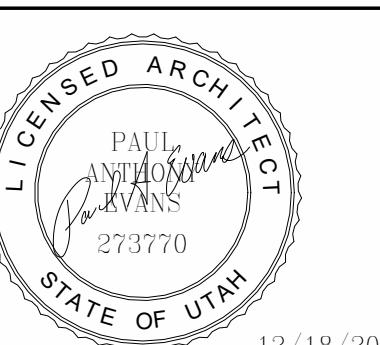
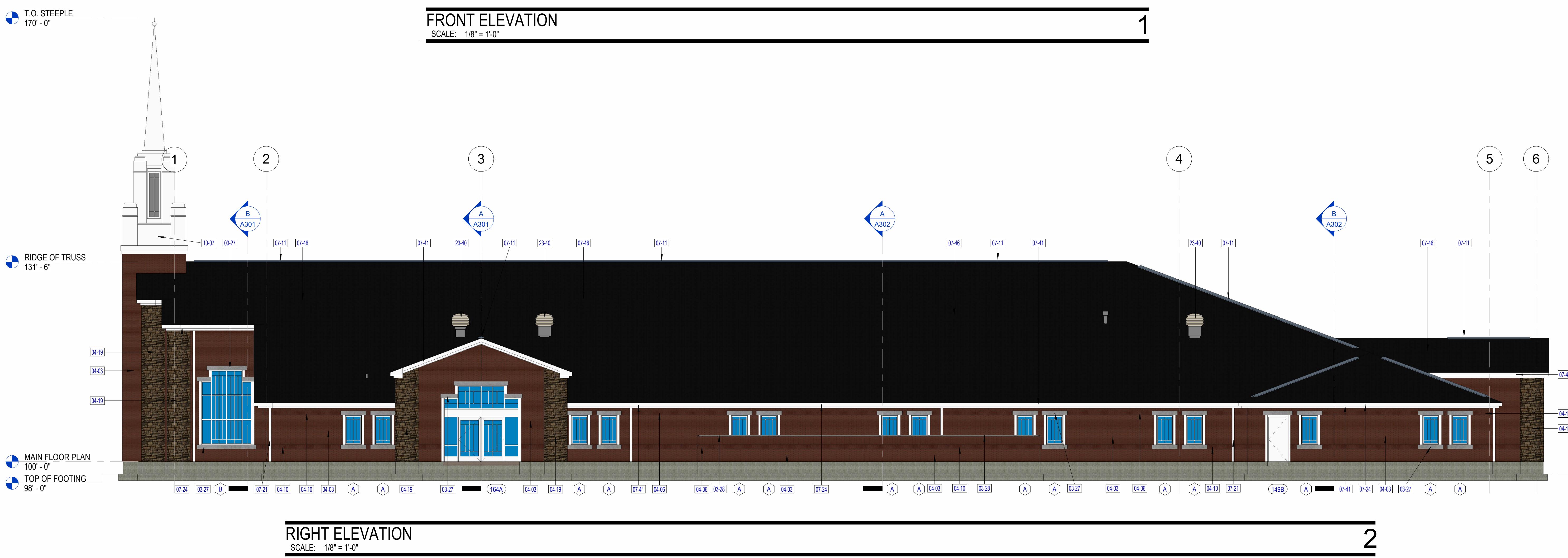
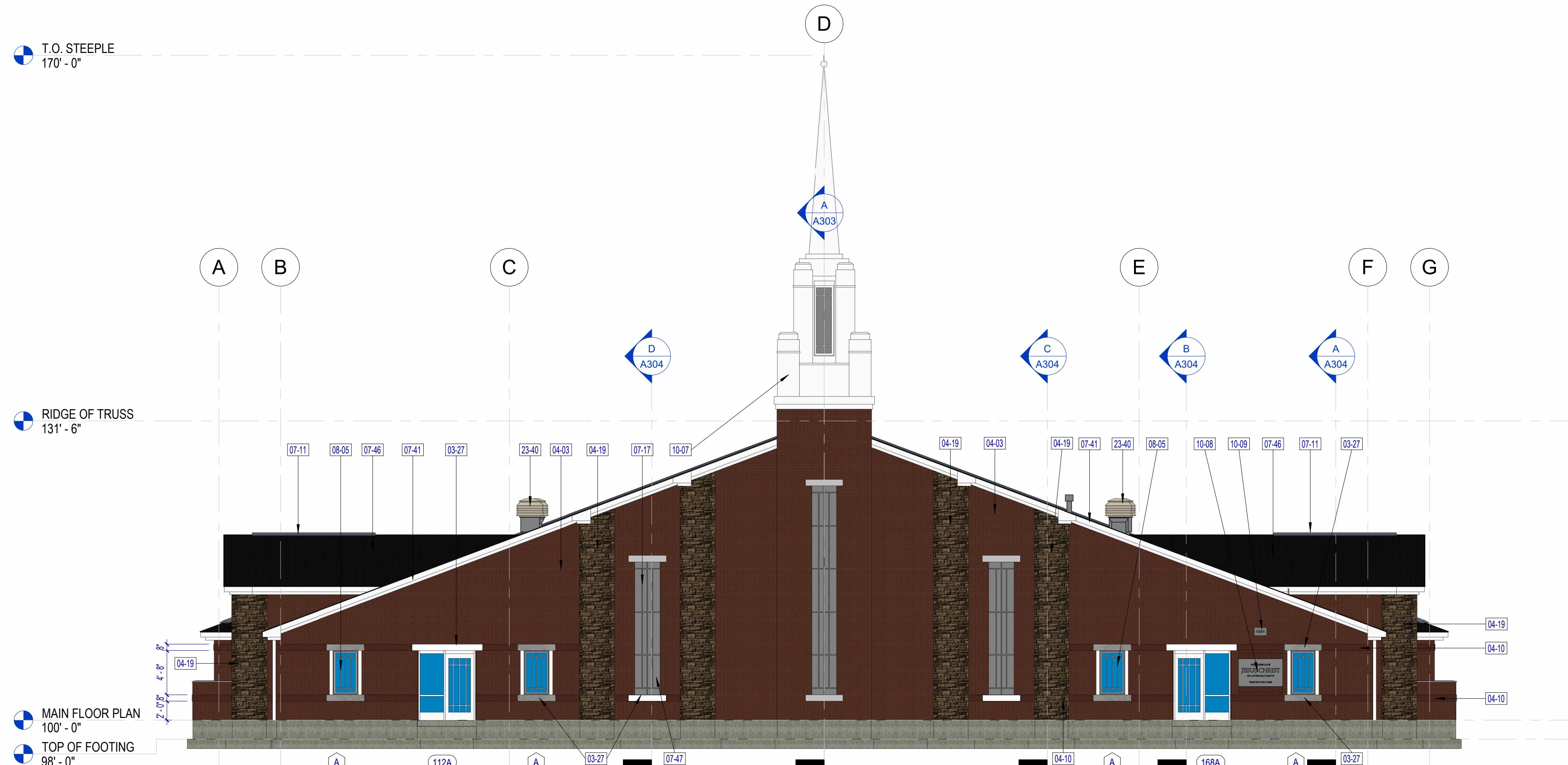


Keyed Notes

- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
- 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
- 04-03 BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS
- 04-06 ACCENT BRICK VENEER MASONRY
- 04-10 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
- 04-19 MANUFACTURED STONE VENEER; SEE DETAILS
- 07-11 ALUMINUM RIDGE VENT; SEE B.E.F/A122
- 07-17 WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT; SEE DETAILS
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-24 ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
- 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE ADD/A122
- 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
- 07-47 WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM; SEE DETAILS & SPECIFICATIONS
- 08-05 VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
- 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
- 10-08 STONE MEETINGHOUSE SIGN; SEE D&E/A203
- 10-09 BUILDING ADDRESS SIGN; SEE F&G/A203
- 23-40 HVAC PENTHOUSE; SEE MECHANICAL

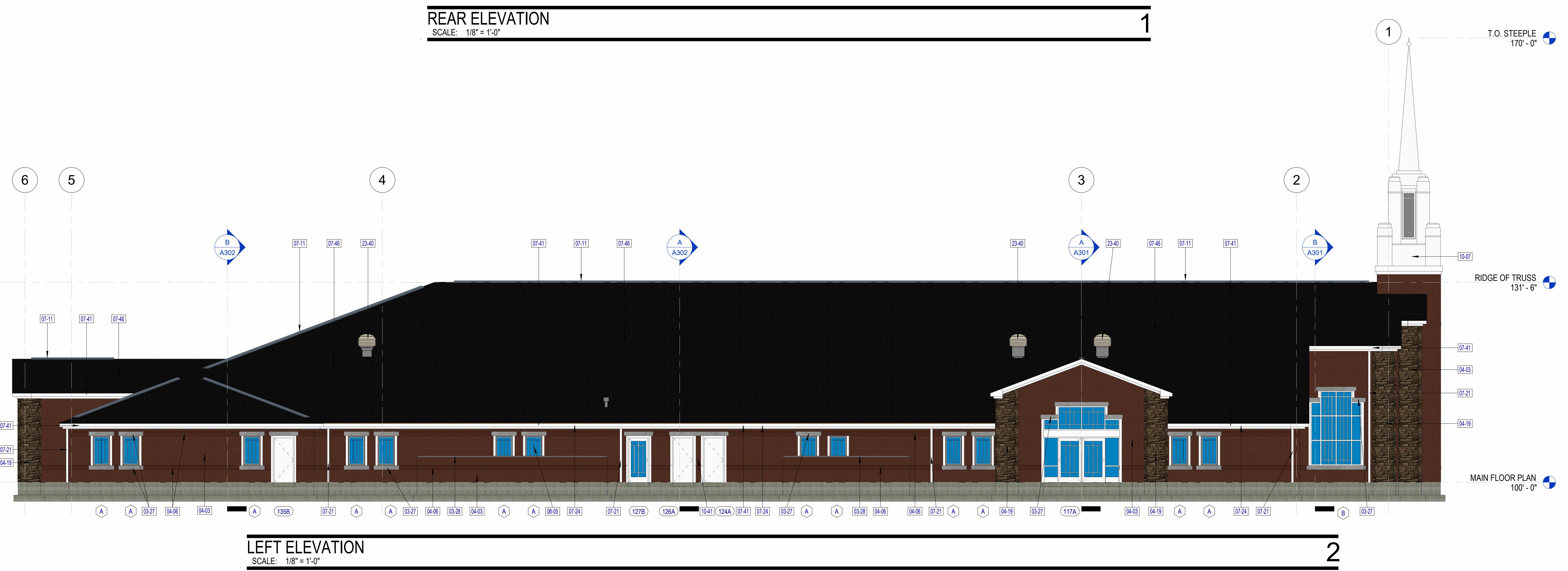
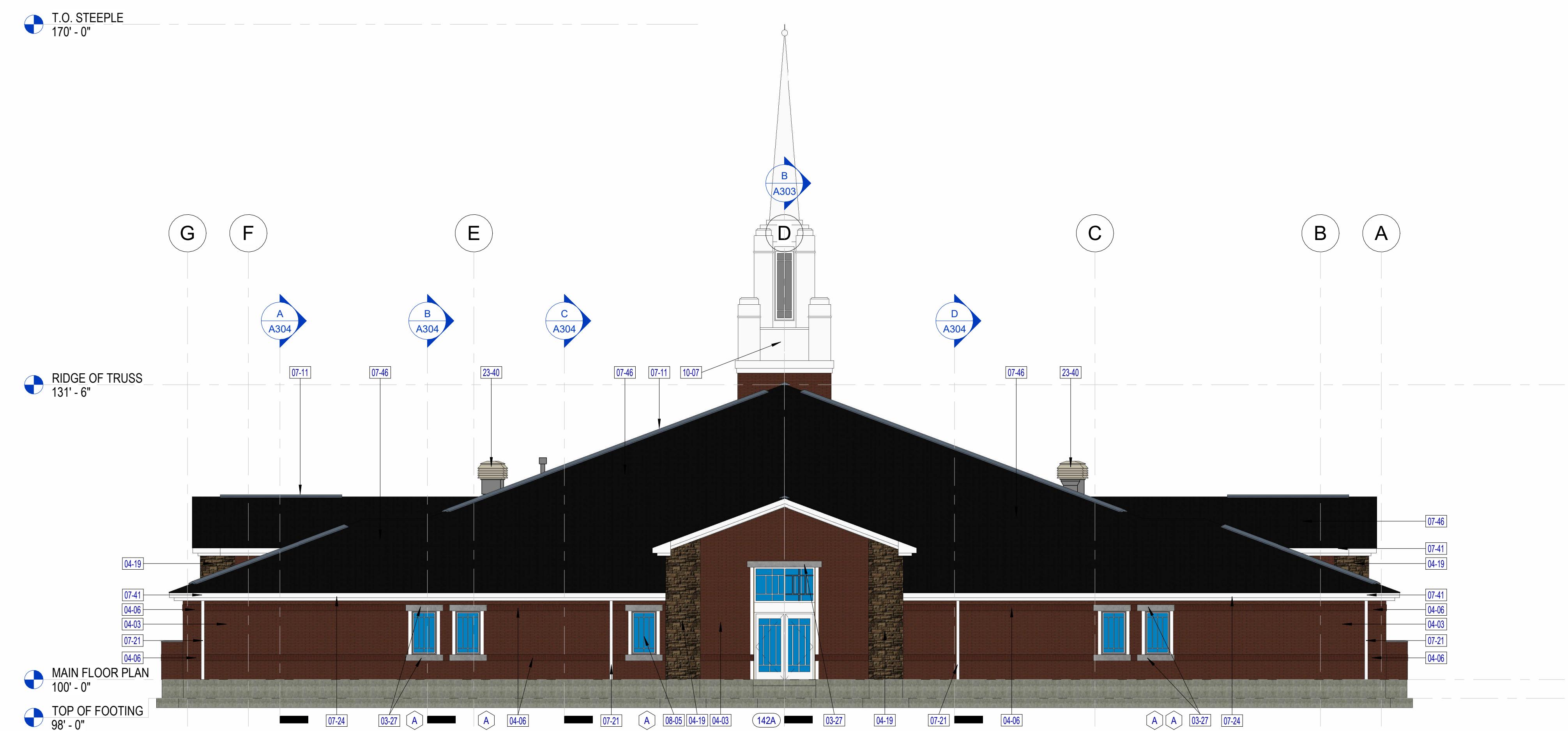


Project for:
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

A New Meetinghouse for
Saratoga Springs
7 (Neptune Park)
Saratoga Springs UT Riverside Stake
623 North Grand Sierra Way
Saratoga Springs, Utah

Keyed Notes

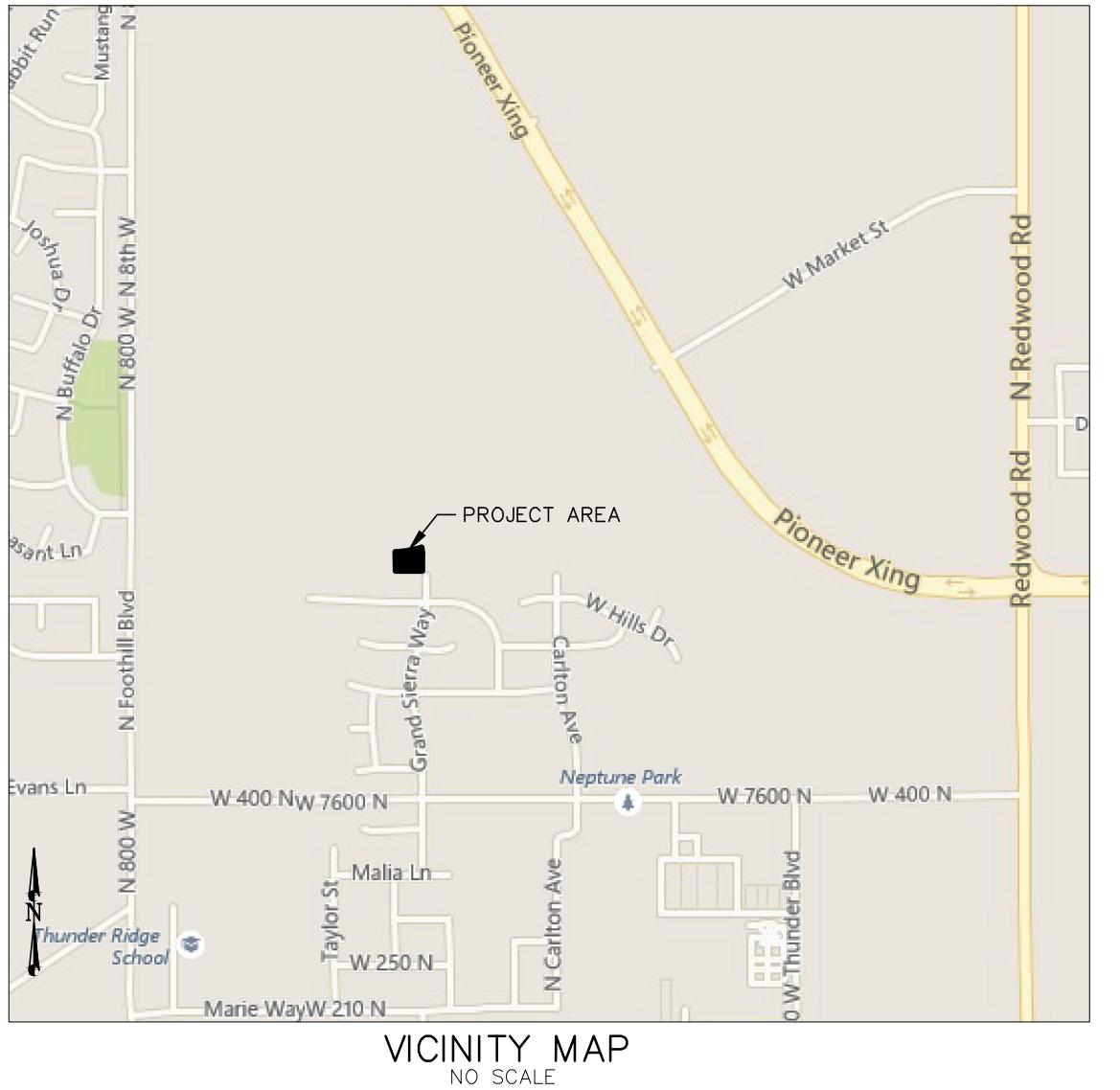
- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
- 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
- 04-03 BRICK VENEER MASONRY: RUNNING BOND; SEE DETAILS
- 04-06 ACCENT BRICK VENEER MASONRY; SEE SPECIFICATIONS
- 04-19 MANUFACTURED STONE VENEER, SEE SPECIFICATIONS
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- 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE AAD/A122
- 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
- 08-05 VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
- 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
- 10-41 KNOX BOX
- 23-40 HVAC PENTHOUSE; SEE MECHANICAL



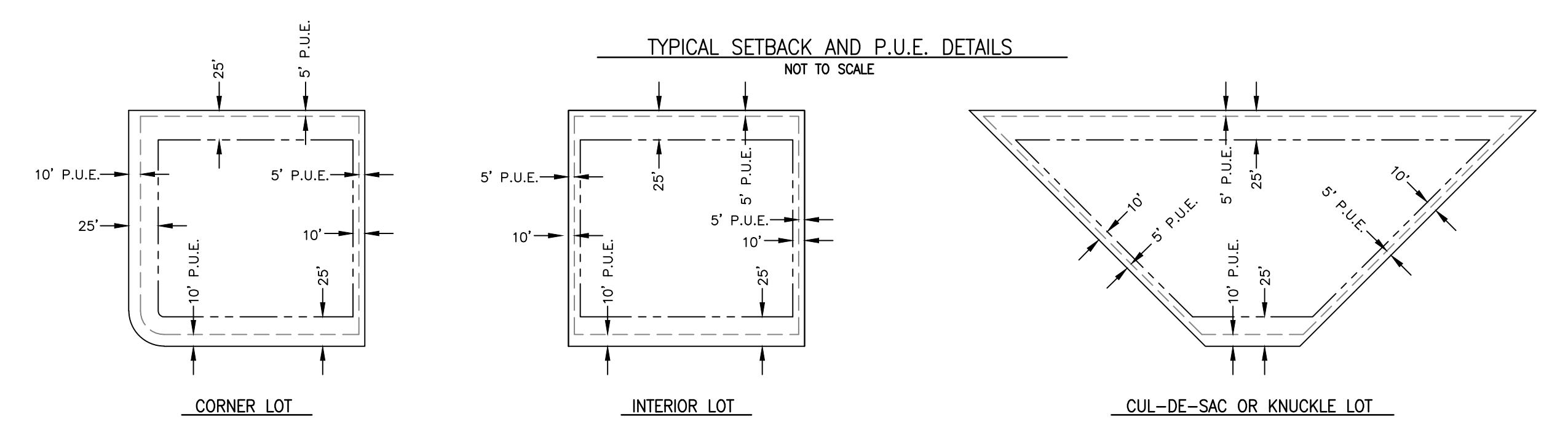
R202

GRAND SIERRA WAY CHURCH SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
MAY 2024



VICINITY MAP
NO SCALE



EXAMPLE ONLY: CHECK CITY ZONING ORDINANCES FOR SETBACK AND P.U.E. STANDARDS.

ENGINEER:
EXCEL ENGINEERING
DAVID PETERSON
12 WEST 100 NORTH, SUITE 201C
AMERICAN FORK, UTAH 84003
(801) 756-4504

DEVELOPER
CORPORATION OF THE PRESIDING BISHOP OF THE
CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
50 EAST NORTH TEMPLE
SALT LAKE CITY, UTAH 84150
(801) 240-1000

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS
AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING
UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES
WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION.
"APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(4)(C)(i). THE FOLLOWING NOTES ARE
NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA
SPRINGS POLICIES.



6891 South 700 West Ste. 150
Midvale, Utah 84047
Phone (801) 266-5099 Fax (801) 266-5032
office@diamondlandsurveying.com
www.diamondlandsurveying.com

PLANNING DIRECTOR
APPROVED BY THE PLANNING DIRECTOR, ON THIS
____ DAY OF ____ A.D. 20____

PLANNING DIRECTOR

COMCAST CABLE COMPANY
APPROVED THIS ____ DAY OF
A.D. 20____

CITY ENGINEER

CENTURY LINK
APPROVED THIS ____ DAY OF
A.D. 20____

CITY ENGINEER

LEHI CITY POST OFFICE
APPROVED BY THE POST OFFICE REPRESENTATIVE
THIS ____ DAY OF ____ A.D. 20____

CITY ENGINEER

DOMINION ENERGY
DOMINION ENERGY CORPORATION
APPROVED THIS ____ DAY OF ____ A.D. 20____

CITY ENGINEER

FIRE CHIEF
APPROVED BY THE FIRE CHIEF, ON THIS
____ DAY OF ____ A.D. 20____

FIRE CHIEF

SARATOGA SPRINGS ATTORNEY
APPROVED BY THE SARATOGA SPRINGS ATTORNEY, ON
THIS ____ DAY OF ____ A.D. 20____

SARATOGA SPRINGS ATTORNEY

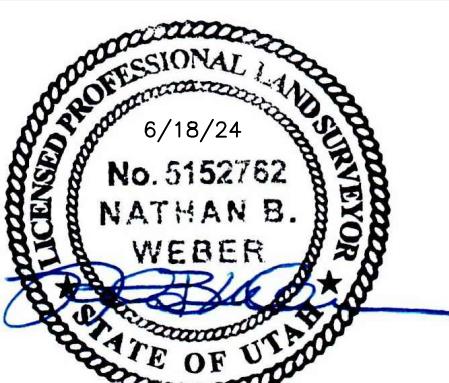
FIRE CHIEF

ROCKY MOUNTAIN POWER
APPROVED THIS ____ DAY OF ____ A.D. 20____

ROCKY MOUNTAIN POWER

GRAND SIERRA WAY
CHURCH SUBDIVISION
LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
MAY 2024

SURVEYOR'S SEAL
CITY ENGINEER'S SEAL
CLERK-RECORDER SEAL



THIS FORM APPROVED BY UTAH COUNTY AND THE MUNICIPALITIES THEREIN

SURVEYOR'S CERTIFICATE

I, NATHAN B. WEBER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 5152762, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; THAT I HAVE BEEN EMPLOYED BY THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, CORPORATION, TO SURVEY THIS SUBDIVISION PLAT IN ACCORDANCE WITH SECTION 17-23-17, HAVE VERIFIED THE MEASUREMENTS, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS GRAND SIERRA WAY CHURCH SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT BEING LOCATED SOUTH 0005'32" WEST 1325.83 FEET ALONG THE SECTION LINE AND SOUTH 89°54'48" WEST 866.78 FEET FROM THE NORTHEAST CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN;
THENCE NORTH 0°51'11" WEST 323.61 FEET TO A POINT OF CURVATURE;
THENCE NORTHWESTERLY 92.88 FEET ALONG THE ARC OF A 329.50 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 16°09'04" (LONG CHORD BEARS NORTH 080°49'43" WEST 92.58 FEET) TO A POINT OF REVERSE CURVATURE;
THENCE NORTHEASTERLY 22.87 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 18°49'02" (LONG CHORD BEARS SOUTH 80°32'20" WEST 666.49 FEET) TO A POINT OF NON-TANGENCY;
THENCE SOUTH 89°54'48" EAST 661.50 FEET ALONG SAID SUBDIVISION LINE, TO THE POINT OF BEGINNING.
PARCEL CONTAINS 213,248 SQ. FT. OR 4.895 ACRES.

NOTES

1. THIS PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF ____ 20____
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF THE DEVELOPING BUILDING AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. ____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR ANY STREETS AND/OR IMPROVEMENTS DESIGNATED AS PRIVATE ON THIS PLAT.
8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY ____ WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IN PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. WITHIN THIS PLAT ARE SUBJECT TO THE SITES, SOUNDS, ODORS, NUISANCES AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. SHALLOW SEWER DEPTHS. BEFORE EXCAVATING BASEMENTS, CONTRACTOR MUST VERIFY SEWER DEPTH.

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED SAME TO BE SUBDIVIDED INTO A LOT, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREINAFTER KNOWN AS:
AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS, OTHER RIGHTS, AND LIABILITIES WHICH MAY HEREAFTER BE ACQUIRED, WHETHER THE SAME BECOME INCURRED WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.
IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF ____ A.D. 2023.

CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE
BY: AUTHORIZED AGENT PRINT NAME: ____

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH)
COUNTY OF UTAH)
ON THIS ____ DAY OF ____ 2024, PERSONALLY APPEARED BEFORE ME
CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE, WHO ACKNOWLEDGED BEFORE
ME THAT HE/SHE SIGNED THE FOREGOING INSTRUMENT AS AUTHORIZED AGENT FOR THE CHURCH OF JESUS
CHRIST OF LATTER-DAY SAINTS, A UTAH CORPORATION SOLE, THAT SAID INSTRUMENT IS THE FREE AND
VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH
STATED THAT HE/SHE WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT ON BEHALF OF SAID CORPORATION AND
THAT SAID CORPORATION EXECUTED THE SAME.

WITNESS MY HAND

NOTARY PUBLIC SIGNATURE: ____
PRINT NAME AS COMMISSIONED: ____
COMMISSION NUMBER: ____
MY COMMISSION EXPIRES: ____
A PUBLIC NOTARY COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF ____ A.D. 20____.

CITY MAYOR ATTEST CITY RECORDER (SEE SEAL BELOW)

GRAND SIERRA WAY CHURCH SUBDIVISION

ROCKY MOUNTAIN POWER

1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED HEREIN PURSUANT TO THE CODE ANN. 54-3-27, ROCKY MOUNTAIN POWER HAS APPROVED THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS TO A RECORDED EASEMENT OR RIGHT-OF-WAY.
2. THE LAW APPLICABLE TO PERTINENT RIGHTS.
3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR D. ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF ____ A.D. 20____

ROCKY MOUNTAIN POWER

DOMINION ENERGY DOMINION ENERGY CORPORATION

DOMINION ENERGY DOMINION ENERGY CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THAT PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES OF PURCHASE AND SALE. DOMINION ENERGY CORPORATION GUARANTEES OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY DOMINION ENERGY CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS ____ DAY OF ____ A.D. 20____

DOMINION ENERGY DOMINION ENERGY CORP. TITLE: ____

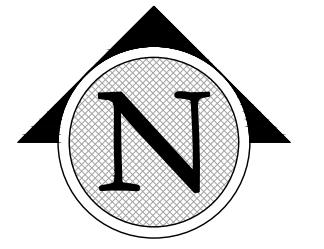
SARATOGA SPRINGS ATTORNEY
APPROVED BY THE SARATOGA SPRINGS ATTORNEY, ON
THIS ____ DAY OF ____ A.D. 20____

SARATOGA SPRINGS ATTORNEY

FIRE CHIEF

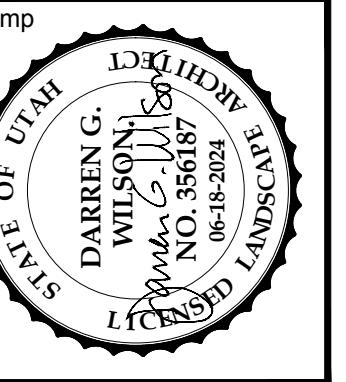
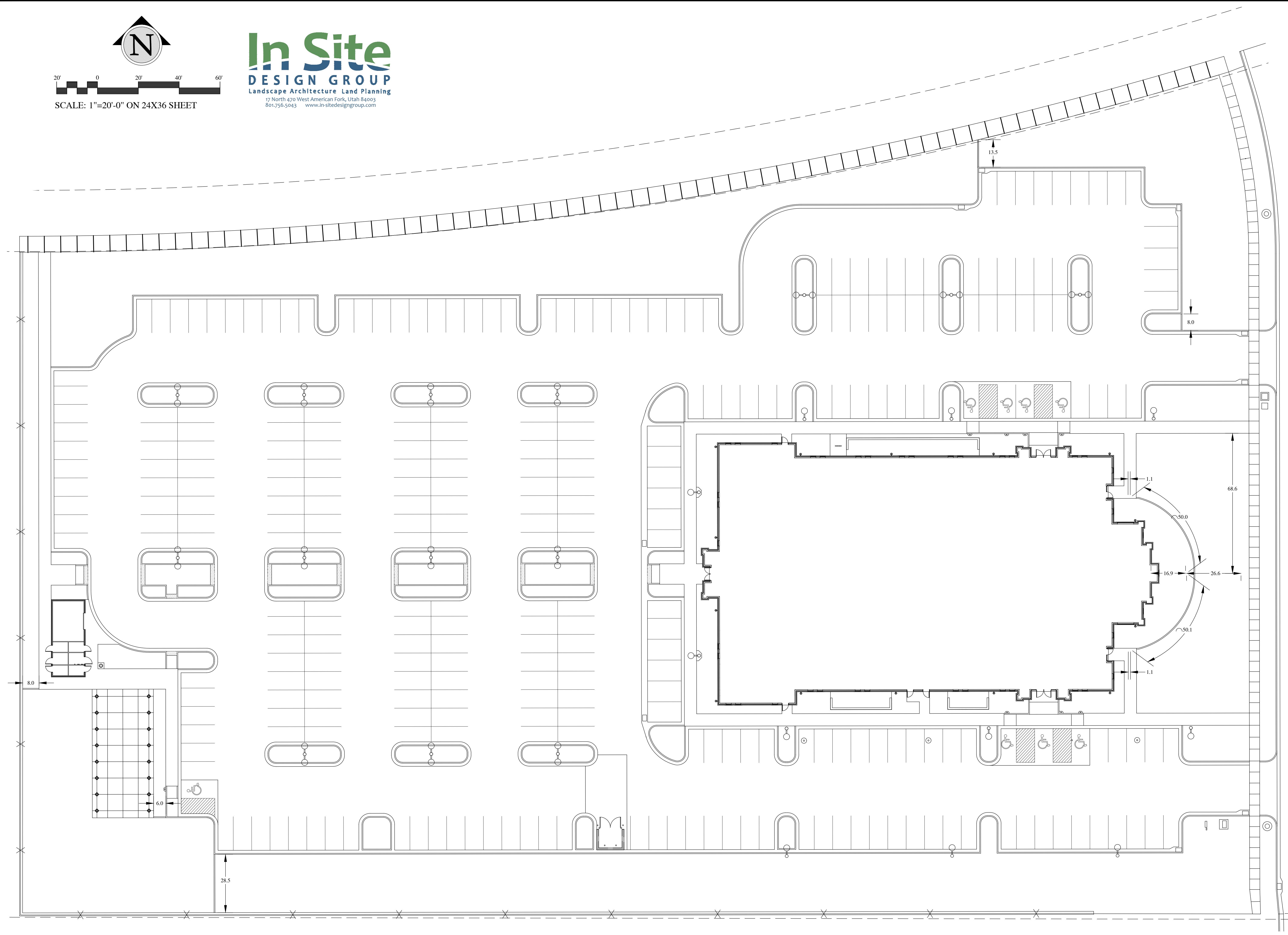
FIRE CHIEF

FIRE CHIEF



20' 0' 20' 40' 60'
SCALE: 1"=20'-0" ON 24X36 SHEET

InSite
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801.756.5043 www.insitedesigngroup.com



Stamp
EVANS + ASSOCIATES ARCHITECTURE
1578 South State Street, Suite 100, Utah 84020
Phone 801-553-8273

A New Meetinghouse for:
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Saratoga Springs UT Riverside Stake
623 North Grand Sierra Way
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Project for:
**THE CHURCH OF
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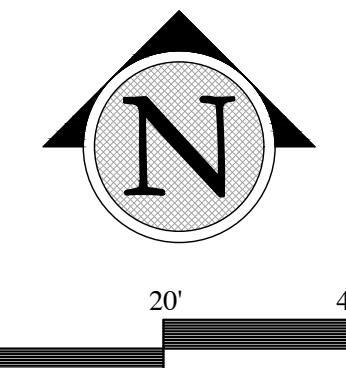
Revisions
Mark Date Description
23-88
Plan Series
Heritage 23-2
Property Number
500-9662-22010101
Date
June 18, 2024

Sheet Title

**DIMENSION
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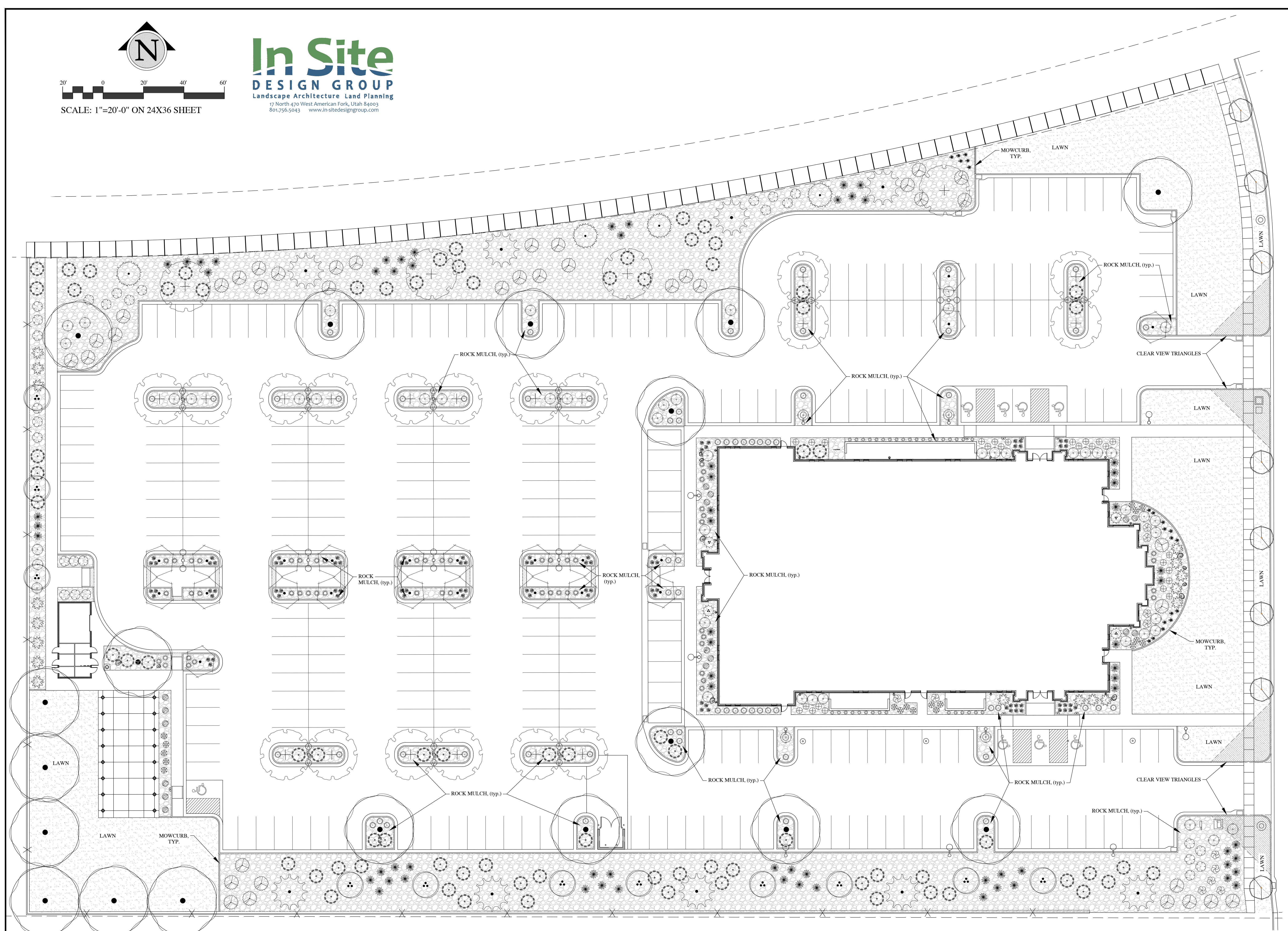
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SCALE: 1"=20'-0" ON 24X36 SHEET

InSite
DESIGN GROUP
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17 North 470 West American Fork, Utah 84003
801.756.5043 www.insitelandscapegroup.com



A New Meetinghouse for:
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Project for:
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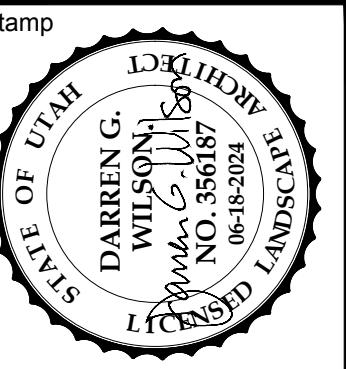
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PLANTING PLAN

Sheet

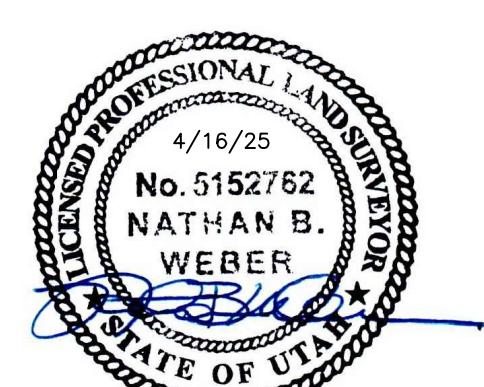
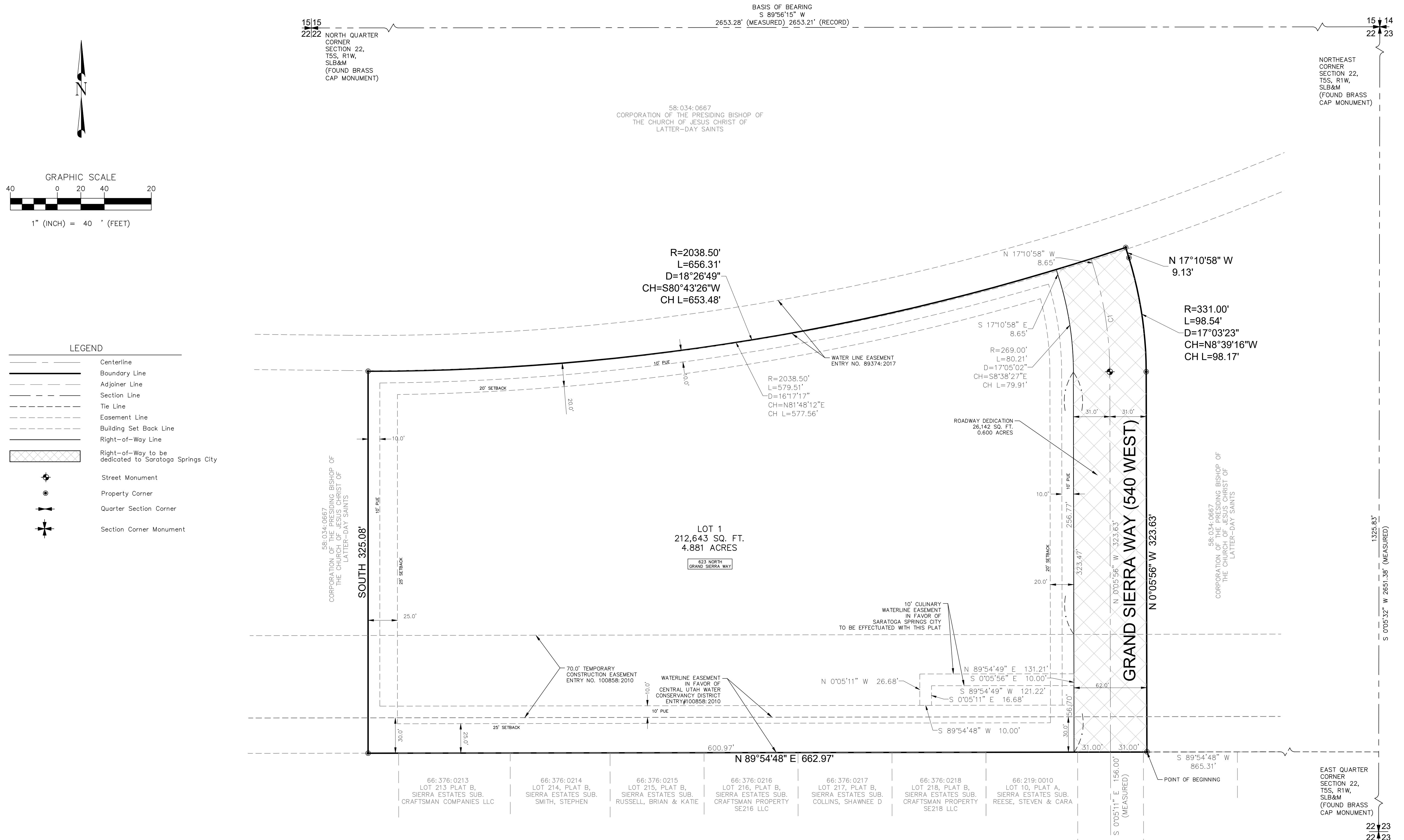
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es
EVANS + ASSOCIATES architecture
11570 south state street, suite 103a, deerfield, utah 84020
phone 801-553-8273
fax 801-553-8273



GRAND SIERRA WAY CHURCH SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS, UTAH COUNTY, UTAH
APRIL 2025



GRAND SIERRA WAY CHURCH SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS, UTAH COUNTY, UTAH
APRIL 2025