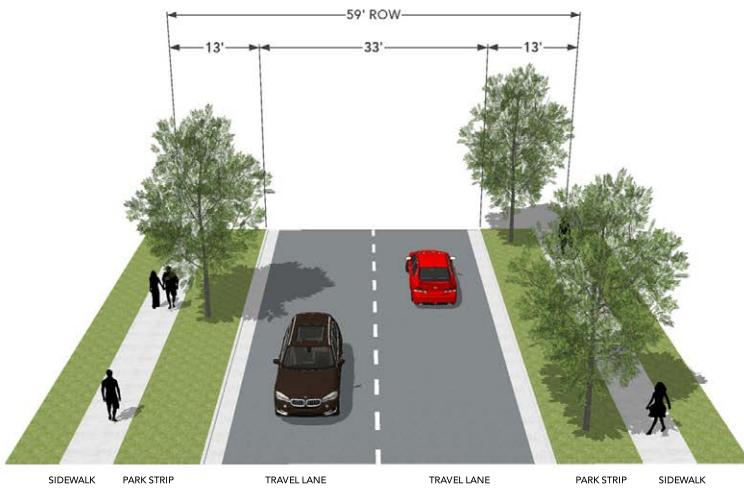
COLLECTOR ROADWAY (77' ROW) - RIVERSIDE DRIVE TYP.





TYPICAL ROADWAY DIAGRAMS (CONT.)

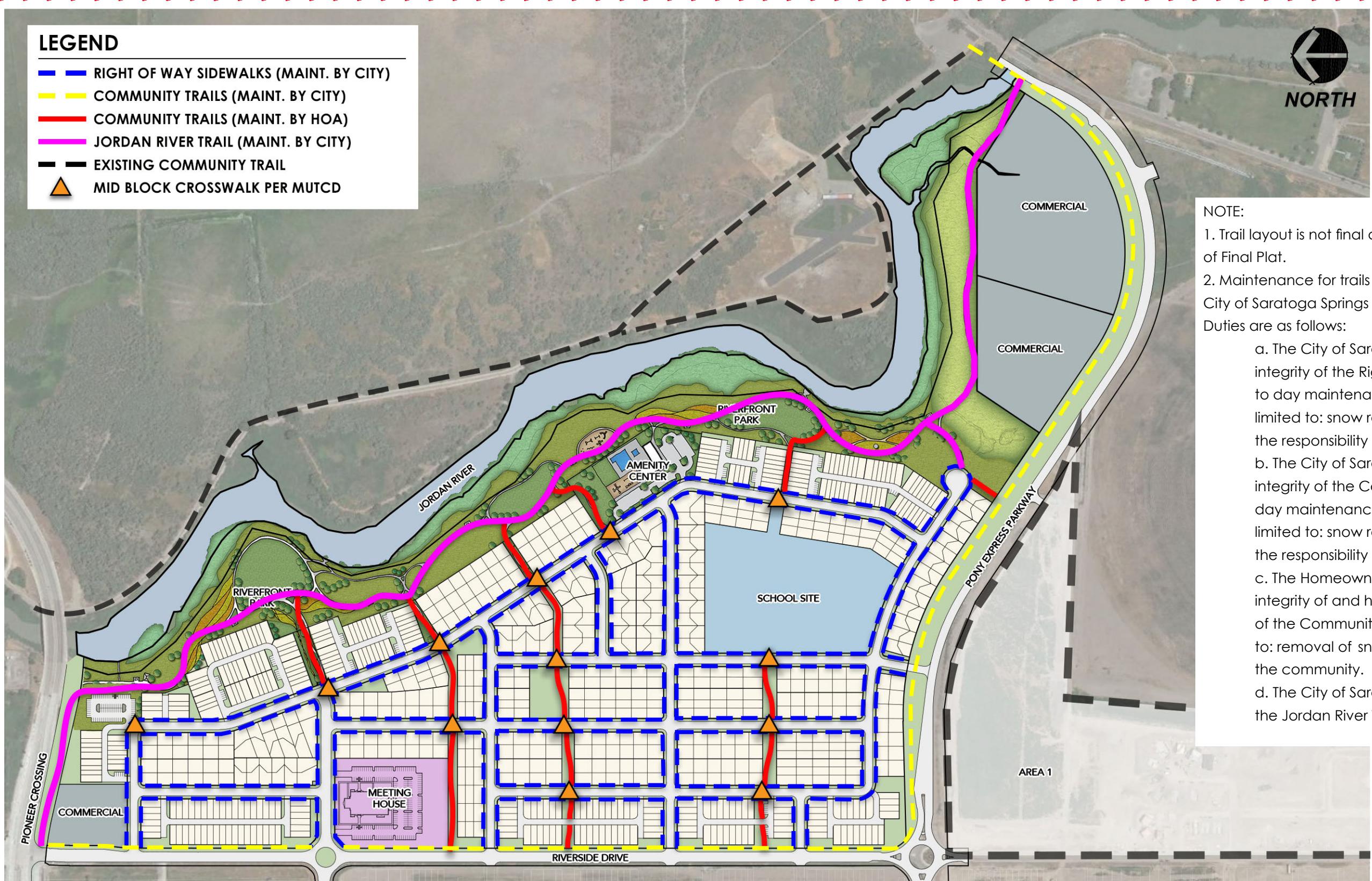
LOCAL ROADWAY (59' ROW)



SECTION 12 - PEDESTRIAN PLAN

LEGEND

- RIGHT OF WAY SIDEWALKS (MAINT. BY CITY)
- COMMUNITY TRAILS (MAINT. BY CITY)
- COMMUNITY TRAILS (MAINT. BY HOA)
- JORDAN RIVER TRAIL (MAINT. BY CITY)
- EXISTING COMMUNITY TRAIL
- ▲ MID BLOCK CROSSWALK PER MUTCD



NORTH

NOTE:

1. Trail layout is not final and is subject to change at the time of Final Plat.
2. Maintenance for trails and sidewalks lies with either the City of Saratoga Springs or the HOA depending on trail type. Duties are as follows:
 - a. The City of Saratoga Springs shall maintain the integrity of the Right of Way Sidewalks (blue). The day to day maintenance of these trails including, but not limited to: snow removal, sleet, ice and graffiti shall be the responsibility of the Homeowner's Association.
 - b. The City of Saratoga Springs shall maintain the integrity of the Community Trails (yellow). The day to day maintenance of these trails including, but not limited to: snow removal, sleet, ice and graffiti shall be the responsibility of the Homeowner's Association.
 - c. The Homeowner's Association shall maintain the integrity of and handle the day to day maintenance of the Community Trails (red) including, but not limited to: removal of snow, sleet, ice and graffiti throughout the community.
 - d. The City of Saratoga Springs shall maintain the the Jordan River Trail (magenta).



JORDAN
PROMENADE

TYPICAL TRAIL DIAGRAMS

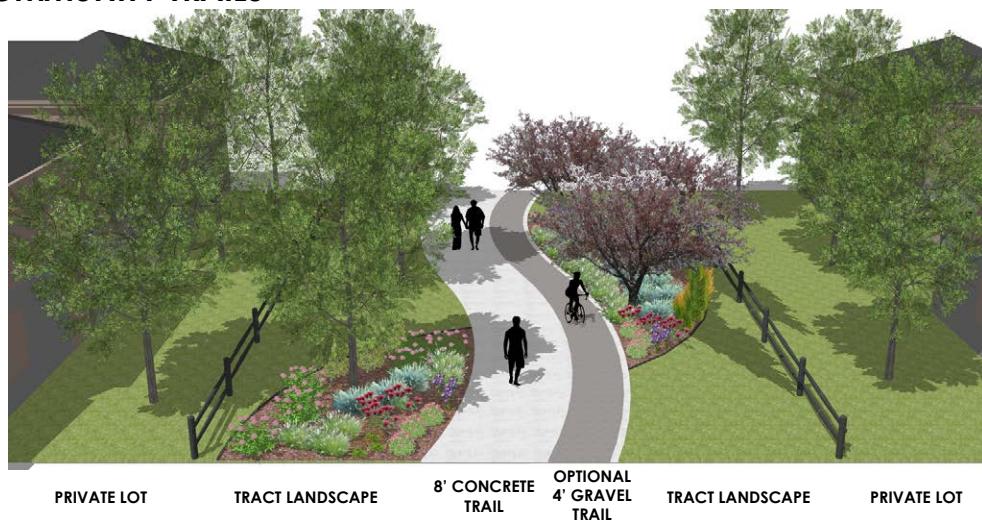
■ ■ ■ TYPICAL RIGHT-OF-WAY SIDEWALKS (LOCAL ROADS)



● ● ● PRIVATE CORRIDORS



■ ■ ■ COMMUNITY TRAILS





TYPICAL TRAIL DIAGRAMS

■ ■ ■ RIGHT-OF-WAY TRAILS - RIVERSIDE DRIVE (EAST SIDE)



PRIVATE LOT

BUFFER STRIP

8' SIDEWALK

PARK STRIP

ROADWAY

■ ■ ■ RIGHT-OF-WAY TRAILS - PONY EXPRESS PARKWAY



PRIVATE LOT

BUFFER STRIP

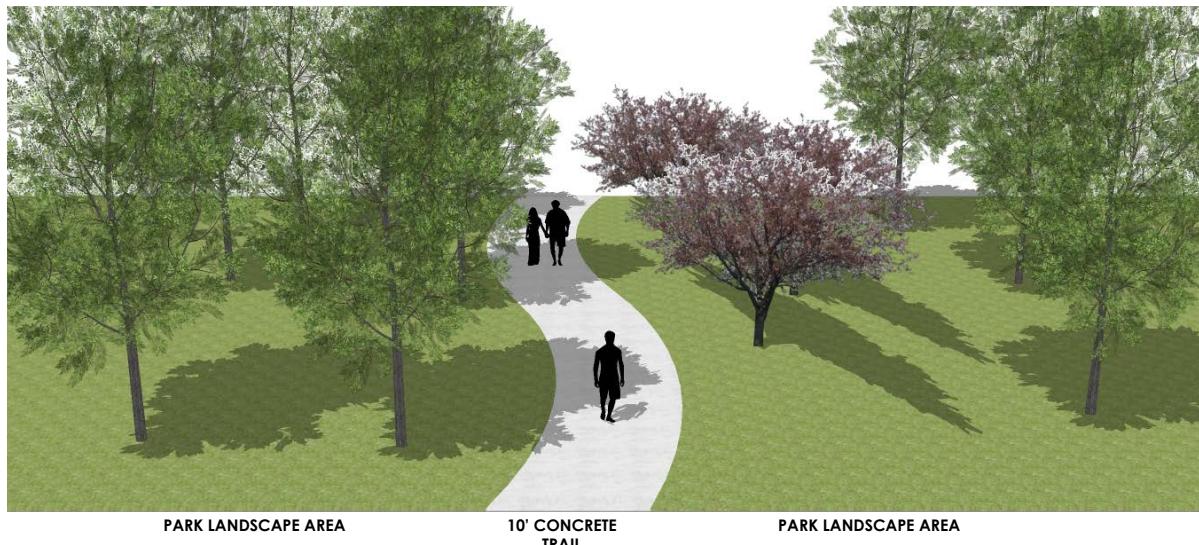
10' CONCRETE
SIDEWALK

ROW

PARK STRIP

ROADWAY

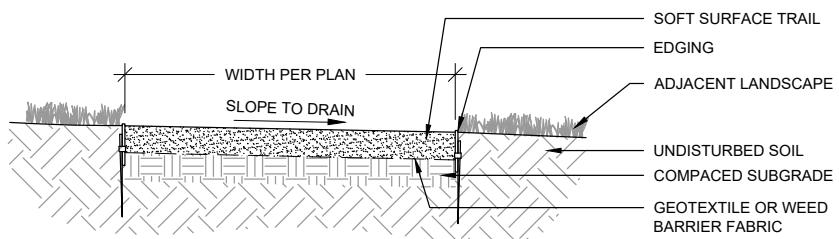
RIVERFRONT PARK - PRIMARY TRAIL



RIVERFRONT PARK - SECONDARY TRAILS*



*SECONDARY TRAILS ARE NOT SHOWN ON PEDESTRIAN PLAN MAP



SOFT SURFACE PEDESTRIAN ONLY TRAILS (SUCH AS 4" DEPTH OF GRAVEL OR CRUSHER FINES) SHALL BE ALLOWED AS SECONDARY TRAILS ONLY WITHIN THE RIVERFRONT PARK. THE DEVELOPER WILL WORK WITH THE CITY OF SARATOGA SPRINGS PARKS SUPERINTENDENT AND PLANNING STAFF DURING THE PLAT PROCESS TO FINALIZE CONSTRUCTION DETAILING.





SECTION 13 - DENSITY TRANSFERS

The Jordan Promenade Community Plan establishes the number of Equivalent Residential Units and density for Jordan Promenade.

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU.

Since build-out of the Jordan Promenade development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project, and to areas outside the project within the DAP boundary, as necessary to improve design, accessibility, and marketability.

The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- The overall intent and character of the Community Plan shall be maintained in the Village Plan and the transfer of ERUs shall not materially alter the nature of each land use, land use designation, or district established in the Community Plan.
- The transfer of ERUs into or out of any land use designation or district established in the Community Plan shall not exceed 15% without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed 20% of that established in the Community Plan.
- ERUs may not be transferred into any open space, park, or school unless said use is replaced elsewhere within the same neighborhood.

SECTION 14 - ADDITIONAL DETAILED PLANS

The following exhibits have been included to detail plans and direction contained in the Community Plan for Village Plan Area 3:

- Section 14a: Overall Monument Concept Plan
- Section 14b: Riverfront Park Conceptual Site Plan
- Section 14c: Riverfront Park Initial Phases
- Section 14d: Riverfront Park Final Phase
- Section 14e: Geological Hazards & Soils
- Section 14f: Fire Protection Plan

See attached Appendices for additional detailed plans.



SECTION 14a - OVERALL MONUMENT CONCEPT PLAN





MONUMENT DESIGN OVERVIEW

Jordan Promenade establishes a theme for project monuments and signage that embodies the rustic and natural appeal of the Jordan River and the Utah Lake area. Community signage is located strategically throughout the community to identify main project entry areas as well as individual neighborhoods. Following are descriptions of each proposed sign type accompanied by conceptual sign elevations and plans that are subject to change and refinement during the Village Plan process. Proposed community signage will have separate permits approved at the time of installation.

The proposed community signage shall meet the requirements of the Saratoga Springs Municipal Code within Section 19.18.07. All monument signage logos and lettering will be internally lit.

MONUMENT MATERIALS PALETTE

LEDGESTONE & SLATE



LETTERING & LIGHTING





MAJOR MONUMENT AT EAST 400 NORTH/REDWOOD ROAD

This sign type is located at major entry points along bordering principal and arterial roadways and will serve as gateway features to the community. The signage features consist of tower features up to 20' in height accompanied by monument walls and signs that are visible from a distance.



Option A



Option B



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Area 3 | Village Plan



SECONDARY MONUMENT AT EAST 400 NORTH/REDWOOD ROAD

This sign type is located at secondary entry points along bordering arterial and collector roadways and will serve as gateway features to the community. The signage features consist of lower column features, up to 15' in height, accompanied by low monument walls and community signage.



Option A



Option B

NOTES:

1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. This monument location represents 1 monument on the corner of Redwood Road and East 400 North,
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).

NEIGHBORHOOD MONUMENT

- **Neighborhood Entryway Monument:** This sign type is located at neighborhood entry points along bordering collector and arterial roadways and serve as identification features to the individual neighborhoods in the community. The signage features consist of lower column features, up to 10' in height, accompanied by low monument walls and neighborhood signage.



Option A



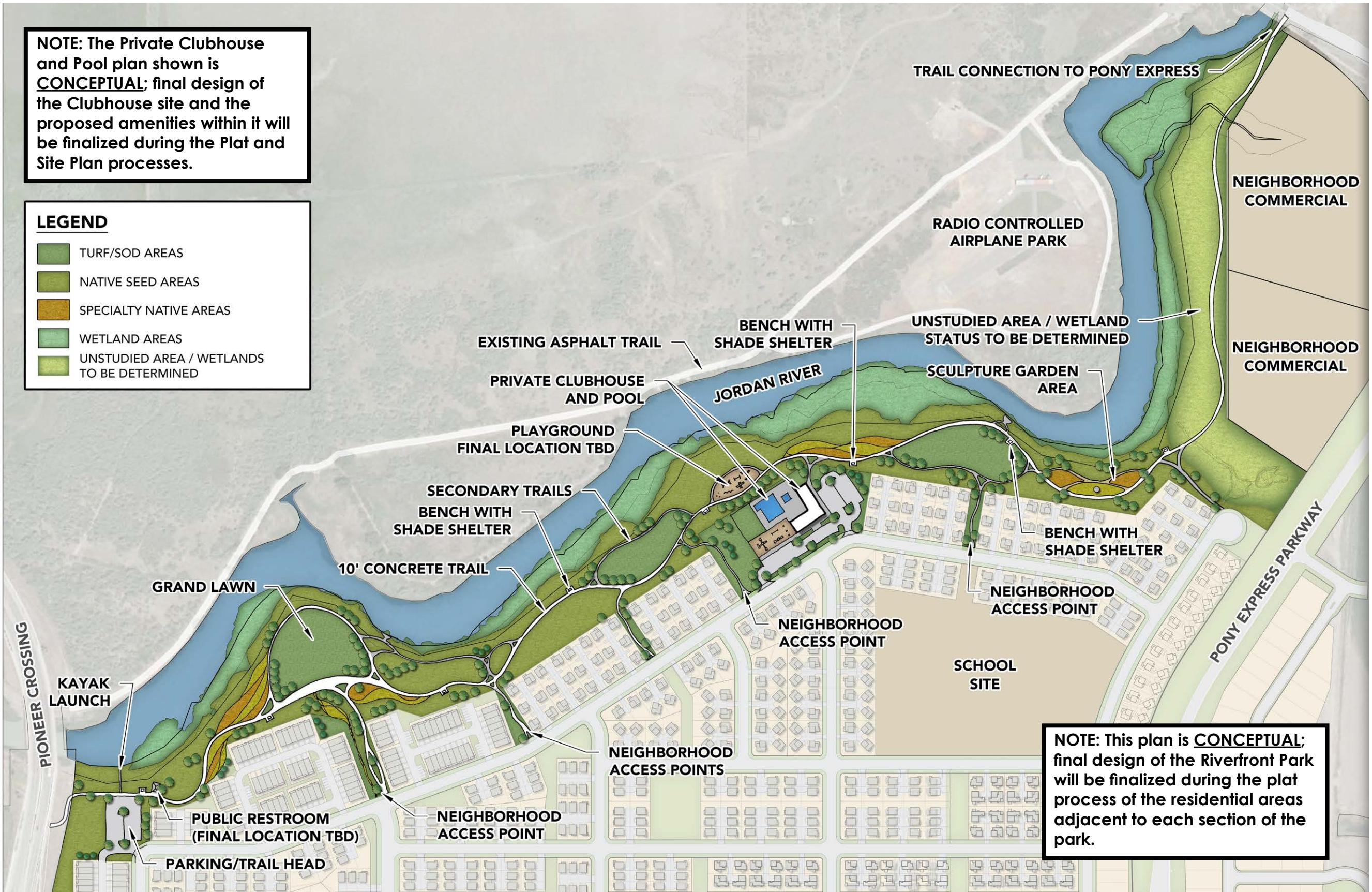
Option B

NOTES:

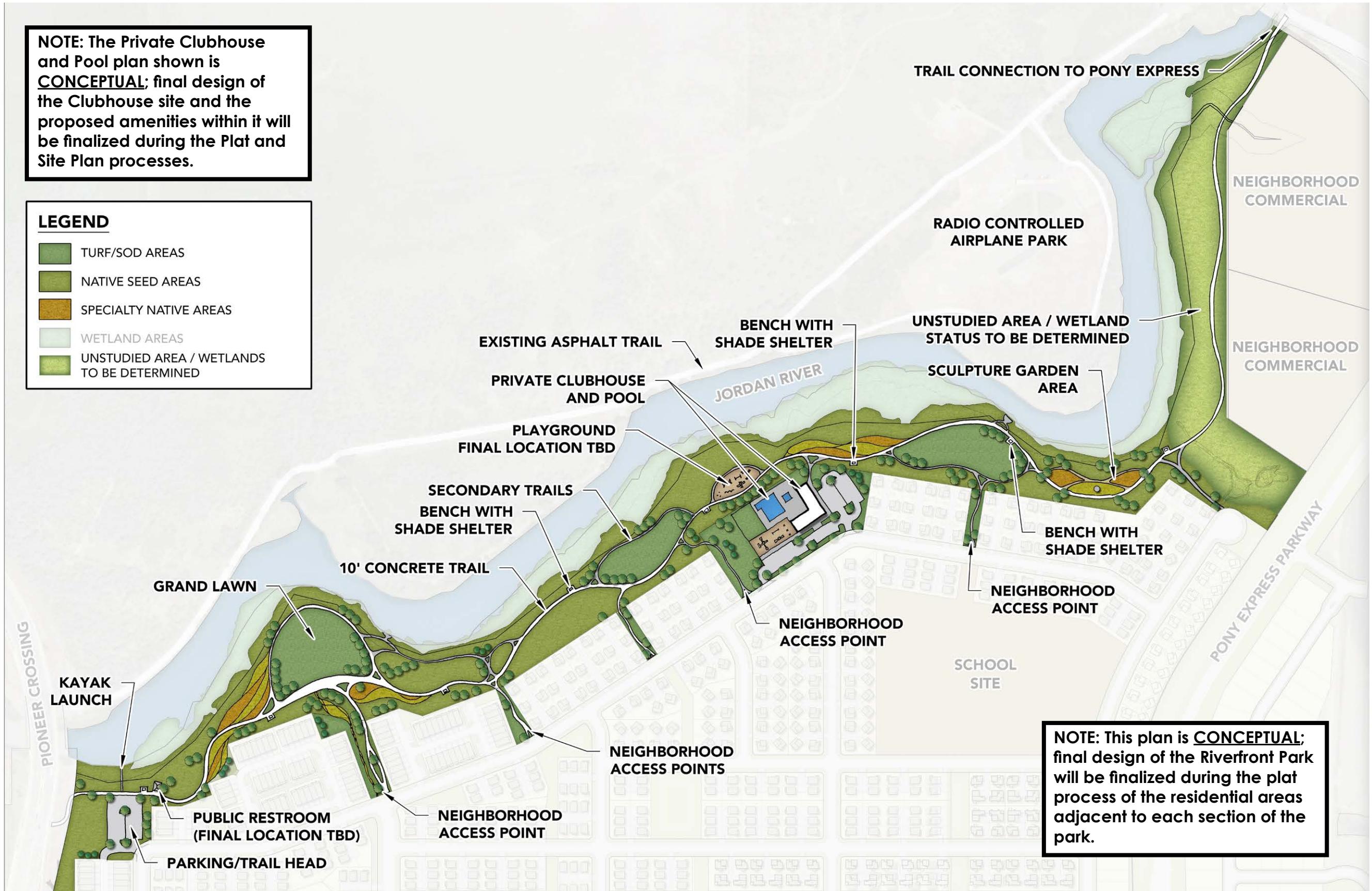
1. All landscape areas & monuments are subject to design updates. Any such updates will not require an amendment to the Village Plan.
2. These monument locations represent 1 monument in Village 2 on Riverside Drive.
3. Monument locations adhere to the intersection sight triangle standards established by the American Association of State Highway and Transportation Officials (AASHTO).



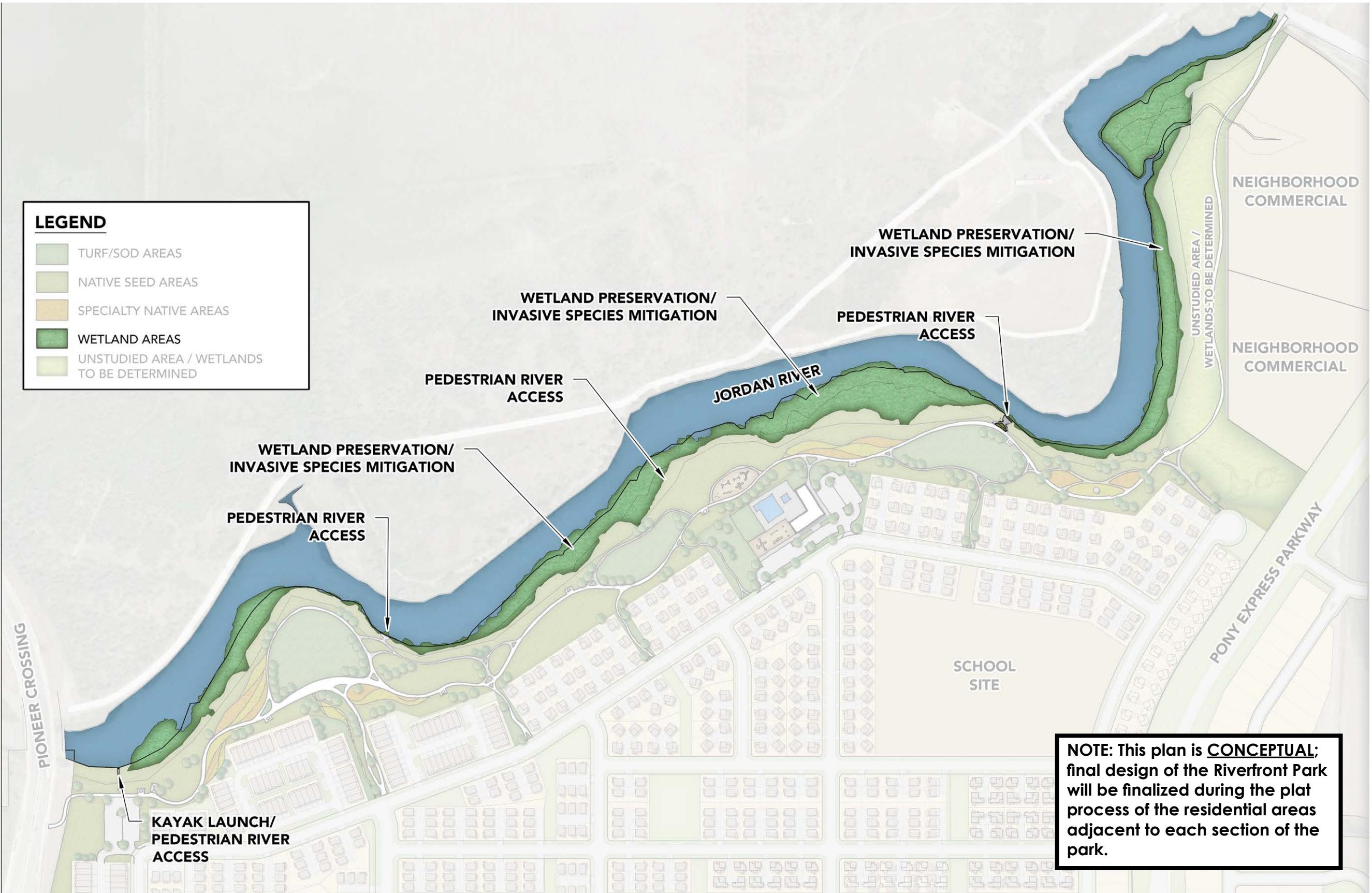
SECTION 14b - RIVERFRONT PARK CONCEPTUAL SITE PLAN



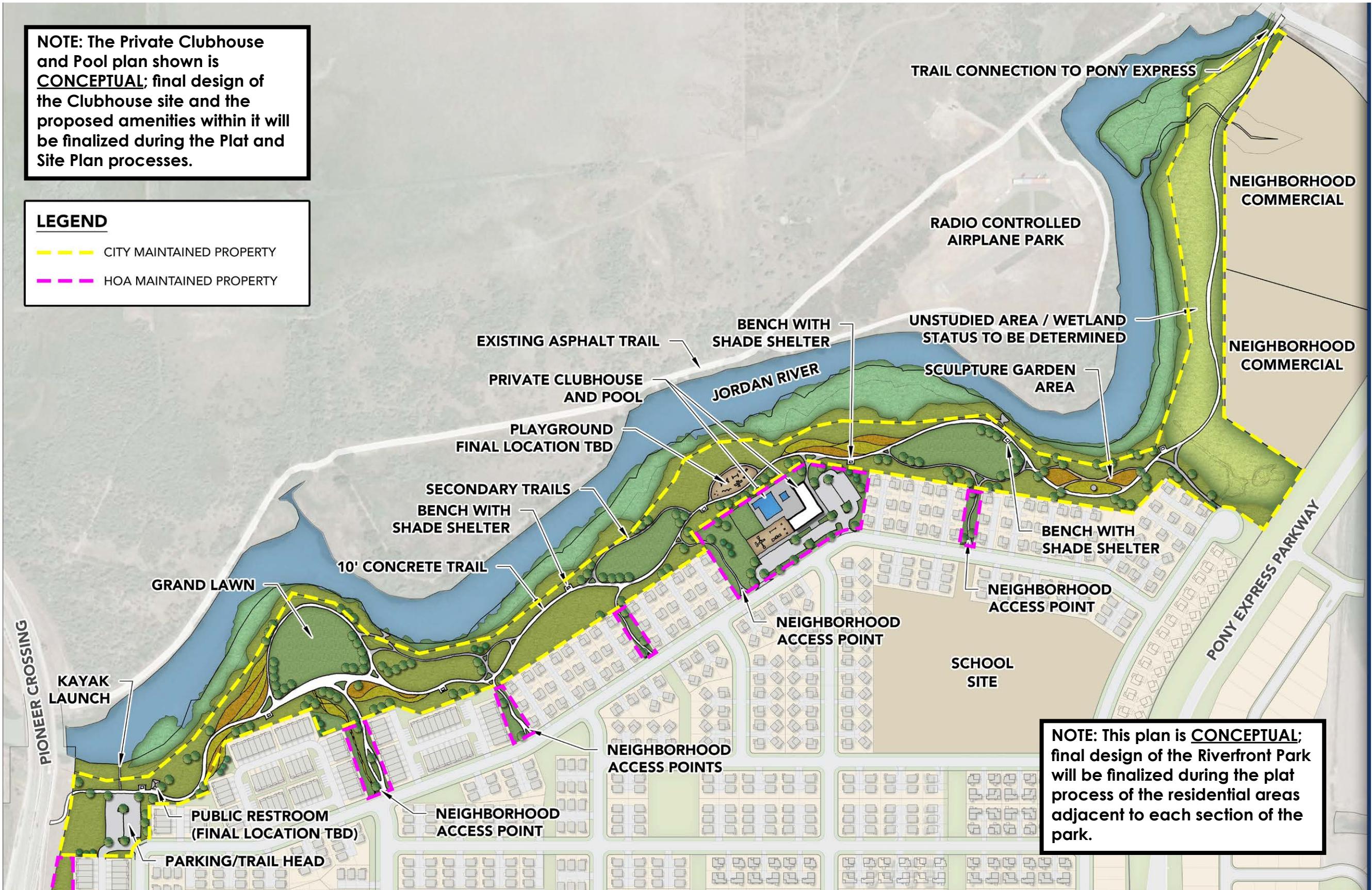
SECTION 14c - RIVERFRONT PARK INITIAL IMPROVEMENTS



SECTION 14d - RIVERFRONT PARK FINAL IMPROVEMENTS



SECTION 14e - RIVERFRONT PARK MAINTENANCE



SECTION 14e - GEOLOGICAL HAZARDS & SOILS

GEOLOGICAL HAZARDS

According to Utah County Hazard Mapping as published by Utah County Public Works Department, the following hazards have been identified within the Village 3 boundary through coordination with Utah County, USGS, MAG and other agencies:

- No faults are shown in the project site.
- No fault ruptures are shown in the project site.
- The project site has a high potential for liquefaction.
- Flood hazards have been identified in the project site.
- No landslide hazards have been identified in the project site.
- No rock fall hazards have been identified in the project site.
- No debris flows have been identified in the project site.
- No wild fire hazards have been identified in the project site.
- No dam failure risks have been identified in the project site.
- No avalanche hazards have been identified in the project site.

SOILS

A geotechnical investigation was conducted for Area 3 of the Jordan Promenade Development by Western Technologies, Inc., dated June 11, 2020. The following soil conditions were described in the report:

- **Surface:** "At the time of our exploration, the site was in use as pasture and cultivate crops. The ground surface was flat and contained a moderate to heavy growth of grass, weeds or crops. Site drainage trended to the east as sheet surface flow. Other site features included the Jordan River on the east side of the site, Riverside Drive on the west side of the site Pony Express Parkway to the north and the Pony Express Parkway right of way to the south."
- **Subsurface:** "As presented on the boring logs, surface soils to depths 4 to 13 feet consist of one foot clayey sand and sandy clay organic topsoil over silt, elastic silt, silty sand, and clay. Near surface soils are of moderate to high plasticity. The materials underlying the surface soils and extending to the full depth of exploration consisted of layers of silty sand, clay, clayey gravel, and highly plastic clay and silt."
- **Groundwater:** "Groundwater was encountered at a depth of 2 to 16 feet at the time of exploration. These observations represent the groundwater conditions at the time of measurements and may not be indicative of other times. Groundwater levels can be expected to fluctuate with varying seasonal and weather conditions, groundwater withdrawal and recharge, local irrigation practices, and future development."



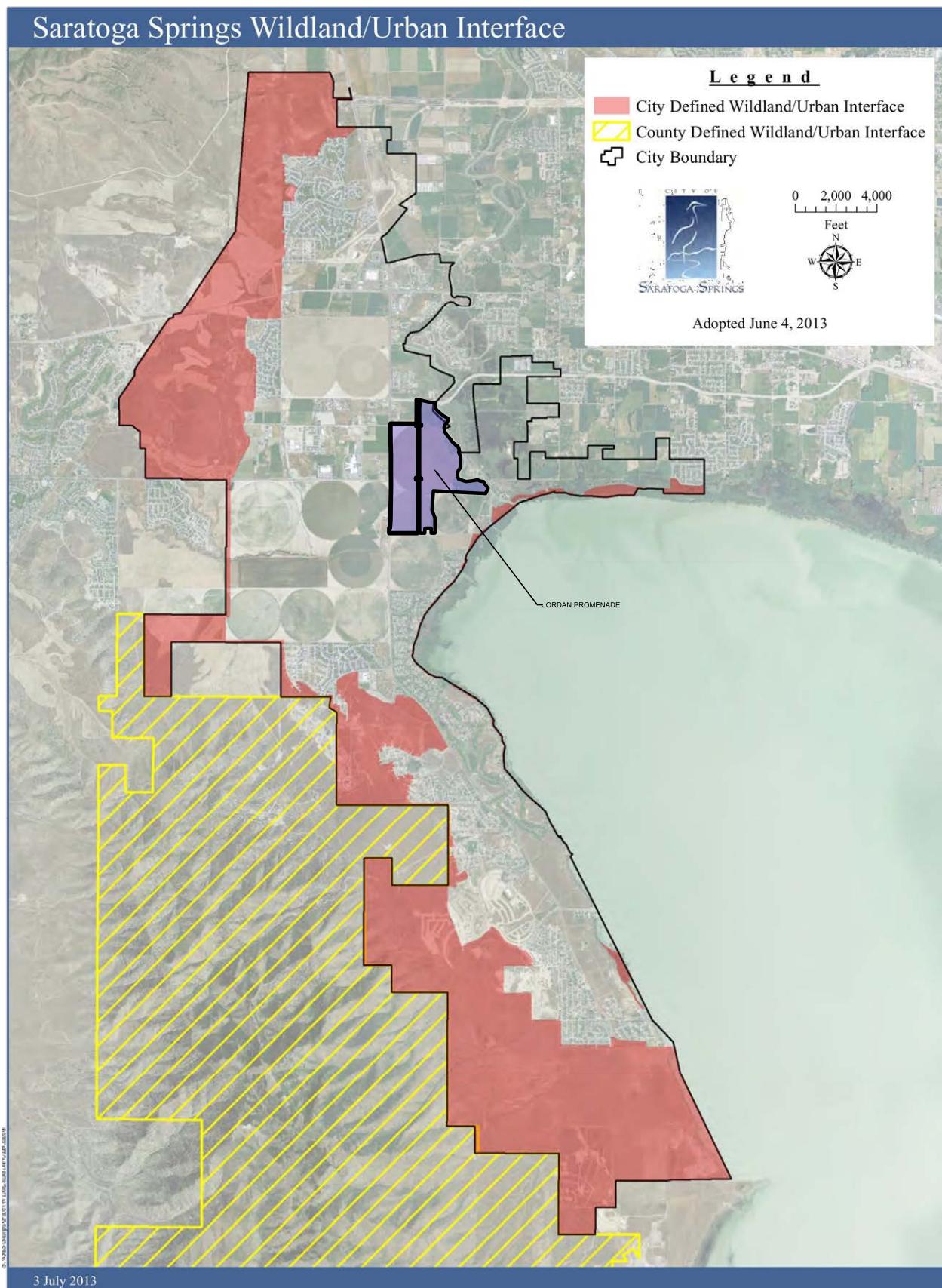


- **Geology:** "The Site located in the Utah Valley near the Jordan River and is part of the Basin and Range Province on lacustrine and alluvial deposits, young alluvial deposits, and lacustrine silt and clay. The soils consist of moderate to well-sorted, fine-grained sand, silt, and clay and local pebble gravel adjacent to the Jordan River with calcareous silt with minor clay and finegrained sand away from the river (Geologic Map of the Saratoga Springs 7.5' Quadrangle, Utah County, Utah, Utah Geologic Survey, 2004). The nearest mapped fault is just east of or below the Jordan River on the east side of the Site. The Liquefaction potential is mapped as "high" according to the *Selected Critical Facilities and Geologic Hazards, Utah County, Utah, Map, USGS*."

FLOOD ZONE DATA

The central and southern portion of Area 3 of the Jordan Promenade Development lies within FEMA Flood Zone A. The northern portion of Area 3 does not lie within a flood zone.

SECTION 14f - FIRE PROTECTION PLAN





SECTION 15 - SITE CHARACTERISTICS

General site characteristics for Jordan Promenade were provided in the Community Plan within the Cultural Resources Inventory:

"The project area falls within Sections 23, 24, 25, and 26, in Township 5 South, Range 1 West, in Saratoga Springs in Utah County, Utah. Saratoga Springs is located just to the west of the city of Lehi and abuts Utah Lake to the south and southeast. The 436.76-acre project area is primarily agricultural fields, with some urban development in the northwest corner. Currently, a large portion of the project area is being used to cultivate crops. The western boundary of the survey area is Redwood Road, and the eastern boundary consists of both the Jordan River and Saratoga Road. Riverside Drive extends north-south through the western one-third of the survey area, dividing the project area in half. The predominant vegetation is approximately equal parts corn and wheat crops, with tall grasses and marshland vegetation found in the outlying edges of the project area. Soils are loosely compacted alluvial sandy loams that have been repeatedly disturbed through agricultural tilling."

Additional site characteristics for Jordan Promenade were provided in the Community Plan within the Environmental Site Assessment:

"The Property consisted of an approximately 450 acres primarily vacant land that has been used for wheat, corn, and alfalfa hay crops. Sheds and fuel tanks used for the Lehi Utah Saratoga Crops Welfare Farm were located on the southeast corner of the Property and two residential houses were also located on the Property. The Jordan River runs along the east side of the Property and a Rocky Mountain Power Substation is located to the south near Riverside Road that runs from north to south between Redwood Road and Saratoga Springs Road. Parked construction and farming equipment was on the southeast corner and scattered piles of soil, vegetation and concrete debris were on the Property. It appears that one of the residential houses had been torn down and the concrete foundation remained. Water tanks and pumps used for irrigation were on the Property in several locations. Residential housing was under construction to the south of the Property across 400 South. Vacant, undeveloped land was also east of the Property and west was Redwood Road, residential housing, barns and vacant undeveloped land. To the north was the Pioneer Crossing Road, residential housing and vacant land."

SECTION 16 - FINDINGS STATEMENTS

Village Plan Area 3 is a 161-acre area within the 367-acre Jordan Promenade Community located in Saratoga Springs, Utah. The Jordan Promenade Village Plan Area 3 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan Area 3:

- a. is consistent with the adopted Community Plan;
 - Village Plan Area 3 adheres to the development standards, thoroughfare types, and open space types and requirements established in the Jordan Promenade Community Plan.
- b. for an individual phase, does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - Village Plan Area 3 adheres to the general phasing established in the Community Plan and does not exceed the number of ERUs assigned by phase.
- c. is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
 - Village Plan Area 3 implements the utility, infrastructure, and circulation plans as specified in the Jordan Promenade Community Plan.
- d. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - Jordan Promenade has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the community. Jordan Promenade was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents, with various community amenities located nearby or within open space areas.
- e. contains the required elements as dictated in Section 19.26.10 of the Saratoga Springs Municipal Code.





APPENDICES

JORDAN PROMENADE

AREA 3 VILLAGE PLAN

APPENDICES

Appendix A - Village 3 Lotting Maps (Perigee Consulting, LLC, December 2020)

Appendix B - Geotechnical Evaluation Report Village 3 (Western Technologies, Inc., June 2020)

Appendix C - Phase I Environmental Site Assessment (Western Technologies, Inc., June 2017)

Appendix D - Cultural Resources Inventory (SWCA Environmental Consultants, May 2018)

Appendix E - Traffic Impact Study (Hales Engineering, October 2020)

