

Keyed Notes

- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
- 03-28 PRECAST ARCHITECTURAL CONCRETE CAP; SEE DETAILS
- 04-03 BRICK VENEER MASONRY; RUNNING BOND; SEE DETAILS
- 04-06 ACCENT BRICK VENEER MASONRY
- 04-10 ACCENT BRICK VENEER MASONRY; SOLDIER COURSE; SEE DETAILS
- 04-19 MANUFACTURED STONE VENEER; SEE SPECIFICATIONS
- 07-11 ALUMINUM RIDGE VENT; SEE B.E.FIA122
- 07-17 WATER-MANAGED EIFS ARCHITECTURAL SCORING JOINT; SEE DETAILS
- 07-21 ALUMINUM ROOF DOWNSPOUT; SEE DETAILS
- 07-24 ALUMINUM GUTTERS AND DOWNSPOUTS; SEE DETAILS
- 07-41 ALUMINUM SHEET METAL FASCIA, FLASHING & TRIM; SEE A&D/A122
- 07-46 COMPOSITE ASPHALT SHINGLES; SEE DETAILS & SPECIFICATIONS
- 07-47 WATER-MANAGED EIFS EXTERIOR WALL FINISH SYSTEM; SEE DETAILS & SPECIFICATIONS
- 08-05 VINYL FRAMED FIXED WINDOW; SEE DOOR AND WINDOW SCHEDULES AND DETAILS
- 10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
- 10-08 STONE MEETINGHOUSE SIGN; SEE D&E/A203
- 10-09 BUILDING ADDRESS SIGN; SEE F&G/A203
- 23-40 HVAC PENTHOUSE; SEE MECHANICAL

Revision Schedule		
#	Description	Date

12/18/2023

ea architecture
11576 South State Street, Suite 103b
Draper, Utah 84020

Project for:

THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

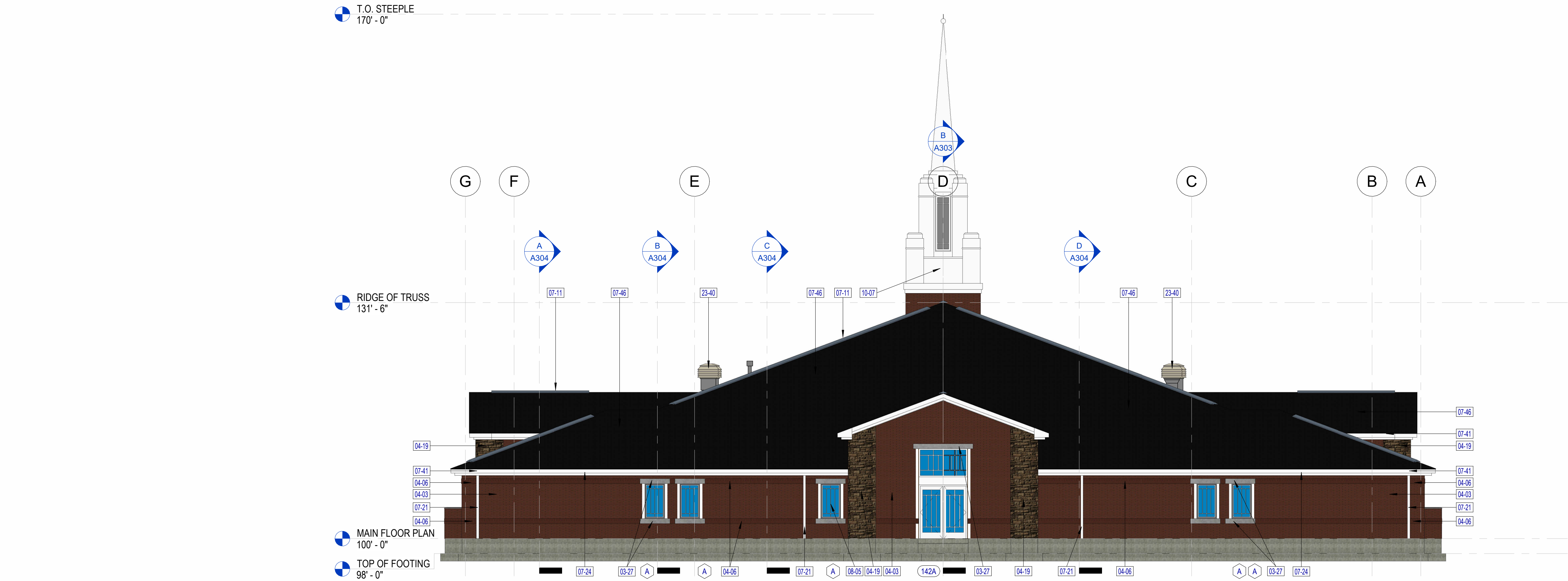
A New Meetinghouse for

**Saratoga Springs
7 (Neptune Park)**

Saratoga Springs UT Riverside Stake
623 North Grand Sierra Way
Saratoga Springs, Utah

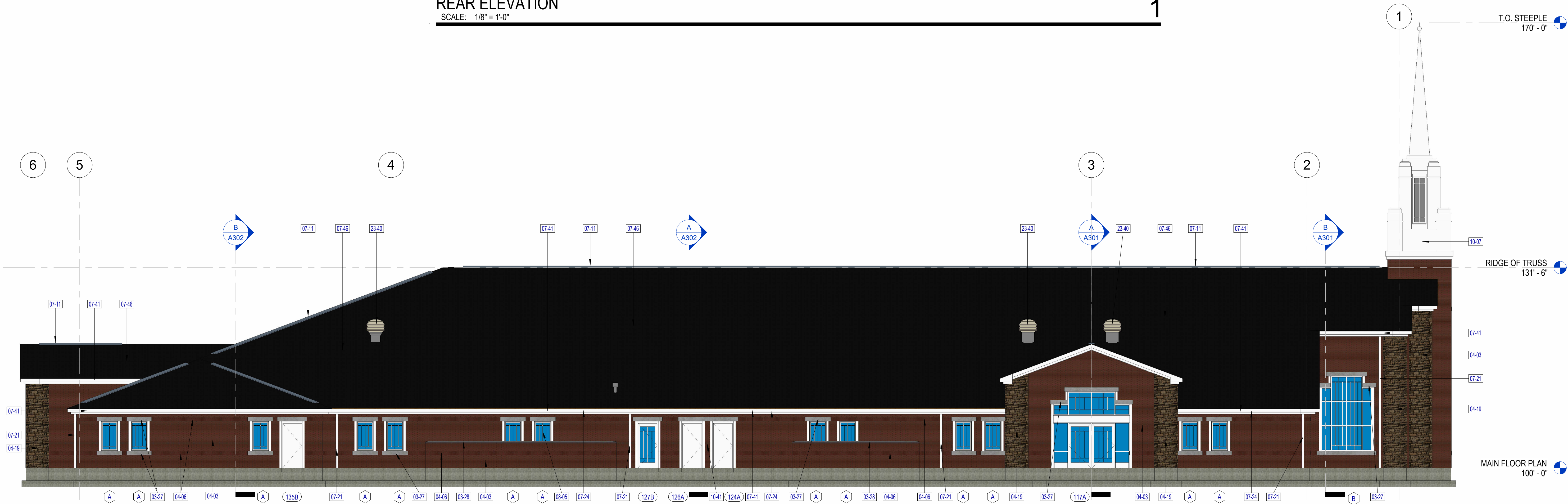
Project Number:	23-88
Property Number:	500-9662-22010101
June 18, 2024	
Exterior Elevations	

R201



REAR ELEVATION
SCALE: 1/8" = 1'-0"

1



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

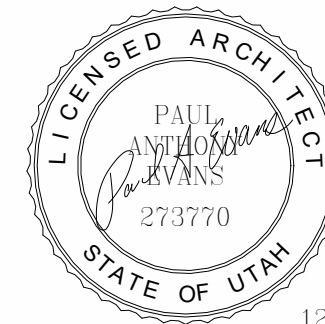
2

Keyed Notes

- 03-27 PRECAST ARCHITECTURAL CONCRETE; SEE DETAILS
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07-46 COMPOSITE ASPHALT SHINGLES, SEE DETAILS & SPECIFICATIONS
08-05 VINYL FRAMED FIXED WINDOW, SEE DOOR AND WINDOW SCHEDULES AND DETAILS
10-07 ALUMINUM STEEPLE; SEE ELEVATIONS, ENLARGED PLANS, SECTIONS AND DETAILS
10-41 KNOX BOX
23-40 HVAC PENTHOUSE; SEE MECHANICAL

Revision Schedule

#	Description	Date
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Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

A New Meetinghouse for
Saratoga Springs 7 (Neptune Park)
Saratoga Springs UT Riverside Stake
623 North Grand Sierra Way
Saratoga Springs, Utah

Project Number: 23-88

Property Number: 500-9662-22010101

June 18, 2024

Exterior Elevations Copy 1

R202

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
MAY 2024



DEVELOPER
CORPORATION OF THE PRESIDING BISHOP OF THE
CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
50 EAST NORTH TEMPLE
SALT LAKE CITY, UTAH 84150
(801) 240-1000

A SPRINGS ATTORNEY

NOTES

1. THIS PLAN MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENT, 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAN MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF THE DEVELOPING, BUILDING AND USING PROPERTY WITHIN THIS PLAN. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR ANY STREETS AND/OR IMPROVEMENTS DESIGNATED AS PRIVATE ON THIS PLAT.
8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY _____ WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IN PROBLEMATIC CONDITIONS. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS WITHIN THIS PLAT ARE SUBJECT TO THE SITES, SOUNDS, ODORS, NUISANCES AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OF CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. SHALLOW SEWER DEPTHS. BEFORE EXCAVATING BASEMENTS, CONTRACTOR MUST VERIFY SEWER DEPTH.

ROCKY MOUNTAIN POWER

APPROVED THIS _____ DAY OF _____, A.D. 20____

BY- _____
TITLE- _____

I, JATHAN B. WEBER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 51527462, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS ACT; I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE SUBDIVISION MAP IN ACCORDANCE WITH SECTION 17-24-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE SUBMITTED SAID MAP OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HERETOBE TO BE KNOWN AS GRAND SIERRA WAY CHURCH SUBDIVISION AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GRADES AS SHOWN ON THIS PLAT.

PARCEL CONTAINS 213,248 SQ. FT. OR 4.895 ACRES.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS _____, DAY OF _____, A.D. 2023.

BY: _____
AUTHORIZED AGENT

PRINT NAME

WITNESS MY HAND

A PUBLIC NOTARY COMMISSIONED IN UTAH

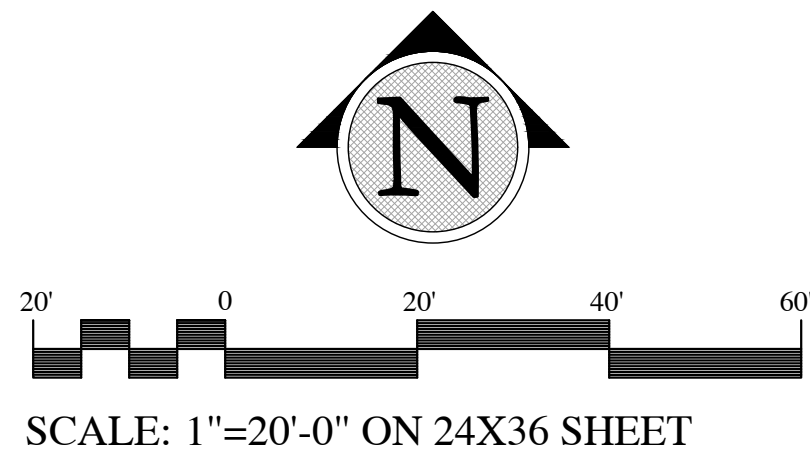
THIS _____ DAY OF _____, A.D. 20_____

CITY MAYOR

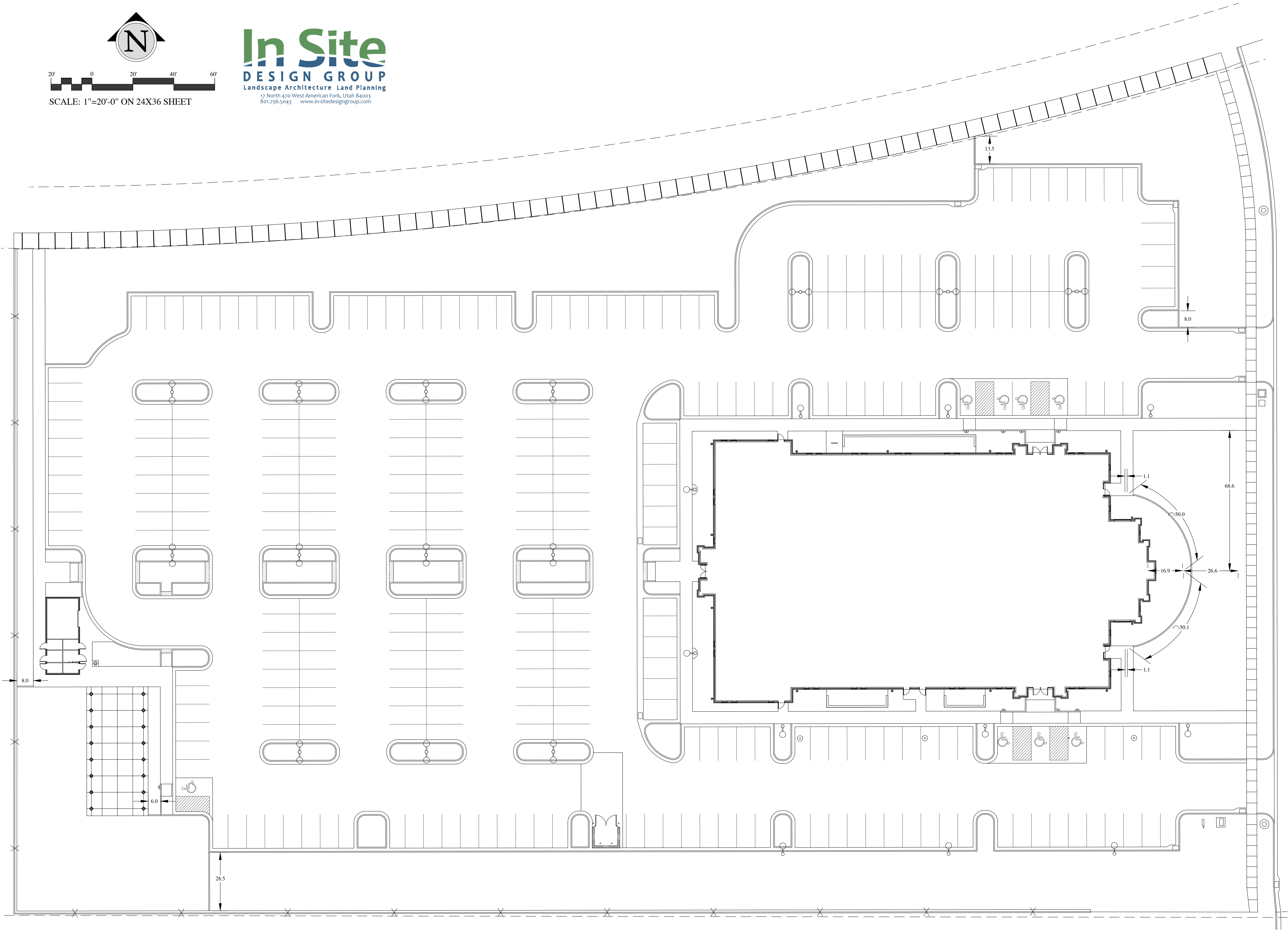
ATTEST _____
CITY RECORDER (SEE SEAL BELOW)

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
MAY 2024

THIS FORM APPROVED BY UTAH COUNTY AND THE MUNICIPALITIES THEREIN



In Site
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801.756.5043 www.in-sitedesigngroup.com



evans + associates architecture
1100 West 1000 South, Suite 200
Salt Lake City, UT 84119
phone 801-553-8277 fax 801-553-8273

Stamp

A New Meetinghouse for:
Saratoga Springs 7 (Neptune Park)
Saratoga Springs UT Riverside Stake

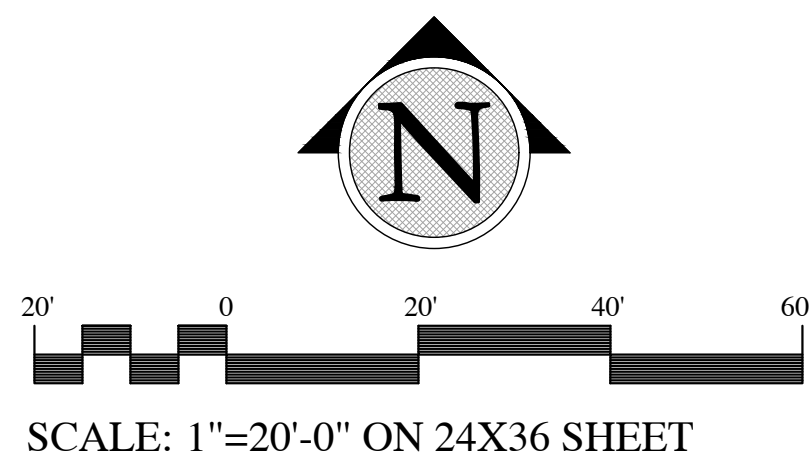
Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Mark	Date	Description

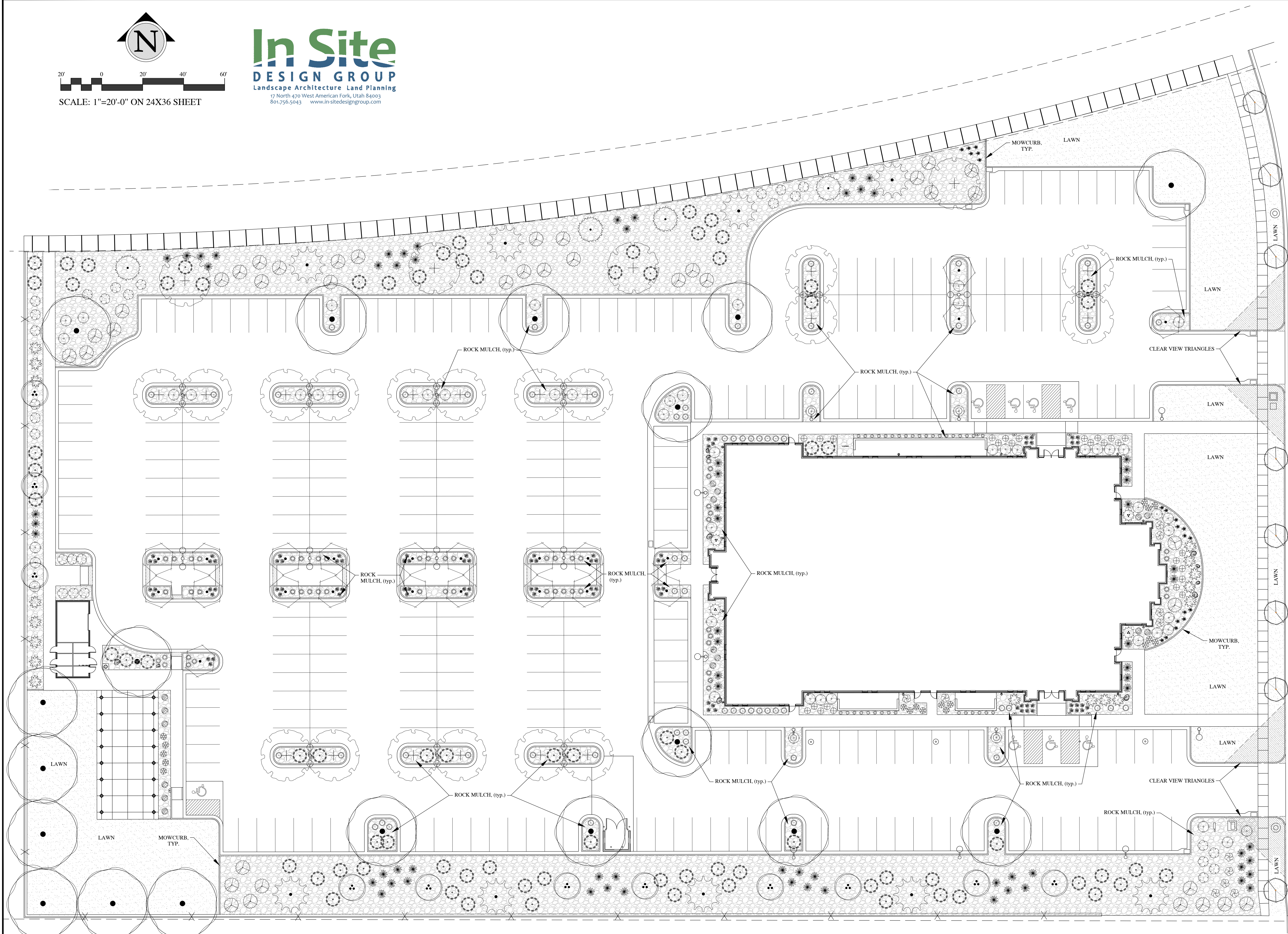
Project Number
23-68
Plan Series
Heritage 23-2
Property Number
500-9662-22010101
Date
June 18, 2024

Sheet Title
DIMENSION PLAN

Sheet
LS1.1



In Site
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801.756.5043 www.in-sitedesigngroup.com



evans + associates architecture
11976 south sierra way, suite 100, saratoga springs, utah 84020
phone 801-555-5227 fax 801-555-5273

Stamp

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Saratoga Springs 7 (Neptune Park)
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623 North Grand Sierra Way
Saratoga Springs, Utah

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Revisions	Mark	Date	Description

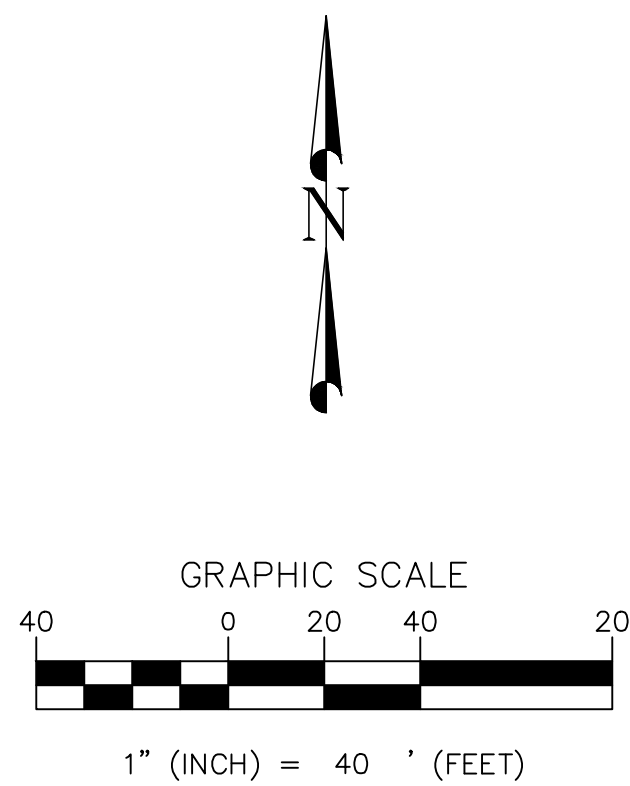
Project Number
23-88
Plan Series
Heritage 23-2
Property Number
500-9662-22010101
Date
June 18, 2024

Sheet Title
PLANTING PLAN

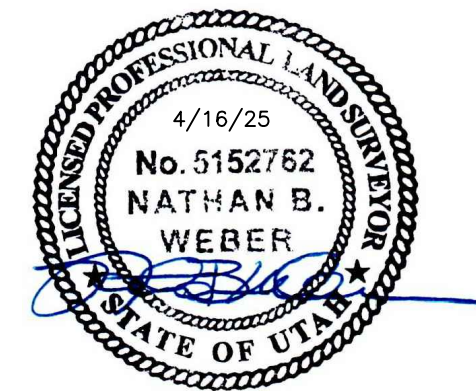
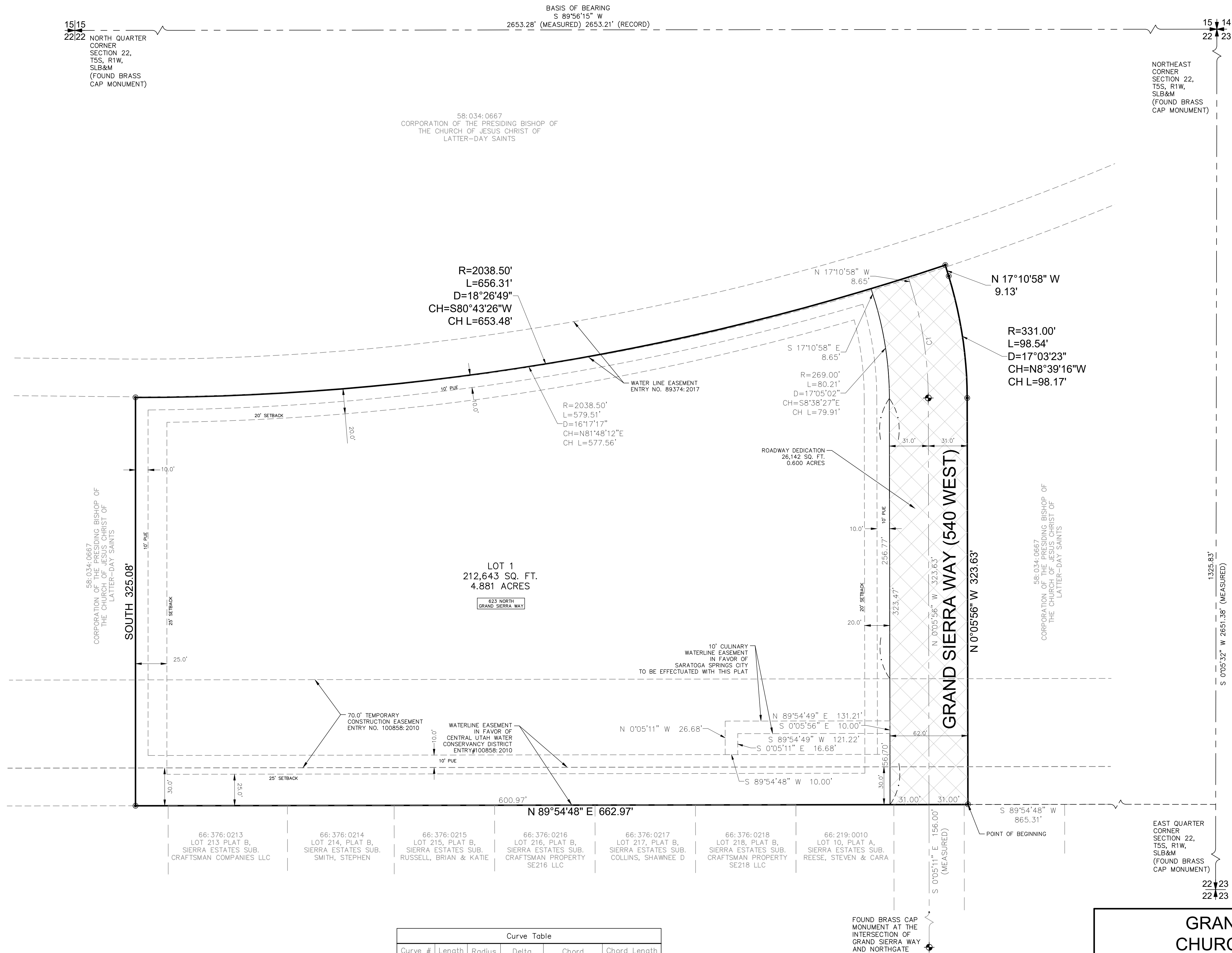
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LS2.1

GRAND SIERRA WAY CHURCH SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
SARATOGA SPRINGS, UTAH COUNTY, UTAH
APRIL 2025



LEGEND	
	Centerline
	Boundary Line
	Adjoiner Line
	Section Line
	Tie Line
	Easement Line
	Building Set Back Line
	Right-of-Way Line
	Right-of-Way to be dedicated to Saratoga Springs City
	Street Monument
	Property Corner
	Quarter Section Corner
	Section Corner Monument



Curve Table					
Curve #	Length	Radius	Delta	Chord	Chord Length
C1	89.29'	300.00'	01°03'10"	N 08°39'23" W	88.96'



6891 South 700 West Ste. 150
Midvale, Utah 84047
Phone (801) 266-5099 Fax (801) 266-5032
office@diamondlandsurveying.com
www.diamondlandsurveying.com

GRAND SIERRA WAY CHURCH SUBDIVISION

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TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
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APRIL 2025