

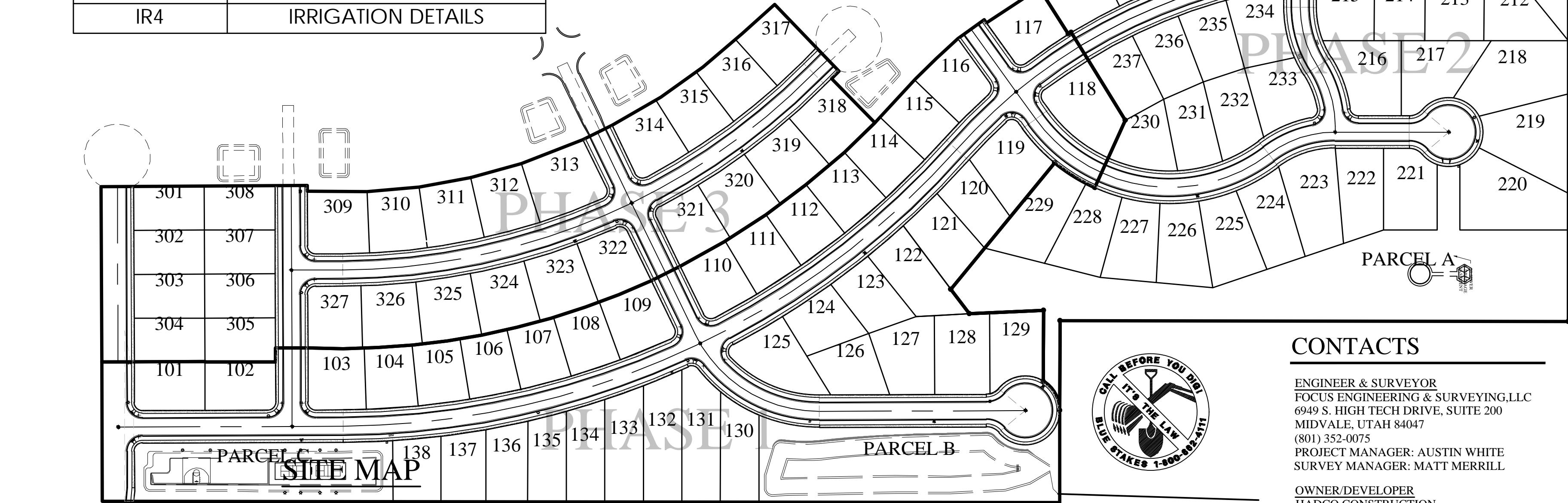
VICINITY MAP

NTS

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GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SARATOGA SPRINGS STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINENWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CITY NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
- ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH. SARATOGA SPRINGS / DESIGN / 05-2015 00500 - 16 DESIGN STANDARDS
- EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.
- DATA TABLE FOR OVERALL PROJECT & PHASES INCLUDED IN SHEET C3.1.

WESTVIEW ESTATES PLAT A

SARATOGA SPRINGS

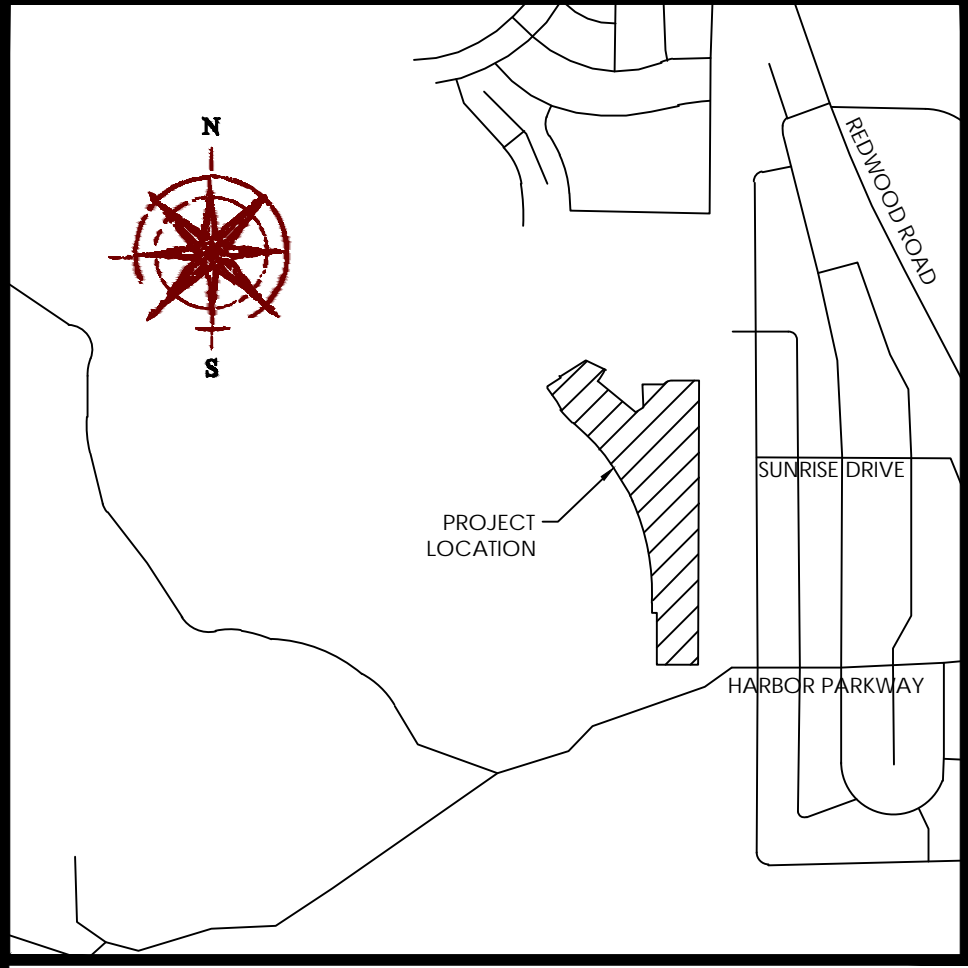
COVER SHEET

REVISION BLOCK	
#	DATE
1	DATE
2	DATE
3	DATE
4	DATE
5	DATE
6	DATE

COVER SHEET	
Scale: 1"=150'	Drawn: ATW
Date: 7/11/2025	Job #: 18-455
Sheet:	C1

FOCUS^a
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE, SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
WWW.FOCUS-EN.COM

FOR
REVIEW
ONLY



VICINITY MAP
N.T.S.

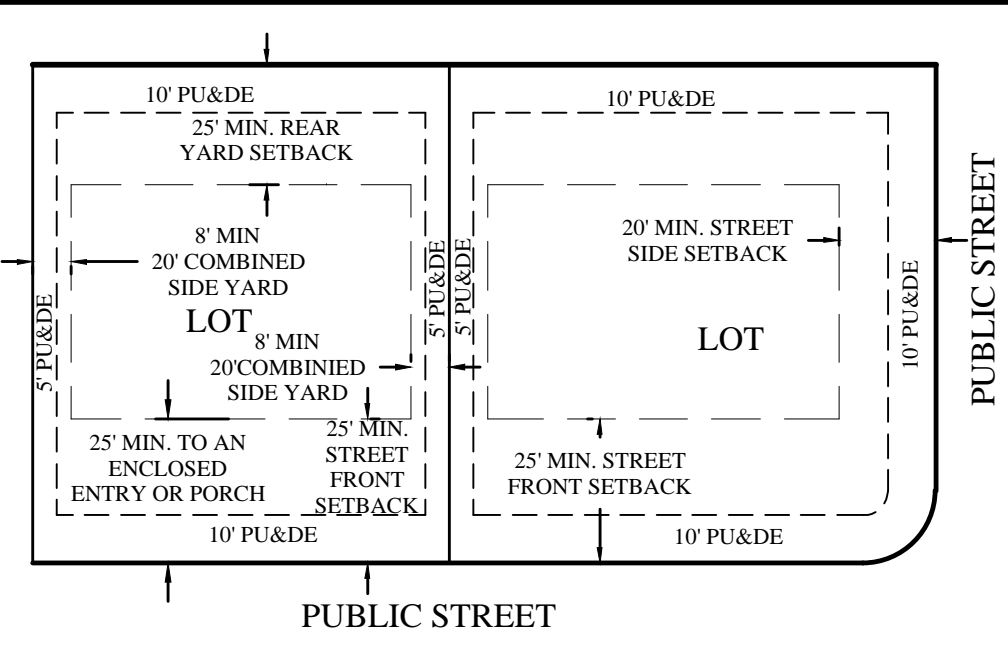
PHASE 1 CALCULATIONS:

TOTAL AREA ACRES	17.79 acres+/-
TOTAL AREA SQ.FT.	774,990.24 sq. ft. +/-
TOTAL NUMBER OF LOTS	38 lots
BUILDABLE LAND	9.72 acres +/- or 54%
OPEN SPACE/LANDSCAPING	2.82 acres +/- or 16%
SENSITIVE LANDS	0.00 acres
ROW	4.71 acres +/-
NET DENSITY	2.14 lots/acre

REQUIRED PLAT NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE 20 DAY OF SEPTEMBER, 2024.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
7. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
8. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
9. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S."
10. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY AGEC, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
11. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
12. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
13. PARCELS A AND B ARE COMMON AREAS IMPROVED BY THE DEVELOPER AND ARE MAINTAINED BY AND CONVEYED TO WESTVIEW ESTATES HOMEOWNERS ASSOCIATION.
14. THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.) ACCORDING TO FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) FIRM (FLOOD INSURANCE RATE MAP) #44902500205A, MAP EFFECTIVE DATE: JULY 17, 2002.
15. BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(iii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.
16. ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
17. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.

ROCKY MOUNTAIN POWER	ENBRIDGE GAS UTAH
1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.	QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL, OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION CONTACT ENBRIDGE GAS UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.
2. PURSUANT TO UTAH CODE ANN. 10-9a-601 et seq ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER: a. A RECORDED EASEMENT OR RIGHT-OF-WAY b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR d. ANY OTHER PROVISION OF LAW	QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH
APPROVED THIS ____ DAY OF ____ 20__	APPROVED THIS ____ DAY OF ____ 20__ By: _____ Title: _____
ROCKY MOUNTAIN POWER	



TYPICAL BUILDING SETBACKS
N.T.S.

LEGEND

---	BOUNDARY SECTION LINE
---	EASEMENT
---	RIGHT-OF-WAY LINE
---	BUILDING SETBACK
---	CENTER LINE
---	LOT LINE
---	EXISTING PROPERTY LINE
⊙	SECTION MONUMENT (FOUND)
⊕	STREET MONUMENT (TO BE SET)
●	BOUNDARY MARKERS

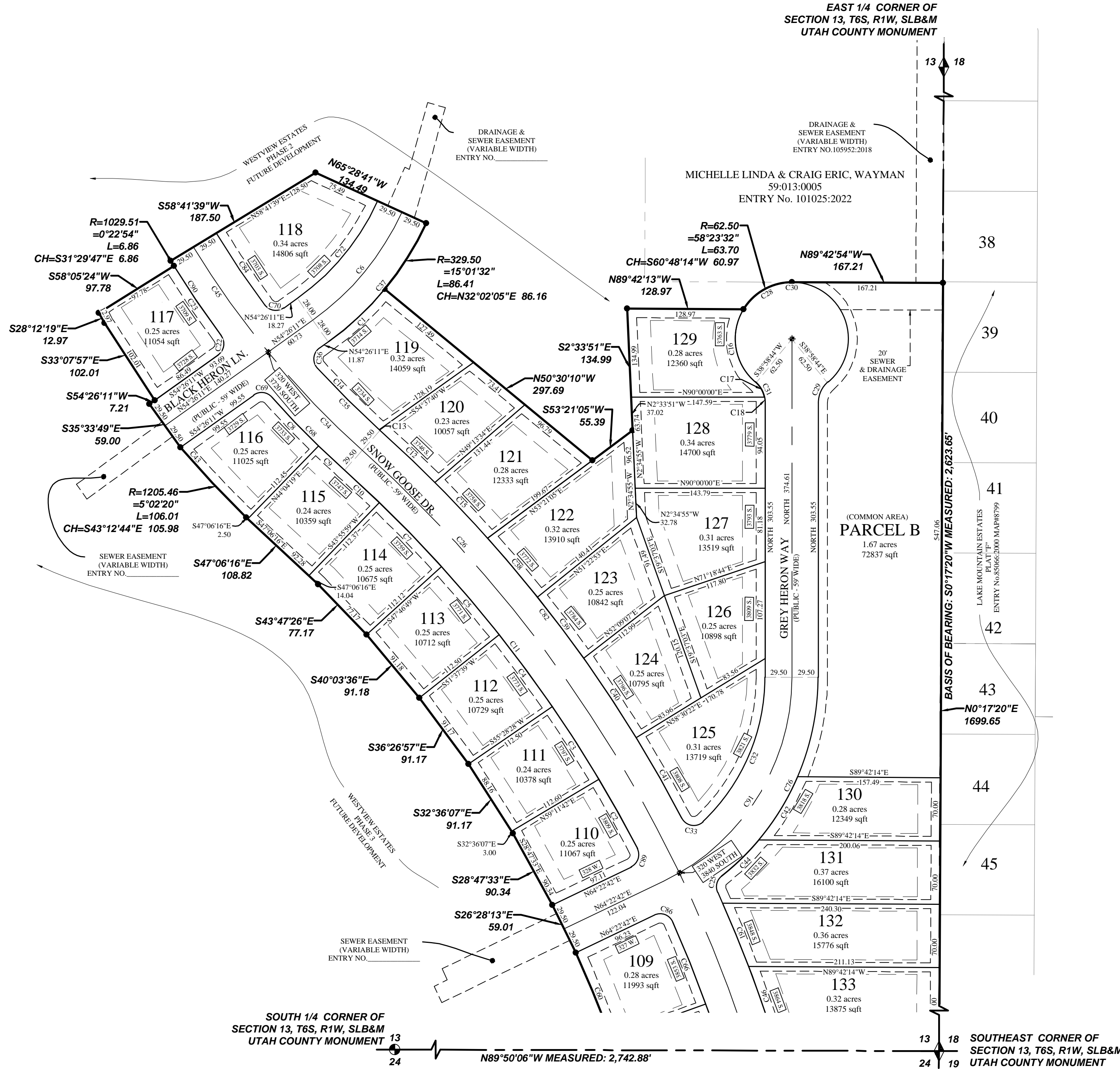
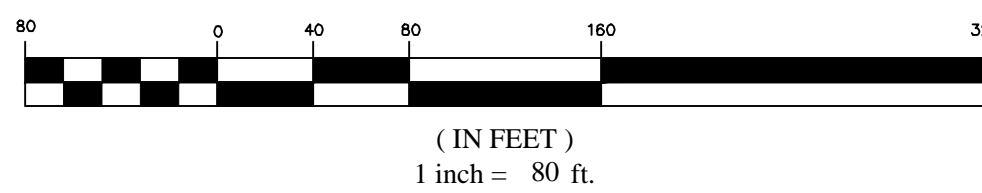
WESTVIEW ESTATES

PHASE 1

SUBDIVISION

LOCATED IN THE SE1/4 OF SECTION 13 AND THE NE1/4 OF SECTION 24, T6S, R1W,
SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

GRAPHIC SCALE



PAGE 1

SEE PAGE 2

1 OF 2

CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
Approved this ____ day of ____ A.D. 20__	Approved by the Planning Director on this ____ day of ____ A.D. 20__	Approved by the Land Use Authority on this ____ day of ____ A.D. 20__
CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
COMCAST CABLE TELEVISION	CITY ENGINEER	FIRE CHIEF
Approved this ____ day of ____ A.D. 20__	Approved by the City Engineer on this ____ day of ____ A.D. 20__	Approved by the Fire Chief on this ____ day of ____ A.D. 20__
COMCAST CABLE TELEVISION	CITY ENGINEER	CITY FIRE CHIEF
	LEHI CITY POST OFFICE	SARATOGA SPRINGS ATTORNEY
	Approved by Post Office Representative on this ____ day of ____ A.D. 20__	Approved by Saratoga Springs Attorney on this ____ day of ____ A.D. 20__
	LEHI CITY POST OFFICE REPRESENTATIVE	SARATOGA SPRINGS ATTORNEY
		OWNER/DEVELOPER HADCO CONSTRUCTION 1450 WEST 1850 NORTH LEHI, UTAH 84043 (801) 766-7611 CONTACT: MARK SKOUSEN
		PREPARED BY FOCUS ENGINEERING AND SURVEYING, LLC 6949 SOUTH HIGH TECH DRIVE SUITE 200 MIDVALE, UT 84047 P.O. (801) 332-0075 www.focusnms.com

SURVEYOR'S CERTIFICATE

I, the undersigned surveyor, do hereby certify that I am a registered Land Surveyor and that I hold a license (number shown below) in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge. I also certify that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

Justin Lundberg
Professional Land Surveyor
License No. 125544339

Date

BOUNDARY DESCRIPTION

A part of the Southeast Quarter of Section 13 and the Northeast Quarter of Section 24, Township 6 South, Range 1 West, Salt Lake Base and Meridian, located in Saratoga Springs City, Utah County, Utah, being more particularly described as follows:

Beginning at the Southeast corner of Section 13, Township 6 South, Range 1 West, Salt Lake Base & Meridian (Basis of Bearing: N0°17'20\"/>

Contains 774,990.24 sq. ft or 17.79 acres +/- (38 Lots, 2 Parcels)

OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels, and streets, together with easements and rights-of-way, to be hereafter known as:

WESTVIEW ESTATES PHASE 1

and do hereby dedicate for the perpetual use of the public and City all parcels, lots, streets, easements, rights-of-way, and public amenities shown on this plat as intended for public or City use. The owner(s) and all agents, successors, and assigns voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street, easement or right-of-way that will interfere with the City's use, maintenance, and operation of the street or utilities. The owner(s) and all agents, successors, and assigns assume all liability with respect to the creation of this subdivision, the alteration of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision, and the development activity within this subdivision by the owners and all agents, successors, and assigns. Pursuant to Utah Code 10-9A-604(D) the owner hereby conveys the common area, as indicated hereon, to the Westview Estates Homeowners Association with a registered address of 1850 North 1450 West, Lehi, UT 84043.

In witness whereof I have hereunto set my hand this ____ day of ____ A.D. 20__.

Signature _____ Print Name _____ Title & Entity _____

Signature _____ Print Name _____ Title & Entity _____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF _____, S.S.

On this ____ day of _____, 20__, personally appeared before me _____ who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).

I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.
Notary Public Signature: _____

Print Name As Commissioned: _____

Commission Number: _____

My commission expires: _____

A Notary Public Commissioned In Utah

APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated hereon, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public.
This ____ day of _____, A.D. 20__.

APPROVED BY CITY MAYOR _____ ATTEST
CITY-RECORDER
(SEE SEAL BELOW)

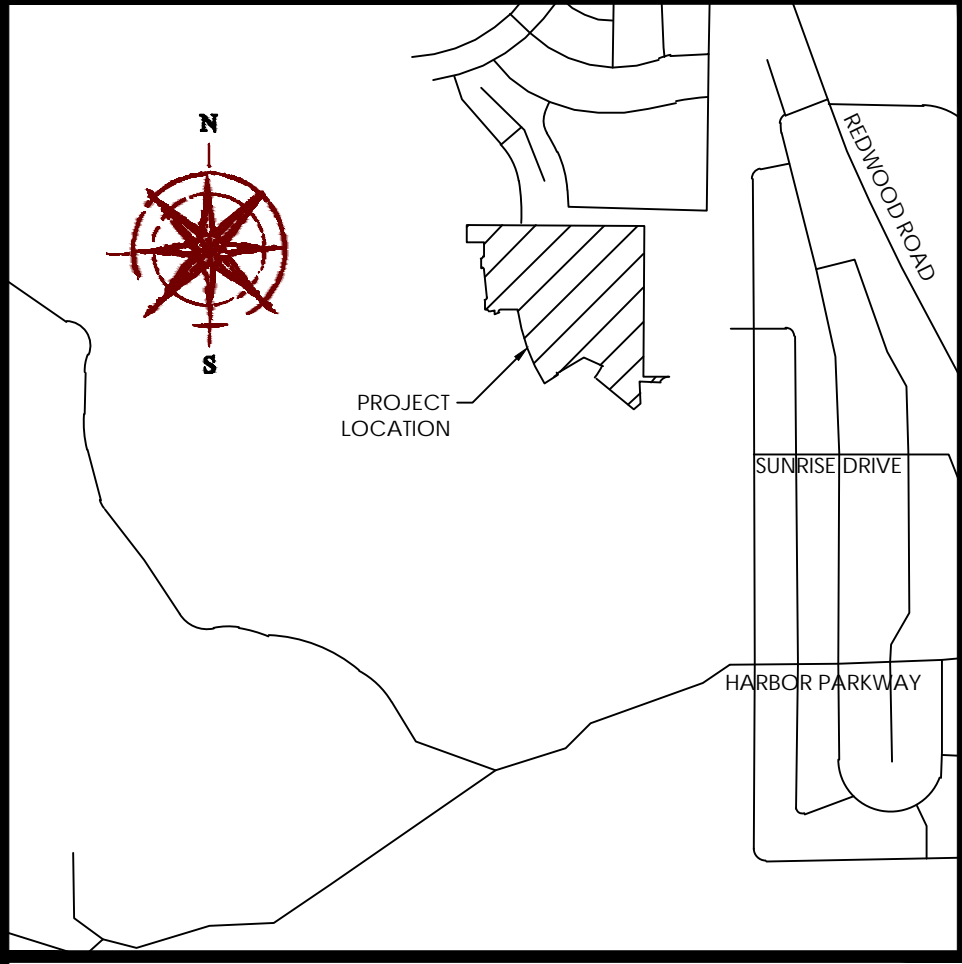
WESTVIEW ESTATES

PHASE 1

SUBDIVISION

LOCATED IN THE SE1/4 OF SECTION 13 AND THE NE1/4 OF SECTION 24, T6S, R1W,
SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL



VICINITY MAP N.T.S.

REQUIRED PLAT NOTES

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDED OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF ____, 20__.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. ____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY AGEC, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE FOR THE SIGHTS, SOUNDS, ODORS, AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- PARCEL C COMMON AREA IMPROVED BY THE DEVELOPER AND CONVEYED TO AND MAINTAINED BY THE WESTVIEW ESTATES HOMEOWNERS ASSOCIATION.
- THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.) ACCORDING TO FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) FIRM (FLOOD INSURANCE RATE MAP) #44902500205A, MAP EFFECTIVE DATE: JULY 17, 2002.
- BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(iii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.
- ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
- COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.

ROCKY MOUNTAIN POWER	ENBRIDGE GAS UTAH
<p>1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.</p> <p>2. PURSUANT TO UTAH CODE ANN. 10-9a-601 et seq. ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:</p> <p>a. A RECORDED EASEMENT OR RIGHT-OF-WAY</p> <p>b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS</p> <p>c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR</p> <p>d. ANY OTHER PROVISION OF LAW</p> <p>APPROVED THIS ____ DAY OF ____ 20__</p> <p>ROCKY MOUNTAIN POWER</p>	<p>QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH, HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABRIGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING PRESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION CONTACT ENBRIDGE GAS UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.</p> <p>QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH</p> <p>Approved this ____ DAY OF ____ A.D. 20__</p> <p>By: _____</p> <p>Title: _____</p>

LEGEND

	BOUNDARY
	SECTION LINE
	EASEMENT
	RIGHT-OF-WAY LINE
	BUILDING SETBACK
	CENTER LINE
	LOT LINE
	EXISTING PROPERTY LINE
	SECTION MONUMENT (FOUND)
	STREET MONUMENT (TO BE SET)
	BOUNDARY MARKERS

CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
Approved this ____ day of ____ A.D. 20__	Approved by the Planning Director on this day of ____ A.D. 20__	Approved by the Land Use Authority on this day of ____ A.D. 20__
CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
COMCAST CABLE TELEVISION	CITY ENGINEER	FIRE CHIEF
Approved this ____ day of ____ A.D. 20__	Approved by the City Engineer on this day of ____ A.D. 20__	Approved by the Fire Chief on this day of ____ A.D. 20__
COMCAST CABLE TELEVISION	CITY ENGINEER	CITY FIRE CHIEF

LEHI CITY POST OFFICE	SARATOGA SPRINGS ATTORNEY
Approved by Post Office Representative on this day of ____ A.D. 20__	Approved by Saratoga Springs Attorney on this day of ____ A.D. 20__
LEHI CITY POST OFFICE REPRESENTATIVE	SARATOGA SPRINGS ATTORNEY
PREPARED BY FOCUS ENGINEERING AND SURVEYING, LLC 6949 SOUTH HIGH TECH DRIVE, SUITE 200 MIDVALE, UT 84047 P/E (801) 352-0075 www.focusmtn.com	

WESTVIEW ESTATES

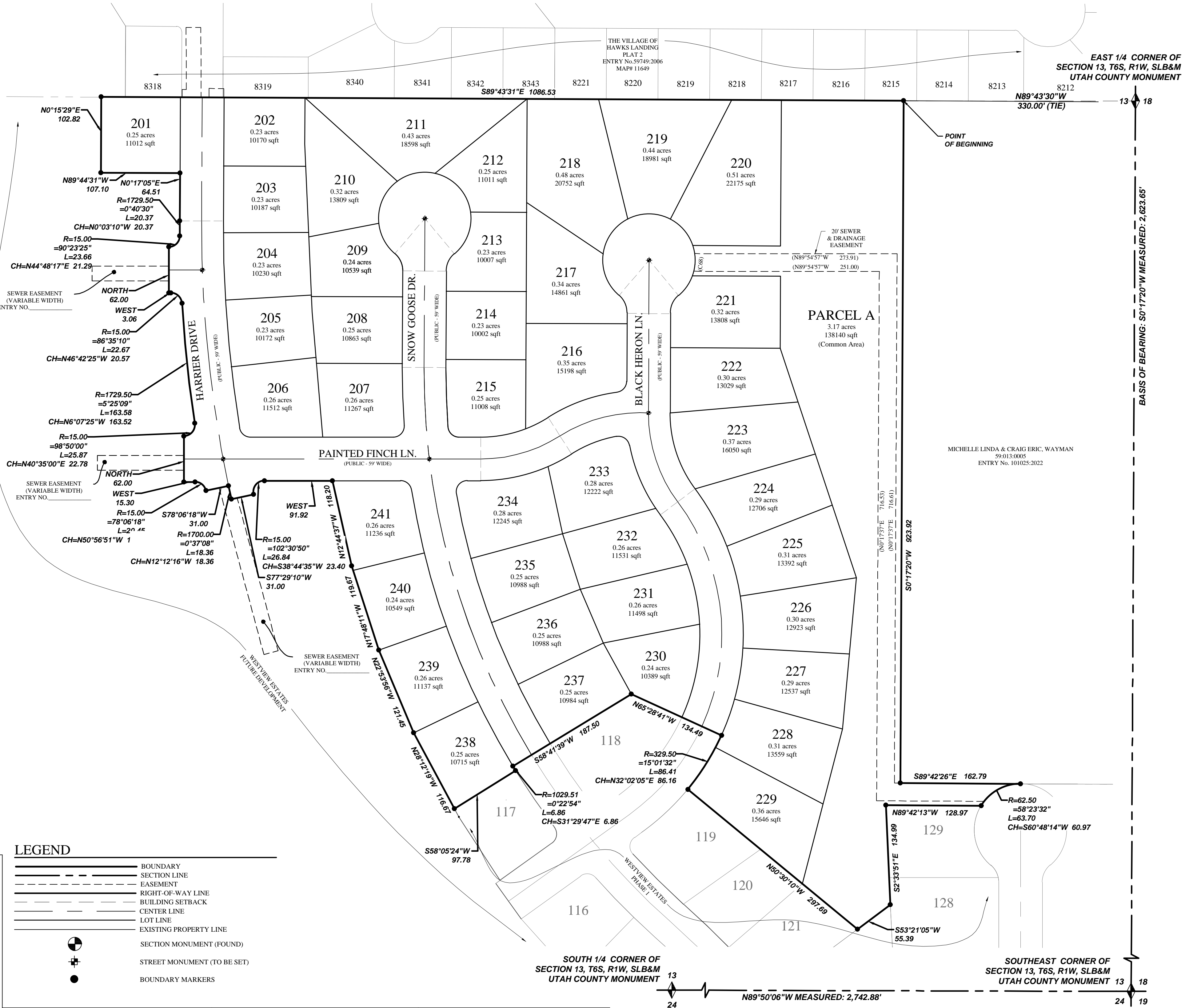
PHASE 2

SUBDIVISION
LOCATED IN THE SE 1/4 OF SECTION 13, T6S, R1W,
SALT LAKE BASE & MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.

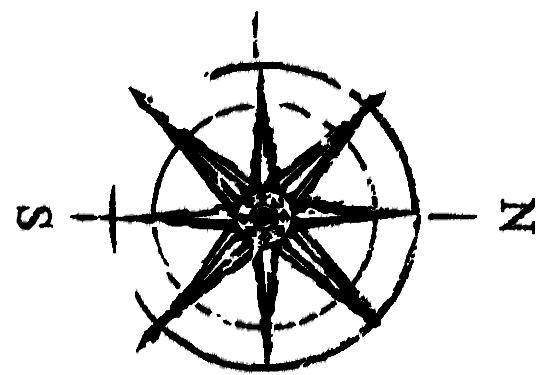
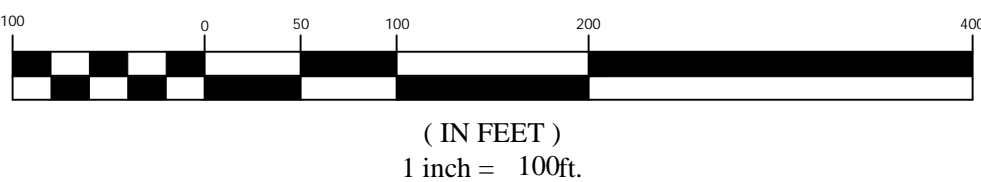


LEGEND

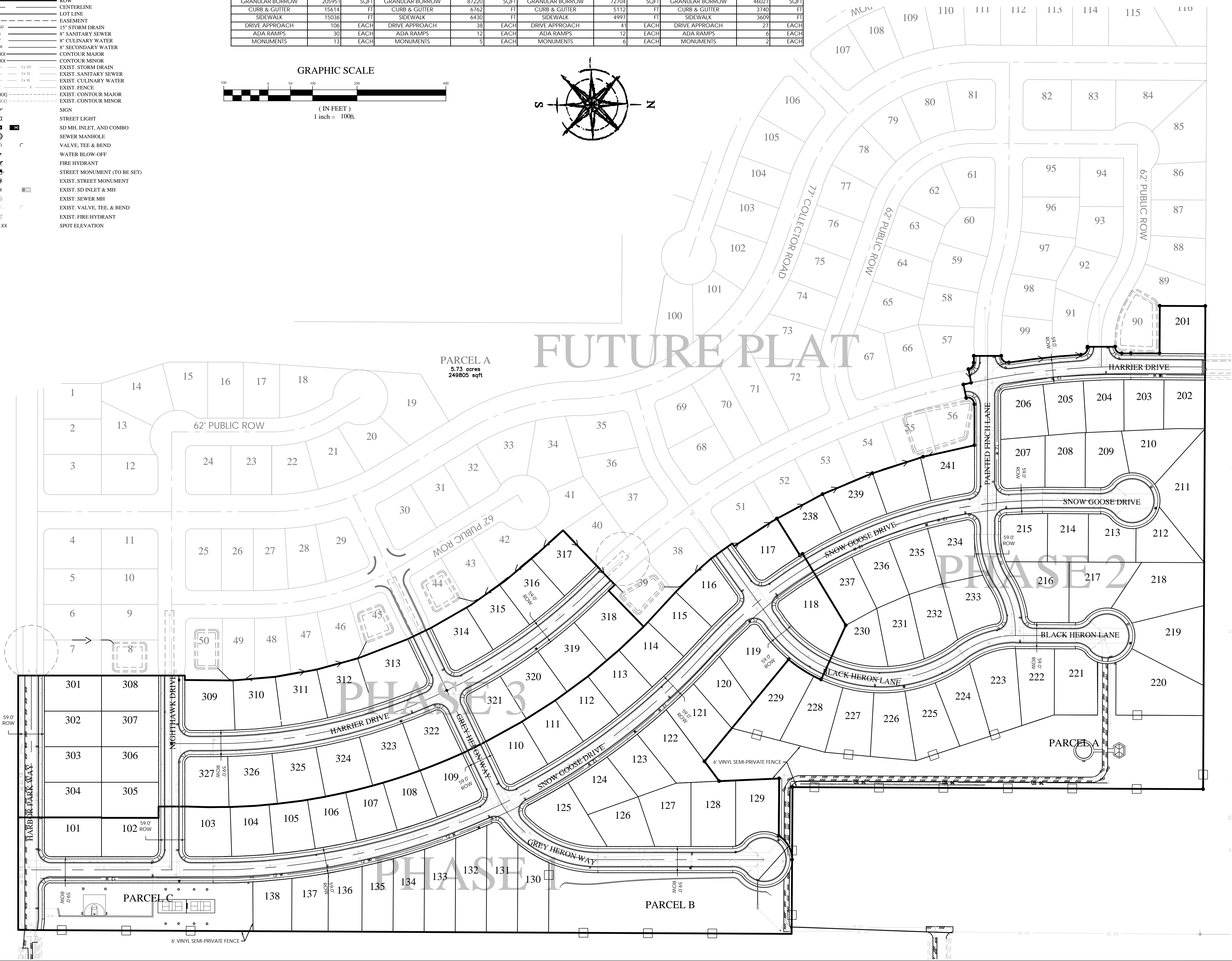
—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
15 SD	15" STORM DRAIN
8 SW	8" SANITARY SEWER
8 SW	8" CULINARY WATER
8 SW	8" SECONDARY WATER
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
—	SIGN
—	STREET LIGHT
—	SD MH, INLET, AND COMBO
—	SEWER MANHOLE
—	VALVE, TEE & BEND
—	WATER BLOW-OFF
—	FIRE HYDRANT
—	STREET MONUMENT (TO BE SET)
—	EXIST. STREET MONUMENT
—	EXIST. SD INLET & MH
—	EXIST. SEWER MH
—	EXIST. VALVE, TEE, & BEND
—	EXIST. FIRE HYDRANT
—	SPOT ELEVATION

PLAT A DATA			PHASE 1 DATA			PHASE 2 DATA			PHASE 3 DATA		
ITEM DESCRIPTION	QUANTITY	UNIT	ITEM DESCRIPTION	QUANTITY	UNIT	ITEM DESCRIPTION	QUANTITY	UNIT	ITEM DESCRIPTION	QUANTITY	UNIT
PAVEMENT	205951	SOFT	PAVEMENT	87220	SOFT	PAVEMENT	72704	SOFT	PAVEMENT	46027	SOFT
UNTREATED BASE COURSE	205951	SOFT	UNTREATED BASE COURSE	87220	SOFT	UNTREATED BASE COURSE	72704	SOFT	UNTREATED BASE COURSE	46027	SOFT
GRANULAR BORROW	205951	SOFT	GRANULAR BORROW	87220	SOFT	GRANULAR BORROW	72704	SOFT	GRANULAR BORROW	46027	SOFT
CURB & GUTTER	15614	FT	CURB & GUTTER	6762	FT	CURB & GUTTER	5112	FT	CURB & GUTTER	3740	FT
SIDEWALK	15036	FT	SIDEWALK	6430	FT	SIDEWALK	4997	FT	SIDEWALK	3609	FT
DRIVE APPROACH	106	EACH	DRIVE APPROACH	38	EACH	DRIVE APPROACH	41	EACH	DRIVE APPROACH	27	EACH
ADA RAMPS	30	EACH	ADA RAMPS	12	EACH	ADA RAMPS	12	EACH	ADA RAMPS	6	EACH
MONUMENTS	13	EACH	MONUMENTS	5	EACH	MONUMENTS	6	EACH	MONUMENTS	2	EACH

GRAPHIC SCALE



A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118



FOR
REVIEW
ONLY

WESTVIEW ESTATES PLAT A
SARATOGA SPRINGS
OVERALL SITE PLAN

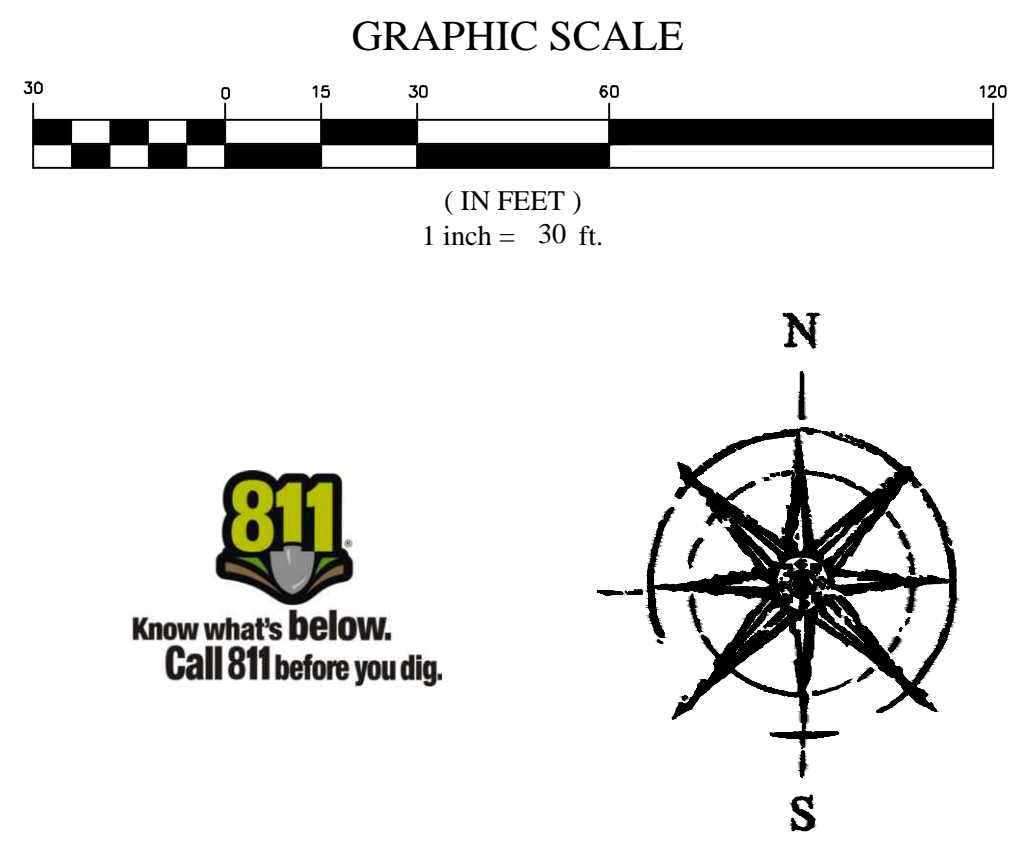
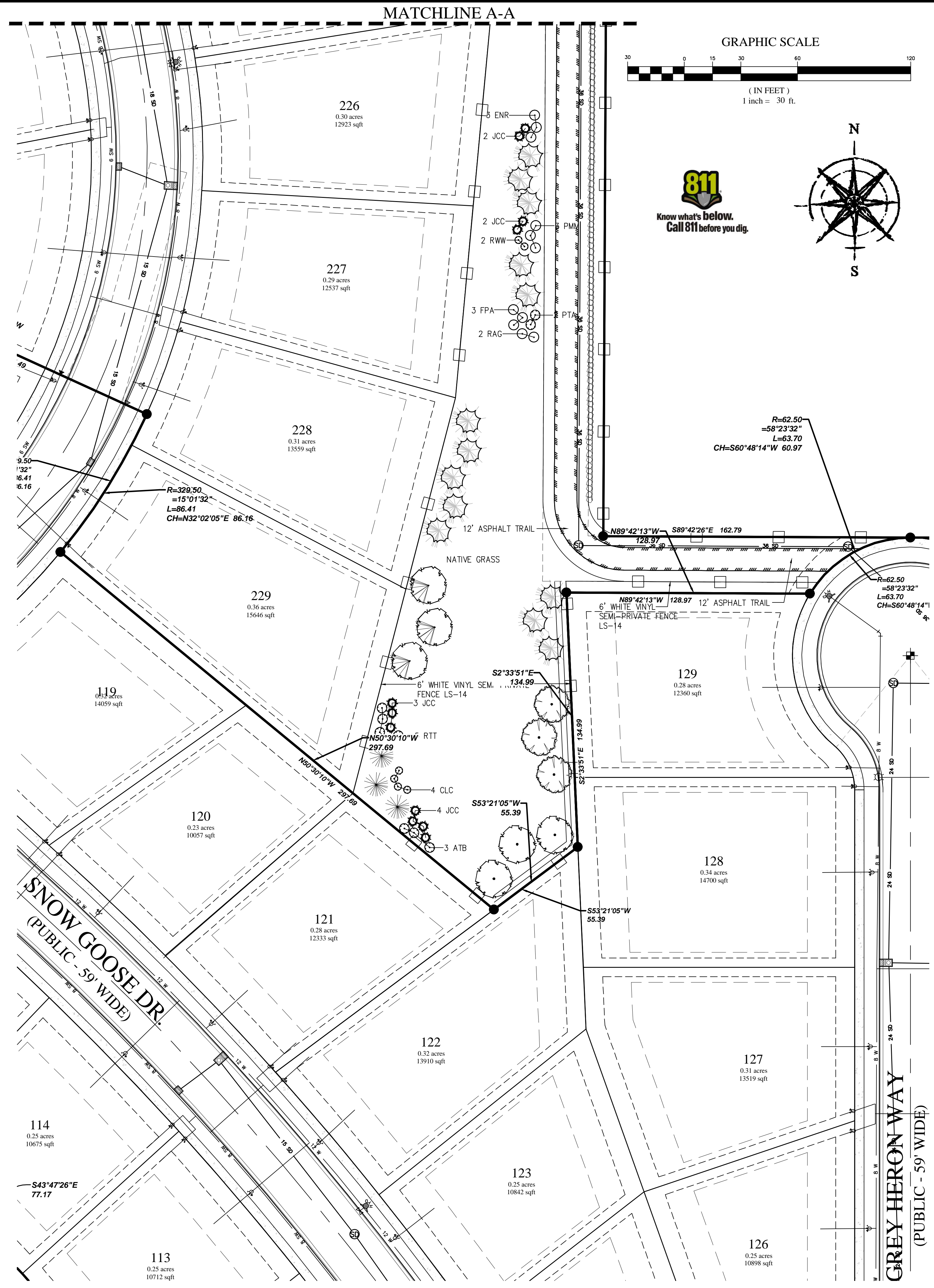
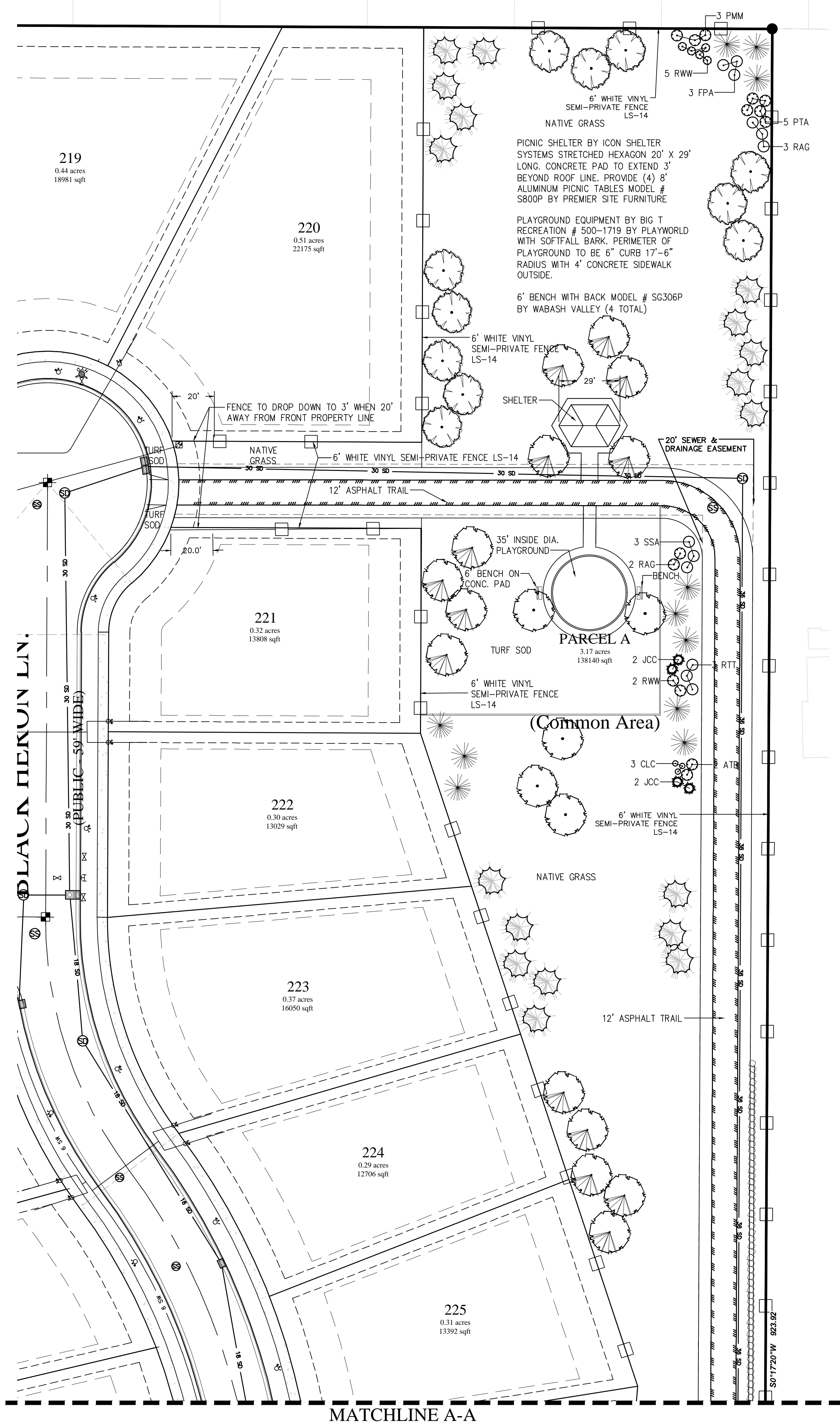
REVISION BLOCK	
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OVERALL SITE
PLAN

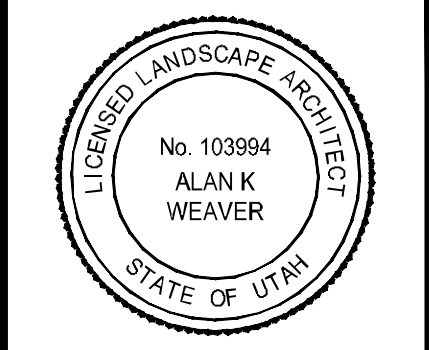
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Date: 7/11/2025	Job #: 18-455
Sheet:	

C3





FOCUS
ENGINEERING AND SURVEYING, LLC
6949 SOUTH HIGH TECH DRIVE SUITE 200
MIDVALE, UT 84047 PH: (801) 352-0075
www.focusutah.com

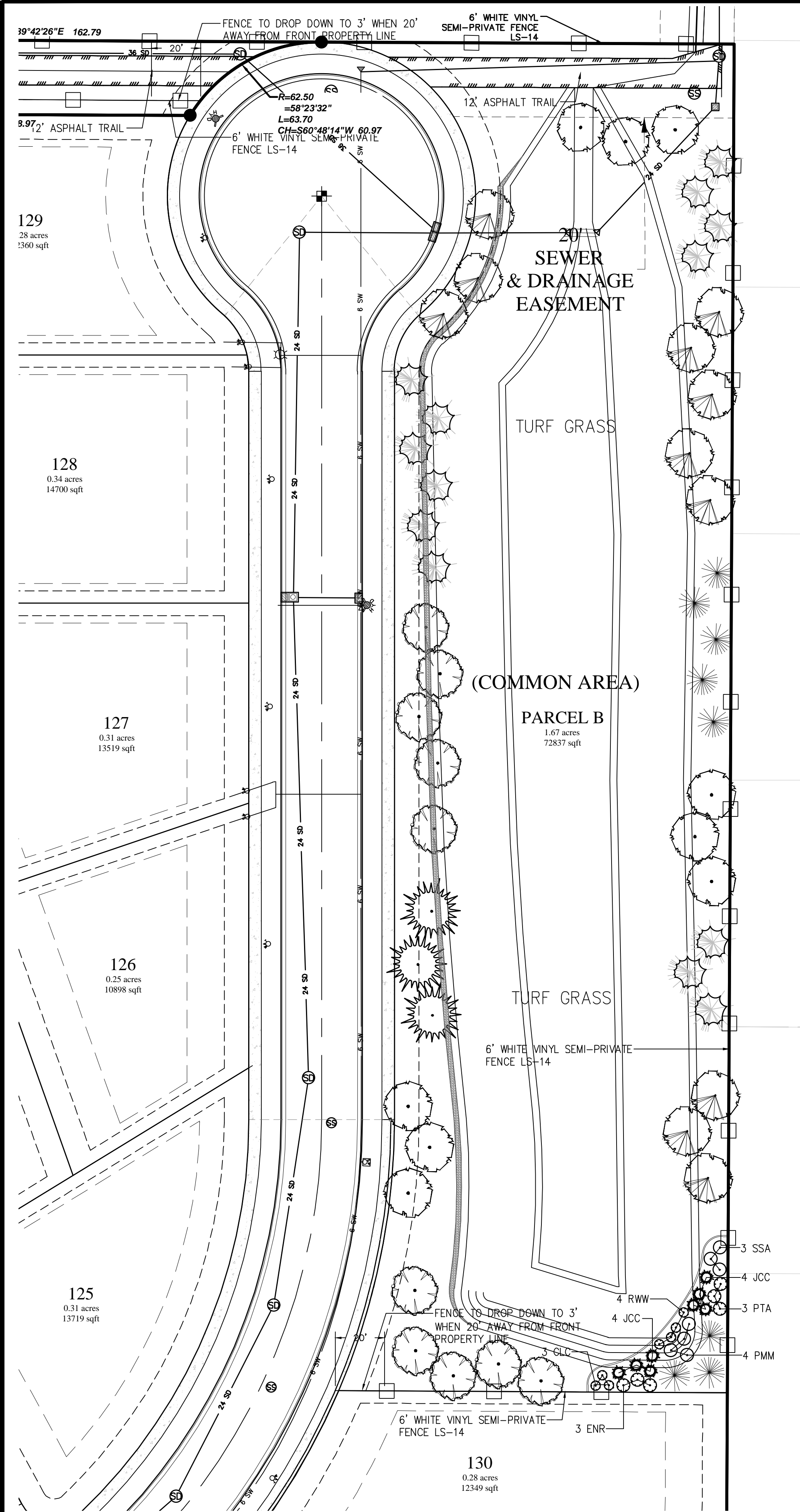


WESTVIEW ESTATES PLAT A
SARATOGA SPRINGS
LANDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
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6		

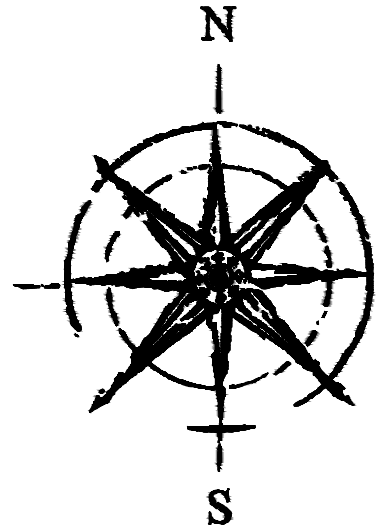
LANDSCAPE PLAN

Scale: 1"=30' Drawn: AW
Date: 7/11/2025 Job #: 18-455
Sheet: **L1**



TREE LEGEND (Phase 1,2,3)

- Acer grandidentatum (34 total)
Bigtooth Maple 2" cal. (Waterwise)
- Crataegus douglasii (22 total)
Black Hawthorn 2" cal. (Waterwise)
- Quercus gambelii (32 total)
Scrub Oak 2" cal. (Waterwise)
- Juniperus osteosperma (62 total)
Utah Juniper 6' height (Waterwise)
- Juniperus monosperma (35 total)
One-seed Juniper 6' height (Waterwise)
- Pseudotsuga menziesii (3 total)
Douglas Fir 6' height (Waterwise)

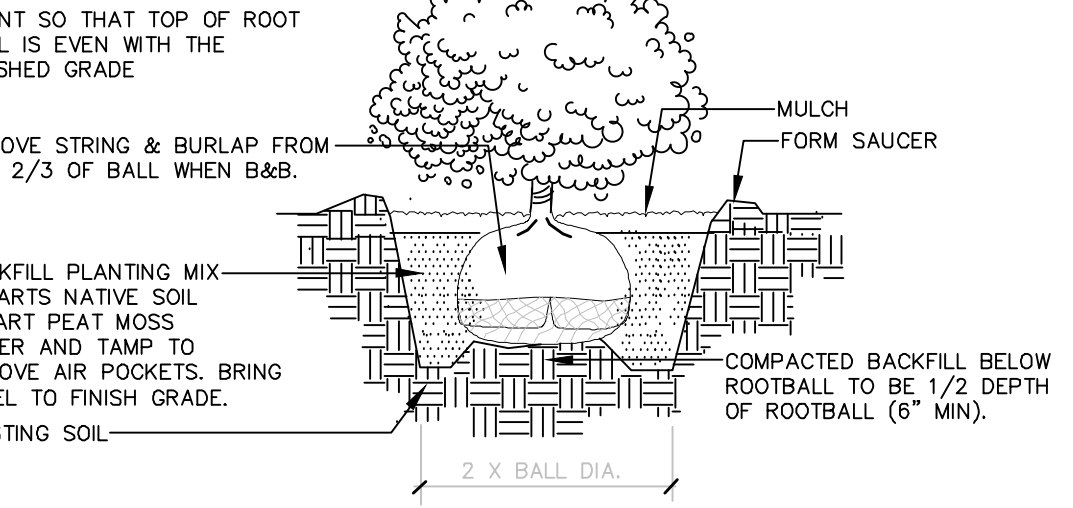


PLANT SCHEDULE (PHASE 1,2,3)

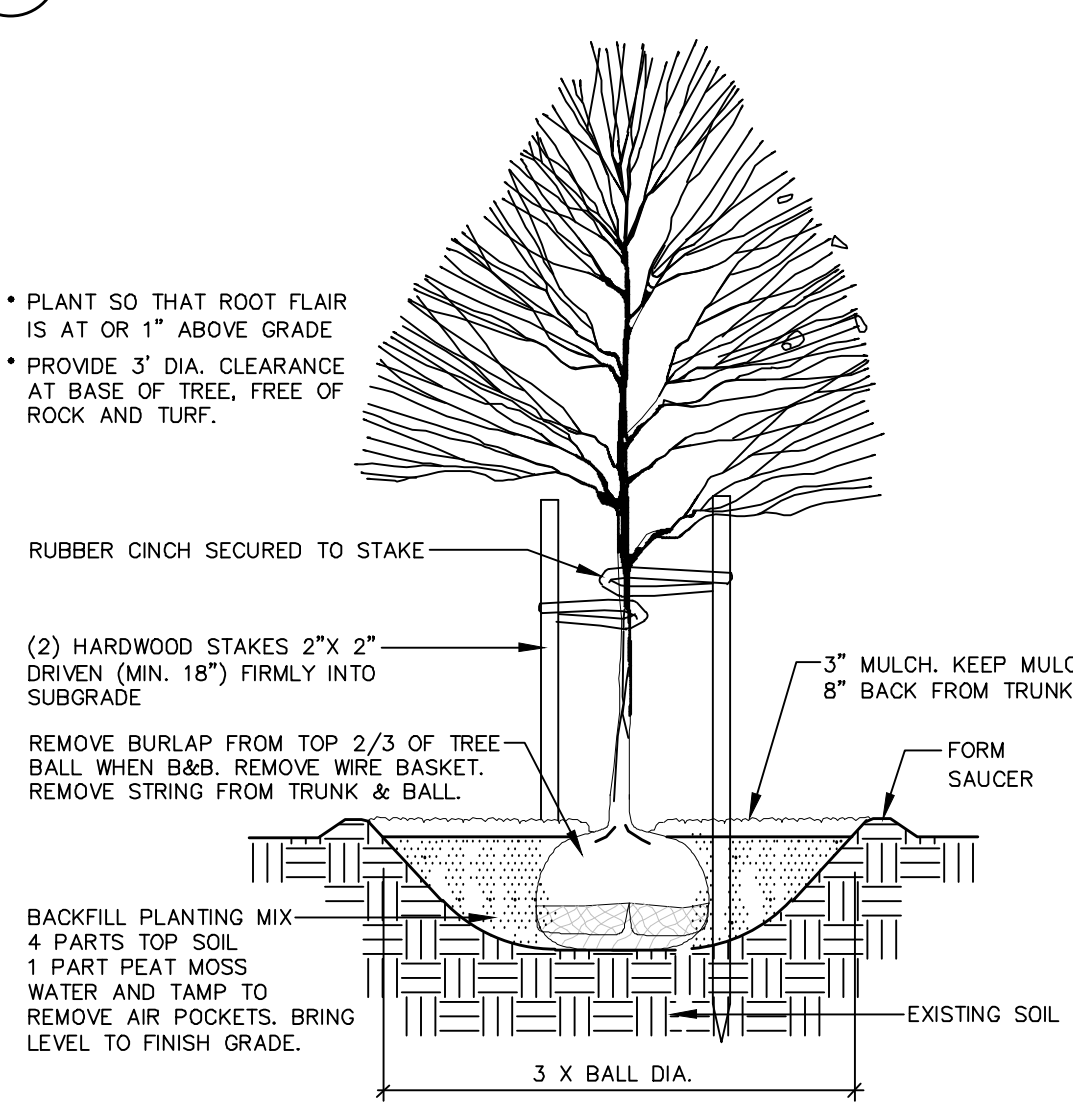
Symbol	Scientific Name	Common Name	Size	Qty.	Waterwise
SHRUBS					
ATB	Artemisia tridentata	Big Sagebrush	2 Gal	5	Yes
CLC	Cercocarpus ledifolius	Curleaf Mountain Mahogany	2 Gal	13	Yes
ENR	Ericameria nauseosus	Rubber Rabbit Brush	2 Gal	9	Yes
FPA	Fallugia paradoxa	Apache Plume	1 Gal	6	Yes
JCC	Juniperus communis	Common Juniper	1 Gal	31	Yes
PMM	Physocarpus malvaceus	Mallow Ninebark	5 Gal	14	Yes
PTA	Purshia tridentata	Antelope Bitterbrush	2 Gal	13	Yes
RTT	Rhus trilobata	Three Leaf Sumac	5 Gal	8	Yes
RAG	Ribes aureum	Golden Current	1 Gal	7	Yes
RWW	Rosa woodsii	Woods Rose	1 Gal	17	Yes
SSA	Sorbaria sorbifolia	Ash Leaf False Spirea	5 Gal	11	Yes

- NOTES:
- LAWN TURF GRASS AREAS WILL BE SEEDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
 - ALL PLANTING BEDS WILL HAVE 3" DARK BROWN LONG STRAND SHREDDED BARK MULCH. APPLY PRE-EMERGENT TO SOIL BEFORE INSTALLING BARK MULCH.
 - INSTALL CONCRETE EDGING/MOW STRIP 6"x6" SIZE BETWEEN TURF GRASS AREA AND PLANTING BEDS.
 - SEE SHEET D5 FOR VINYL FENCE DETAIL.

DATA TABLE:	
TOTAL AREA:	2,008,719 S.F. (46.11 AC.)
TOTAL OPEN SPACE:	263,123 S.F. (6.04 AC.) = 13.1%
TURF GRASS AREA:	129,889 S.F. (2.98 AC.)
NATIVE GRASS AREA:	111,288 S.F. (2.55 AC.)
SHREDDED BARK MULCH:	3,282 S.F.
TOTAL NUMBER OF DECIDUOUS TREES:	88 TREES
TOTAL NUMBER OF EVERGREEN TREES:	100 TREES
TOTAL NUMBER OF SHRUBS:	134 SHRUBS



SHRUB PLANTING

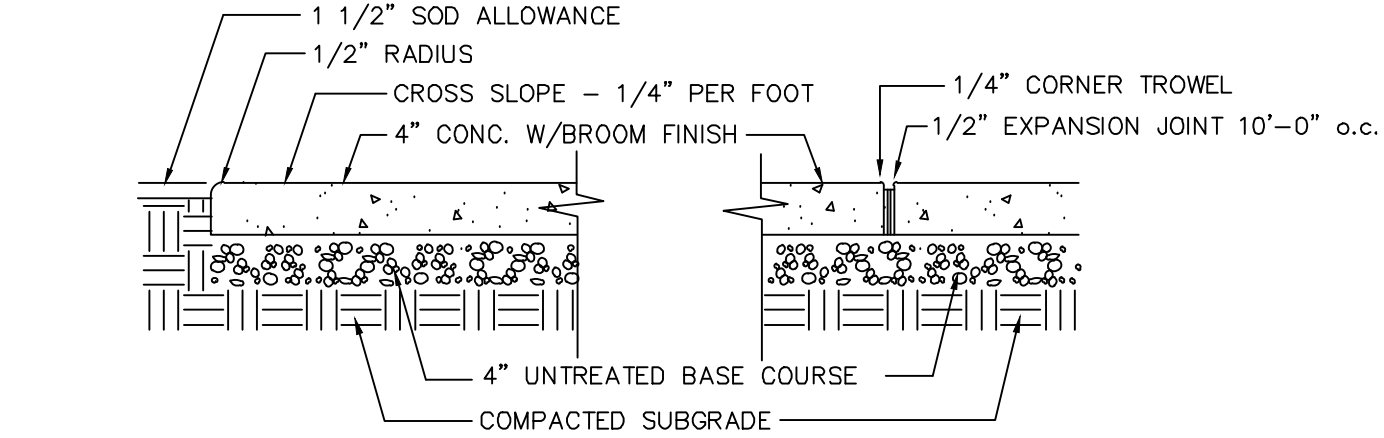
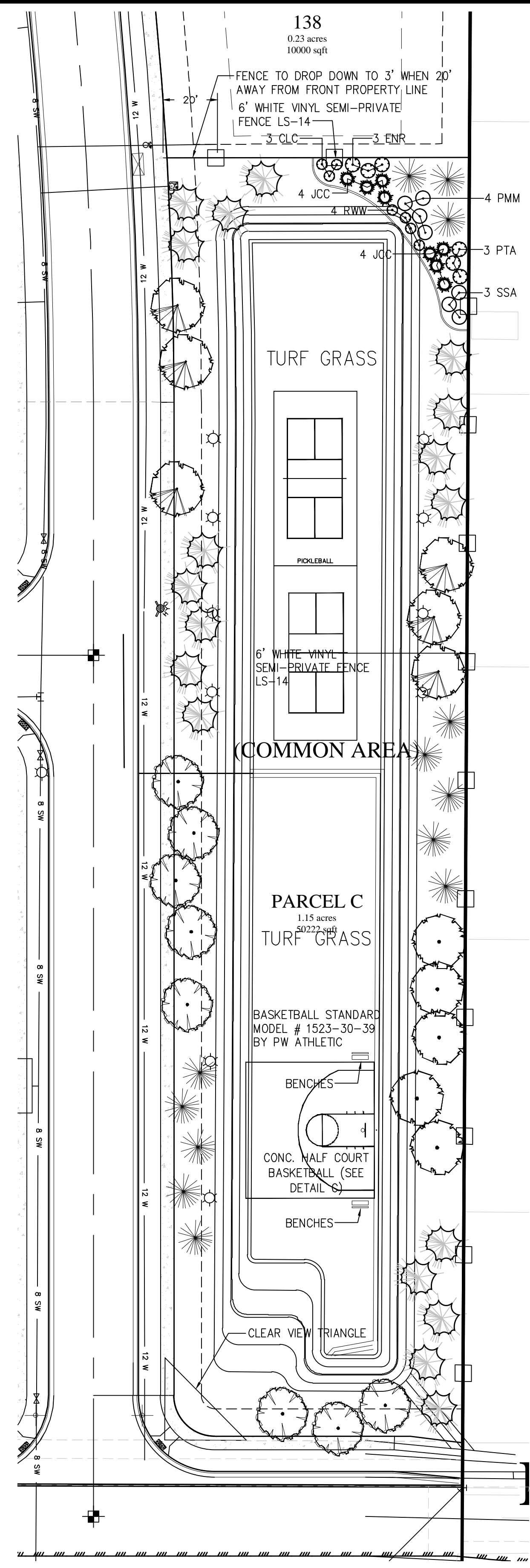


TREE PLANTING & STAKING

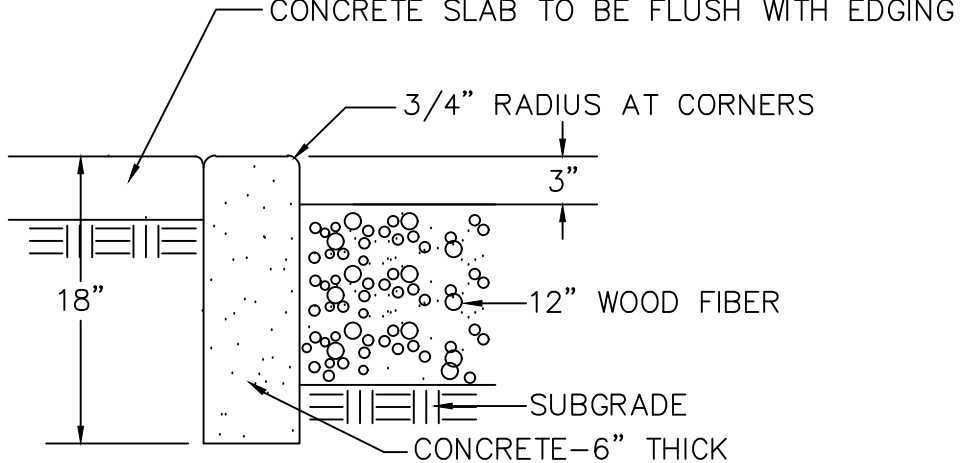
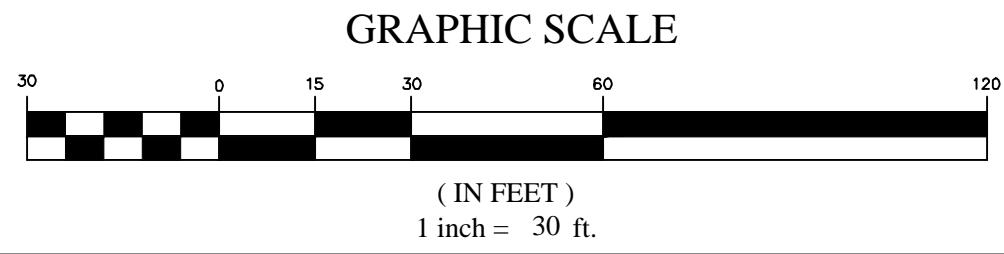
NATIVE GRASS/WILDFLOWER SEED MIX

- SLENDER WHEATGRASS 18%
- WESTERN WHEATGRASS 20%
- BLUEBUNCH WHEATGRASS 20%
- SHEEP FESCUE 4%
- SANDBERG BLUEGRASS 3%
- INDIAN RICEGRASS 10%
- BLANKET FLOWER 5%
- BLUE FLAX 10%
- CALIFORNIA POPPY 10%

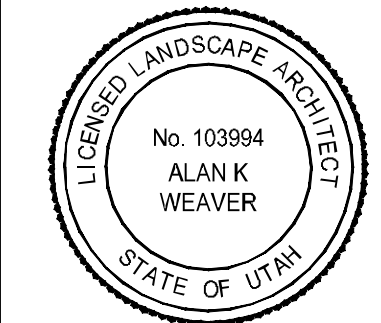
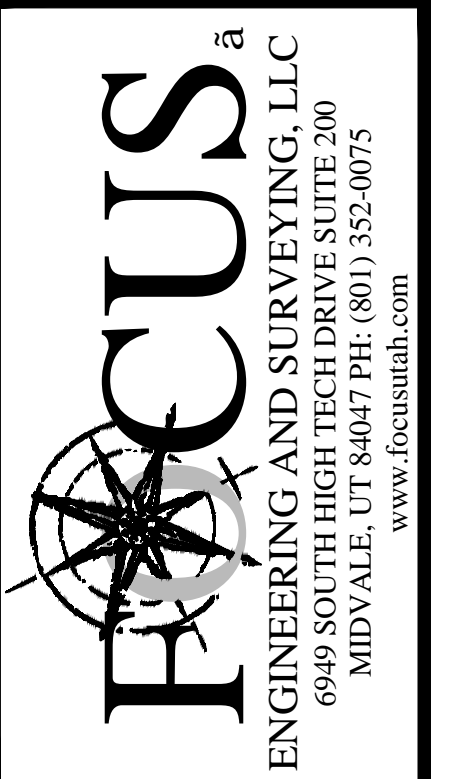
- APPLICATION:
- APPLY 4 TO 6 INCHES OF NATIVE TOP SOIL TO DISTURBED AREAS. TOPSOIL SHALL COME FROM THE LOCAL AREA OR STOCKPILED TOPSOIL FROM AREAS BEING DISTURBED. NO SUBSURFACE SOIL SHALL BE USED. IT IS IMPORTANT TO USE SOIL THAT HAS MINIMAL AMOUNT OF WEED SEED.
 - APPLY SEED MIX AT A RATE OF TWENTY POUNDS PER ACRE (20 LBS./AC.). APPLY SEED MIX BY DRILLING OR LIGHTLY RAKE INTO 1/4" OF SOIL.
 - AFTERWARDS, APPLY HYDROMULCH OVER DRILL SEEDS AREAS USING SILVA FIBRE MULCH AT 1400 LBS. PER ACRE.
 - SEED MIX APPLICATION TO BE FROM OCTOBER 15 TO DECEMBER 15 AND WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 50 DEGREES F. (SEED MIX PROVIDED BY GRANITE SEED, LEHI, UTAH)



CONCRETE BASKETBALL COURT SLAB & SHELTER



PLAYGROUND CONC. CURB



WESTVIEW ESTATES PLAT A SARATOGA SPRINGS LANDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
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LANDSCAPE PLAN

Scale: 1"=30'
Date: 7/11/2025
Sheet: 18-455

L2



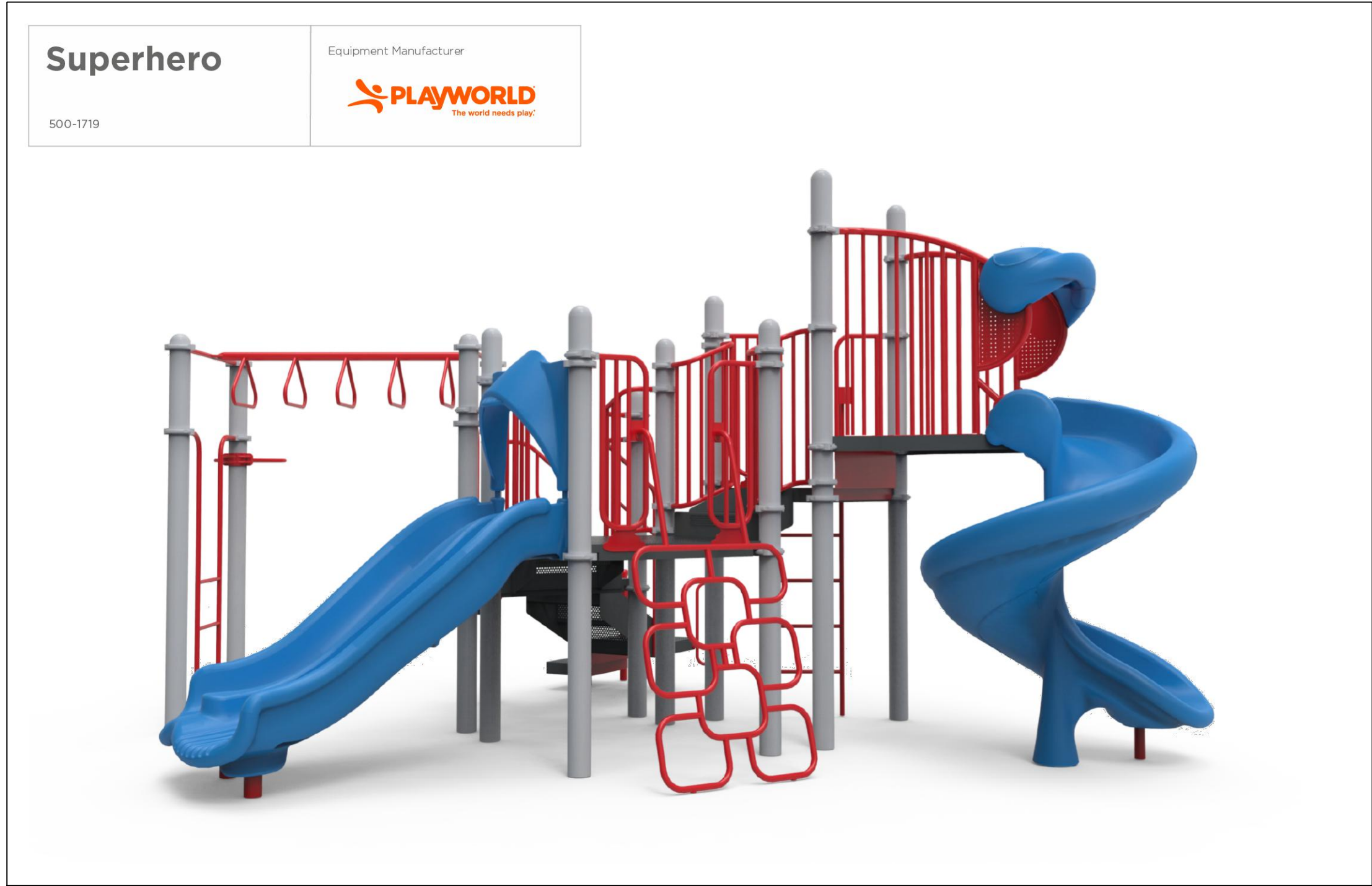
Know what's below.
Call 811 before you dig.



STRETCHED HEXAGON SHELTER BY ICON
SHELTER SYSTEMS



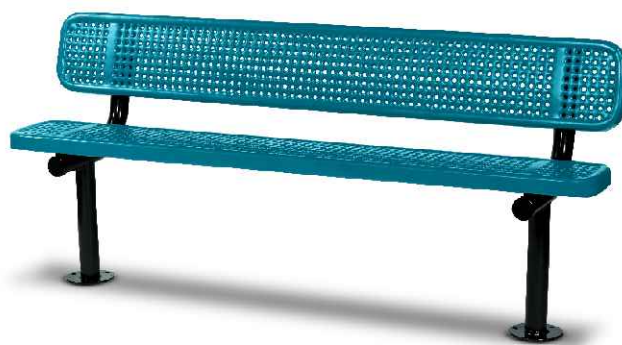
BASKETBALL STANDARD #
1523-30-39 BY PW ATHLETIC



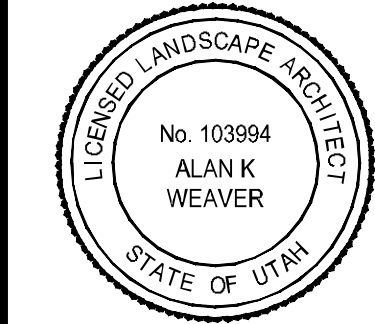
SUPERHERO PLAYGROUND # 500-1719
BY PLAYWORLD



8' PICNIC TABLE #S800P
(ALUMINUM POWDER COATED)
BY PREMIER SITE FURNITURE
COLOR: BY OWNER



6' BENCH WITH BACK # SG306P
BY WABASH VALLEY



WESTVIEW ESTATES PLAT A
SARATOGA SPRINGS
LANDSCAPE SITE AMENITIES

REVISION BLOCK		DESCRIPTION	
#	DATE		
1	7/11/2025	18-455	18-455
2	7/11/2025	18-455	18-455
3	7/11/2025	18-455	18-455
4	7/11/2025	18-455	18-455
5	7/11/2025	18-455	18-455
6	7/11/2025	18-455	18-455

LANDSCAPE
SITE
AMENITIES

Scale:	NTS	Drawn:	AW
Date:	7/11/2025	Job #:	18-455
Sheet:			

