



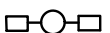










LOT 5A & 6A – THE HUB AT SARATOGA PHASE 2 SUBDIVISION  
2438 NORTH STAGECOACH DR. // 2422 NORTH STAGECOACH DR.  
SARATOGA SPRINGS, UTAH 84045

## LEGEND

----	PROPERTY LINE		EXISTING FIRE HYDRANT
----	EASEMENT LINE		PROPOSED FIRE HYDRANT
-4240.0----	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
-4240.0----	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
====	EXISTING CURB		PROPOSED PARKING LOT LIGHT
=====	PROPOSED CURB AND GUTTER		EXISTING WATER METER
=====	PROPOSED CURB WALL		EXISTING WATER VALVE
=====	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
---SS---	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
--SS---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
--W---	EXISTING WATER	FF	FINISHED FLOOR
--W---	PROPOSED WATER	HW	HIGH WATER
---F---	EXISTING FIRE LINE	TOT	TOP OF GRADE
--F---	PROPOSED FIRE LINE	TOL	TOP OF LID
---SD---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
--SD---	PROPOSED STORM DRAIN	EX	EXISTING
--RD---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---G---	EXISTING GAS	TA	TOP OF ASPHALT
--G---	PROPOSED GAS	TC	TOP OF CONCRETE
---OHP---	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
---UGP---	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
---UGP---	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
---T---	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
--T---	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
---FO---	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
--FO---	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
	PROPOSED CONCRETE		TBC CALLOUT UNLESS OTHERWISE DESIGNATED
	PROPOSED ASPHALT		
	PROPOSED LANDSCAPING		



- CITY STANDARD NOTES:

- i. Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- ii. Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- iii. All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- iv. Existing Utilities have been noted to the best of Engineers knowledge, however it is owners and contractors responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- v. Post-install alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- vi. The City reserves the right to conduct post-installation inspections to verify compliance with the Citys requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- vii. All exterior lighting shall meet IESNA full-cutoff criteria.



**CIVIL ENGINEERING  
+ SURVEYING**

UNCOMMON ARCHITECTS  
684 WEST CENTER STREET  
MIDVALE, UTAH 84047  
CONTACT PERSON: BRIAN SCOTT  
PH: (801) 417-9951

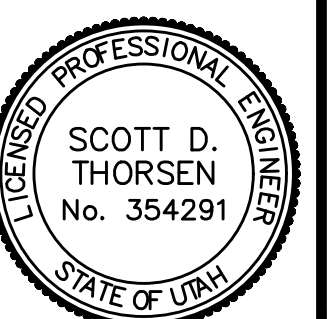
**CIVIL ENGINEERING**  
**+ SURVEYING**



100718 SOUTH BECKSTEAD LANE, SIE. 102  
SOUTH JORDAN, UT 84095 - 801-949-6296

THE GOAT HOUSE PROJECT  
2422 NORTH STAGECOACH DRIVE, SARATOGA SPRINGS, UTAH

COVER SHEET



SHEET NO. \_\_\_\_\_

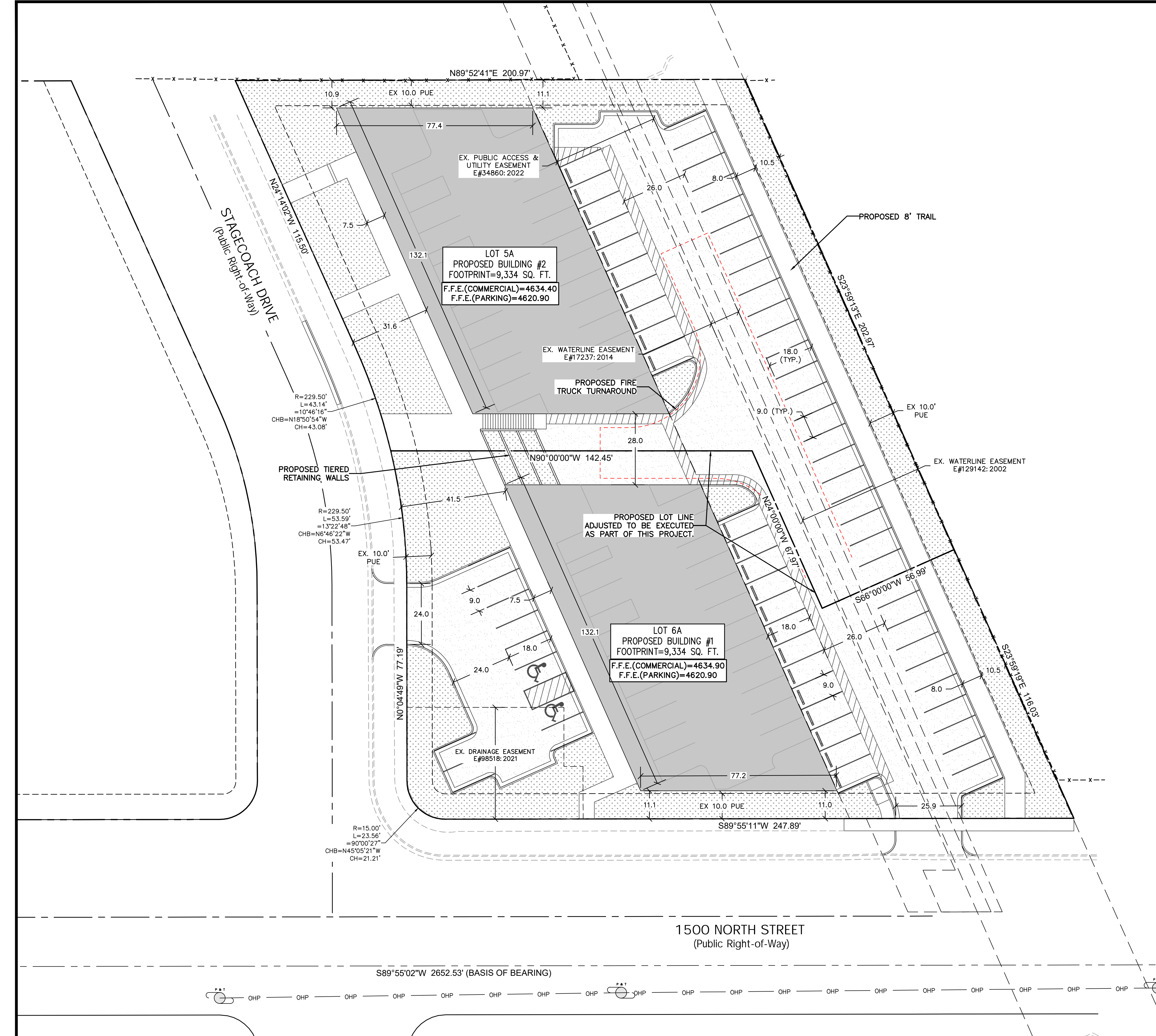
CV

PROJECT ID:	DATE:
E22-139	01/10/24
FILE NAME:	SCALE:
PRJ-SHL6	1"=20'

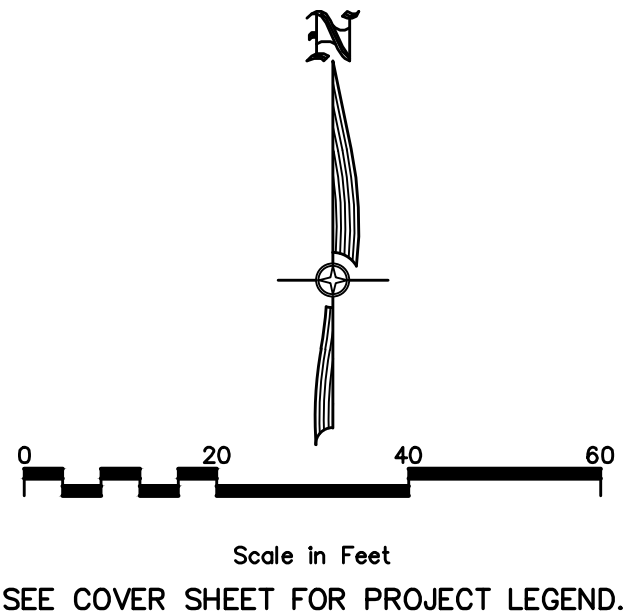
# CONCEPT SUBMITTAL







SITE INFORMATION TABLE:	
TOTAL NUMBER OF LOTS = 2	
TOTAL PROJECT AREA = 62,986 SQ. FT. (1.42 AC)	
LOT 5A = 32,587 SQ. FT. (0.75 AC)	
LOT 6A = 30,399 SQ. FT. (0.70 AC)	
TOTAL SITE PARKING COUNT = 112	
LOT 5A = 56	
EXTERIOR = 33	
INTERIOR = 23	
ADA = 3 (3 INTERIOR)	
LOT 6A = 56	
EXTERIOR = 33	
INTERIOR = 23	
ADA = 5 (3 INTERIOR)	



LOT 5A AREAS:		SQ. FT. / ACRES
LOT 5A		32,587 SQ. FT. / 0.75 ACRES
BUILDING FOOTPRINT		9,334 SQ. FT. / 0.21 ACRES
ASPHALT		11,198 SQ. FT. / 0.26 ACRES
LANDSCAPING		7,756 SQ. FT. / 0.18 ACRES
CONCRETE		4,299 SQ. FT. / 0.10 ACRES

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 5A LANDSCAPING AREAS:		SQ. FT.	CITY REQ'T
TOTAL OPEN SPACE		9,454 SQ. FT. (25% REQ'D: 29.01% PROV'D)	
BLDG COVERAGE		9,334 SQ. FT. (50% MAX: 28.64% PROV'D)	

NOTE:  
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).  
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 5A PARKING REQUIREMENTS:		SQ. FT./QTY	CITY REQ'M'T
COMMERCIAL	8,354 SQ. FT.	33	(4/1000)
2-BD UNIT	10	20	(2/UNIT)
GUEST PARKING	0.25/UNIT	3	(0.25/UNIT)
TOTAL REQUIRED:		56	
TOTAL PROVIDED:		56	
ACCESSIBLE SPACES		3 (3 REQ'D 51 TO 75)	
INTERIOR		3	

NOTES:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 6A AREAS:		SQ. FT. / ACRES
LOT 6A		30,399 SQ. FT. / 0.70 ACRES
BUILDING FOOTPRINT		9,334 SQ. FT. / 0.21 ACRES
ASPHALT		10,883 SQ. FT. / 0.25 ACRES
LANDSCAPING		6,984 SQ. FT. / 0.16 ACRES
CONCRETE		3,198 SQ. FT. / 0.07 ACRES

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 6A LANDSCAPING AREAS:		SQ. FT.	CITY REQ'T
TOTAL OPEN SPACE		8,155 SQ. FT. (25% REQ'D: 26.83% PROV'D)	
BLDG COVERAGE		9,334 SQ. FT. (50% MAX: 30.71% PROV'D)	

NOTE:  
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).  
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 6A PARKING REQUIREMENTS:		SQ. FT./QTY	CITY REQ'M'T
COMMERCIAL	8,354 SQ. FT.	33	(4/1000)
2-BD UNIT	10	20	(2/UNIT)
GUEST PARKING	0.25/UNIT	3	(0.25/UNIT)
TOTAL REQUIRED:		56	
TOTAL PROVIDED:		56	
ACCESSIBLE SPACES		5 (3 REQ'D 51 TO 75)	
INTERIOR		3	

NOTES:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PROJECT LANDSCAPING AREAS:		SQ. FT.	CITY REQ'T
TOTAL OPEN SPACE		17,609 SQ. FT. (25% REQ'D: 27.96% PROV'D)	
TOTAL BLDG COVERAGE		18,668 SQ. FT. (50% MAX: 29.64% PROV'D)	

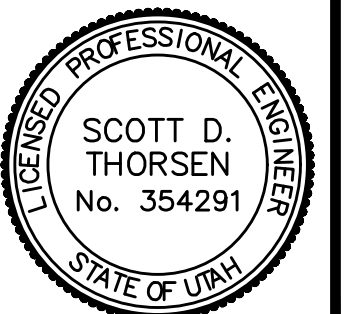
NOTE:  
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).  
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

NO	REVISIONS	BY	DATE
1	CONCEPT REVIEW COMMENTS		07/22/24

CIVIL ENGINEERING  
+ SURVEYING

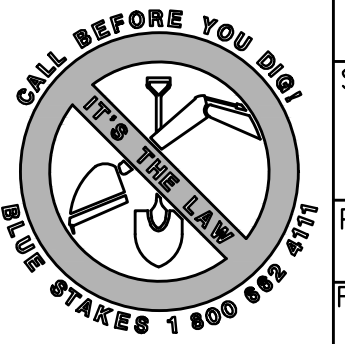
10718 SOUTH BECKSTEAD LANE, STE. 102  
SOUTH JORDAN, UT 84095 - 801-949-6296

THE GOAT HOUSE PROJECT  
2422 NORTH STAGECOACH DRIVE, SARATOGA SPRINGS, UTAH  
CONCEPT SITE PLAN



SHEET NO.	C1.0
PROJECT ID	E22-139
DATE	01/10/24
FILE NAME	PRJ-SHL6
SCALE	1"=20'

CONCEPT SUBMITTAL











LOT SIZE: 31,854 SF  
LANDSCAPING: 9,066 SF / 28.5%  
PARKING PROVIDED: 57 STALLS  
PARKING REQUIRED: 56 STALLS

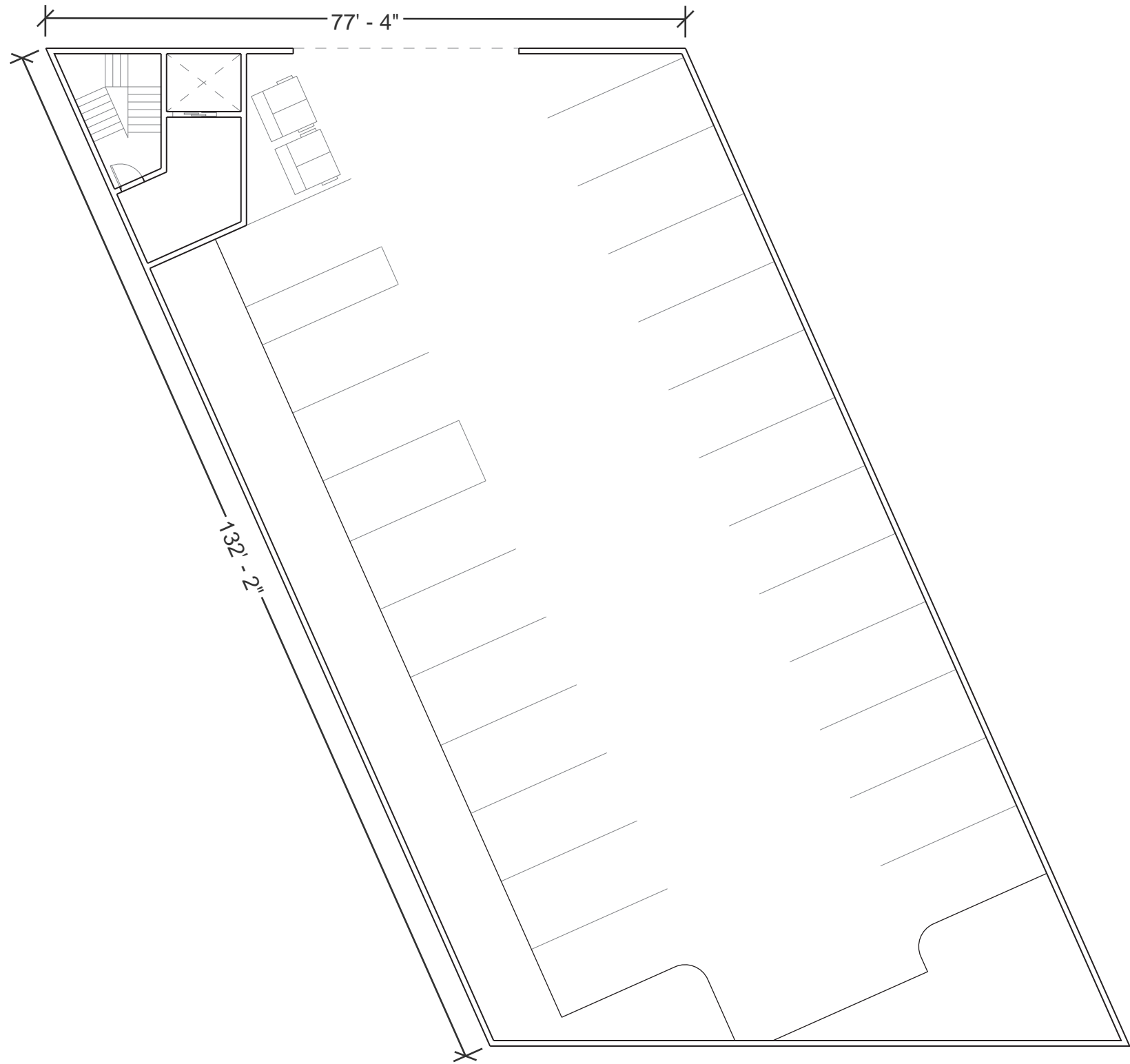


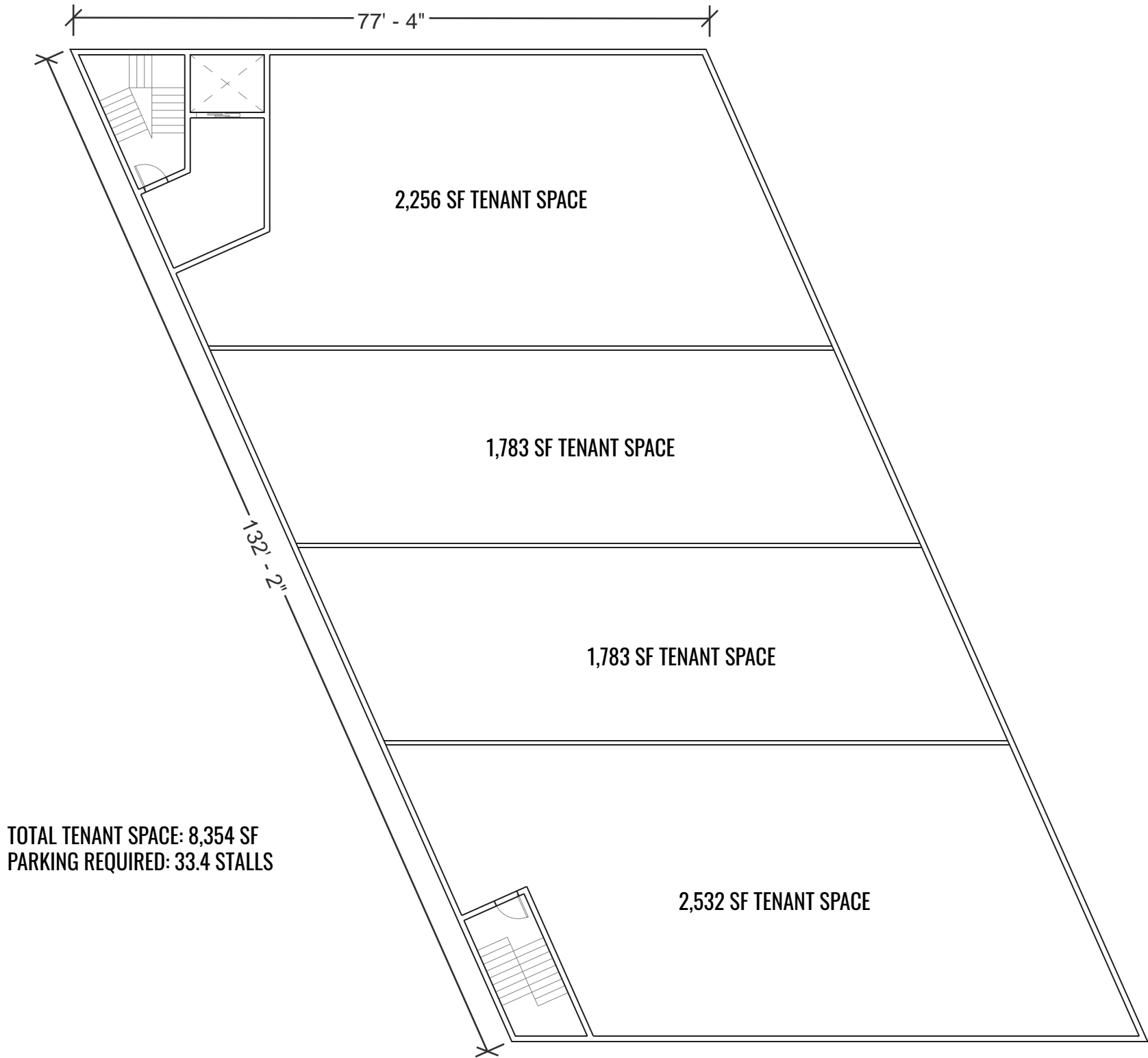
LOT SIZE: 31,132 SF  
LANDSCAPING: 8,105 SF / 25.7%  
PARKING PROVIDED: 57 STALLS  
PARKING REQUIRED: 56 STALLS

11 SURFACE STALLS

EXISTING PROPERTY LINE

NEW PROPOSED  
PROPERTY LINE







WEST ELEVATION

**THE GOAT HOUSE PROJECT**  
2422 & 2438 N. STAGECOACH DR. SARATOGA SPRINGS, UT  
BOYD BROWN TEAM + UNCOMMON ARCHITECTS  
10/26/2023 | CONCEPTUAL DESIGN - NOT FOR CONSTRUCTION



**EAST ELEVATION**



**SOUTH ELEVATION**

