

WILDFLOWER VILLAGE 2 RV PARKING

LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

Architectural drawing of a decorative scrollwork element. The drawing includes a north arrow pointing upwards and a scale bar below it. The scale bar is marked with 100, 50, 0, and 100 units.

The map shows the Lehi area with the Lehi View Corridor highlighted. The SITE is located in the northern part of the corridor, near the 2700 N and 2100 N roads. The map also shows the Saratoga Springs and Eagle Mountain areas, along with various roads and landmarks.

SHEET LIST	
SHEET NUMBER	SHEET TITLE
COVER	COVER
NOTES	NOTES
C-101	EXISTING CONDITIONS
C-201	OVERALL SITE PLAN
C-301	SIGNAGE & STRIPING PLAN
C-401	UTILITY PLAN
C-501	GRADING PLAN
C-901	DETAILS
E0.1	ELECTRICAL COVER SHEET
E0.2	SITE ELECTRICAL PLAN
E0.3	SITE PHOTOMETRIC PLAN
E5.1	ELECTRICAL DETAILS
E5.2	ELECTRICAL DETAILS
E6.1	ELECTRICAL SCHEDULES
E7.1	ELECTRICAL SPECIFICATIONS

DATA TABLE			
PLAT 0-1			
RV STORAGE LOT	1 LOT		
SINGLE FAMILY LOTS	0 LOTS		
TOWNHOME UNITS	0 UNITS		
BUILDINGS	0 BUILDINGS		
DWELLINGS	0 DWELLINGS		
COMMON SPACE PARCELS	1 PARCELS		
DENSITY	0 UNITS / ACRE		
MINIMUM LOT SIZE.....	0.00 ACRES / 0 SF		
MAXIMUM LOT SIZE.....	0.00 ACRES / 0 SF		
AVERAGE LOT SIZE.....	0.00 ACRES / 0 SF		
	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	16.69	726,899	100%
RV STORAGE LOT 915	5.43	236,618	32.6%
TOTAL OPEN SPACE	11.19	487,543	67.1%
LANDSCAPE IRRIGATED AREA	0.58	25,303	3.5%
LANDSCAPE HARDSCAPE AREA	1.10	47,903	6.6%
LANDSCAPE NATURAL AREA	9.51	414,337	57%
LANDSCAPE COMMON SPACE	11.19	487,543	67.1%
LANDSCAPE LIMITED COMMON SPACE	0.00	0	0.0%
PRIVATE RIGHT-OF-WAY AREA	0.00	0	0%
PUBLIC RIGHT-OF-WAY AREA	0.16	7,079	1%
LANDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
HARDCAPE AREA (PUBLIC ROW)	0.16	7,079	1%
BUILDABLE LAND	5.43	236,618	32.6%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	16.69	726,899	100%
NUMBER OF RV PARKING SPACES			200
NUMBER OF DOG PARK/TRAIL HEAD PARKING SPACES			33

WILDFLOWER - VILLAGE 2 RV PARKING

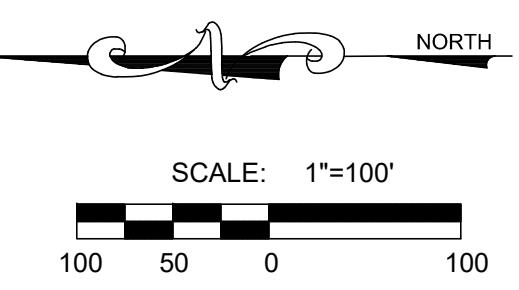
THE CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

COVER

The site plan illustrates a land development project with the following key features and boundaries:

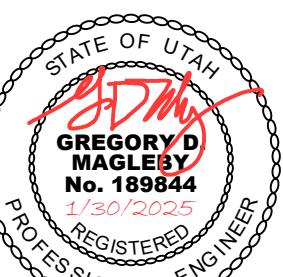
- WILD BLOSSOM BOULEVARD:** A red boundary line defining a major street.
- COMMON SPACE:** A red line defining a shared area.
- CHIANTI STREET:** A blue dashed line defining a street.
- TRAILHEAD PARKING:** A shaded black area representing a parking lot.
- RV STORAGE - LOT 915:** A shaded area with diagonal lines representing an RV storage facility.
- WILDFLOWER VILLAGE 2:** A collection of plats shown as dashed lines, including the **EDGE PLAT** and **SCHOOL PLAT**.
- WILDFLOWER LOGISTICS CENTER LLC:** A facility located near the top right.
- CENTRAL UTAH CONSERVANCY DISTRICT:** A district boundary shown in black.
- UNITED STATES OF AMERICA:** A boundary shown as a blue dashed line.
- UTAH LIGHT & POWER COMPANY:** A shaded green area in the bottom left.
- FUTURE WILDFLOWER:** A future development area indicated by a curved arrow.

OWNER / DEVELOPER		LEI PROJECT #: 2013-0902
 034 SOUTH 145 EAST, SUITE 204 APEL, UT 84020 (435) 495-3414		DRAWN BY: BLSTMJV
CITY OF SARATOGA SPRINGS 1307 N. COMMERCE DR. #200 SARATOGA SPRINGS, UTAH 84045		CHECKED BY: GDM
PLANNING DEPT: 801-766-9793 ENGINEERING DEPT: 801-766-6506		SCALE: 1"=100' <small>(PRINTED ON 24x36)</small>
ROCKY MOUNTAIN POWER PHONE: 800-469-3981		DATE: 1/30/2025
DOMINION ENERGY PHONE: 800-366-8532		SHEET
COVER		



DATA TABLE	
ASPHALT	203,702 SF
ROAD BASE	203,702 SF
CURB AND GUTTER	2,586 LF

*205 TOTAL RV PARKING STALLS

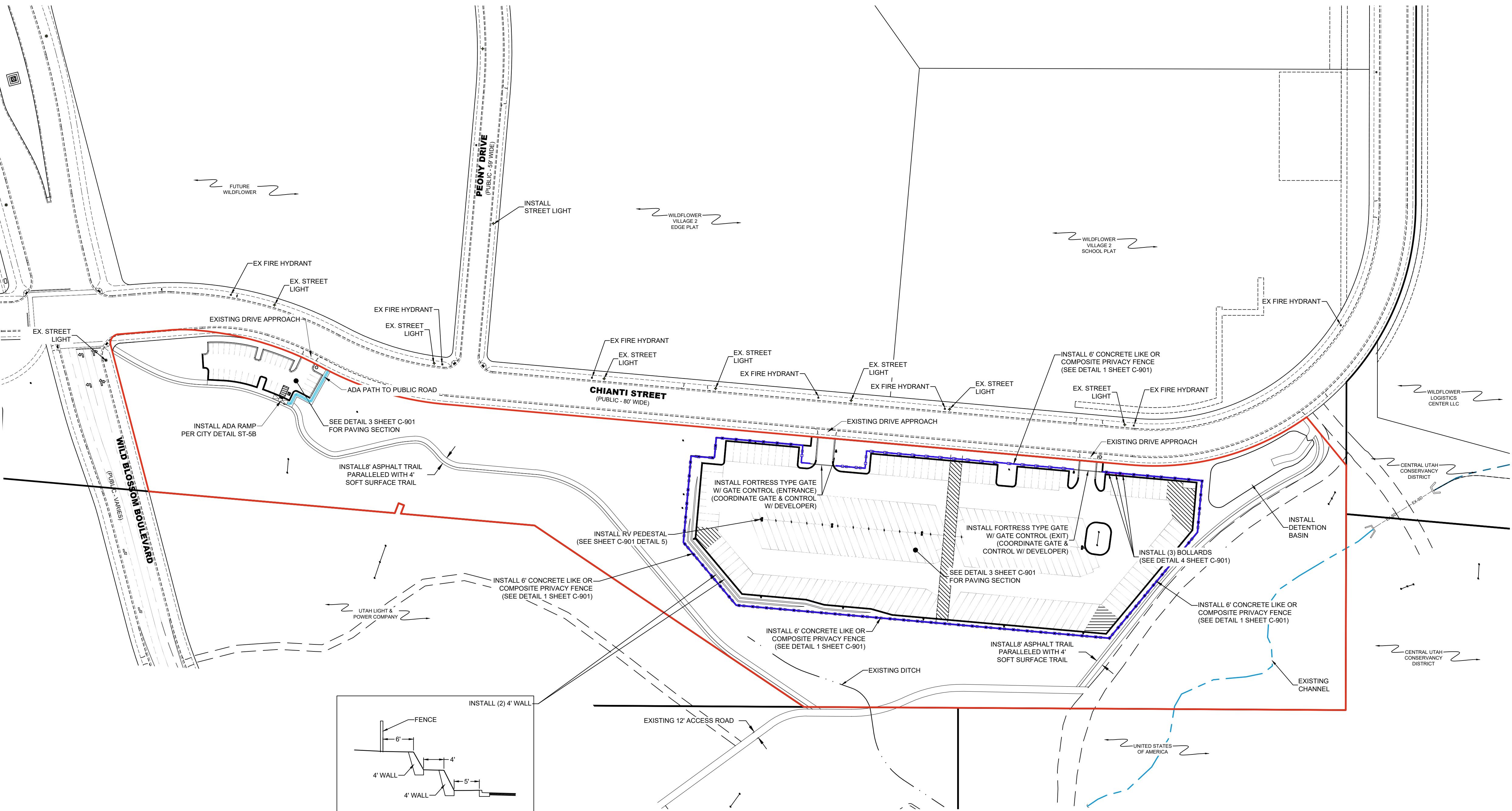


NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE
OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR
TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY.
APPLY FOR ENCROACHMENT PERMIT AT:
<https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx>

WILDFLOWER - VILLAGE 2 RV PARKING

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

OVERALL SITE PLAN



SHEET NOTES

- SEE GRADING & DRAINAGE PLAN FOR GRADING REQUIREMENTS.
- SEE SIGNAGE & STRIPING PLAN FOR SIGN LOCATIONS.
- SEE IRRIGATION AND LANDSCAPE PLANS FOR LANDSCAPING.
- RV STORAGE WILL NOT BE ACCESSIBLE TO THE GENERAL PUBLIC.
- CITY WILL HAVE GATE ACCESS TO ACCESS SEWER MAIN AND MANHOLES.
- GATES WILL BE ACCESSIBLE TO THE FIRE DEPARTMENT, PER CITY REQUIREMENTS.

LEI PROJECT #: 2013-0902
DRAWN BY: BLS/MJV
CHECKED BY: GDM
SCALE: 1"=100'
(PRINTED 03/20/2015)
DATE: 1/30/2025
SHEET

C-201



WILDFLOWER RV STORAGE

SARATOGA SPRINGS, UTAH

PROJECT NO.
DATE: JAN. 13, 2025
REVISIONS:

SHEET TITLE:
LIVE MATERIAL
COVERAGE
SHEET NUMBER:

LP103
LANDSCAPE



LIVING PLANT MATERIAL COVERAGE		
SYMBOL	DESCRIPTION	QTY
Light Green Hatched	SITE LANDSCAPE AREA	25,889 SF
Medium Green Hatched	SITE PLANT COVERAGE AREA	17,232 SF (67%)
Light Gray Hatched	PARK STRIP LANDSCAPE AREA	6,811 SF
Dark Green Hatched	PARK STRIP PLANT COVERAGE AREA	3,929 SF (57%)

12.0% LIVING PLANT MATERIAL COVERAGE OVERALL
NOTE: COVERAGE REQUIREMENTS PER SARATOGA SPRINGS CITY
CODE 19.06.07 AND 19.06.08

