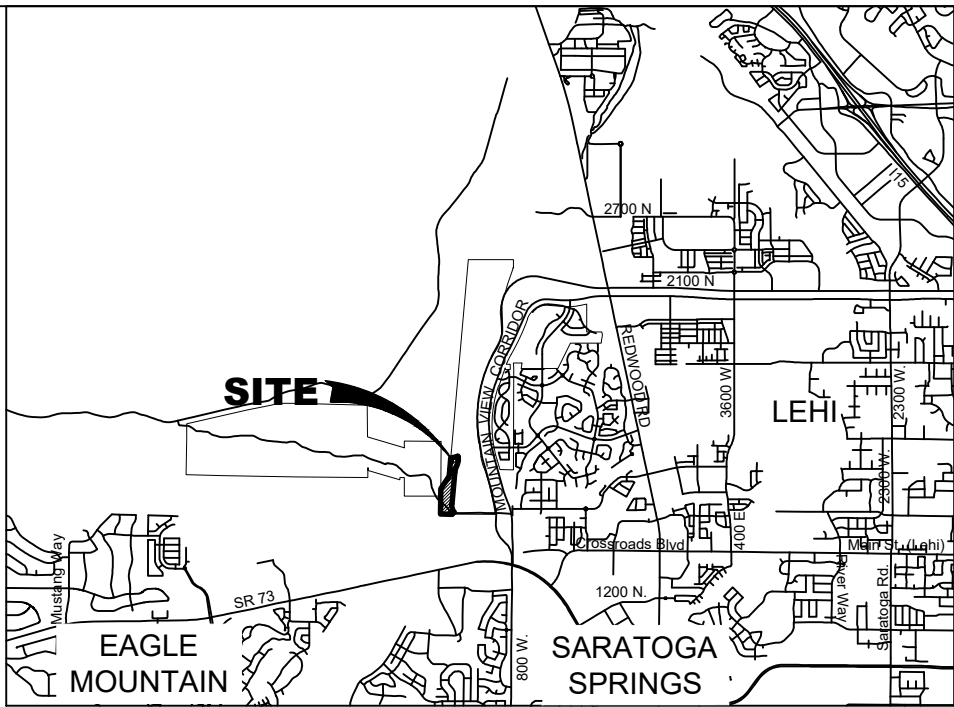
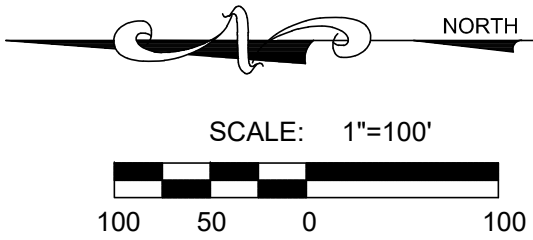


WILDFLOWER VILLAGE 2 RV PARKING

LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

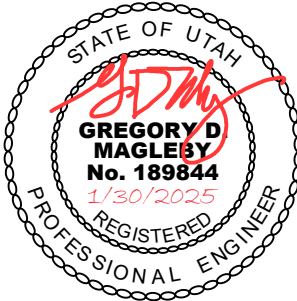


LEI

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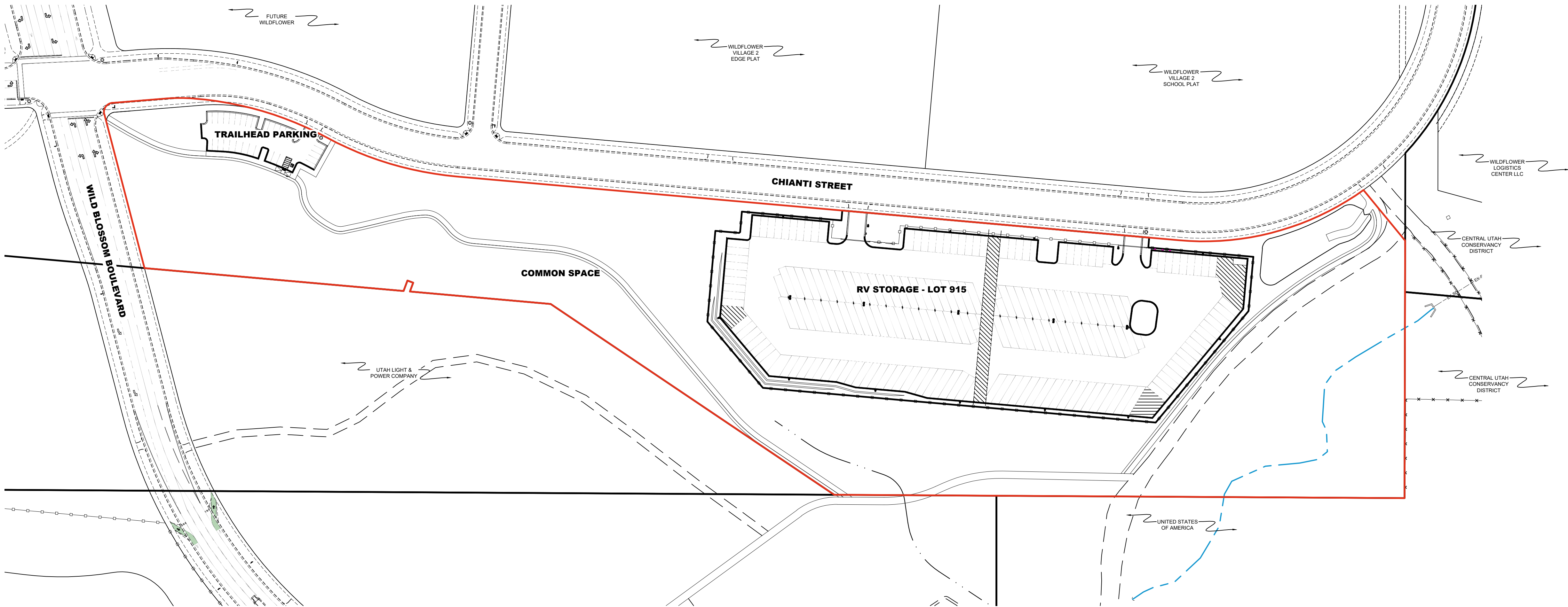
**ENGINEERS
SURVEYORS
PLANNERS**

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



SHEET LIST	
SHEET NUMBER	SHEET TITLE
COVER	COVER
NOTES	NOTES
C-101	EXISTING CONDITIONS
C-201	OVERALL SITE PLAN
C-301	SIGNAGE & STRIPING PLAN
C-401	UTILITY PLAN
C-501	GRADING PLAN
C-901	DETAILS
E0.1	ELECTRICAL COVER SHEET
E0.2	SITE ELECTRICAL PLAN
E0.3	SITE PHOTOMETRIC PLAN
E5.1	ELECTRICAL DETAILS
E5.2	ELECTRICAL DETAILS
E6.1	ELECTRICAL SCHEDULES
E7.1	ELECTRICAL SPECIFICATIONS

DATA TABLE			
PLAT 0.1			
RV STORAGE LOT	1 LOT		
SINGLE FAMILY LOTS	0 LOTS		
TOWNHOME UNITS	0 UNITS		
BUILDINGS	0 BUILDINGS		
DWELLINGS	0 DWELLINGS		
COMMON SPACE PARCELS	1 PARCELS		
DENSITY	0 UNITS/ ACRE		
MINIMUM LOT SIZE	0.00 ACRES / 0 SF		
MAXIMUM LOT SIZE	0.00 ACRES / 0 SF		
AVERAGE LOT SIZE	0.00 ACRES / 0 SF		
	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	16.69	726,899	100%
RV STORAGE LOT 915	5.43	236,618	32.6%
TOTAL OPEN SPACE	11.19	487,543	67.1%
LANDSCAPE IRRIGATED AREA	0.58	25,303	3.5%
LANDSCAPE HARDSCAPE AREA	1.10	47,903	6.6%
LANDSCAPE NATURAL AREA	9.51	414,337	57%
LANDSCAPE COMMON SPACE	11.19	487,543	67.1%
LANDSCAPE LIMITED COMMON SPACE	0.00	0	0.0%
PRIVATE RIGHT-OF-WAY AREA	0.00	0	0%
PUBLIC RIGHT-OF-WAY AREA	0.16	7,079	1%
LANDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
HARDSCAPE AREA (PUBLIC ROW)	0.16	7,079	1%
BUILDABLE LAND	5.43	236,618	32.6%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	16.69	726,899	100%
NUMBER OF RV PARKING SPACES			200
NUMBER OF DOG PARK/TRAIL HEAD PARKING SPACES			33



WILDFLOWER - VILLAGE 2 RV PARKING
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

COVER

REVISIONS	
1	
2	
3	
4	
5	

OWNER / DEVELOPER



14034 SOUTH 145 EAST, SUITE 204
DRAPER, UT 84020
(801) 495-3414

ENGINEER

LEI CONSULTING ENGINEERS
AND SURVEYORS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
801-798-0555

CITY OF SARATOGA SPRINGS
1307 N. COMMERCE DR. #200
SARATOGA SPRINGS, UTAH 84045

PLANNING DEPT: 801-766-9793
ENGINEERING DEPT: 801-766-6506

ROCKY MOUNTAIN POWER
PHONE: 800-469-3981

DOMINION ENERGY
PHONE: 800-366-8532

LEI PROJECT #:
2013-0902

DRAWN BY:
BLS/MJV

CHECKED BY:
GDM

SCALE:
1"=100'
(PLANES 100' MAX)

DATE:
1/30/2025

SHEET

COVER



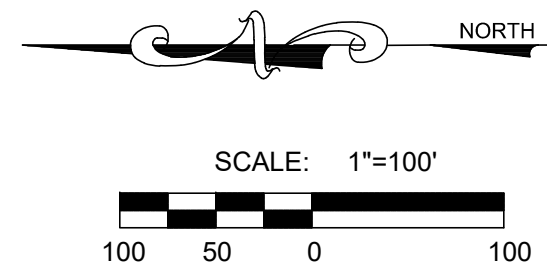
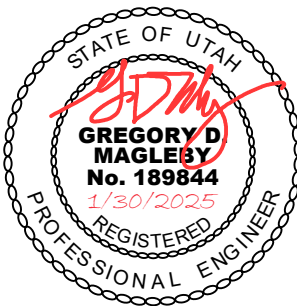
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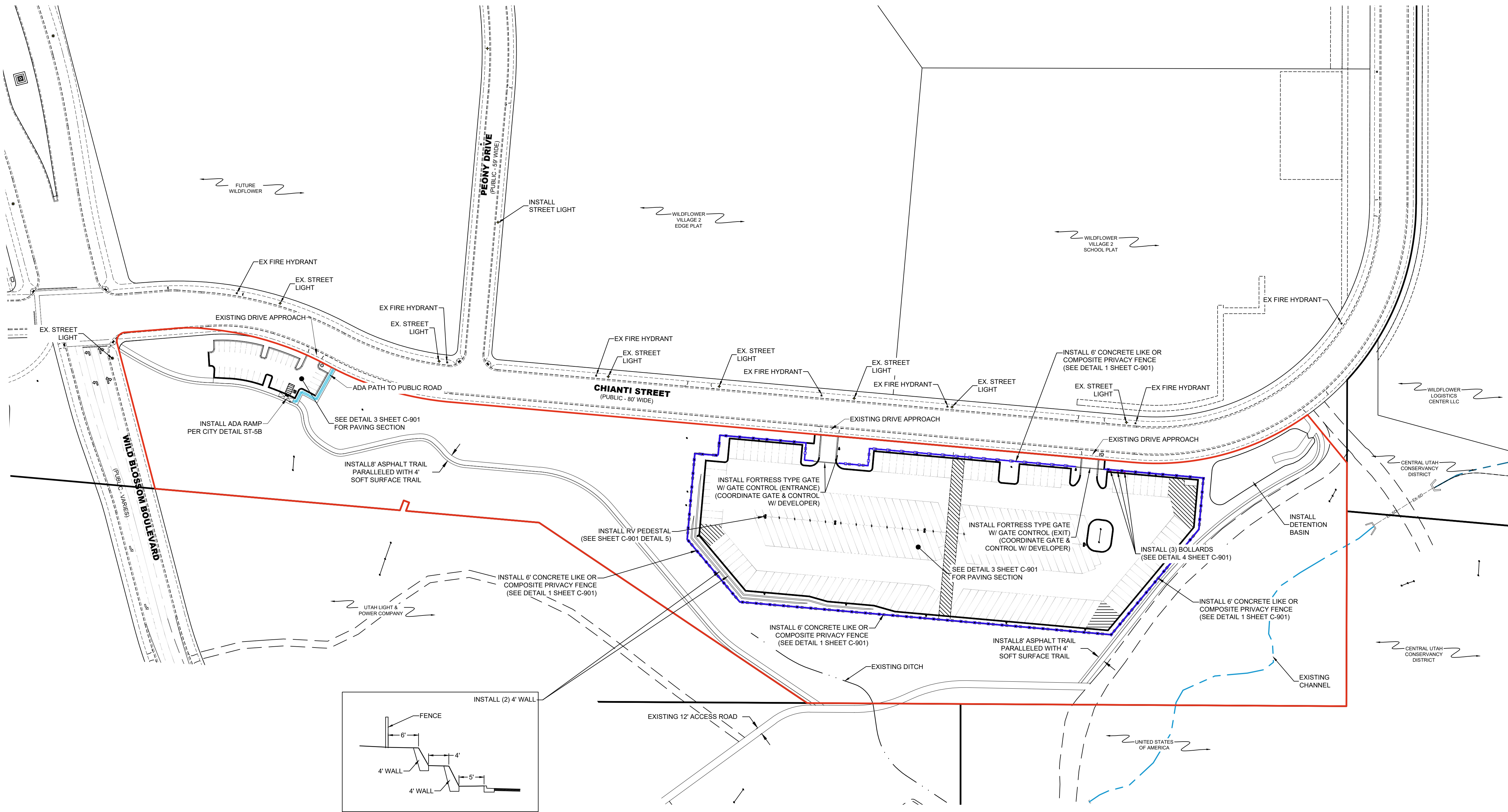


DATA TABLE

ASPHALT	203,702 SF
ROAD BASE	203,702 SF
CURB AND GUTTER	2,586 LF

*205 TOTAL RV PARKING STALLS

NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE
OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR
TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY.
APPLY FOR ENCROACHMENT PERMIT AT:
<https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx>



SHEET NOTES

- SEE GRADING & DRAINAGE PLAN FOR GRADING REQUIREMENTS.
- SEE SIGNAGE & STRIPING PLAN FOR SIGN LOCATIONS.
- SEE IRRIGATION AND LANDSCAPE PLANS FOR LANDSCAPING.
- RV STORAGE WILL NOT BE ACCESSIBLE TO THE GENERAL PUBLIC.
- CITY WILL HAVE GATE ACCESS TO ACCESS SEWER MAIN AND MANHOLES.
- GATES WILL BE ACCESSIBLE TO THE FIRE DEPARTMENT, PER CITY REQUIREMENTS.

WILDFLOWER - VILLAGE 2 RV PARKING CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH OVERALL SITE PLAN

REVISIONS

1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-

LEI PROJECT #:

2013-0902

DRAWN BY:

BLS/MJV

CHECKED BY:

GDM

SCALE:

1"=100'

(PAPER SIZE 11x17)

DATE:

1/30/2025

SHEET

C-201





Architecture

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 High Point Parkway, Suite 300
Sandy, UT 84094
Ph: 801.269.0055
Fax: 801.269.1425
www.thinkasc.com

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WILDFLOWER RV STORAGE
SARATOGA SPRINGS, UTAH

PROJECT NO.
DATE: JAN. 13, 2025

REVISIONS:

SHEET TITLE:

LIVE MATERIAL
COVERAGE

SHEET NUMBER:

LP103
LANDSCAPE



LIVING PLANT MATERIAL COVERAGE		
SYMBOL	DESCRIPTION	QTY
	SITE LANDSCAPE AREA	25,889 SF
	SITE PLANT COVERAGE AREA	17,232 SF (67%)
	PARK STRIP LANDSCAPE AREA	6,811 SF
	PARK STRIP PLANT COVERAGE AREA	3,929 SF (57%)

102.0% LIVING PLANT MATERIAL COVERAGE OVERALL
NOTE: COVERAGE REQUIREMENTS PER SARATOGA SPRINGS CITY
CODE 19.06.07 AND 19.06.08

