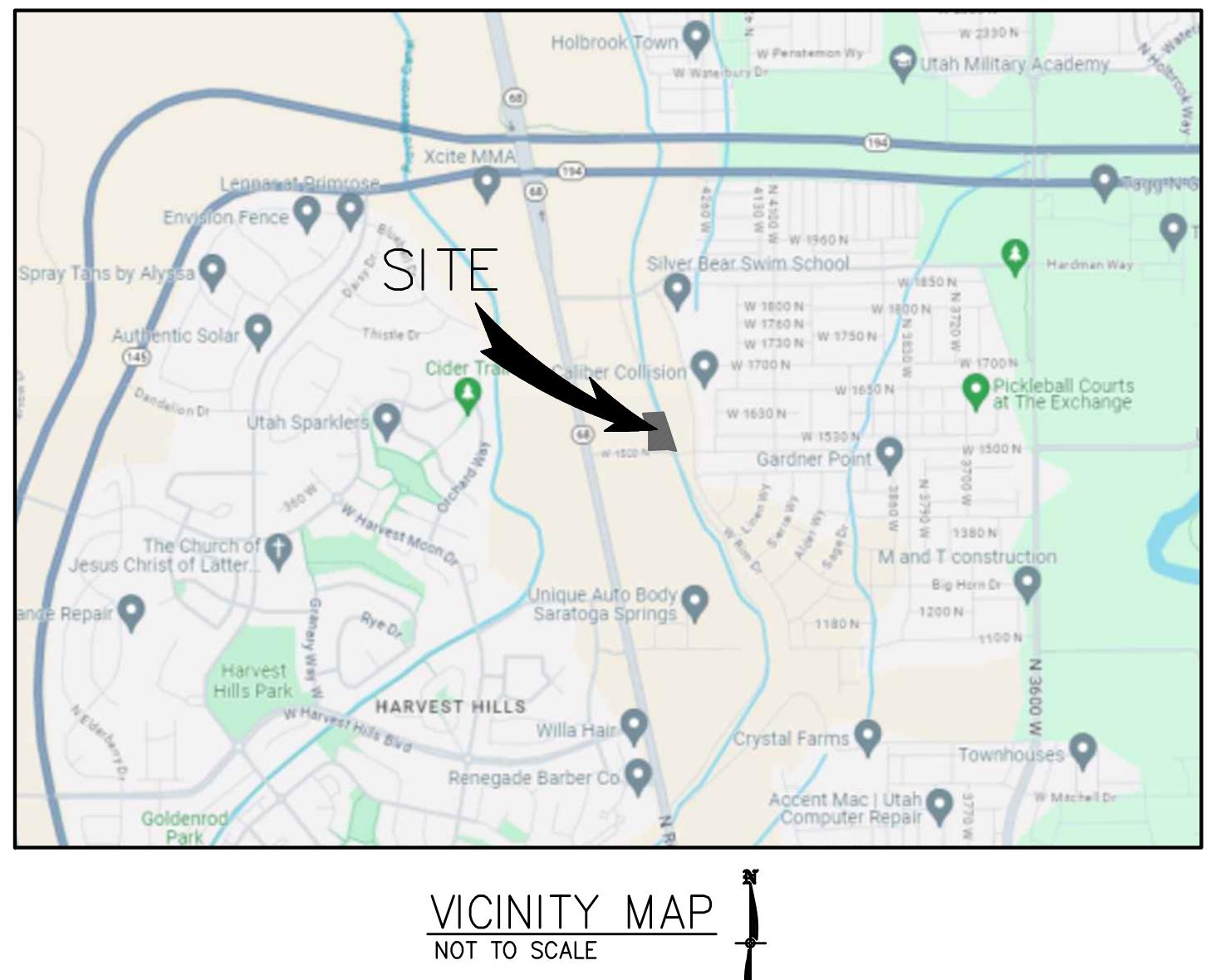
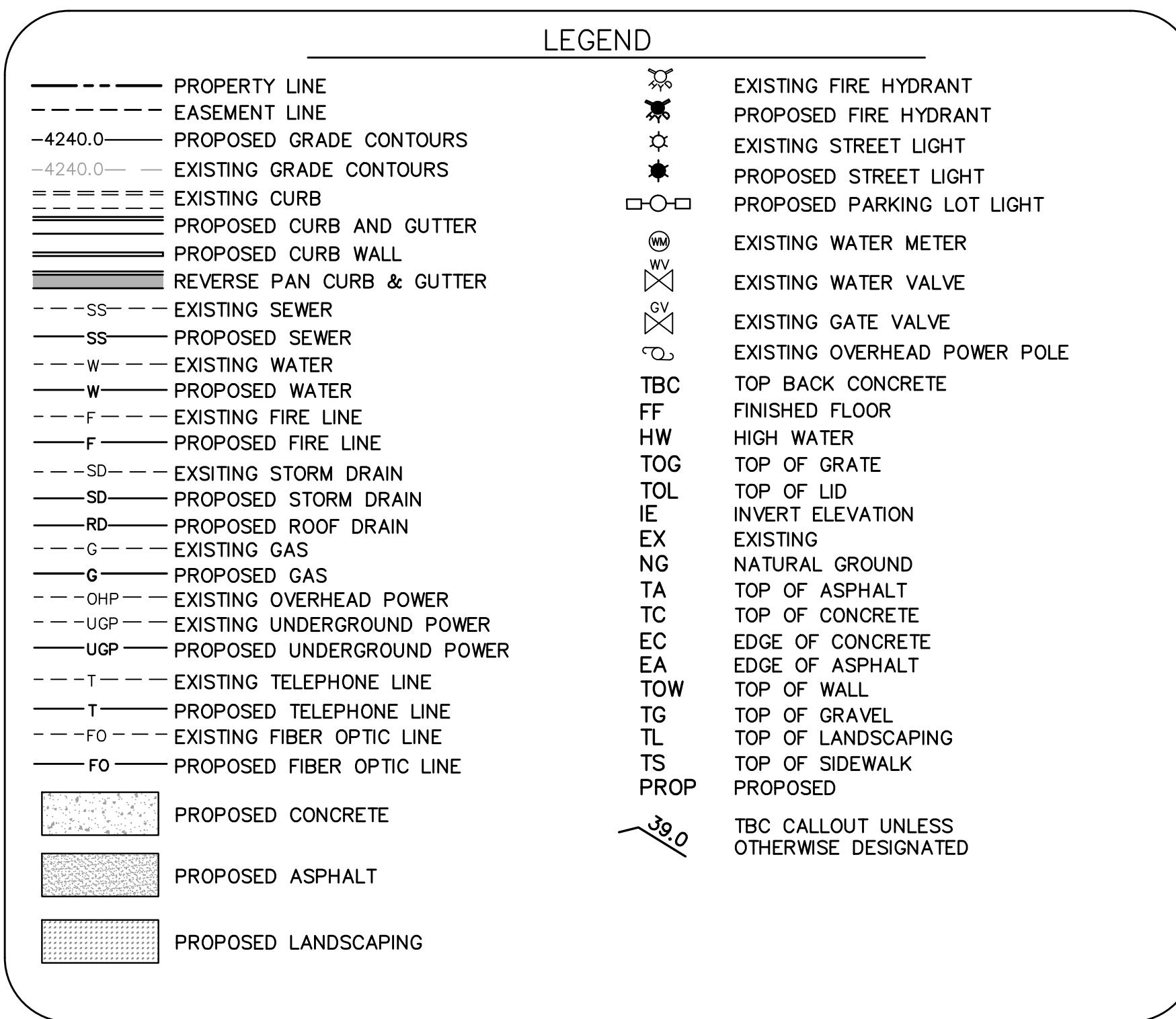


THE GOAT HOUSE PROJECT

LOT 5A & 6A – THE HUB AT SARATOGA PHASE 2 SUBDIVISION
 2438 NORTH STAGECOACH DR. // 2422 NORTH STAGECOACH DR.
 SARATOGA SPRINGS, UTAH 84045

JANUARY 10, 2024



CITY STANDARD NOTES:

- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- Existing Utilities have been noted to the best of Engineers knowledge, however it is owners and contractors responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- All exterior lighting shall meet IESNA full-cutoff criteria.

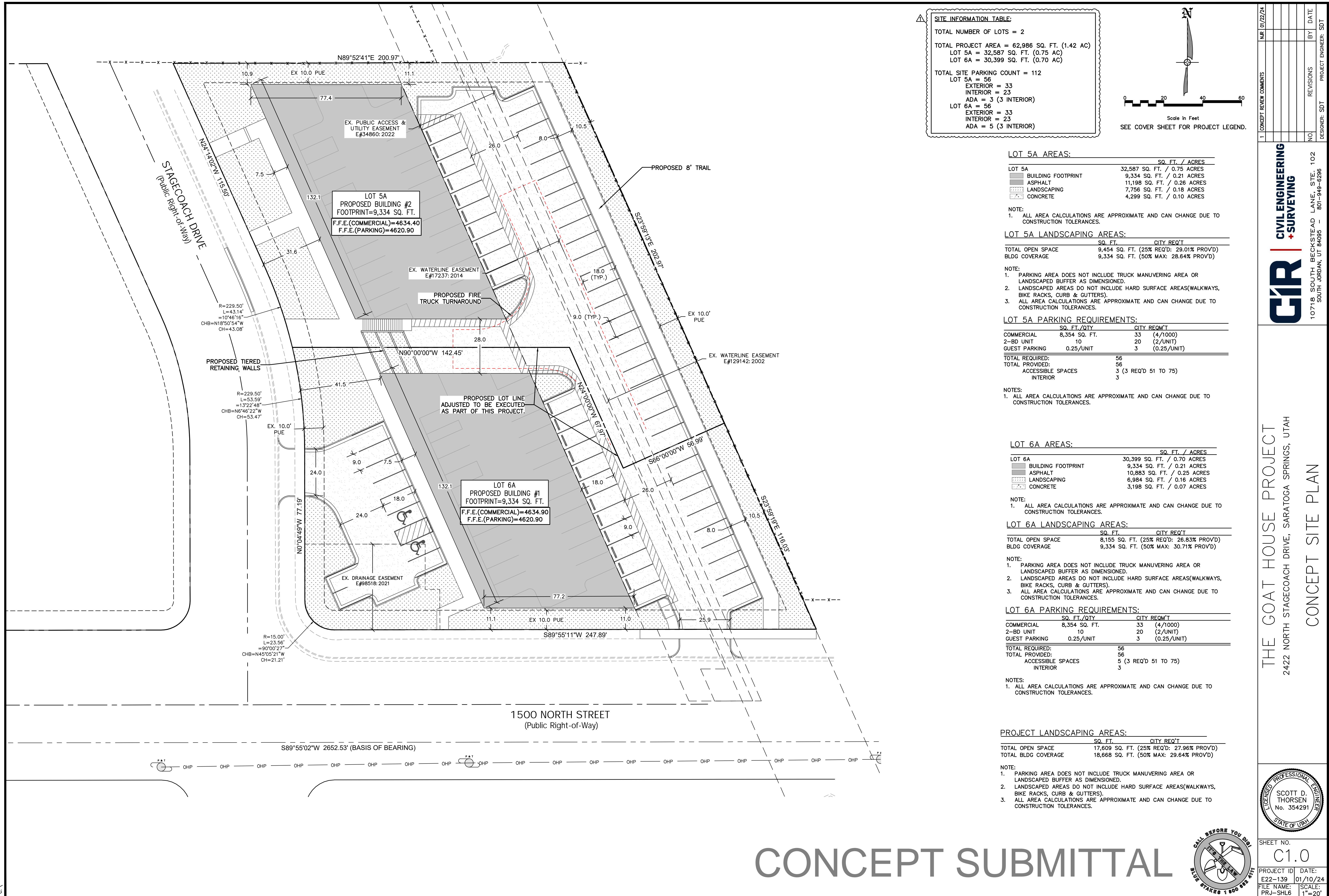
SHEET INDEX

CV	COVER SHEET
	ALTA SURVEY
C1.0	CONCEPT SITE PLAN
C2.0	CONCEPT GRADING & DRAINAGE PLAN
C3.0	CONCEPT UTILITY PLAN
C4.0	SCHEMATIC TRANSPORTATION COORDORS

CIVIL ENGINEER:	
CIR CIVIL ENGINEERING + SURVEYING	
10718 SOUTH BECKSTEAD LANE, STE. 102 SOUTH JORDAN, UT 84095 – PH: 801-949-6296	
ARCHITECT:	
UNCOMMON ARCHITECTS 684 WEST CENTER STREET MIDVALE, UTAH 84047 CONTACT PERSON: BRIAN SCOTT PH: (801) 417-9951	

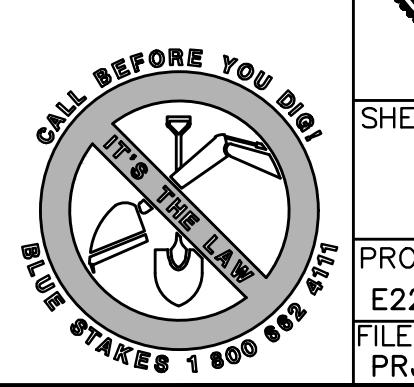
CONCEPT SUBMITTAL

1 CONCEPT REVIEW COMMENTS	NAR	01/22/24
NO. REVISIONS	NO.	REVISIONS
DESIGNER: SDT	DATE	DATE
10718 SOUTH BECKSTEAD LANE, STE. 102 SOUTH JORDAN, UT 84095 – 801-949-6296		
CIR CIVIL ENGINEERING + SURVEYING		10718 SOUTH BECKSTEAD LANE, STE. 102 SOUTH JORDAN, UT 84095 – 801-949-6296
SHEET NO.	CV	DATE: 01/10/24
PROJECT ID: E22-139	FILE NAME: PRJ-SHL6	SCALE: 1"=20'





CONCEPT SUBMITTAL



SCOTT D.
THORSEN
No. 354291
STATE OF UTAH
LICENCED PROFESSIONAL
ENGINEER

SHEET NO.

C4.0

PROJECT ID: E22-139

DATE: 01/10/24

FILE NAME: PRJ-SHL6

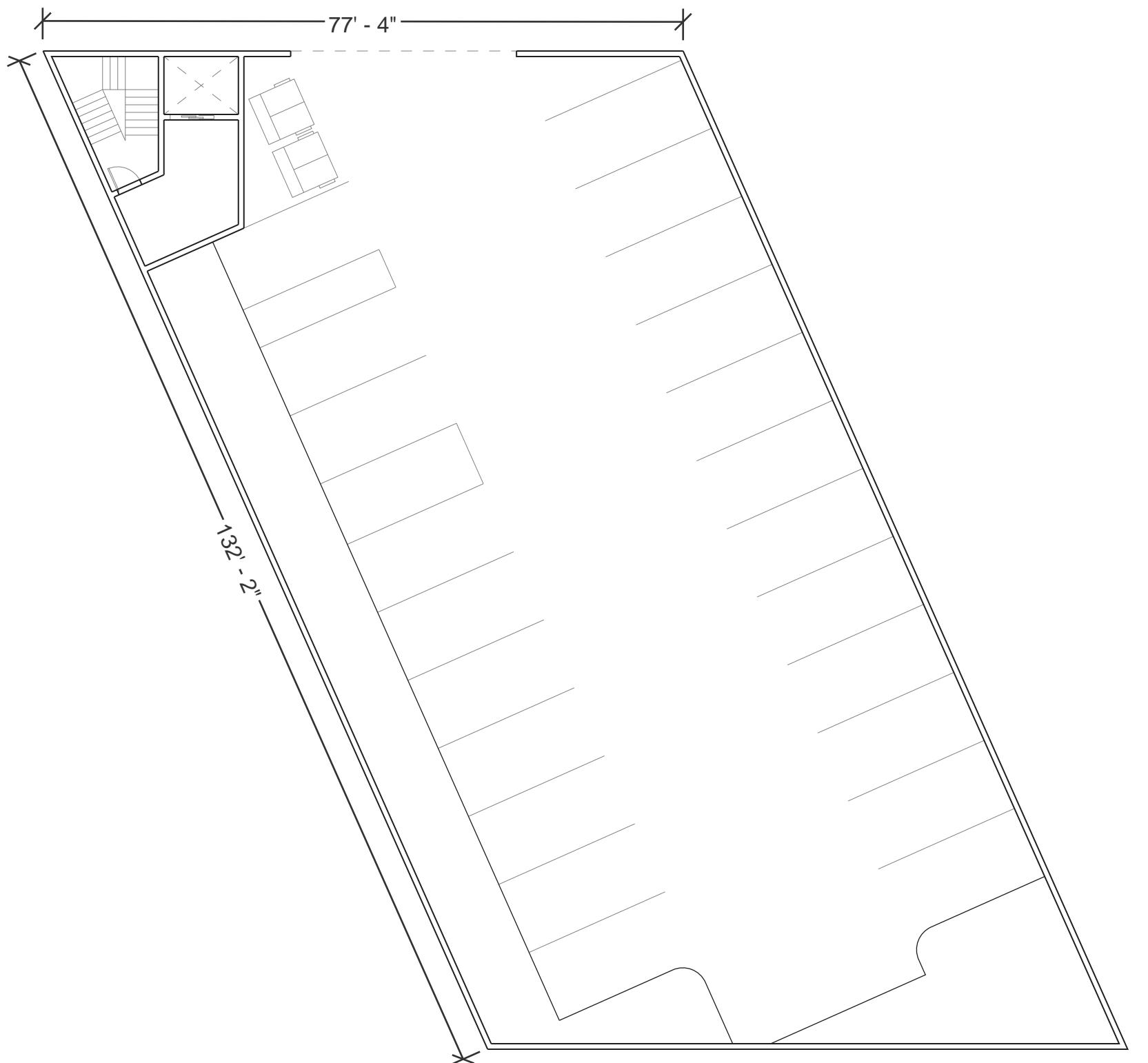
SCALE: 1"=20'

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-943-6296
10718 NORTH STAGECOACH DRIVE, SARATOGA SPRINGS, UTAH
CIR CIVIL ENGINEERING + SURVEYING
CONCEPT REVIEW COMMENTS NAR 01/22/24
NO. REVISIONS BY DATE
DESIGNER: SDT PROJECT ENGINEER: SDT

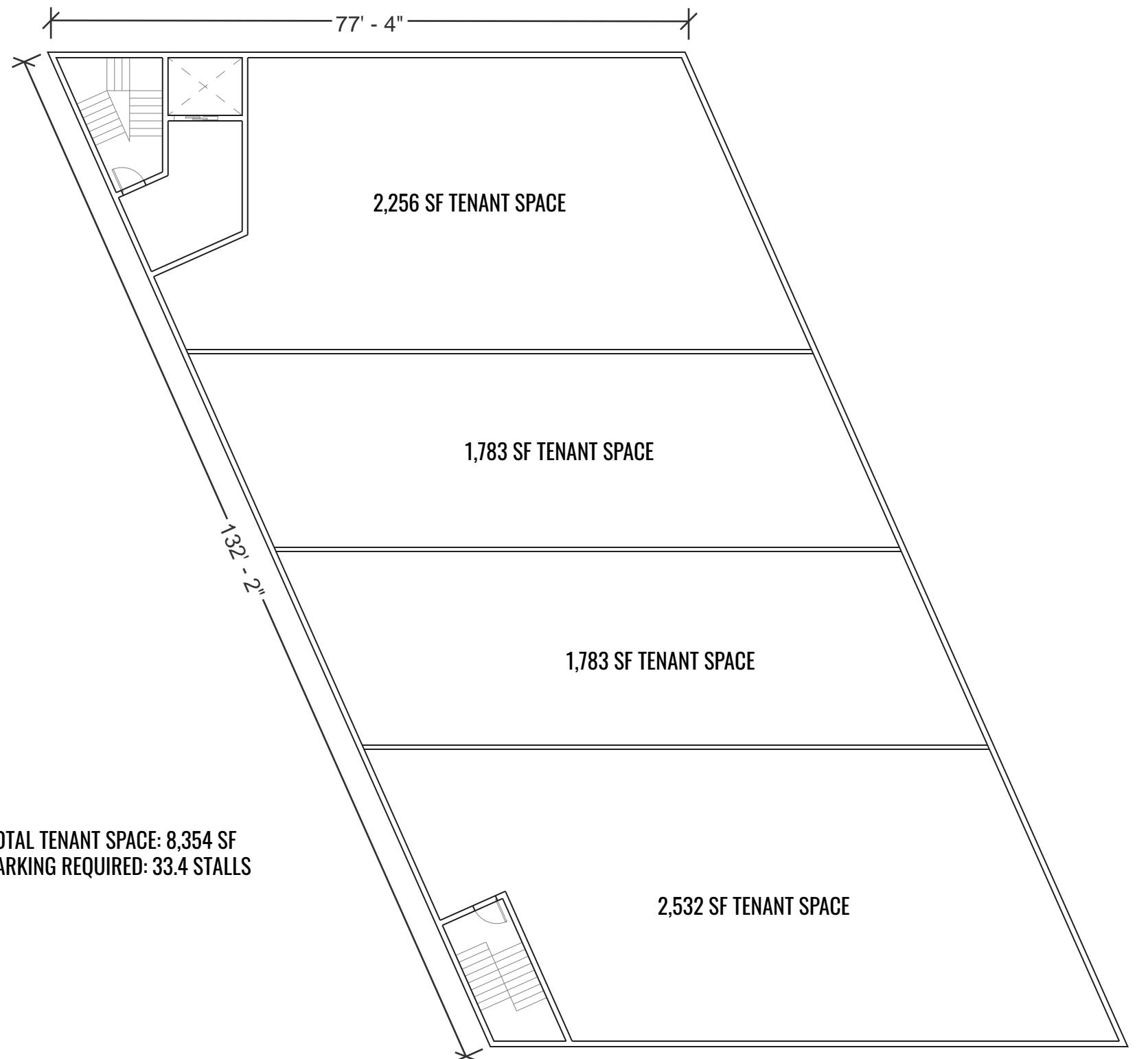
27
0 20 40 60
Scale in Feet
SEE COVER SHEET FOR PROJECT LEGEND.







LOWER LEVEL FLOOR PLAN (PARKING)





WEST ELEVATION

THE GOAT HOUSE PROJECT

2422 & 2438 N. STAGECOACH DR. SARATOGA SPRINGS, UT
BOYD BROWN TEAM + UNCOMMON ARCHITECTS
10/26/2023 | CONCEPTUAL DESIGN - NOT FOR CONSTRUCTION

EAST ELEVATION



SOUTH ELEVATION

