

VICINITY MAP

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# WESTVIEW ESTATES PLAT A

PREPARED FOR:

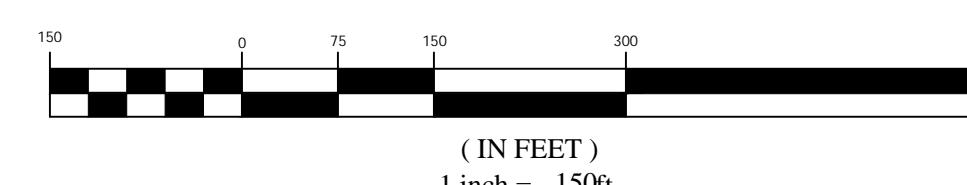
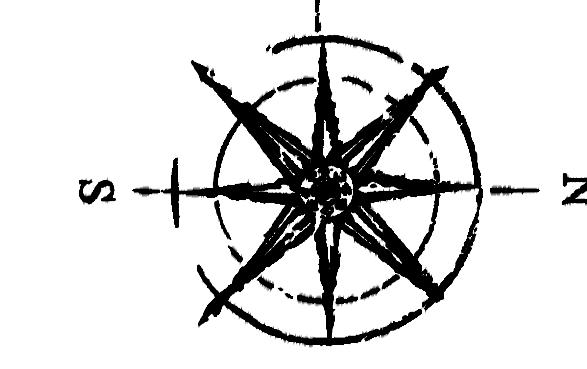
JD IV, LLC

LOCATED IN:

SARATOGA SPRINGS

## LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- CENTER LINE
- LOT LINE
- EXISTING PROPERTY LINE
- SECTION MONUMENT (FOUND)
- STREET MONUMENT (TO BE SET)
- BOUNDARY MARKERS



FOR  
REVIEW  
ONLY

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D3	SITE DETAILS
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PP2	SNOW GOOSE DRIVE
PP3	SNOW GOOSE DRIVE
PP4	SNOW GOOSE DRIVE
PP5	BLACK HERON LANE
PP6	BLACK HERON LANE
PP7	GREY HERON WAY
PP8	GREY HERON WAY
PP9	HARRIER DRIVE
PP10	HARRIER DRIVE
PP11	HARRIER DRIVE
PP12	PAINTED FINCH LANE
PP13	NIGHTHAWK DRIVE
PP14	HARBOR PARK WAY
PP15	OFFSITE SEWER AND DRAINAGE
PP16	OFFSITE SEWER AND DRAINAGE
PP17	OFFSITE SEWER AND DRAINAGE
PP18	OFFSITE SEWER AND DRAINAGE

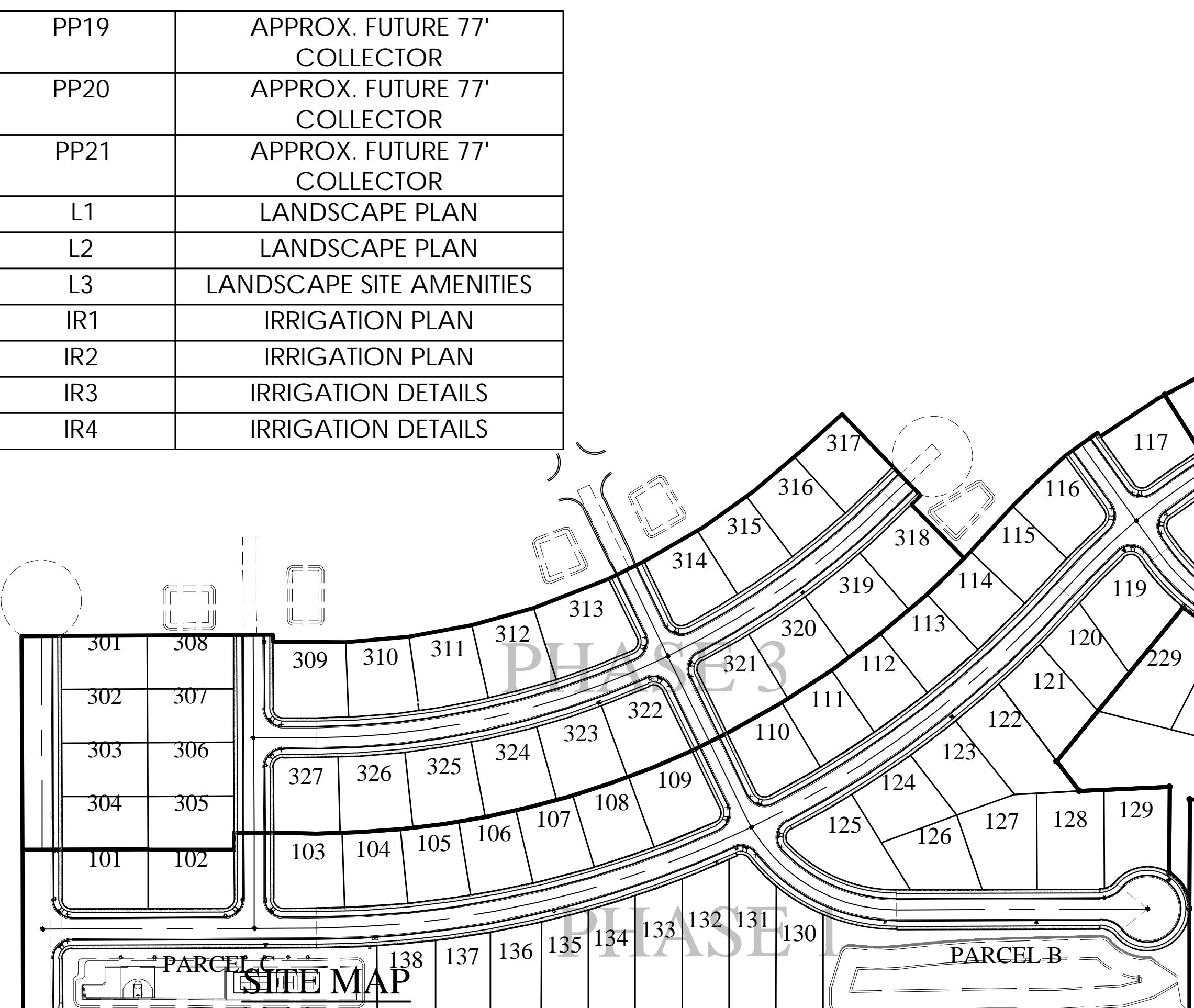
## GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SARATOGA SPRINGS STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.
- BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

## NOTICE

PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINework. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.
- DATA TABLE FOR OVERALL PROJECT & PHASES INCLUDED IN SHEET C3.1.



## CONTACTS

ENGINEER & SURVEYOR  
FOCUS ENGINEERING & SURVEYING, LLC  
6949 S. HIGH TECH DRIVE, SUITE 200  
MIDVALE, UTAH 84047  
(801) 352-0075  
PROJECT MANAGER: AUSTIN WHITE  
SURVEY MANAGER: MATT MERRILL

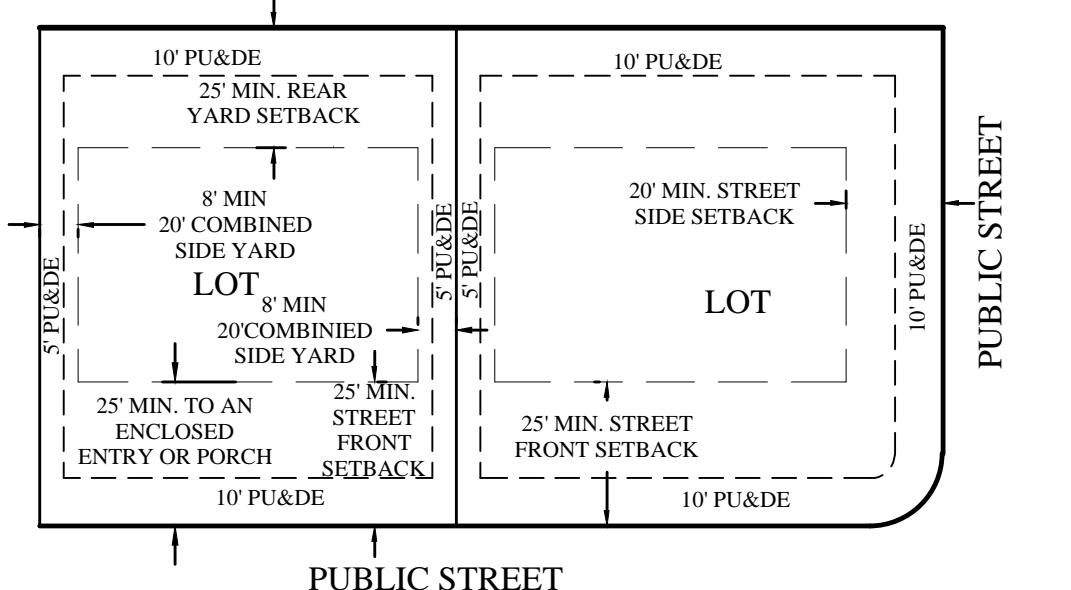
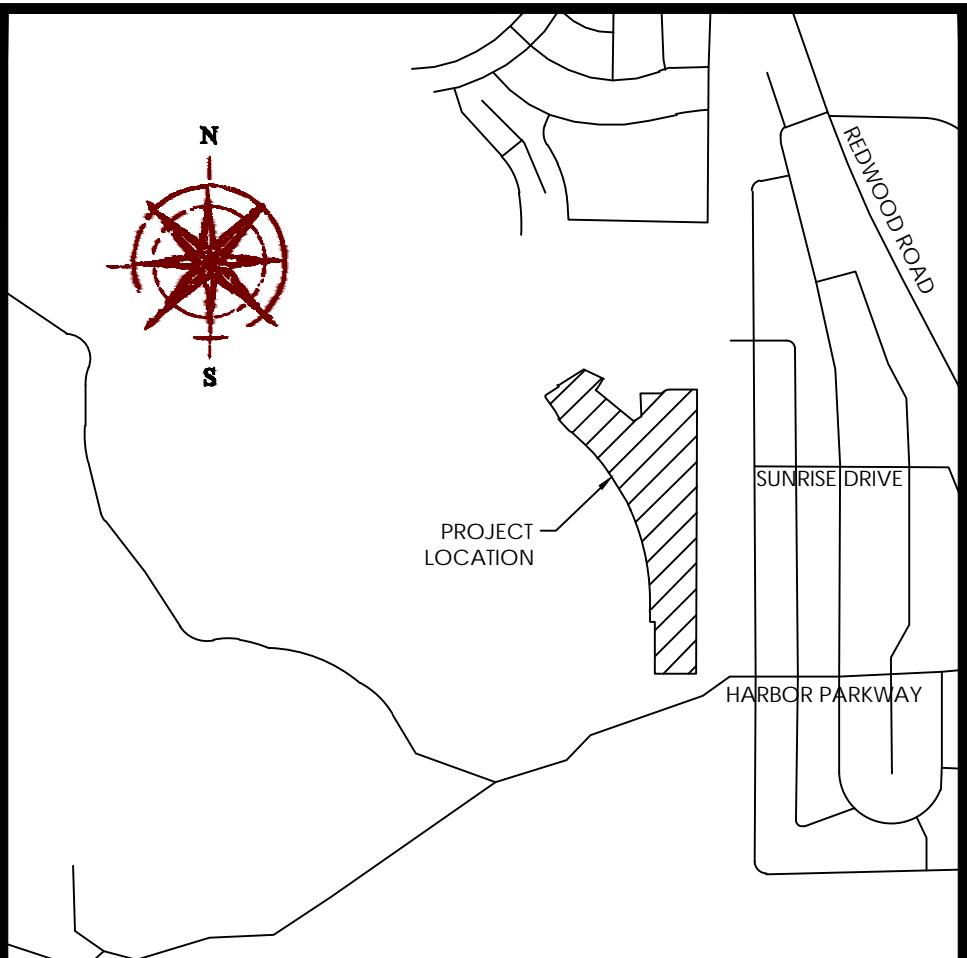
OWNER/DEVELOPER  
HADCO CONSTRUCTION  
1450 WEST 1850 NORTH  
LEHI, UTAH 84043  
(801) 766-7611  
CONTACT: MARK SKOUSEN

## CITY NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
- ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH. SARATOGA SPRINGS / DESIGN / 05-2015 00500 - 16 DESIGN STANDARDS
- EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.
- POST-APPROVAL ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR APPROVED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL.
- THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
- ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.
- DATA TABLE FOR OVERALL PROJECT & PHASES INCLUDED IN SHEET C3.1.

REVISION BLOCK	#	DATE	DESCRIPTION
	1	---	---
	2	---	---
	3	---	---
	4	---	---
	5	---	---
	6	---	---

Scale: 1"=150'	Drawn: ATW
Date: 7/11/2025	Job #: 18-455
Sheet:	C1



### TYPICAL BUILDING SETBACKS

#### LEGEND

- BOUNDARY
- SECTION LINE
- EASEMENT
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- CENTER LINE
- LOT LINE
- EXISTING PROPERTY LINE
- SECTION MONUMENT (FOUND)
- STREET MONUMENT (TO BE SET)
- BOUNDARY MARKERS

#### VICINITY MAP

N.T.S.

#### PHASE 1 CALCULATIONS:

TOTAL AREA ACRES 17.79 acres +/-  
TOTAL AREA SQ.FT. 774,990.24 sq. ft. +/-  
TOTAL NUMBER OF LOTS 38 lots  
BUILDABLE LAND 9.72 acres +/- or 54%  
OPEN SPACE/LANDSCAPING 2.82 acres +/- or 16%  
SENSITIVE LANDS 0.00 acres  
ROW 4.71 acres +/-  
NET DENSITY 2.14 lots/acre

#### REQUIRED PLAT NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PLAT APPROVALS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE DAY OF SEPTEMBER, 2024.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. THIS PLAT IS SUBJECT TO INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THE AGREEMENT IS SUBJECT TO APPROVAL BY THE CITY BUILDING OFFICIAL.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS STATED OTHERWISE IN EACH IMPROVEMENT.
7. REQUIREMENTS FOR DEVELOPMENT BY OWNER SHALL APPLY TO BOTH, AND ANY SUCH DIFFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
8. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS 'PRIVATE' ON THIS PLAT.
9. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&Rs'.
10. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY AGEC, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDED ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
11. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, SUCH AS CATTLE, HORSES, AND OTHER ANIMALS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
12. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO THIS PLAT, EXCEPT AS CONSTRUCTED TO ACCOMMODATE THE CONTAINMENT OF SURFACE WATER. AN APPROVED DRAINAGE FACILITY LOTS WILL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
13. PARCELS A AND B ARE COMMON AREAS IMPROVED BY THE DEVELOPER AND ARE MAINTAINED BY AND CONVEYED TO WESTVIEW ESTATES HOMEOWNERS ASSOCIATION.
14. THE PHASE SHOWN HERON LIES WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, ACCORDING TO FEMA'S FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) (FLOOD INSURANCE RATE MAP #44902590205A, MAP EFFECTIVE DATE: JULY 17, 2002).
15. BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS; (B) LOCATION OF EXISTING UNDERGROUND UTILITIES; (C) CONDITIONS FOR THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.
16. ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS OTHERWISE SPECIFIED IN THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
17. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.

#### ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 10-9a-601 et seq ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
  - a. A RECORDED EASEMENT OR RIGHT-OF-WAY
  - b. THE LAW APPLICABLE TO DESCRIPTIVE RIGHTS

c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR d. ANY OTHER PROVISION OF LAW

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_  
20\_\_\_\_

ROCKY MOUNTAIN POWER

#### ENBRIDGE GAS UTAH

QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION OR THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION CONTACT ENBRIDGE GAS UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_  
20\_\_\_\_

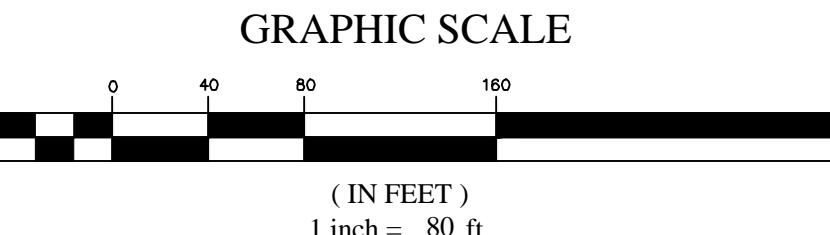
By: \_\_\_\_\_

Title: \_\_\_\_\_

## WESTVIEW ESTATES

### PHASE 1 SUBDIVISION

LOCATED IN THE SE1/4 OF SECTION 13 AND THE NE1/4 OF SECTION 24, T6S, R1W,  
SALT LAKE BASE & MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



#### SURVEYOR'S CERTIFICATE

I, the undersigned surveyor, do hereby certify that I am a registered Land Surveyor and that I hold a license (number shown below) in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owner(s) I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge. I also certify that I have filed, or will file within 90 days of the recordation of this plat, a map of the survey I have completed with the Utah County Surveyor.

Justin Lundberg  
Professional Land Surveyor  
License No. 125544339

Date \_\_\_\_\_

#### BOUNDARY DESCRIPTION

A part of the Southeast Quarter of Section 13 and the Northeast Quarter of Section 24, Township 6 South, Range 1 West, Salt Lake Base and Meridian, located in Saratoga Springs City, Utah County, Utah, being more particularly described as follows:

Beginning at the Southeast corner of Section 13, Township 6 South, Range 1 West, Salt Lake Base & Meridian (Basis of Bearing: N0°17'20"E along the Section Line between the Southeast corner and East 1/4 corner of Section 13); running thence S 00°16'42"W 40.62 feet to a Northerly line of that Warranty Deed thereof recorded February 18, 2022 as Entry No. 22493-2022 in Utah County Recorder's Office; thence West 253.45 feet along said deed line; thence North 187.50 feet; thence East 1.00 feet; thence North 128.50 feet; thence West 25.19 feet; thence N 00°04'15"E 59.00 feet; thence Northwesterly along the arc of a non-tangent curve to the left having a radius of 1,343.50 feet (radius bears: N 87°14'33"W) a distance of 317.65 feet through a central angle of 13°32'48" Chord: N 04°01'07"W 316.91 feet; thence Northwesterly along the arc of a non-tangent curve to the left having a radius of 1,359.01 feet (radius bears: S 79°17'10"W) a distance of 324.04 feet through a central angle of 13°39'42" Chord: N 17°32'41"W 323.27 feet; thence along a line non-tangent to said curve, N 26°28'13"W, a distance of 59.01 feet; thence N 58°47'33"W 90.34 feet; thence N 32°36'07" W 91.17 feet; thence N 40°03'36"E 91.18 feet; thence N 43°47'26"W 77.17 feet; thence N 47°06'16"W 108.82 feet; thence Northwesterly along the arc of a non-tangent curve to the right having a radius of 1,205.46 feet (radius bears: N 44°16'06"E) a distance of 106.01 feet through a central angle of 05°02'20" Chord: N 43°12'44"W 105.98 feet; thence along a line non-tangent to said curve, N 53°33'51"W 134.99 feet; thence N 52°42'54"E 128.97 feet; thence Northwesterly along the arc of a non-tangent curve to the right having a radius of 62.50 feet (radius bears: S 89°42'54"E, a distance of 167.21 feet to the Westerly line of Lake Mountain Estates Plat "F" as recorded Final Plat No. 85066/2000 Map #8799 in Utah County Recorder's Office; thence S 00°17'20"W 1,699.65 feet along said Westerly line to the point of beginning.

Contains 774,990.24 sq. ft or 17.79 acres +/- (38 Lots, 2 Parcels)

#### OWNER'S DEDICATION

Know all men by these presents that the undersigned owner(s) of the above described tract of land have caused the same to be subdivided into lots, parcels, and streets, together with easements and rights-of-way, to be hereafter known as:

#### WESTVIEW ESTATES PHASE 1

and do hereby dedicate for the perpetual use of the public or City all parcels, lots, streets, easements, rights-of-way, and public amenities shown on this plat as intended for public or City use. The owner(s) and all agents, successors, and assigns voluntarily defend, indemnify, and save harmless the City against any easements or other encumbrance on a dedicated street, easement or right-of-way that will interfere with the City's use, maintenance, and operation of the street or utilities. The owner(s) and all agents, successors, and assigns assume all liability with respect to the creation of this subdivision, the alteration of the ground surface, vegetation, drainage, or surface or sub-surface water flows within this subdivision, and the development activity within this subdivision by the owners and all agents, successors, and assigns. Pursuant to Utah Code 10-9A-604(D) the owner hereby conveys the common area, as indicated hereon, to the Westview Estates Homeowners Association with a registered address of 1850 North 1450 West, Lehi, UT 84043.

In witness whereof I have hereunto set my hand this \_\_\_\_ day of \_\_\_\_ A.D. 20 \_\_\_\_.

Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Title & Entity \_\_\_\_\_

Signature \_\_\_\_\_ Print Name \_\_\_\_\_ Title & Entity \_\_\_\_\_

#### OWNER'S ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF \_\_\_\_ J.S.S.

On this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_ personally appeared before me \_\_\_\_\_, who being by me duly sworn, did prove to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed this plat with full authority of the owner(s).

I certify under PENALTY OF PERJURY under the laws of the State of Utah that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.  
Notary Public Signature: \_\_\_\_\_

Print Name As Commissioned: \_\_\_\_\_

Commission Number: \_\_\_\_\_

My commission expires: \_\_\_\_\_

A Notary Public Commissioned in Utah

#### APPROVAL BY LEGISLATIVE BODY

The City Council of the City of Saratoga Springs, County of Utah, approves this subdivision subject to the conditions and restrictions stated herein, and hereby accepts the Dedication of all streets, easements, and other parcels of land intended for the public purpose of the perpetual use of the public. This \_\_\_\_ day of \_\_\_\_ A.D. 20 \_\_\_\_.

ATTEST:  
CITY RECORDER  
(SEE SEAL BELOW)

#### WESTVIEW ESTATES PHASE 1 SUBDIVISION

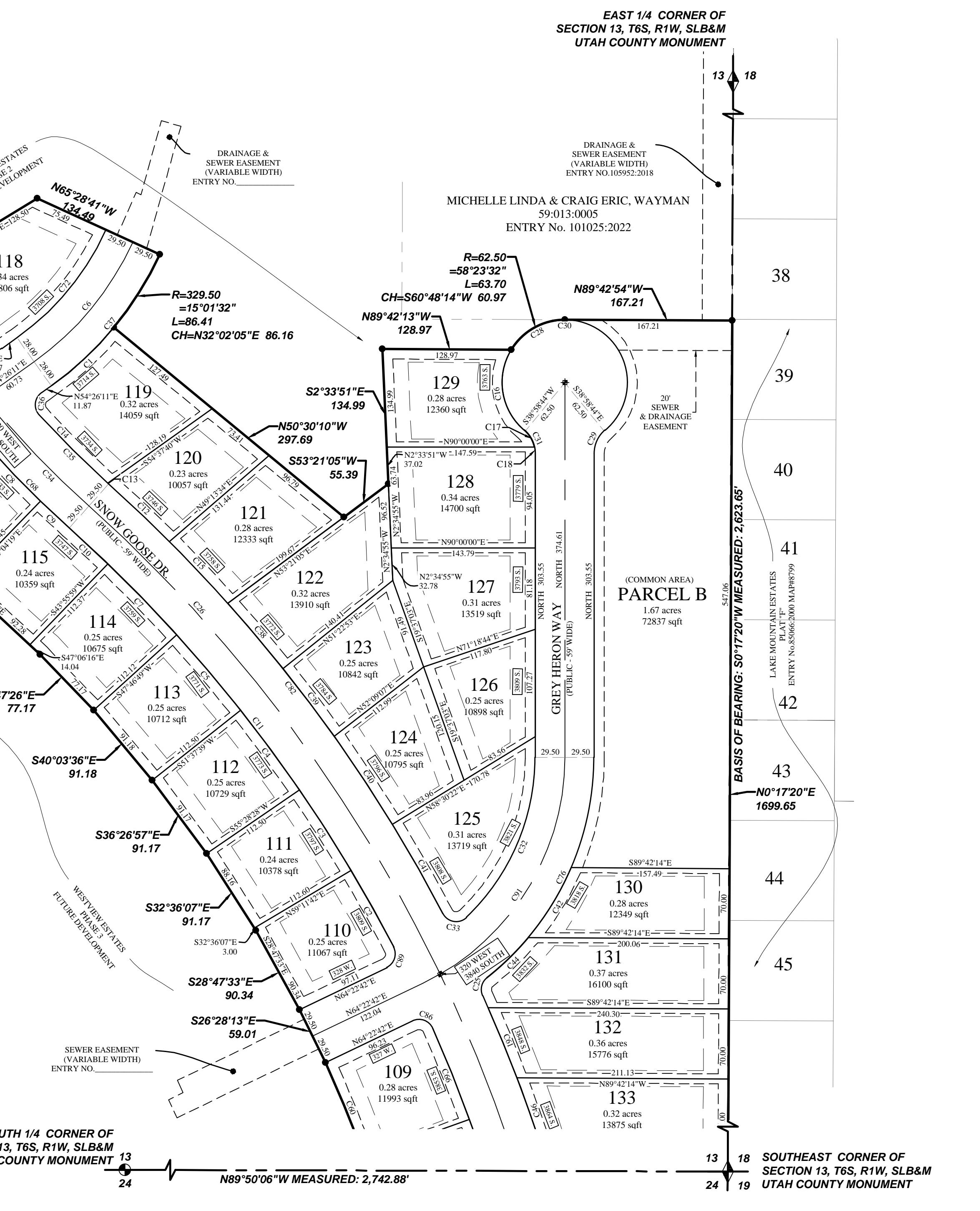
LOCATED IN THE SE1/4 OF SECTION 13 AND THE NE1/4 OF SECTION 24, T6S, R1W,  
SALT LAKE BASE & MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	CITY ENGINEER'S SEAL	CLERK-RECORDER'S SEAL
-----------------	----------------------	-----------------------

PAGE 1

SEE PAGE 2

1 OF 2



CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
Approved this ____ day of ____ A.D. 20 ____	Approved by the Planning Director on this ____ day of ____ A.D. 20 ____	Approved by the Land Use Authority on this ____ day of ____ A.D. 20 ____
CENTURY LINK	PLANNING DIRECTOR	LAND USE AUTHORITY
<u>QUESTAR GAS COMPANY</u> dba ENBRIDGE GAS UTAH	<u>COMCAST CABLE TELEVISION</u>	<u>FIRE CHIEF</u>
Approved this ____ day of ____ A.D. 20 ____	Approved by the City Engineer on this ____ day of ____ A.D. 20 ____	Approved by the Fire Chief on this ____ day of ____ A.D. 20 ____
By: _____ Title: _____	CITY ENGINEER	CITY FIRE CHIEF
		LEHI CITY POST OFFICE REPRESENTATIVE
		SARATOGA SPRINGS ATTORNEY
		SARATOGA SPRINGS ATTORNEY



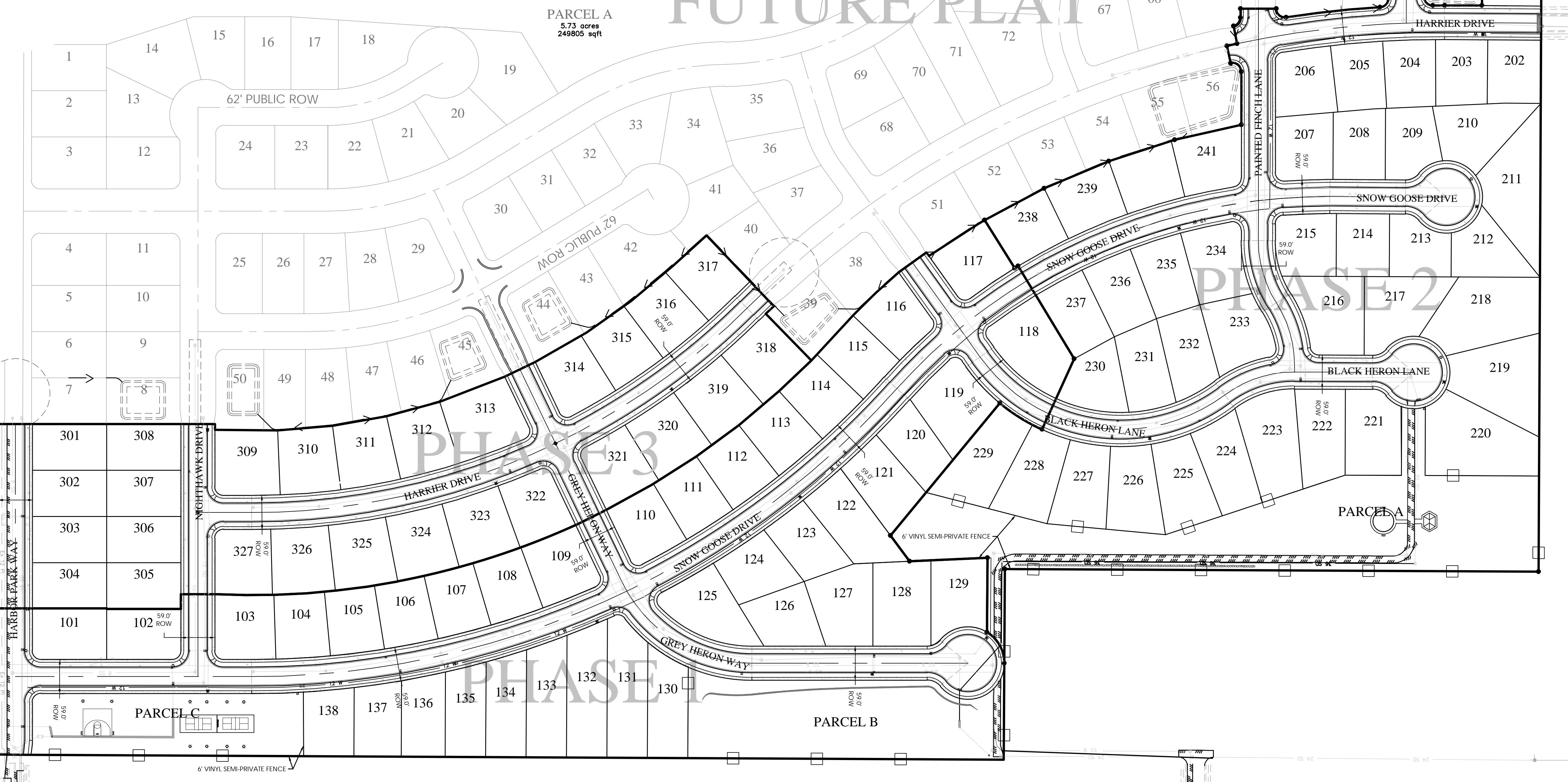
FOCUS  
ENGINEERING AND SURVEYING, LLC

6940 SOUTH HIGH TECH DRIVE SUITE 200  
MIDVALLEY, UTAH 84047 P.O. 1801332-007  
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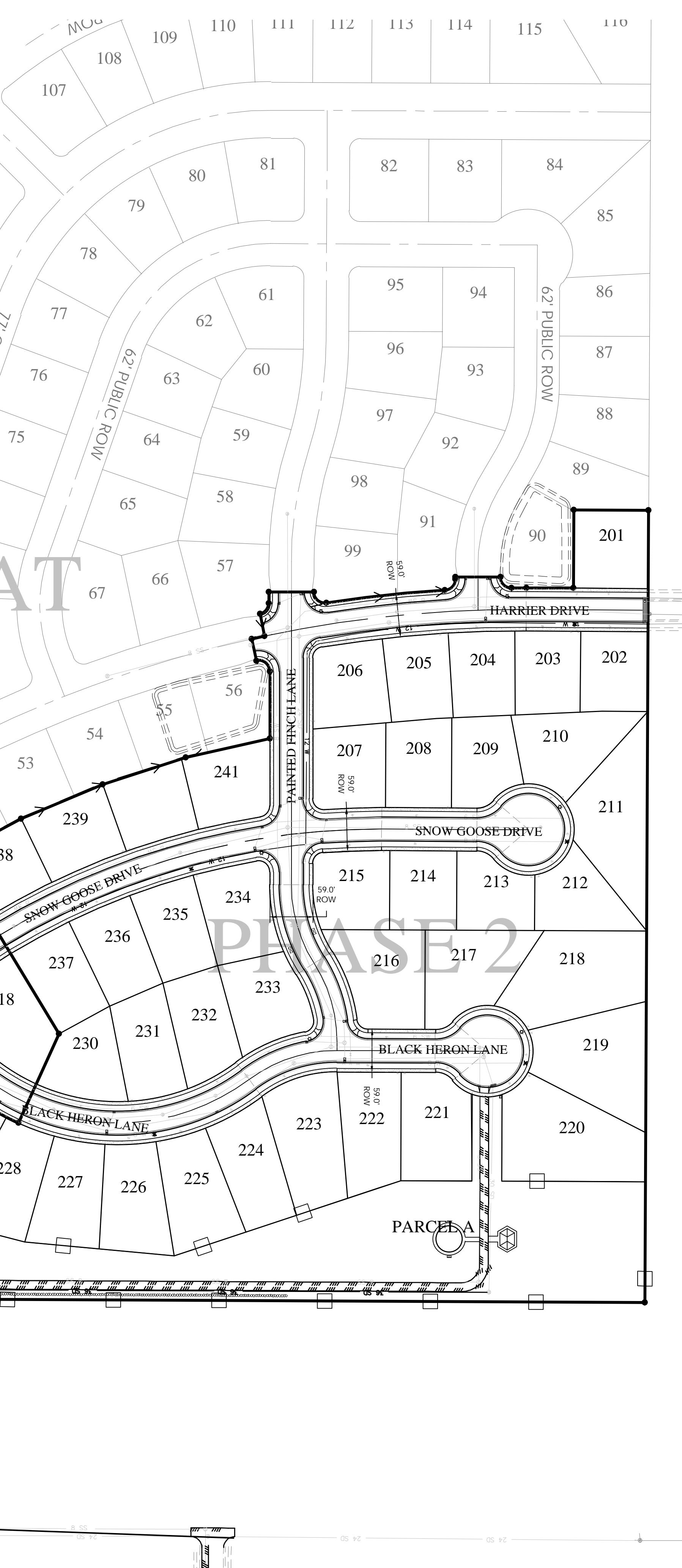


FOR  
REVIEW  
ONLY

**WESTVIEW ESTATES PLAT A**  
**SARATOGA SPRINGS**  
**OVERALL SITE PLAN**



A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT MARK EDWARDS AT 801-766-9793, EXT. 118.

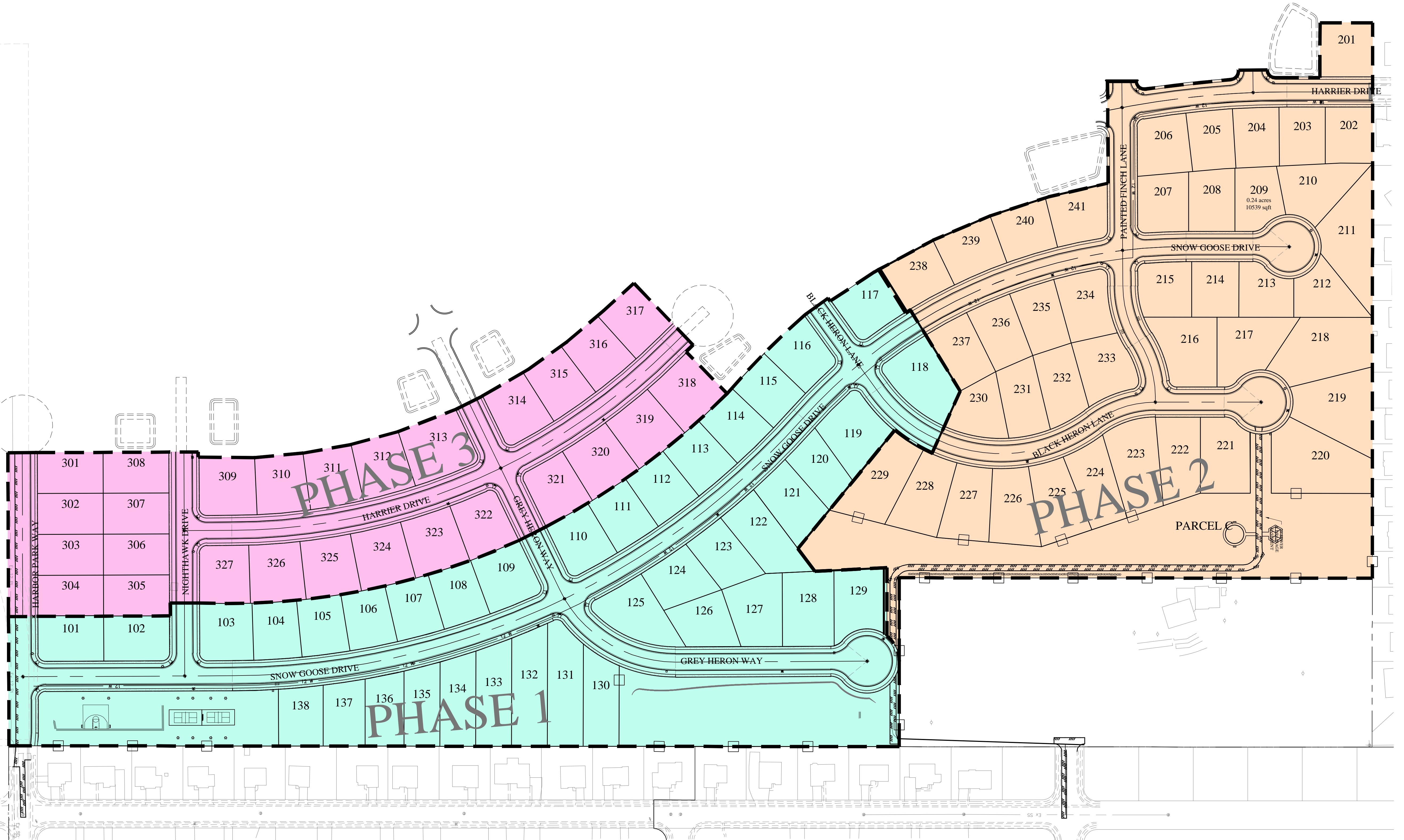


FOR  
REVIEW  
ONLY

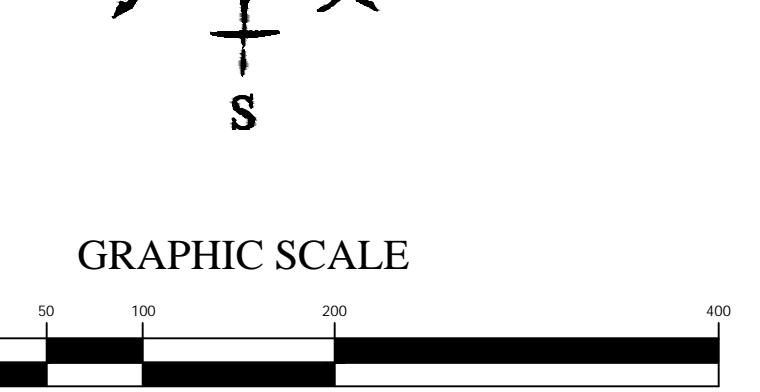
**WESTVIEW ESTATES PLAT A**  
**SARATOGA SPRINGS**  
**OVERALL PHASING PLAN**

**LEGEND**

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
—	15' STORM DRAIN
—	8' SANITARY SEWER
—	8' CULINARY WATER
—	8' SECONDARY WATER
—	CONTOUR MAJOR
—	CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. FENCE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
—	SIGN
—	STREET LIGHT
—	SD MH, INLET, AND COMBO
—	SEWER MANHOLE
—	VALVE, TEE & BEND
—	WATER BLOW-OFF
—	FIRE HYDRANT
—	STREET MONUMENT (TO BE SET)
—	EXIST. STREET MONUMENT
—	EXIST. SD INLET & MH
—	EXIST. SEWER MH
—	EXIST. VALVE, TEE, & BEND
—	EXIST. FIRE HYDRANT
—	SPOT ELEVATION



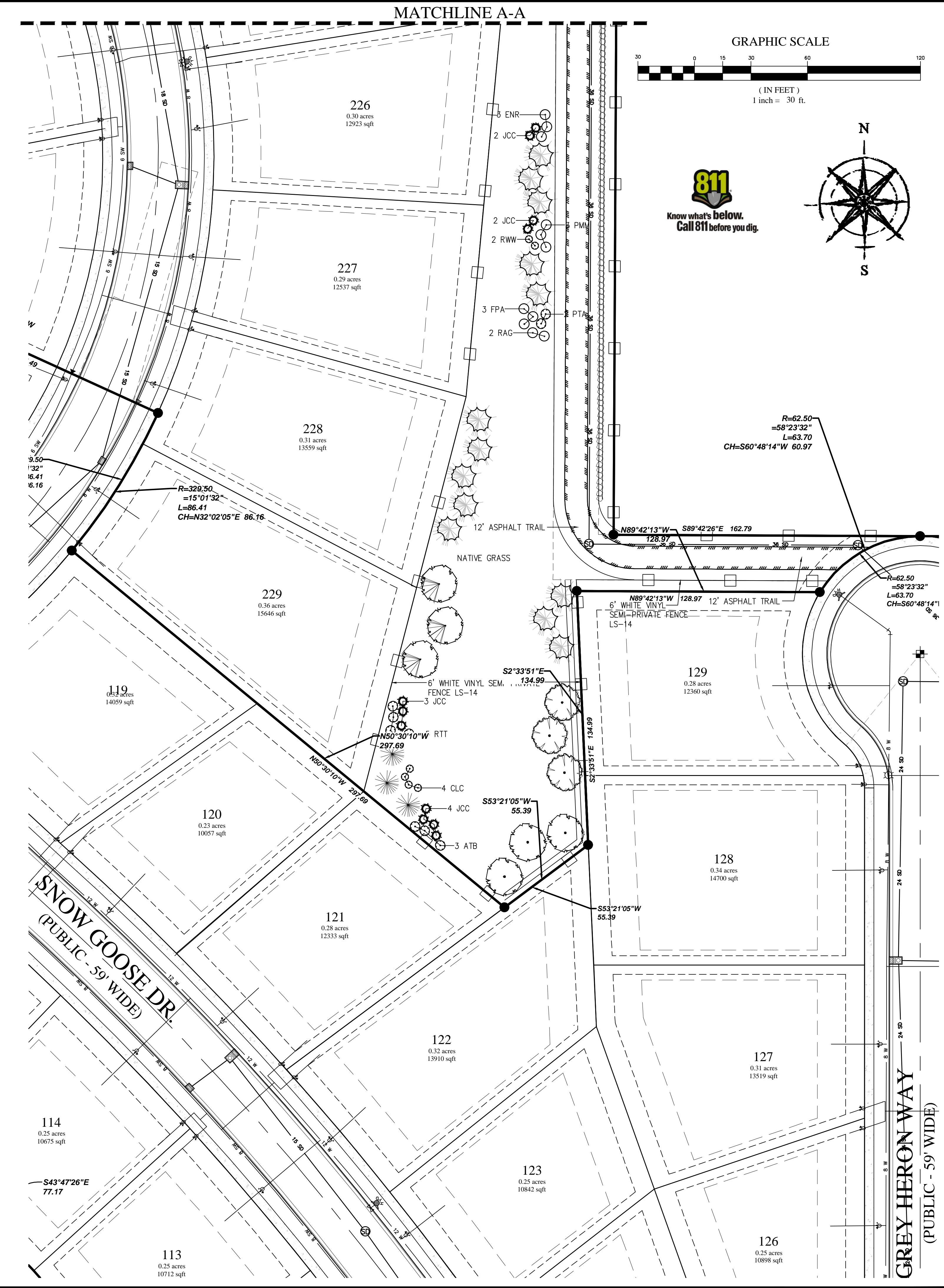
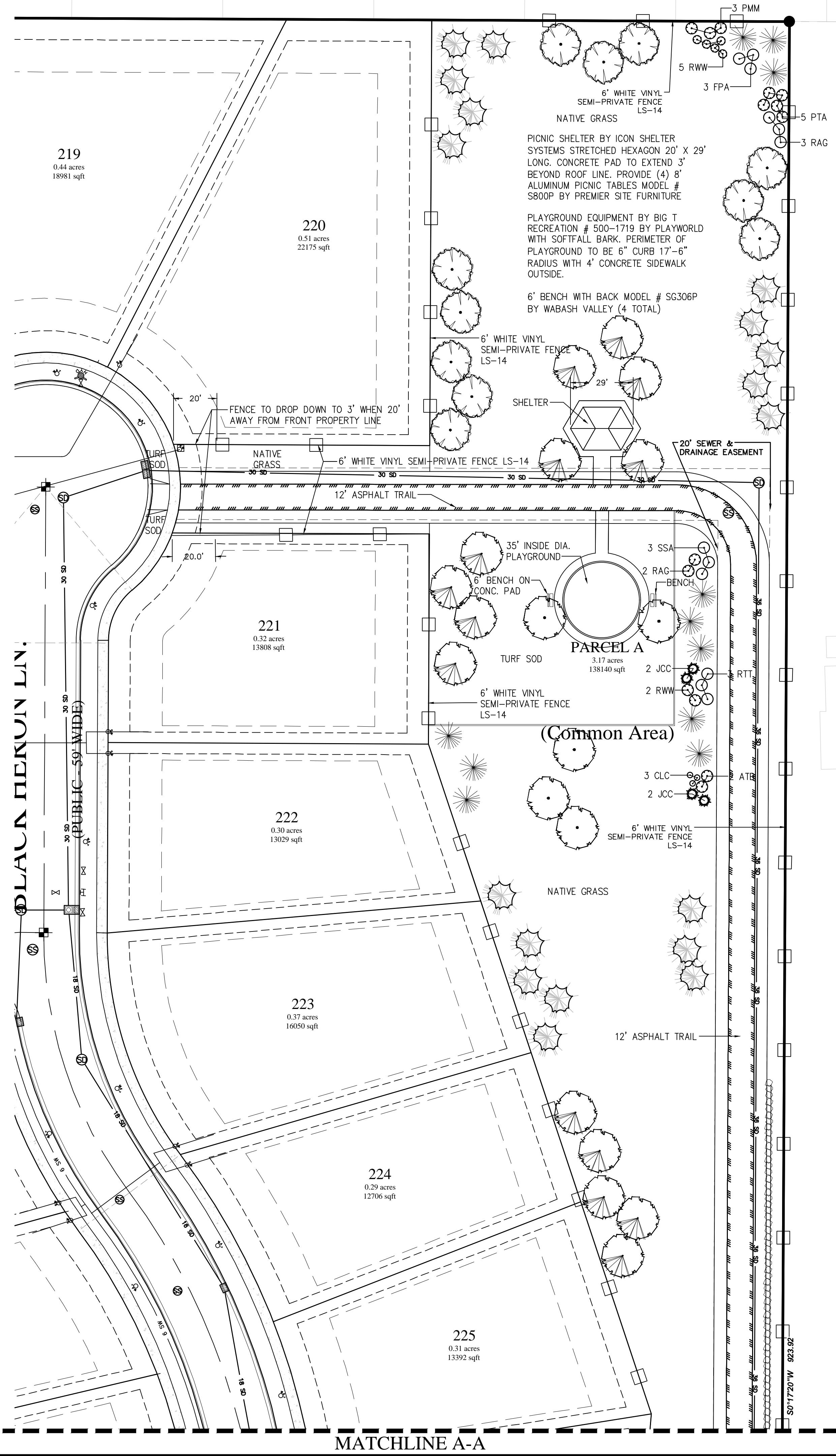
Data Table	Phase 1			Phase 2			Phase 3			Overall		
	Sq. Ft.	Acres	% of Total	Sq. Ft.	Acres	% of Total	Sq. Ft.	Acres	% of Total	Sq. Ft.	Acres	% of Total
Total Area	774428	17.78	100%	819214	18.81	100%	415077	9.53	100%	2008719	46.11	100%
Total Impervious Area	61954	1.42	8%	52555	1.21	6%	29939	0.69	7%	144448	3.32	7%
Total Lot Area	437414	10.04	56%	654977	15.04	80%	301515	6.92	73%	1393906	32.00	69%
Total Landscape Area	124959	2.87	16%	138164	3.17	17%	0	0.00	0%	263123	6.04	13%
Total Parking Spaces	76 (each)			82 (each)			54 (each)			212 (each)		
Total Recreation Facilities	2 (each)			1 (each)			0 (each)			3 (each)		
ROW	185468	4.26	24%	164237	3.77	20%	88522	2.03	21%	438227	10.06	22%
Buildable Land	774428	17.78	100%	819214	18.81	100%	415077	9.53	100%	2008719	46.11	100%
Sensitive Lands	0	0.00	0%	0	0.00	0%	0	0.00	0%	0	0.00	0%
Number of Lots	38			41			27			106		
Net Density	2.14			2.18			2.83					



**OVERALL  
PHASING  
PLAN**

Scale: 1"=100' Drawn: ATW  
Date: 7/11/2025 Job #: 18-455  
Sheet: C3.1



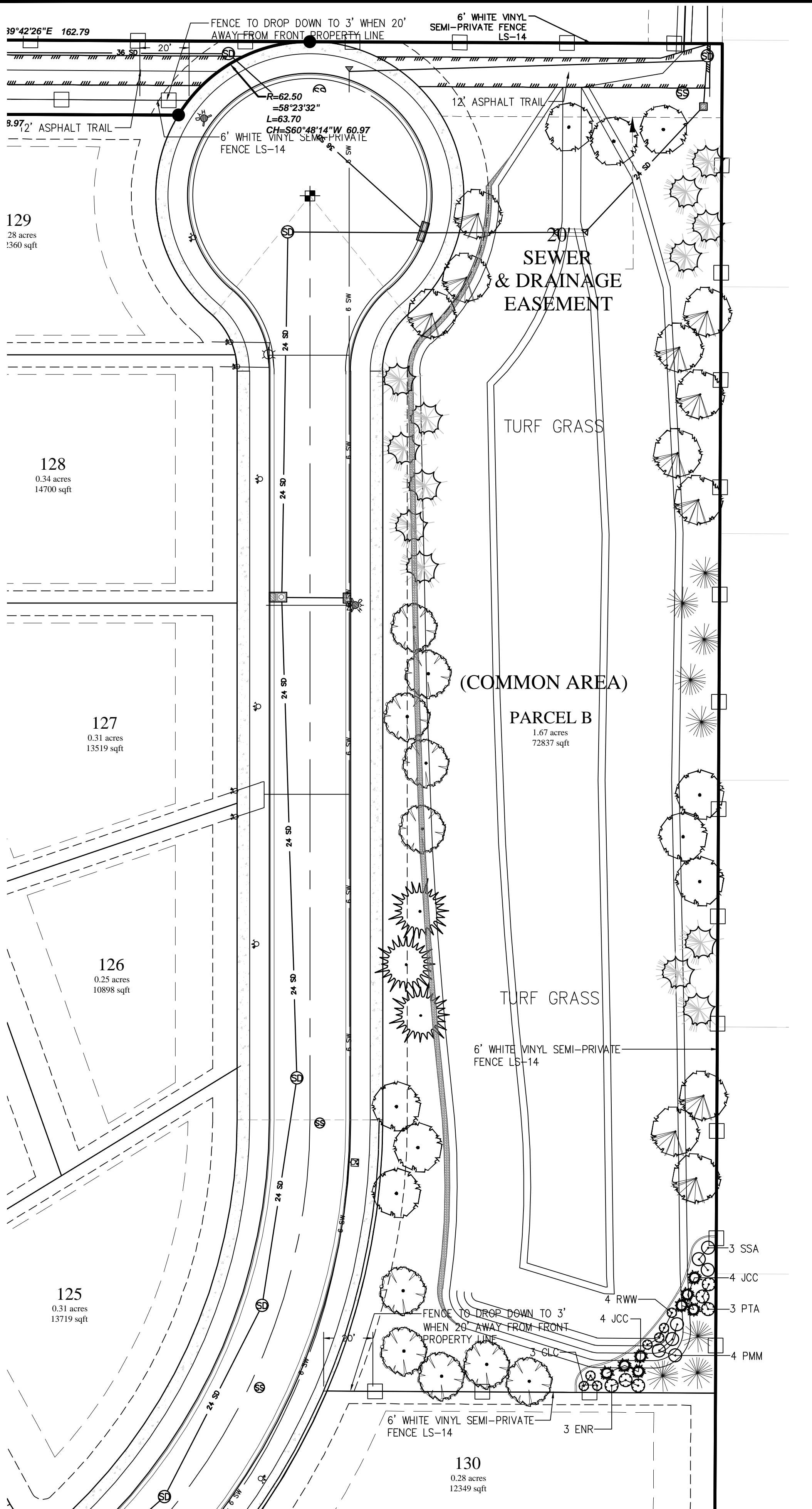


# WESTVIEW ESTATES PLAT A SARATOGA SPRINGS LANDSCAPE PLAN

## LANDSCAPE PLAN

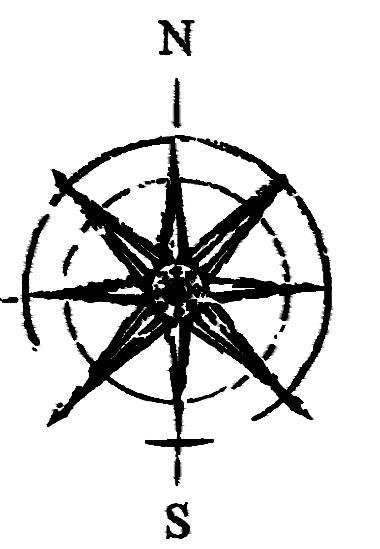
REVISION BLOCK		
#	DATE	DESCRIPTION
1	---	---
2	---	---
3	---	---
4	---	---
5	---	---

# LANDSCAPE PLAN



### TREE LEGEND (Phase 1,2,3)

	Acer grandidentatum (34 total)
	Bigtooth Maple 2" cal. (Waterwise)
	Crataegus douglasii (22 total)
	Black Hawthorn 2" cal. (Waterwise)
	Quercus gambelii (32 total)
	Scrub Oak 2" cal. (Waterwise)
	Juniperus osteosperma (62 total)
	Utah Juniper 6' height (Waterwise)
	Juniperus monosperma (35 total)
	One-seed Juniper 6' height (Waterwise)
	Pseudotsuga menziesii (3 total)
	Douglas Fir 6' height (Waterwise)

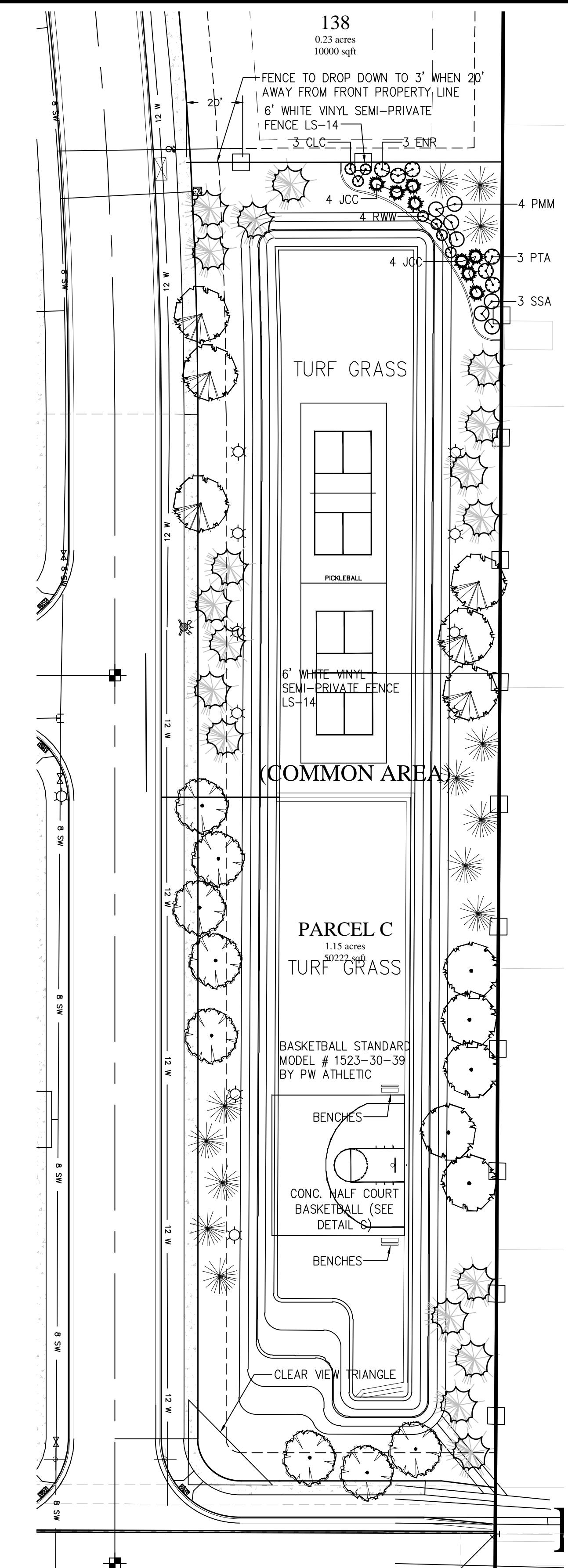


### NATIVE GRASS/WILDFLOWER SEED MIX

SLENDER WHEATGRASS	18%
WESTERN WHEATGRASS	20%
BLUEBUNCH WHEATGRASS	20%
SHEEP FESCUE	4%
SANDBERG BLUEGRASS	3%
INDIAN RICEGRASS	10%
BLANKET FLOWER	5%
BLUE FLAX	10%
CALIFORNIA POPPY	10%

### APPLICATION:

1. APPLY 4 TO 6 INCHES OF NATIVE TOP SOIL TO DISTURBED AREAS. TOPSOIL SHALL COME FROM THE LOCAL AREA OR STOCKPILED TOPSOIL FROM AREAS BEING DISTURBED. NO SUBSURFACE SOIL SHALL BE USED. IT IS IMPORTANT TO USE SOIL THAT HAS MINIMAL AMOUNT OF WEED SEED.
2. APPLY SEED MIX AT A RATE OF TWENTY POUNDS PER ACRE (20 LBS./AC.). APPLY SEED MIX BY DRILLING OR LIGHTLY RAKE INTO 1/4" OF SOIL.
3. AFTERWARDS, APPLY HYDROMULCH OVER DRILL SEEDED AREAS USING SILVA FIBRE MULCH AT 1400 LBS. PER ACRE.
4. SEED MIX APPLICATION TO BE FROM OCTOBER 15 TO DECEMBER 15 AND WHEN SOIL TEMPERATURE IS CONSISTENTLY BELOW 50 DEGREES F. (SEED MIX PROVIDED BY GRANITE SEED, LEHI, UTAH)



## WESTVIEW ESTATES PLAT A SARATOGA SPRINGS LANDSCAPE PLAN

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MIDVALE, UT 84047 PH: (801) 352-0075  
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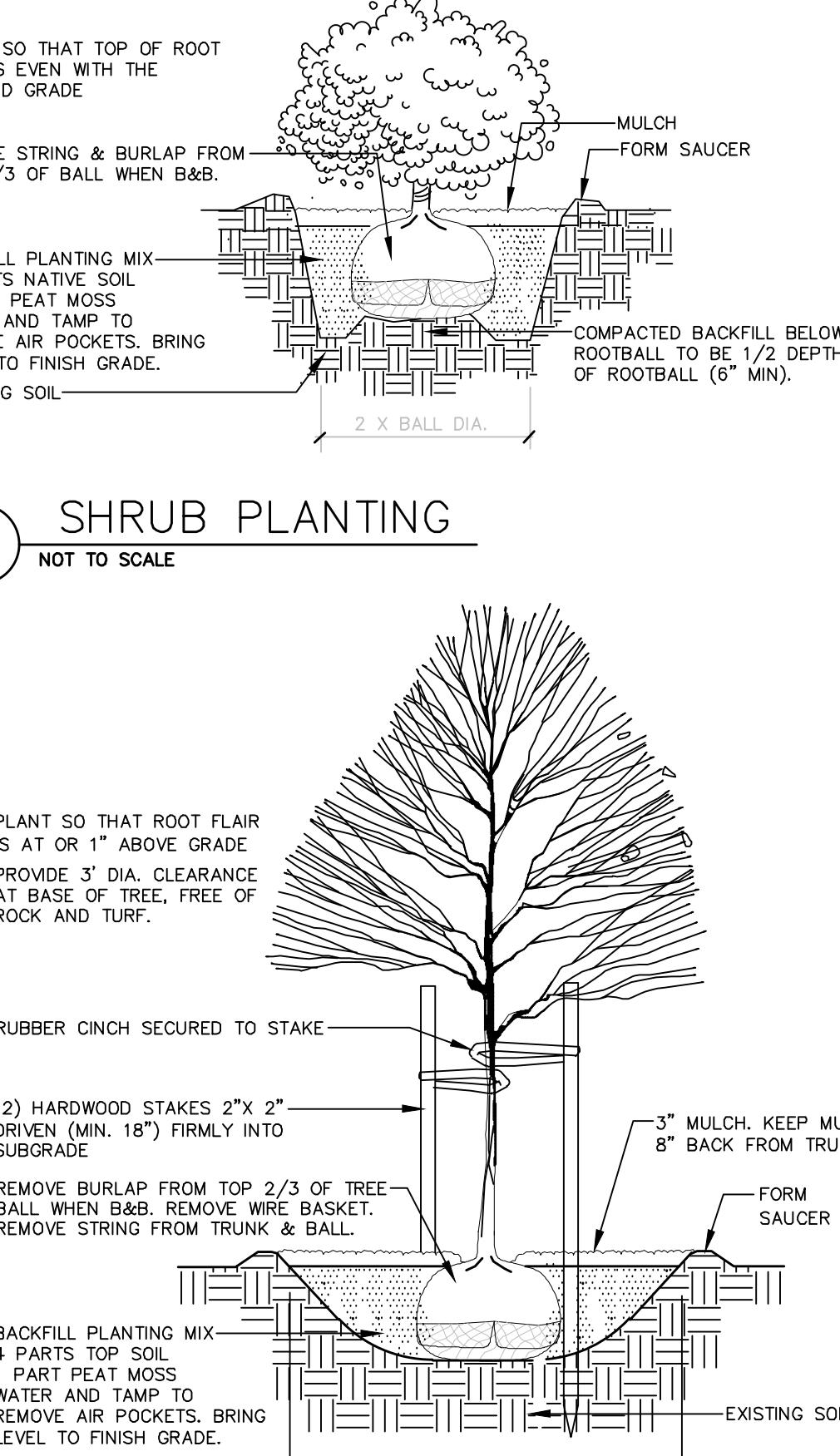
LICENSED LANDSCAPE ARCHITECT  
No. 103994  
ALAN K  
WEAVER  
STATE OF UTAH

### LANDSCAPE PLAN

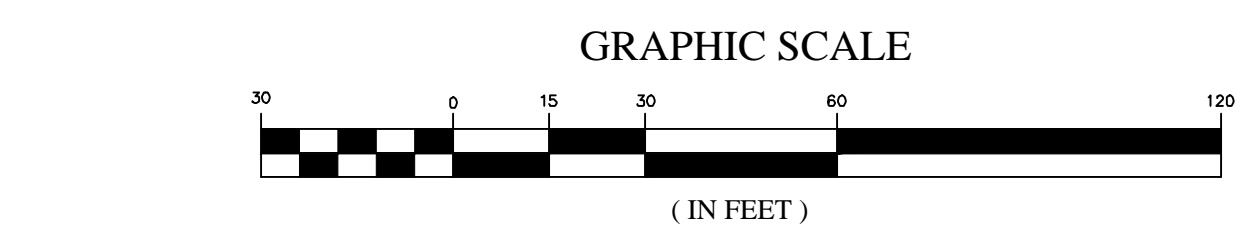
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Sheet: L2

Z:\V8-455\WV8-455\Westview Estates Plat A\design 18-455\WV8-455\Sheets\L2 LANDSCAPE PLAN.dwg

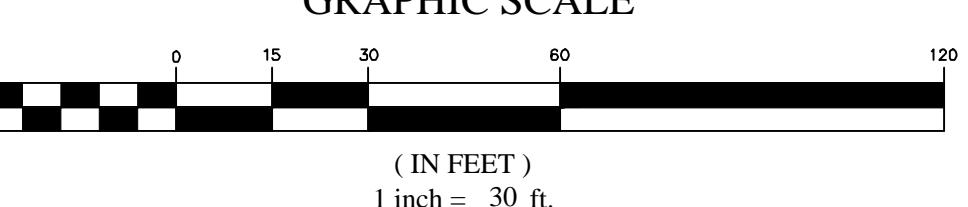
### TREE PLANTING & STAKING NOT TO SCALE



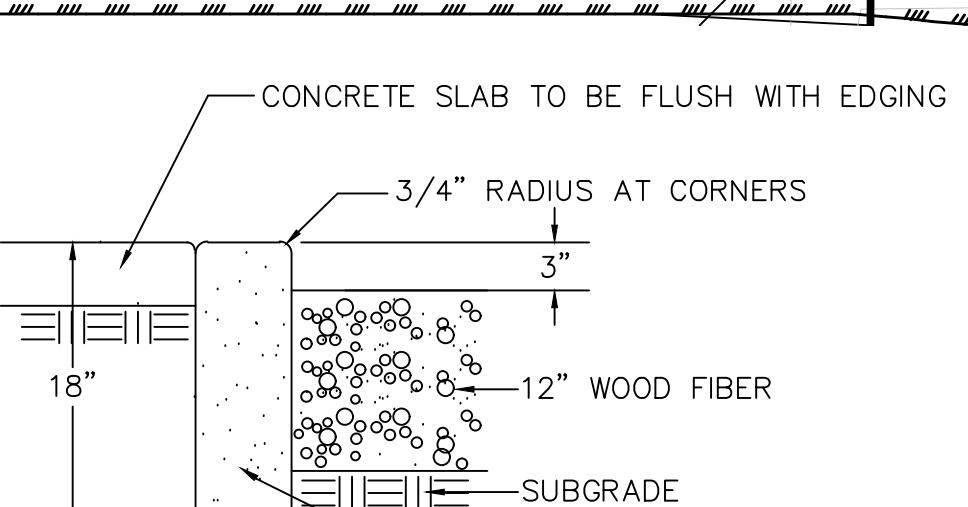
### CONCRETE BASKETBALL COURT SLAB & SHELTER NOT TO SCALE



### GRAPHIC SCALE



### PLAYGROUND CONC. CURB NOT TO SCALE

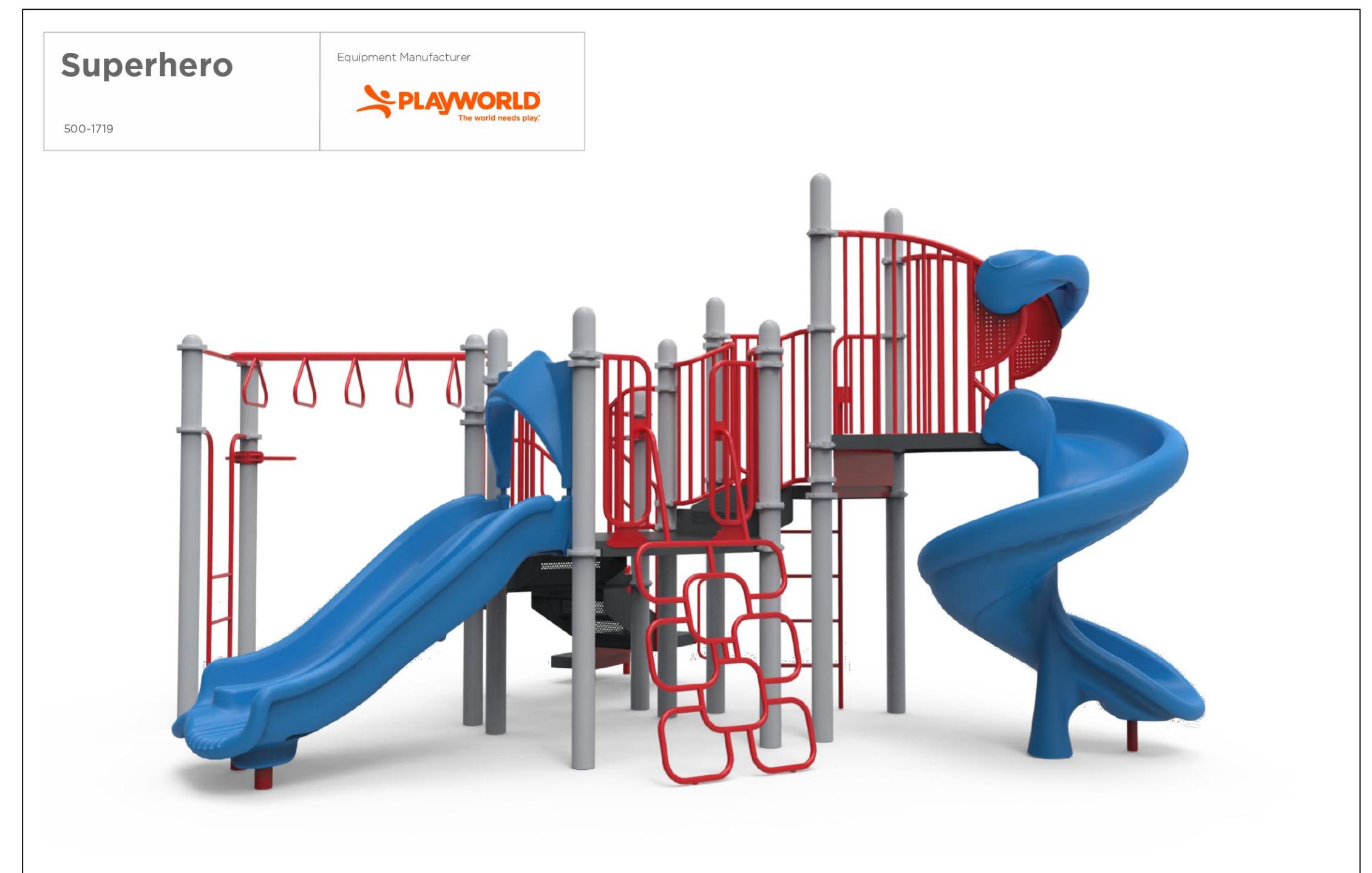




STRETCHED HEXAGON SHELTER BY ICON SHELTER SYSTEMS



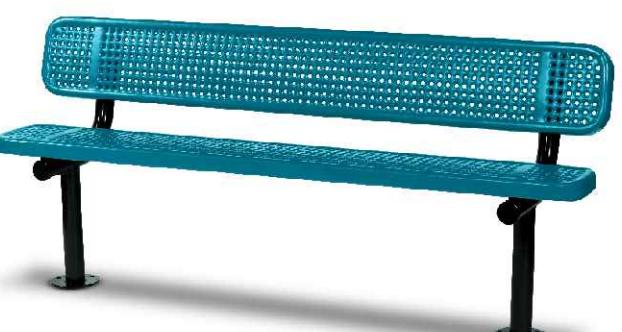
BASKETBALL STANDARD # 1523-30-39 BY PW ATHLETIC



SUPERHERO PLAYGROUND # 500-1719 BY PLAYWORLD



8' PICNIC TABLE #S800P (ALUMINUM POWDER COATED) BY PREMIER SITE FURNITURE COLOR: BY OWNER



6' BENCH WITH BACK # SG306P BY WABASH VALLEY

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a  
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WESTVIEW ESTATES PLAT A  
SARATOGA SPRINGS  
LANDSCAPE SITE AMENITIES

REVISION/BLOCK		DESCRIPTION	
#	DATE	.....	.....
1	.....	.....	.....
2	.....	.....	.....
3	.....	.....	.....
4	.....	.....	.....
5	.....	.....	.....
6	.....	.....	.....

LANDSCAPE SITE AMENITIES

Scale: NTS Drawn: AW  
Date: 7/11/2025 Job #: 18-455  
Sheet:

L3

