



VILLAGE PLAN AREA 8

April 5, 2024

APPROVED May 21, 2024



WILDFLOWER

AT SARATOGA SPRINGS

A **DAI** Community



VILLAGE PLAN

Prepared By

Lennar Homes

DAI

LEI Engineers & Surveyors

Landmark Design

Hales Engineering

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01 Executive Summary

Findings for Village Plan 8

Village Plan Area 8 is a 64.04-acre area within the 1,202-acre Wildflower Amended and Restated Community Plan (ARCP) located in Saratoga Springs, Utah . The Wildflower Village Plan Area 8 is compliant with all PC Zone Requirements for Village Plans as defined in *Section 19.26.09 of the Saratoga Springs Municipal Code* . We find that Village Plan Area 8:

- a. Is consistent with the adopted Wildflower ARCP; Village Plan Area 8 adheres to the development standards, thoroughfare types, and open spaces types and requirements established in the Wildflower ARCP .
- b. Does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Wildflower ARCP;
 - » The number of potential ERUs established in the Wildflower ARCP for Village Plan Area 8 is 304 . Village Plan Area 8 is 274 ERUs and is comprised of two neighborhoods . The density transfer is under 15%, which is the maximum percentage allowed in the Wildflower ARCP See ARCP for density transfer table .
- c. Is consistent with the utility, infrastructure, and circulation plans of the Wildflower ARCP and Master Utility Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
- d. Properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - » Wildflower has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the property . Wildflower was designed to maximize pedestrian, bike, and other mobility options . Open space is highly integrated to provide direct and easy access to residents .

Contains the required elements as required in ***Section 19.26.10 of the Saratoga Springs Municipal Code*** .



02 Legal Description

Legal Description Prepared by LEI



ENGINEERS
SURVEYORS
PLANNERS

LEGAL DESCRIPTIONS
PREPARED FOR
DAI
Job No. 13-0902
(November 11, 2021)

VILLAGE 8 LEGAL DESCRIPTION

A portion of the Southeast Quarter and the Southwest Quarter of Section 9 and the Southeast Quarter of Section 8, Township 5 South, Range 1 West, Salt Lake Base and Meridian, described as follows:

Beginning at a BLM aluminum pipe and cap monument marking the Center South 1/16 Corner of Section 9, being located S00°20'24"W along the Section Line 1329.20 feet and N89°45'47"W 2668.09 feet from the East Quarter Corner of Section 9, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence N89°36'37"W along the South line of the North Half of the Southwest Quarter of said Section 9, (defined in Deed Entry No. 43758:2011 in the official records of the Utah County Recorder) 2634.36 feet to the Southeast corner of the North Half of the Southeast Quarter of Section 8, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence N88°46'35"W along said South line (defined in Deed Entry No. 28603:2015 in the official records of the Utah County Recorder) 2079.85 feet; thence N01°13'37"E 37.44 feet; thence along the arc of a 1052.50 foot radius curve to the right 66.36 feet through a central angle of 03°36'46" (chord: N03°02'00"E 66.35 feet); thence S78°02'22"E 217.68 feet; thence S88°52'21"E 1344.00 feet; thence N01°07'39"E 110.00 feet; thence N01°42'09"W 59.07 feet; thence along the arc of a 12.00 foot radius non-tangent curve to the left 21.53 feet through a central angle of 102°47'04" (chord: N39°44'07"E 18.75 feet) to a point of reverse curve; thence along the arc of a 229.50 foot radius curve to the right 51.21 feet through a central angle of 12°47'04" (chord: N05°15'53"W 51.10 feet); thence N01°07'39"E 520.59 feet; thence N01°09'47"W 100.08 feet; thence N01°07'39"E 161.92 feet; thence along the arc of a 12.00 foot radius curve to the left 18.94 feet through a central angle of 90°25'23" (chord: N44°05'03"W 17.03 feet); thence N00°42'16"E 95.00 feet; thence S89°17'44"E 427.79 feet; thence along the arc of a 1147.50 foot radius curve to the right 544.11 feet through a central angle of 27°10'05" (chord: S75°42'42"E 539.03 feet) to a point of reverse curve; thence along the arc of a 1152.50 foot radius curve to the left 558.29 feet through a central angle of 27°45'17" (chord: S76°00'18"E 552.84 feet); thence S89°52'56"E 627.93 feet; thence along the arc of a 3047.50 foot radius curve to the right 275.00 feet through a central angle of 05°10'13" (chord: S87°17'50"E 274.91 feet); thence S84°42'44"E 228.48 feet; thence S05°17'16"W 95.00 feet; thence S84°42'44"E 30.00 feet; thence along the arc of a 12.00 foot radius curve to the right 18.85 feet through a central angle of 90°00'00" (chord: S39°42'44"E 16.97 feet); thence S05°17'16"W 98.27 feet; thence along the arc of a 80.00 foot radius curve to the right 23.87 feet through a central angle of 17°05'54" (chord: S13°50'14"W 23.79 feet); thence along the arc of a 170.50 foot radius curve to the right 114.84 feet through a central angle of 38°35'25" (chord: S41°40'53"W 112.68 feet); thence S60°58'36"W 302.64 feet; thence N29°01'24"W 70.00 feet; thence S60°58'36"W 120.00 feet; thence S76°37'15"W 78.73 feet; thence N84°16'30"W 199.84 feet; thence S05°43'30"W 70.00 feet; thence N84°16'21"W 68.75 feet; thence S05°43'39"W 219.00 feet; thence S84°16'21"E 961.15 feet; thence N60°58'36"E 460.06 feet; thence S00°33'34"E along the Quarter Section Line 300.13 feet to the point of beginning.

Contains: ±59.47 Acres

2,590,681 Sq. Ft.

Corporate Office: 8502 N. Main Street • Spanish Fork, UT 84550
Salt Lake Office: 1444 E. South Red West • Midvale, UT 84055
Boise Office: 2040 S. Eagle Road • Meridian, ID 83642

1-801-798-0600 ■ 801-798-0893
1-801-436-2844 ■ 801-436-2847
1-208-546-9600

www.lei-eng.com



Together with the Following Described Parcels:

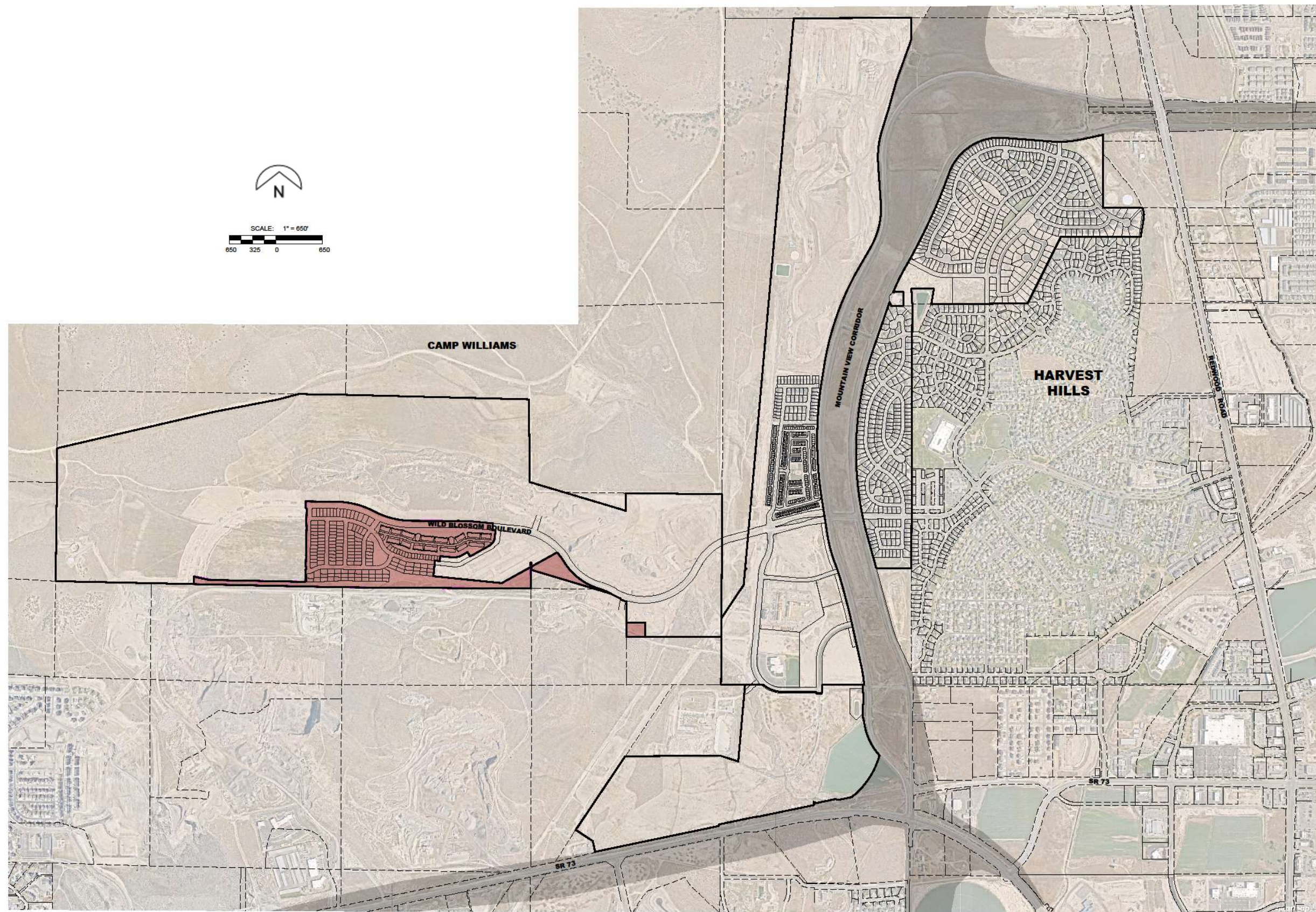
Beginning at a point on the south line of Belle Spring Mine No. 1 as defined on that dependent resurvey conducted under the direction of the Bureau of Land Management, the official plat thereof being on file in the office of the Bureau of Land Management dated September 17, 2002, said point being located S00°20'24"W along the Section Line 1390.15 feet and West 1546.04 feet from the East Quarter Corner of Section 9, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence along the boundary of Belle Spring Mine No. 1 the following two (2) courses: N73°21'20"W 1157.00 feet to a BLM aluminum pipe and cap monument marking Corner No. 2 of Belle Spring Mine No. 1; thence N00°17'40"E 49.76 feet; thence N60°58'36"E 403.64 feet; thence along the arc of a 873.50 foot radius non-tangent curve to the right 164.52 feet through a central angle of 10°47'29" (chord: S37°03'17"E 164.28 feet) to a point of reverse curve; thence along the arc of a 865.50 foot radius curve to the left 621.09 feet through a central angle of 41°06'57" (chord: S52°13'01"E 607.85 feet) to a point of reverse curve; thence along the arc of a 1004.50 foot radius curve to the right 190.94 feet through a central angle of 10°53'28" (chord: S67°19'45"E 190.65 feet) to the point of beginning.

Contains: ±3.35 Acres
145,867 Sq. Ft.

Beginning at a point on the South line of the North Half of the Southeast Quarter of the Southeast Quarter of Section 9, said point being located S00°20'24"W along the Section Line 1993.85 feet and N89°59'41"W 1062.49 feet from the East Quarter Corner of Section 9, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence N89°59'41"W along the South line of said North Half 266.23 feet to a BLM aluminum pipe and cap monument marking the Southwest corner of said North Half; thence N00°06'28"W along the West line of said North Half 199.88 feet; thence N89°53'32"E 266.62 feet; thence S00°00'19"W 200.41 feet to the point of beginning.






Contains: ±1.22 Acres
53,323 Sq. Ft.

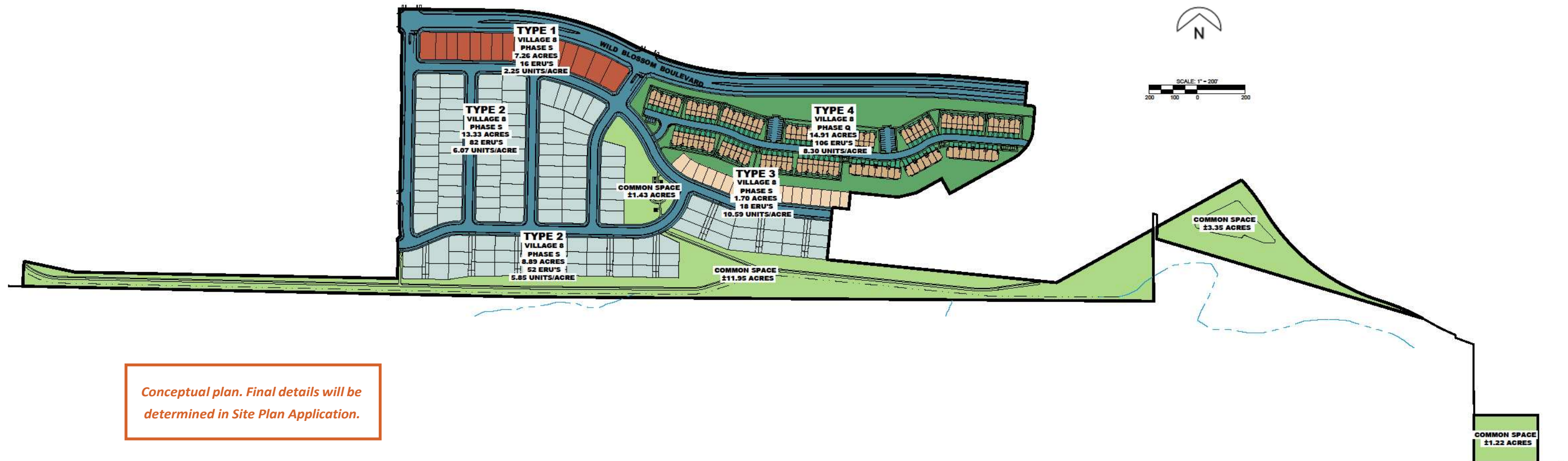






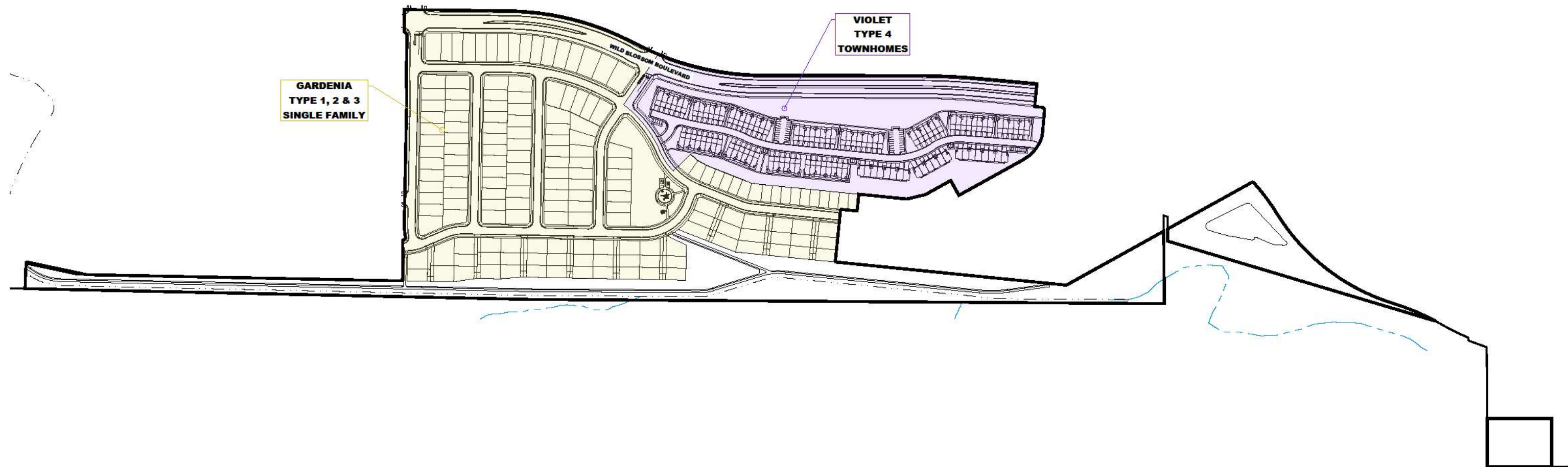
03 Detailed Use Exhibit

RESIDENTIAL LEGEND		
LAND USE	AREA*	ERUs*
 TYPE 1	±7.26 ACRES	16
 TYPE 2	±22.22 ACRES	134
 TYPE 3	±1.70 ACRES	18
 TYPE 4	±14.91 ACRES	106
 OPEN SPACE	±17.95 ACRES	
TOTAL	±64.04 ACRES	274
*ALL AREAS SHOWN ARE APPROXIMATE, AREAS TO BE DETERMINED AT FINAL DESIGN.		





Conceptual plan. Final details will be determined in Site Plan Application.



Buildout Allocation

Detailed Allocation of All Acreage

The following information details the allocation of all acreage within Village Plan Area 8 . Refer to the Detailed Use Exhibit on page 3.01, Open Space Tabulation Exhibit on page 11.07, and Lotting Map Exhibit on page 3.02 .

Area	Type	Description	Land Use	Acres	ERUs in VP8	ERUs/ Gross Acre
Violet	Type 4	Front- and Rear-Load Townhomes	Lots/ROW	14.08	106	6.37
			Open Space	2.56		
			Total	16.64		
Gardenia	Types 1, 2 & 3	Single-Family Homes	Lots/ROW	29.51	168	5.43
			Open Space	1.43		
			Total	30.94		
		General Open Space		16.52		
		Total Open Space		20.51		
		Total Residential		43.53		
		Grand Total		64.04	278	

There are 20.51 acres of open space . Refer to Open Space Tabulation Exhibit on page 11.07 .

- » 274 ERUs are assigned to Village Plan 8 .
- » All areas shown are approximate, areas to be determined at final design .
- » Refer to the Lotting Map Exhibit for Neighborhood Breakdown on page 3.02 .
- » 52 Single family lots with shared driveways.



04 Development Standards & Design Guidelines

Type 1, 2 and 3

Village Plan 8 development standards for Type 1, 2 and 3 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP and as permitted herein.

Type 4

Village Plan 8 development standards for Type 4 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP and as permitted herein.

Type 4 plans adhere to *Saratoga City Code Section 19.16.04* which states “No building shall be closer than 5 feet from any private road, driveway or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building.” City code doesn’t define *Parking Space*. The closest definition is for *Off-street Parking* which is defined as the space within a building, lot, or parking lot, but not within any portion of any public street right-of-way, for the temporary parking of one vehicle. We interpret this definition as the measurement of 5’ feet from the foundation of a building to the space designated as parking of one vehicle or measured from the foundation to the right-of-way line as designated in the street cross section. The private 26’ right-of-way in the ARCP designates the right-of-way line as back of curb.

Master Homeowners Associations

In accordance with City Code *Section 19.26.03,2,d of the Planned Community Zone* ordinance, a Master Homeowners Association (HOA) has been established to review, approve, and enforce architectural requirements and restrictions, as well as address common area maintenance obligations as outlined in the Wildflower ARCP. Additional HOAs may be created based on end builder preferences. Master Homeowners Association will still be in affect over all parts of Wildflower. All sub HOAs shall be obligated to follow all Master Homeowners Association and WDRC regulations.

Wildflower Design Review Committee (WDRC)

All builders are required to submit exterior elevations, materials, colors, and landscaping plans for a Design Review Process by the Wildflower Development Review Committee (WDRC). The WDRC must review and approve all residential site plans and building permits prior to City submittal as outlined in the Wildflower ARCP.



Exterior Color Schemes

Type 1, 2, and 3 Single-Family Homes

Color is a critical element for creating the ambiance of the overall community . A well-designed color palette should be based on natural elements . Appropriate use of color will bring unity to each neighborhood and help establish a sense of community .

All exterior colors shall be compatible with the architectural style of each dwelling . Bright, artificial colors such as pastels, neons, fluorescents, etc . shall not be allowed .

Each builder must present exterior paint color groupings to the WDRC for approval before construction begins in a neighborhood . Each individual color must be grouped with other colors that are similar in hue and tone . Color groupings make it easier to track and regulate product mix rules, so that homes next to each other do not look the same or too similar to the home next door or right across the street . Each lot must have a home design and elevation combination that is different from homes located next door and directly across the street .




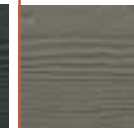

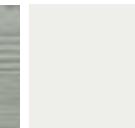
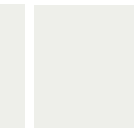
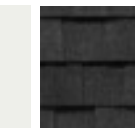



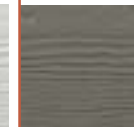


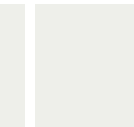
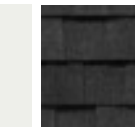


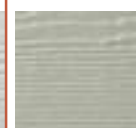
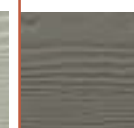

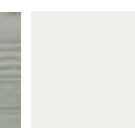
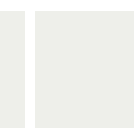
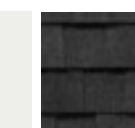
Since grouping similar colors together is subjective, the following diagram offers an example of color groupings that are acceptable at Wildflower .



Type 4 Multi-Family Homes

The surrounding community and architectural style within Wildflower will have a big impact on color choices . Exterior building colors on multi-family residences shall be compatible within individual neighborhoods and to adjacent buildings . Therefore, the same rules that apply to single-family homes also apply to townhomes . Enriched earth tones and cool colors are encouraged, while bright, fluorescent, or neon shades are not allowed .

Multi-family residences can be overwhelming in size . A compatible color palette with a minimum of two and up to four different combinations per neighborhood is suggested so that buildings next to each other are a slightly different color scheme . The right colors can give balance, scale, and visual relief to an otherwise intimidating building . The following colors are example color palettes that can be used together within a single townhome community .

Scheme 1							
							
Front Door Sherwin Williams Grizzle Gray	Trim Hardie Arctic White	Body Color 1 Hardie Iron Gray	Body Color 2 Hardie Aged Pewter	Body Color 3 Hardie Pearl Gray	Garage Door Wayne Dalton White	Soffit/Fascia Mastec White	Roofing CertainTeed Moire Black
Scheme 2							
							
Front Door Sherwin Williams Grizzle Gray	Trim Hardie Arctic White	Body Color 1 Hardie Arctic White	Body Color 2 Hardie Aged Pewter	Body Color 3 Hardie Pearl Gray	Garage Door Wayne Dalton White	Soffit/Fascia Mastec White	Roofing CertainTeed Moire Black
Scheme 3							
							
Front Door Sherwin Williams Grizzle Gray	Trim Hardie Arctic White	Body Color 1 Hardie Dried Eucalyptus	Body Color 2 Hardie Aged Pewter	Body Color 3 Hardie Pearl Gray	Garage Door Wayne Dalton White	Soffit/Fascia Mastec White	Roofing CertainTeed Moire Black



City Council Condition of Approval:
This Village Plan shall meet City Code and have three-toned paint.
(See City Code Section 19.16.06.2)



Stylistic Appropriateness

The colors used at Wildflower should reflect the architectural styles being offered at Wildflower . Fewer colors on individual buildings are typically more appropriate than incorporating a large variety of colors . This keeps homes from distracting from the overall ambiance of the community .

Community Cohesiveness

The relationship of colors between neighboring homes is critical when selecting the overall palette for a group of homes or buildings within a townhome community . A sense of flow is created by balancing building elements, which have similar tones across many buildings, yet incorporate a variety of color elements, making each home unique .

Main Body and Trim

A sense of flow is created by requiring similar color tones on building elements such as trim, soffits, fascia, and garage doors throughout the community . Uniqueness may be expressed by incorporating a larger variety of colors on the main body of the home .

Roofing Colors and Materials

It is especially important to consider the value of even slight color variations that can be found within materials such as roofing shingles . These added variations can encourage even more diversity and architectural interest within each neighborhood, as well as throughout the community .

Exterior Guidelines for Single-Family Homes and Townhomes

1. Exterior recessed lighting shall be centered directly above each pillar/column on front facade with photo cell or Smart Home integration set to turn on 1/2 hour after sunset and turn off 1/2 hour before sunrise .*
2. 12-inch minimum roof overhangs for roof pitches 6/12 and steeper and 18-inch minimum overhangs for roof pitches under 6/12 are required .*
3. A single column must be at least 8 inches wide or 2 posts creating a single column must be a minimum of 14 inches wide .*
4. 20% masonry, stone or brick, is required on front elevation . 100% composite siding may replace masonry requirements . Stucco is not allowed in the community .
5. Large, unbroken wall planes and windowless elevations are not allowed . Buildings should be interesting from all angles on all sides . At a minimum, elevations facing the street, on a corner, or adjacent to open space shall have at least one window on each above-grade level . All designs

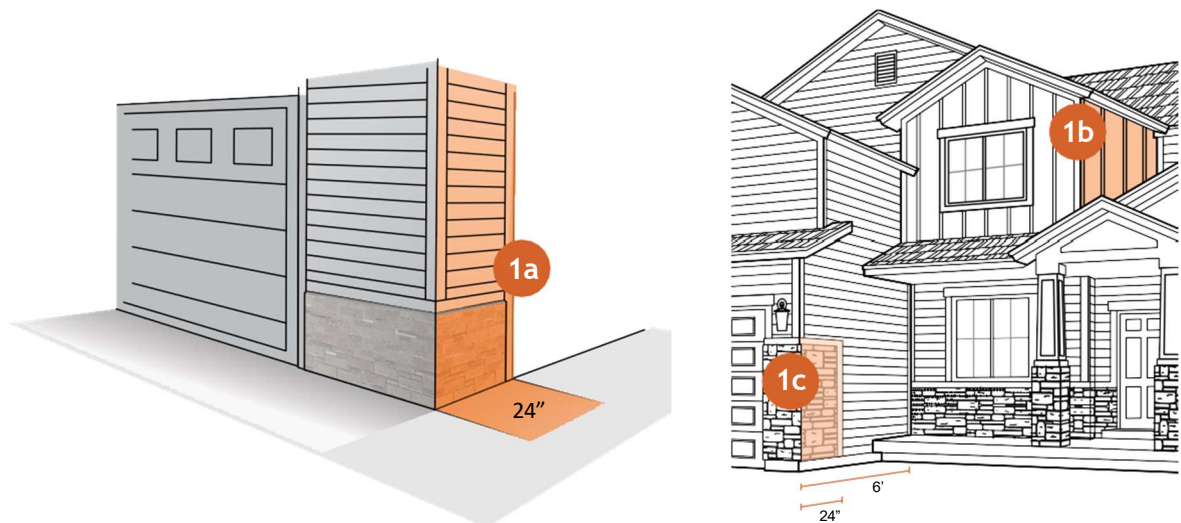


are subject to approval by the WDRC, and builders may be required to add additional windows as needed to satisfy this requirement .

6. Minimum 6-inch fascia is required .
7. All *front elevation* colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall extend a minimum of 24 inches from front of house onto sides of home (see EXHIBIT 1a) . Areas of front of house that protrude from the front elevation to create depth, have additional guidelines for wrapping materials and colors:
 - » If the distance from the *front of house* to the inside corner of the wall is 5 feet or less, the colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall wrap the entire distance of the wall, extending to the inside corner where the two walls intersect (see EXHIBIT 1b) . Also, *front of house* materials and siding details shall wrap the entire distance of wall on additional facades adjacent to or visible from major arterials .
 - » If the distance from the *front of house* to the inside corner of the wall is greater than 5 feet, the colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall extend a minimum of 24 inches from front of house onto the side wall (see EXHIBIT 1c) .
8. Covered front porches are required .
9. Garages shall be set back or project a minimum of 24 inches and shall not exceed more than 13 feet from the main building face or front porch .*
10. All visible decking material and exterior staircases shall be constructed of maintenance-free materials . Decks and staircases with exposed natural wood are not allowed . Natural wood posts may be used if wrapped with a vinyl sleeve or composite material .

* *These items do not apply to multi-family buildings.*

EXHIBIT 1




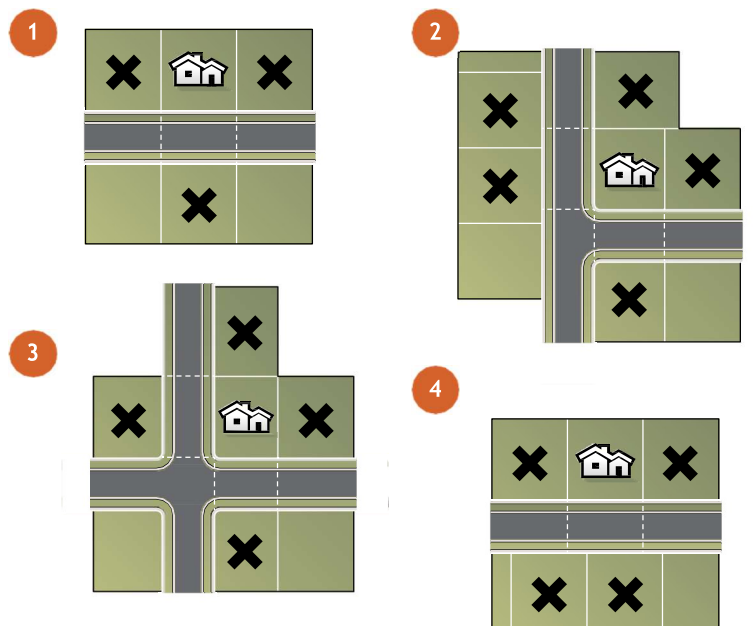
Limitation on Repetition of Single-Family Elevations and Color

To ensure the desired theme and architectural character for Wildflower is realized, and to ensure the Community is enriched by variety in its architecture, careful attention will be paid to the mix of homes within each neighborhood. The following guidelines shall be followed for the production of single-family homes, or where individual floor plans are offered on a repeating basis within a parcel or plat:

- » A minimum of 5 unique floor plans will be required for builders who own 25 lots or less in one neighborhood. One additional plan will be required for each additional 15 lots.
- » A minimum of 2 distinctly different elevations and different color palettes shall be offered for each floor plan. Reverse elevation/floor plans shall not count as a different elevation.
- » To ensure Wildflower has a diverse mix of home designs and elevations interspersed throughout each neighborhood, several guidelines have been established to help select home designs and color schemes for each building lot.
- » Each lot must have a home design and elevation combination that is different from homes located next door and directly across the street.
- » The main exterior paint color must be chosen from a different color grouping than the adjacent homes or home(s) located directly across the street. Each color grouping consists of a number of exterior paint options that are similar in hue or tone.
- » The WDRC reserves the ability to approve or disapprove each color or color grouping.

Example of Design and Color Diversity for Single-Family Homes

In the examples below, the lots identified with an **X** may not have the same elevation and home design combination or use an exterior color from the same color grouping as the subject home represented with a  icon (see EXHIBIT 2 below).



Type 4 Elevation Examples

The following are examples of townhome elevations in Wildflower.



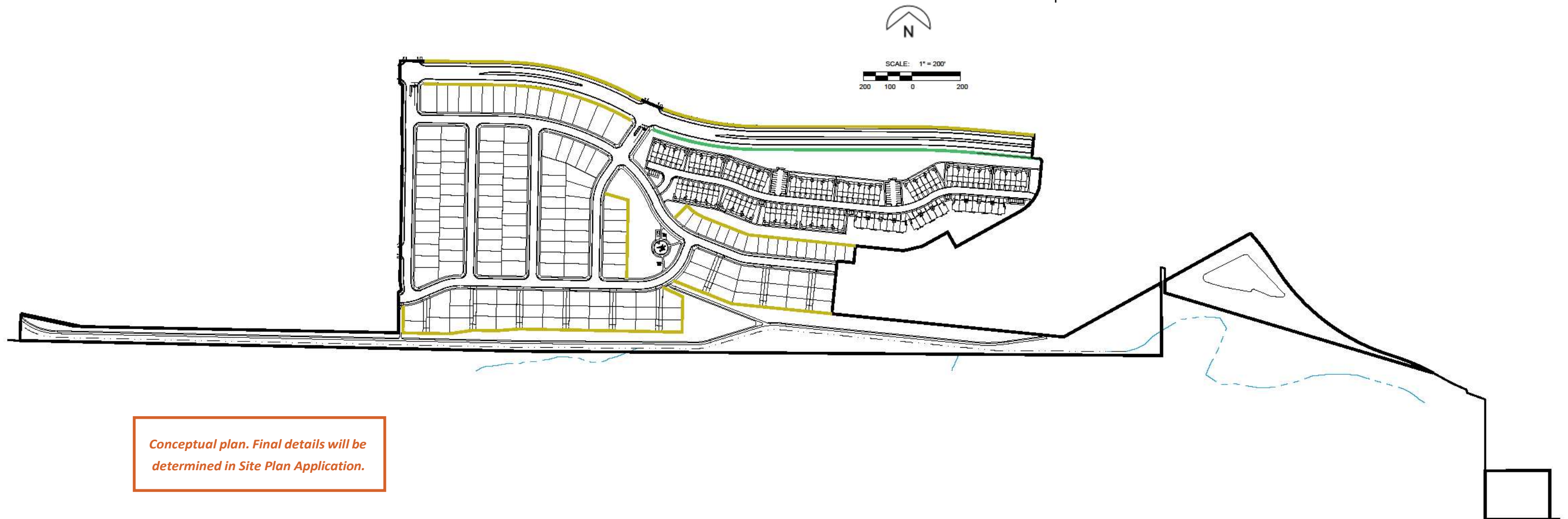


LEGEND

-  **6' VINYL PRIVACY FENCE**
-  **4' FORTRESS FENCE**

Notes

1. Required fences adjacent to lots are a requirement of the builder, not the developer, and shall be installed prior to receiving certificate of occupancy.
2. If certificate of occupancy is issued between November and March, fencing to be installed by end of June.
3. The Fencing of individual homesites, if not shown as required fencing, shall be 6' white vinyl or gray concrete / composite type privacy fencing. If semi-privacy is required by the city, 6' white vinyl semi-privacy fencing shall be used.
4. All fencing will take into account the City site triangle code requirements.



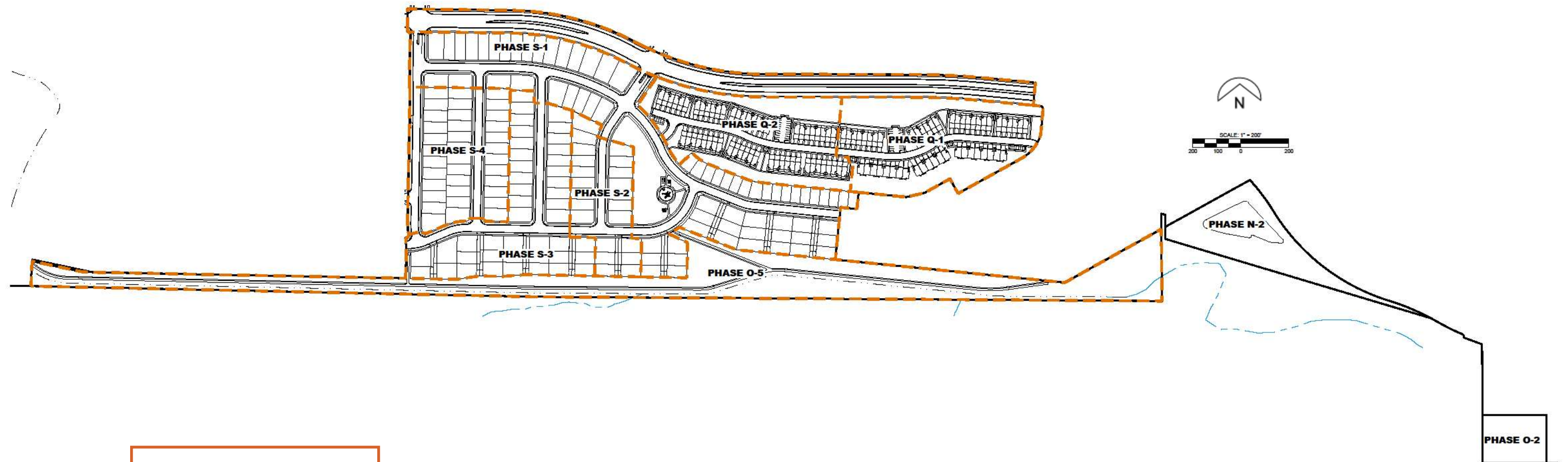


Phasing Plan Exhibit

Wildflower Village Plan Area 8 will be developed in multiple phases along with proportionate open space. The plats will be presented and approved through the site plan or standard subdivision platting process.

Note

Phases may be built out of order and boundary lines may change.
Phases that depend on future improvements are not allowed.

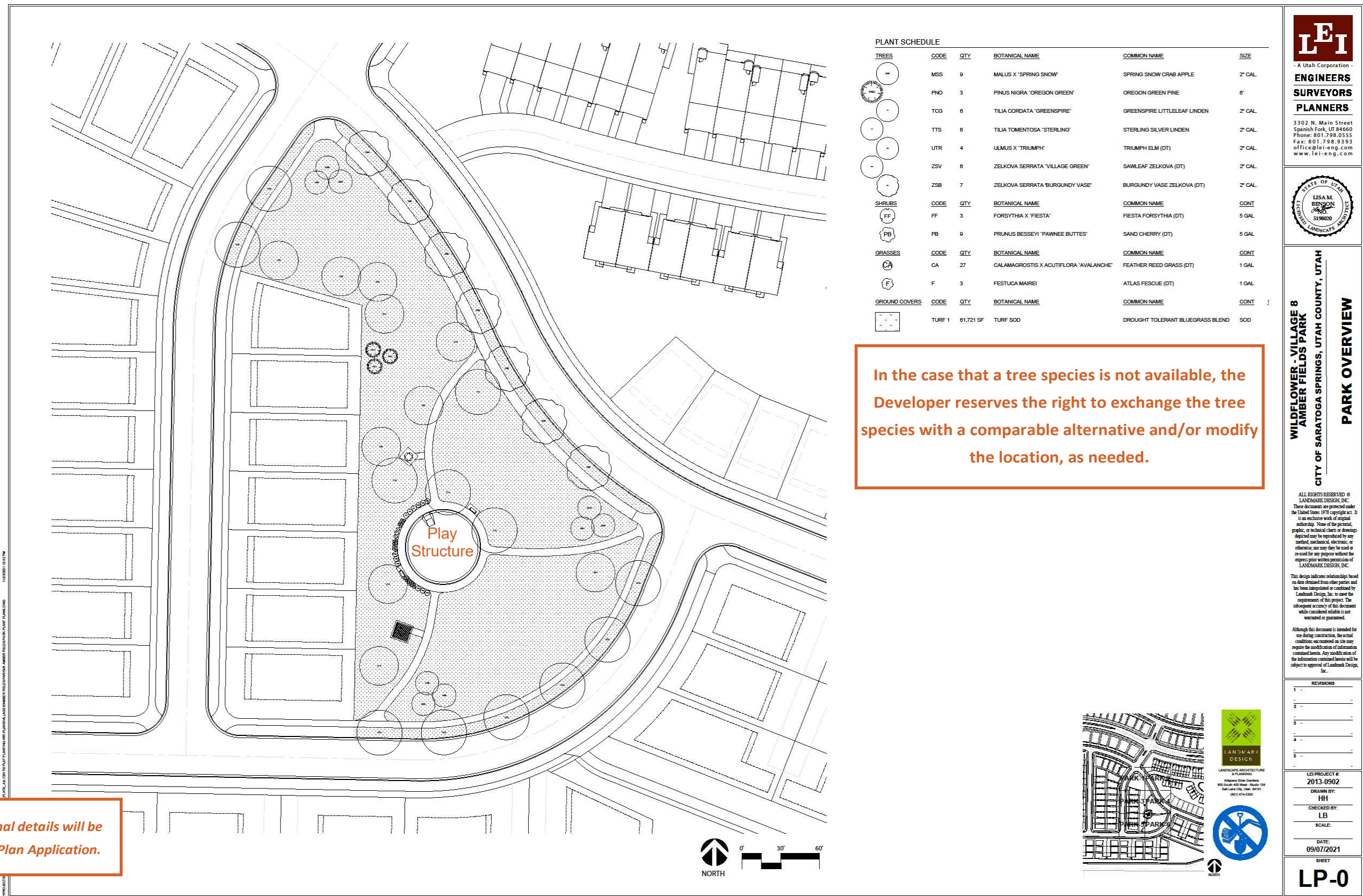


Conceptual plan. Final details will be determined in Site Plan Application.



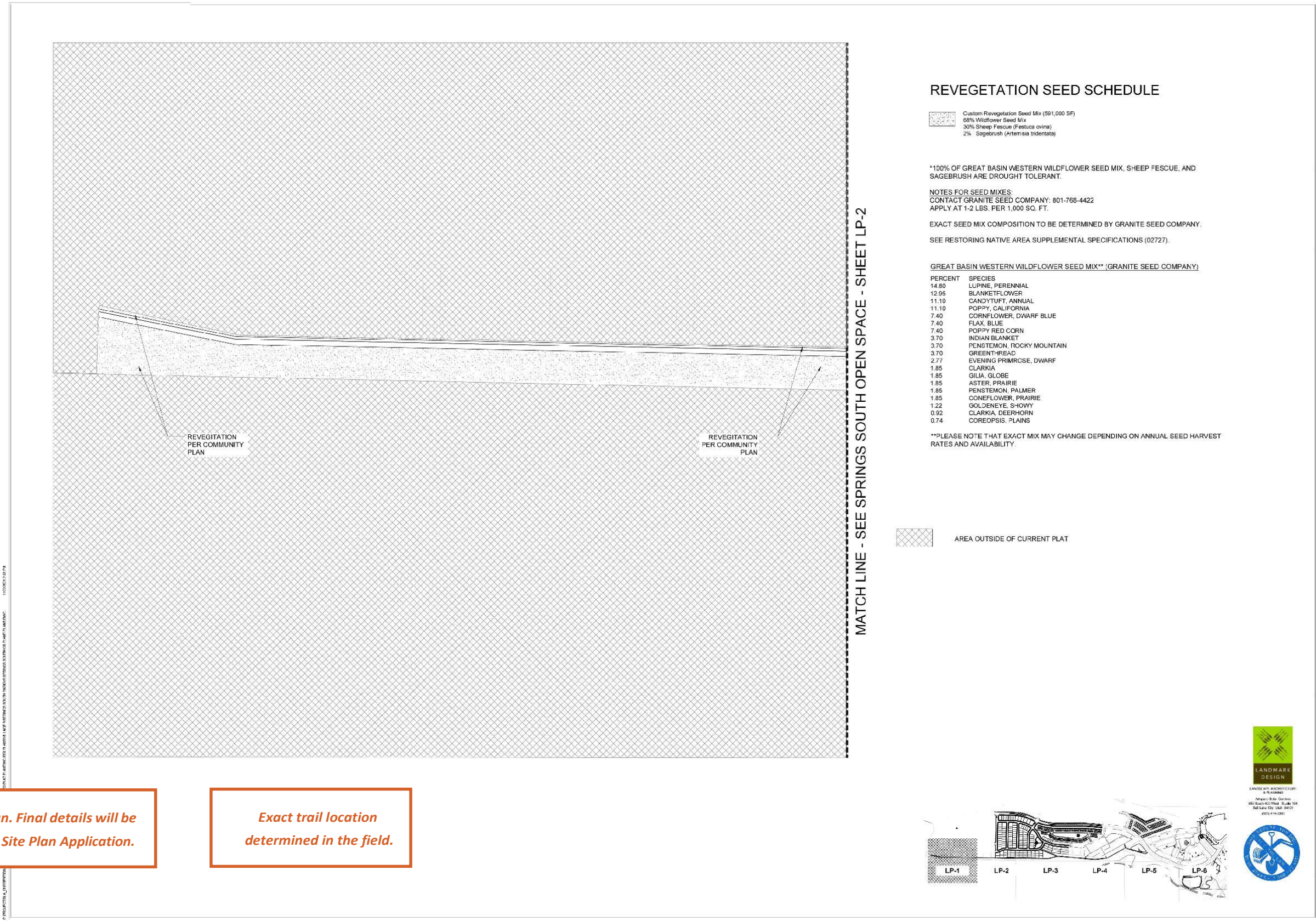


Amber Fields Park Overview



Conceptual plan. Final details will be determined in Site Plan Application.

In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.



REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (501,000 SF)
60% Wildflower Seed Mix
30% Sheep Fescue (Festuca ovina)
2% Sagebrush (Artemisia tridentata)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4422
APPLY AT 1-2 LBS. PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.
SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727).

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

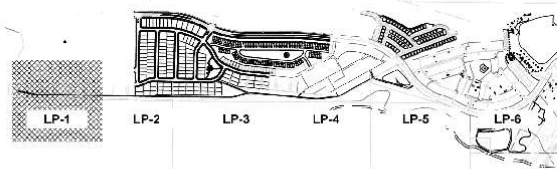
PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.95	BLANKETFLOWER
11.10	CANDYTUFF, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENTHREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.



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LANDSCAPE ARCHITECTURE
S. F. JENSEN
150 South 400 West, Suite 104
Salt Lake City, Utah 84115



LEI
- A Utah Corporation -
ENGINEERS
SURVEYORS
PLANNERS
3302 N. Main Street
Spanish Fork, UT 84600
Phone: 801.798.0555
Fax: 801.798.9393
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**WILDFLOWER - VILLAGE 8
SPRINGS SOUTH OPEN SPACE**
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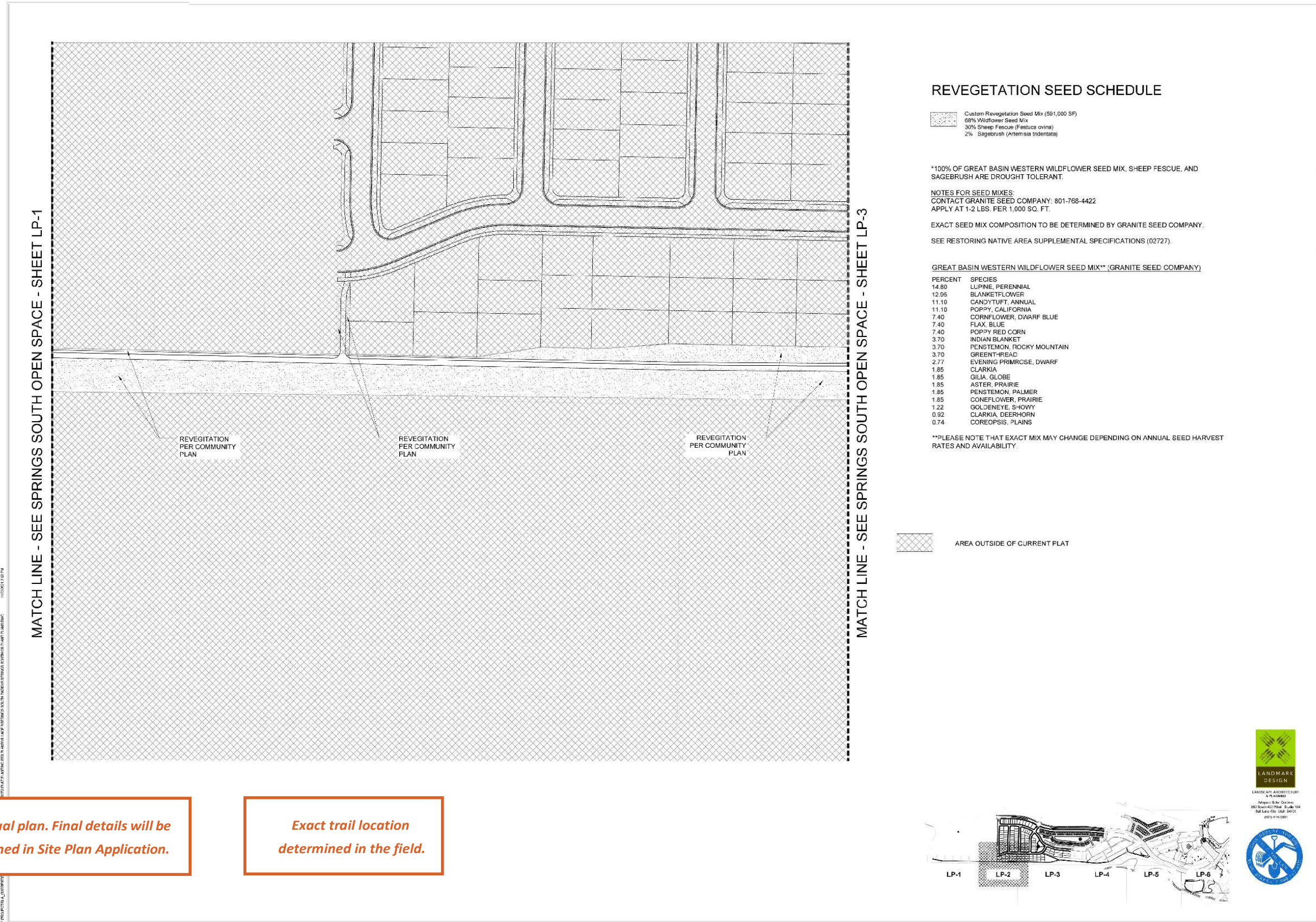
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REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (591,000 SF)
68% Wildflower Seed Mix
30% Sheep Fescue (*Festuca ovina*)
2% Sagebrush (*Artemisia tridentata*)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4422
APPLY AT 1-2 LBS. PER 1,000 SQ. FT.

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SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727).

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.05	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENT-HREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GLIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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**WILDFLOWER - VILLAGE 8
SPRINGS SOUTH OPEN SPACE
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
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LP-2





Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.

REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (561,000 SF)
68% Wildflower Seed Mix
30% Sheep Fescue (Festuca ovina)
2% Sagebrush (Artemisia tridentata)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4422
APPLY AT 1-2 LBS. PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.

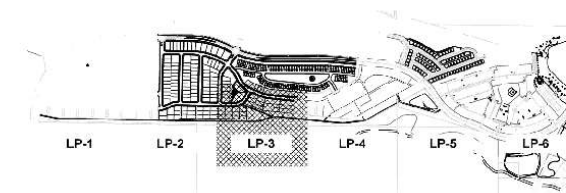
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GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.95	BLANKETFLOWER
11.10	CANDYTUFF, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENT-HEAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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**WILDFLOWER - VILLAGE 8
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LP-3





MATCH LINE - SEE SPRINGS SOUTH OPEN SPACE - SHEET LP-3

MATCH LINE - SEE SPRINGS SOUTH OPEN SPACE - SHEET LP-5

Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.

REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (551,000 SF)
68% Wildflower Seed Mix
30% Sheep Fescue (Festuca ovina)
2% Sagebrush (Artemisia tridentata)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

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APPLY AT 1-2 LBS. PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.
SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727).

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.06	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREEN-THREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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3302 N. Main Street
Spanish Fork, UT 84606
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WILDFLOWER - VILLAGE 8
SPRINGS SOUTH OPEN SPACE
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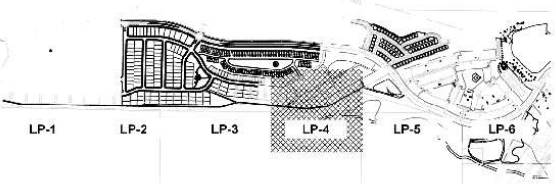
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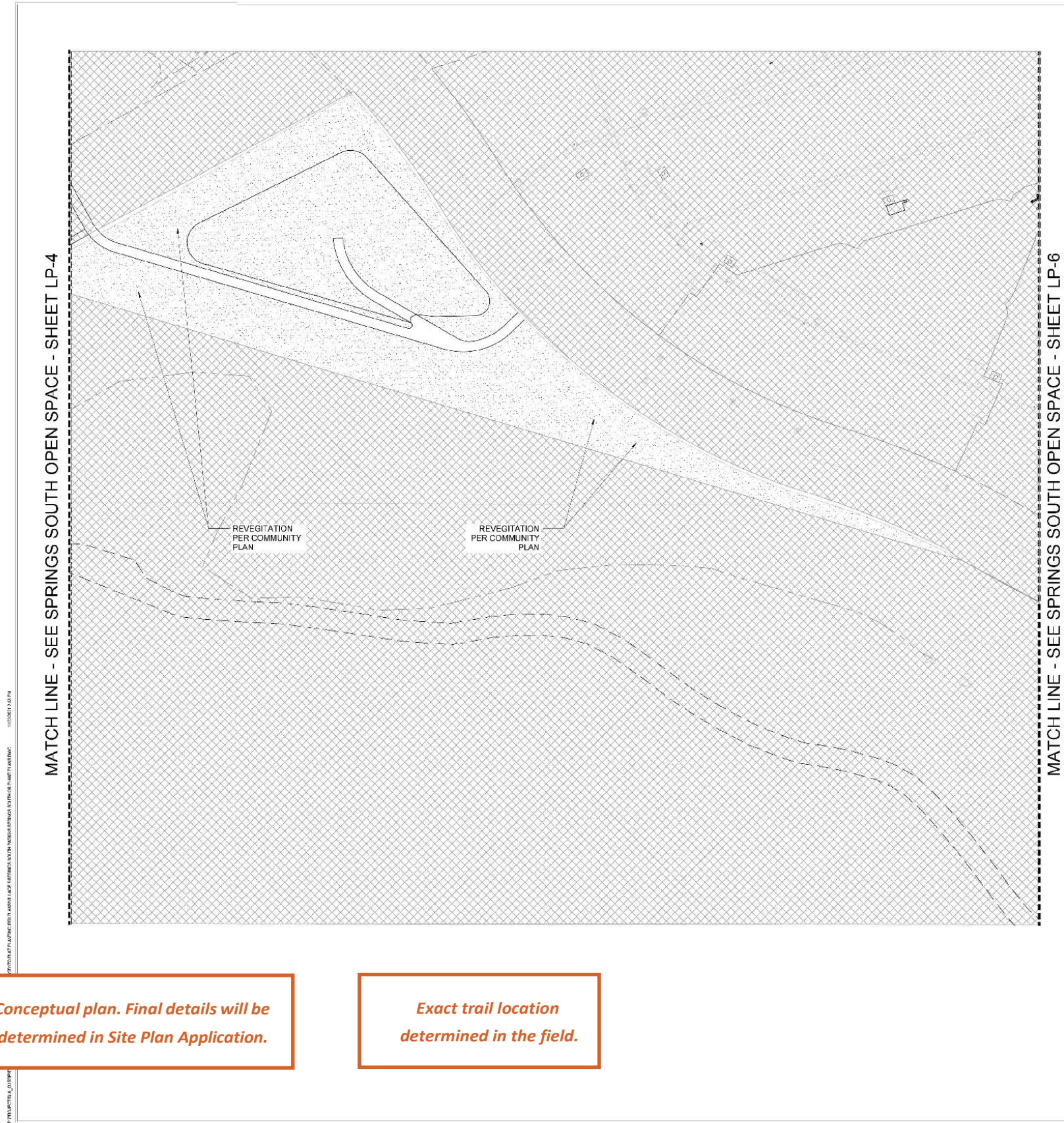
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150 South 400 West, Suite 104
Salt Lake City, Utah 84115
(801) 466-1230





REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (591,000 SF)
68% Wildflower Seed Mix
30% Sheep Fescue (Festuca ovina)
2% Sagebrush (Artemisia tridentata)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
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APPLY AT 1-2 LBS. PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.

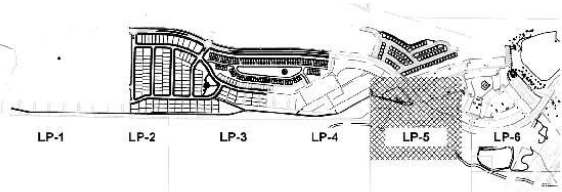
SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727).

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.05	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENT-HREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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3302 N. Main Street
Spanish Fork, UT 84650
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**WILDFLOWER - VILLAGE 8
SPRINGS SOUTH OPEN SPACE
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
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LP-5





MATCH LINE - SEE SPRINGS SOUTH OPEN SPACE - SHEET LP-5



Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.

REVEGETATION SEED SCHEDULE

Custom Revegetation Seed Mix (591,000 SF)
68% Wildflower Seed Mix
30% Sheep Fescue (Festuca ovina)
2% Sagebrush (Artemisia tridentata)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
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SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727).

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.05	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENT-HREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GLIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

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Spanish Fork, UT 84650
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**WILDFLOWER - VILLAGE 8
SPRINGS SOUTH OPEN SPACE**
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
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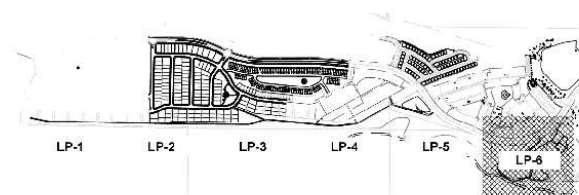
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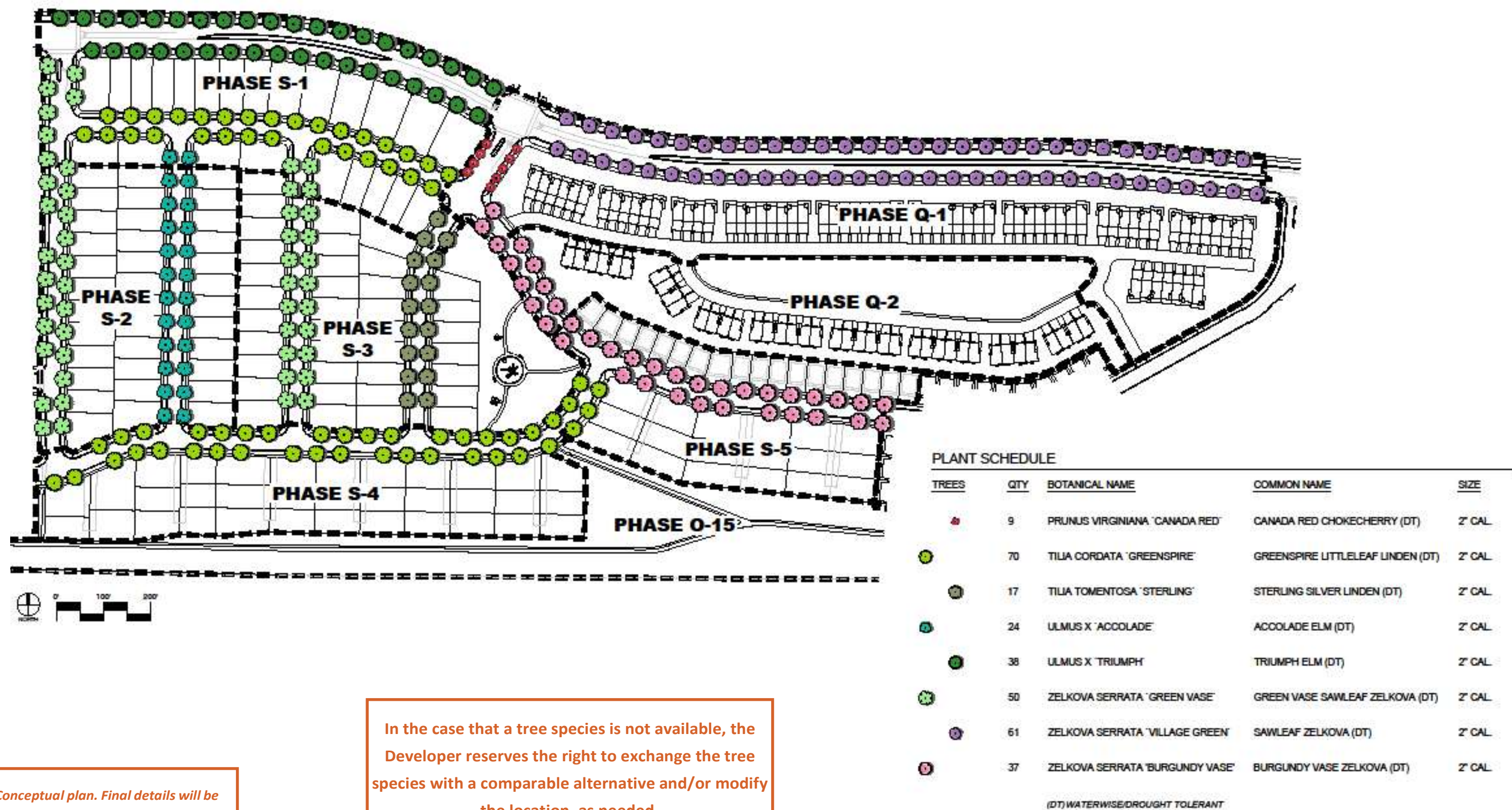


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Conceptual plan. Final details will be determined in Site Plan Application.

In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.





Plant Use Detail Exhibit

STREET TREES



Canada Red Chokecherry



Greenspire Linden



Silver Linden



Accolade Elm



Triumph Elm



Green Vase Zelkova



Village Green Zelkova



Burgundy Vase Zelkova

LANDSCAPE TREES



Spring Snow Crabapple



Austrian Pine



Greenspire Linden



Silver Linden



Triumph Elm



Village Green Zelkova



Burgundy Vase Zelkova

SHRUBS, GRASS, AND PERENNIAL MIX



Fiesta Forsythia



Pawnee Buttes Sandcherry



Avalanche Feather Reed Grass



Atlas Fescue

In the case that a plant species is not available, the Developer reserves the right to change or update the plant schedule as needed with a comparable alternative.



07 Utility Plans

The following utility plan diagrams provide master utilities that will serve Wildflower Village Plan Area 8 .

» Culinary Water Plan

» Sewer Plan

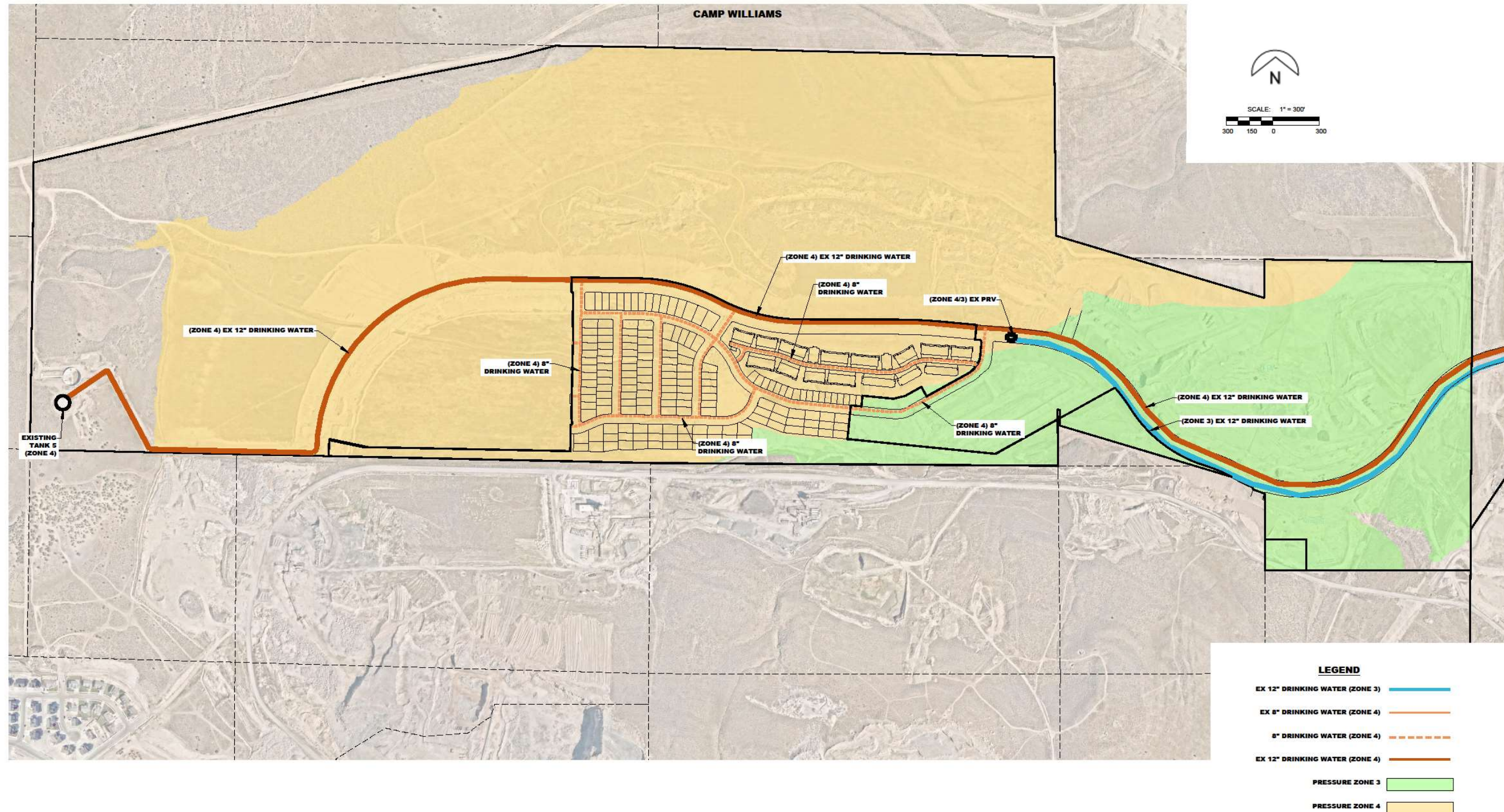
» Secondary Water Plan

» Storm Drain





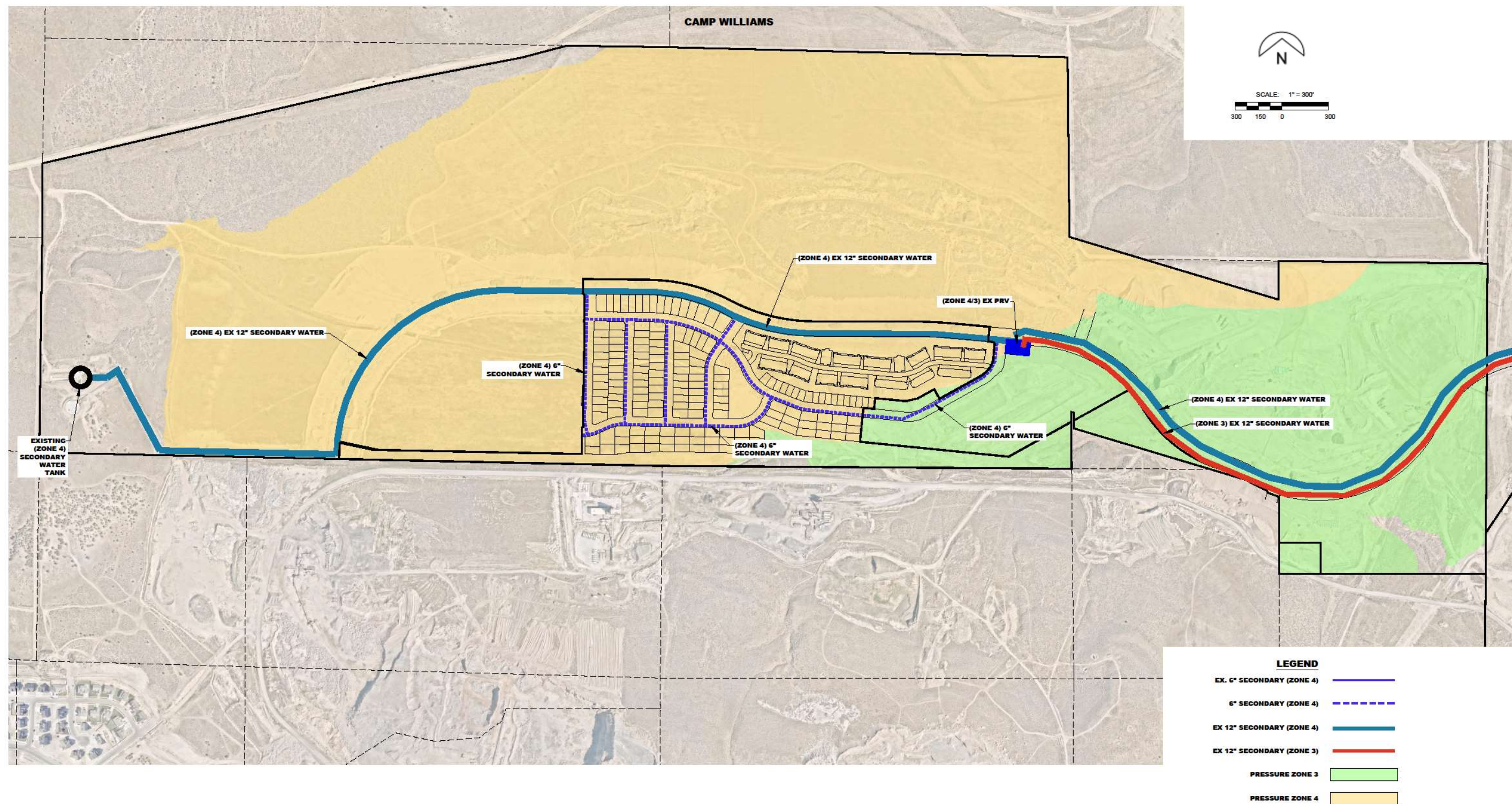
Utilities shown are for the development of Village Plan 8. See approved Wildflower Master Utility Plan s for overall utility design





Secondary Water Plan Exhibit

Utilities shown are for the development of Village Plan 8. See approved Wildflower Master Utility Plan s for overall utility design

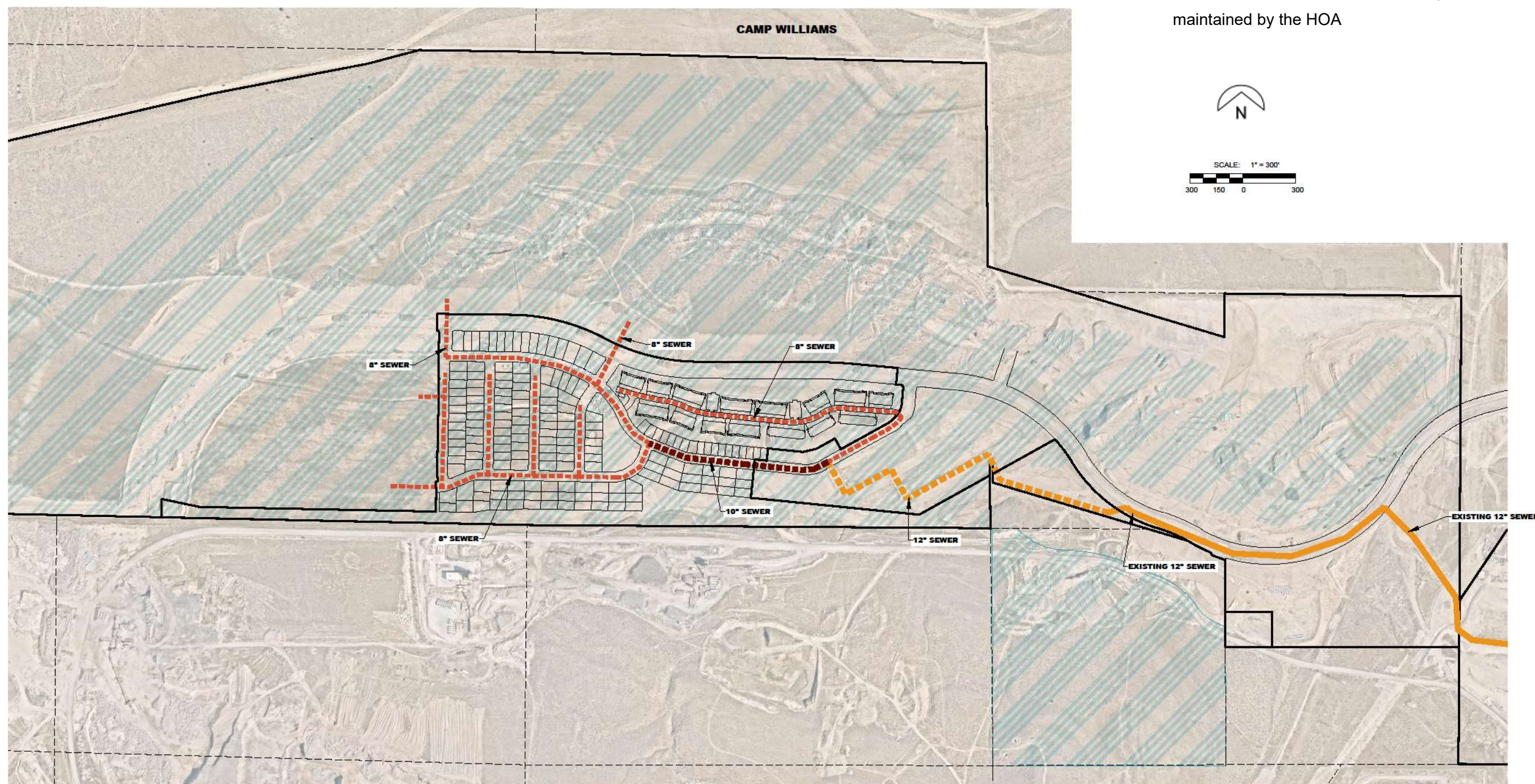




Utilities shown are for the development of Village Plan 8. See approved Wildflower Master Utility Plan s for overall utility design

Notes

1. There is limited capacity in the Posey lift station. Additional development upstream of the Posey lift station will not be possible until improvements are completed from the city's sewer master plan.
2. Sewer in private streets to be privately owned and maintained by the HOA

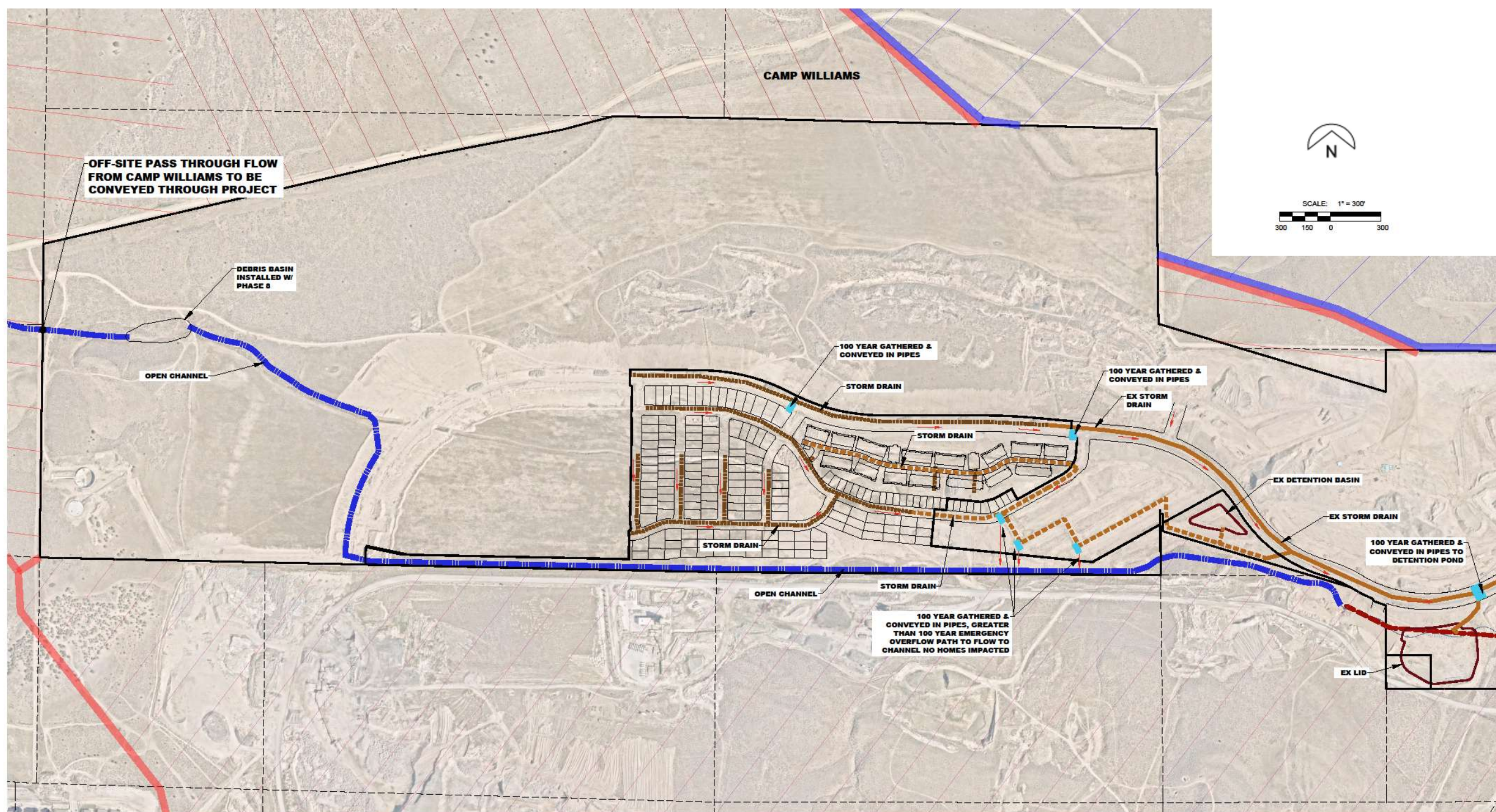




Utilities shown are for the development of Village Plan 8. See approved Wildflower Master Utility Plans for overall utility design

Note

1. Storm Drain in private streets to be privately owned and maintained by the HOA.



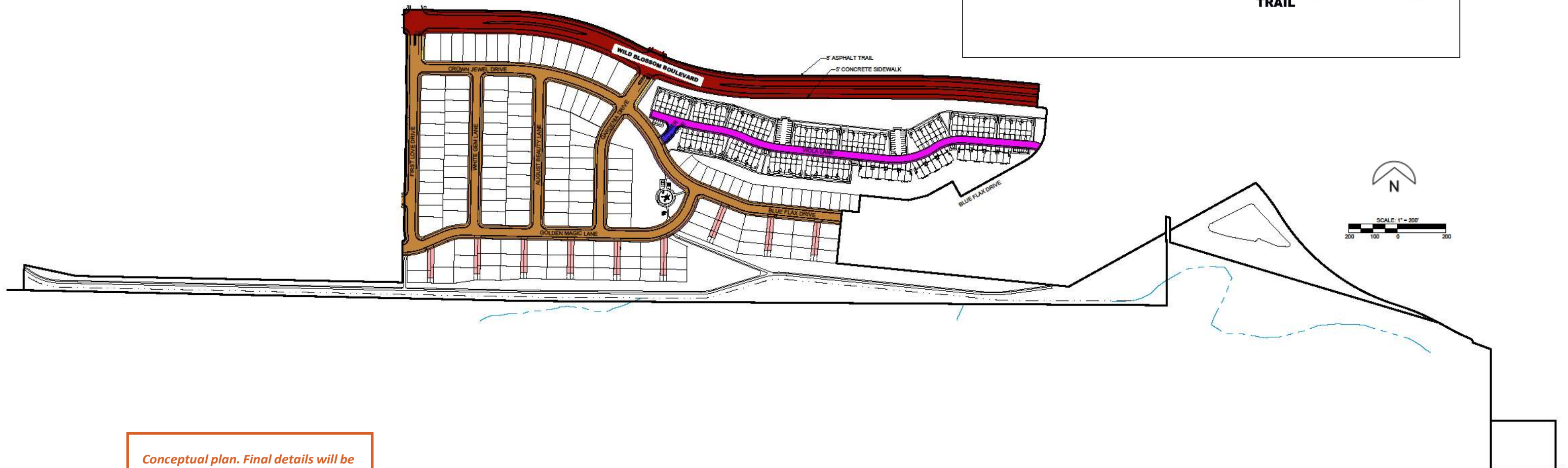


Note

1. Roadway cross-sections are detailed in the Wildflower ARCP.
2. Single Family Lots will not front Wild Blossom Boulevard. No access allowed.

TRANSPORTATION LEGEND

95' MINOR ARTERIAL (THREE-LANE ARTERIAL)	
59' LOCAL ROAD	
36' PRIVATE-22' ASPHALT W/ 2' MODIFIED C&G W/ SIDEWALK BOTH SIDES	
31' PRIVATE-22' ASPHALT W/ 2' MODIFIED C&G W/ SIDEWALK ON ONE SIDE	
26' PRIVATE-6 PACK & REAR LOAD V-DRAIN SHARED DRIVE	
ADDITIONAL RIGHT-OF-WAY FOR TURN LANES & TRAIL	

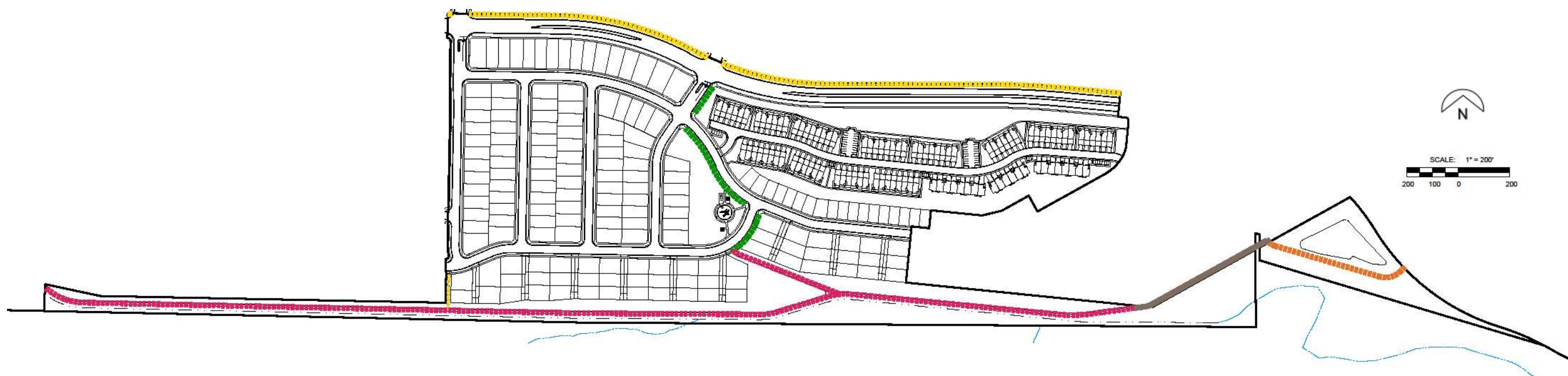


Conceptual plan. Final details will be determined in Site Plan Application.





- 8' ASPHALT TRAIL
- 8' ASPHALT & 4' SOFT SURFACE TRAIL
- 8' CONCRETE TRAIL
- 12' ASPHALT TRAIL/UTILITY ACCESS ROAD & 4' SOFT SURFACE TRAIL
- TRAILS INSTALLED W/ PHASE 7



Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.



10 Density Transfers

The density stated in the Wildflower 2020 ARCP for Village Plan Area 8 is 304, and the Amended density submitted in the 2024 ARCP is 274. The density transfer is under 15%, which is the maximum percentage allowed in the Wildflower ARCP.

VILLAGE PLAN 8 DENSITY TRANSFERS					
Type	Description	Proposed ERUs	Previously Approved ERUs	ERU Change	Percentage Change
1	Single Family [5,000+SF]	16	16	0	0%
2	Single Family [<5,000 SF]	134	117	+17	+7%
3	Single Family [<5,000 SF] 3-Story	18	46	-28	-43%
4	Townhomes	106	125	-46	-19%
Total		274	304	-57	-10%



11 Additional Detailed Plans

The following elements have been included to detail plans and direction contained in the Wildflower ARCP for Village Plan Area 8:

- » Signage Key Exhibit
- » Signage Plan Exhibit
- » Temporary Signage Plan
- » Grading Plan
- » Open Space Management
- » Traffic Study





All designs are conceptual . All lighting will conform to guidelines outlined in the recorded Wildflower ARCP .

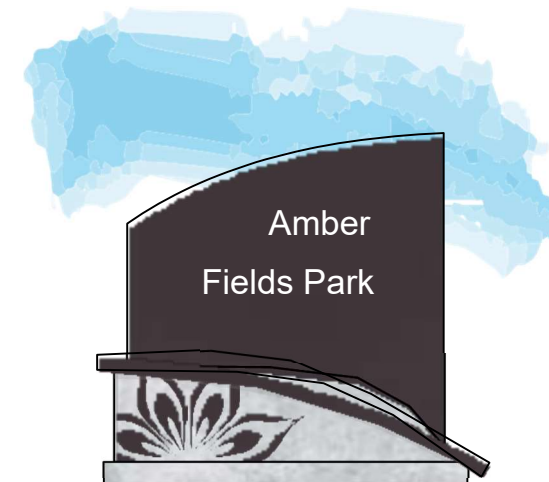


* Optional Secondary Entrance Feature (neighborhood - 1 or 2 sided) 8'8"W x 4'7H

Provided by Builder

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- OPTIONAL locations for builder-funded entrance features
- Developer will coordinate with subs for production and installation including landscaping and utilities



* Park Signage (1 or 2 sided) 5'W x 4.25'H

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- Park is Amber Fields Park



* Secondary Entrance Feature (development - 1 or 2 sided) 8'8"W x 4'7H

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d



* Permanent Directional Signage (2 sided) 5'W x 4.25'H

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- Permanent directional signage will be located in easements or open space
- Wayfinding signage for parks, trailheads, etc .

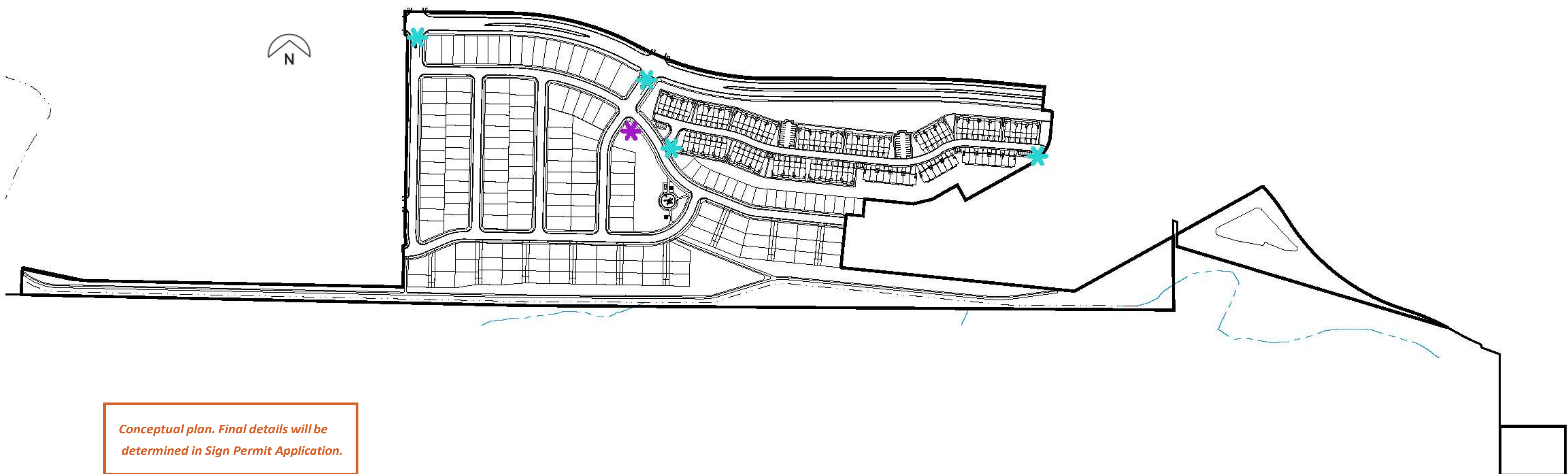




Notes

1. Locations shown represent the approximate vicinity of signs. Locations will be refined at sign permit application. All entrance features will be placed in common areas or signage easements.
2. These features shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials (AASHTO).
4. All illuminated signs located within one-half (1/2) mile of Camp Williams shall be positioned in such a manner and contain shielding devices as to significantly reduce spillover light affecting the military installation and operations. In no instance shall signs within 1/2 mile be positioned facing parallel to the adjacent boundaries of Camp Williams.

- * Optional Secondary Entrance Feature (Development)
- * Park Signage



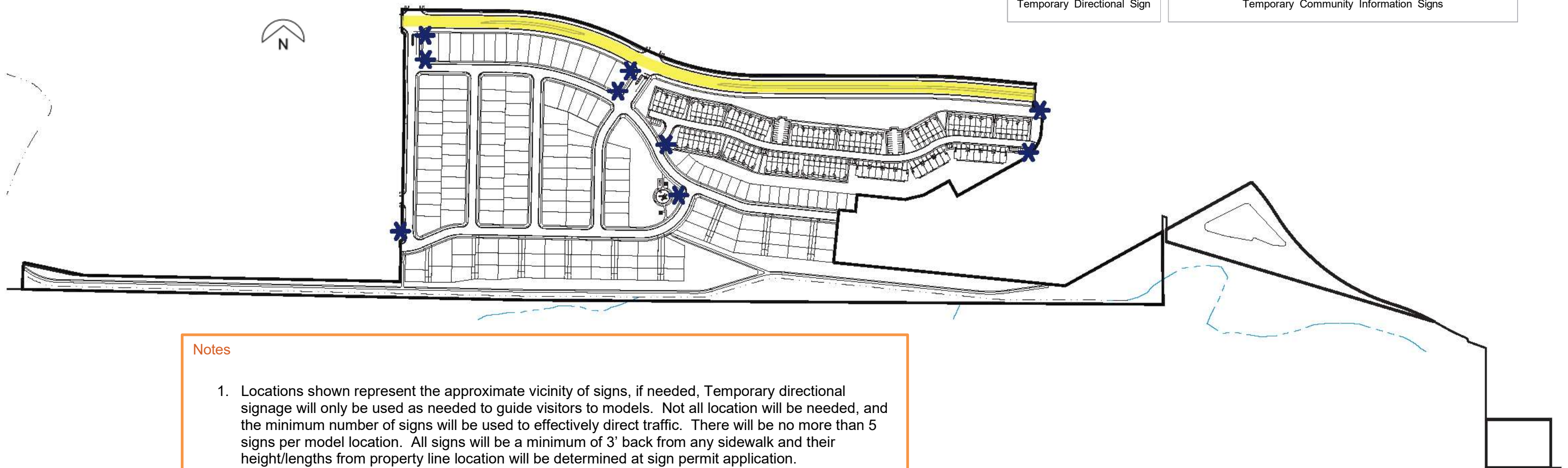
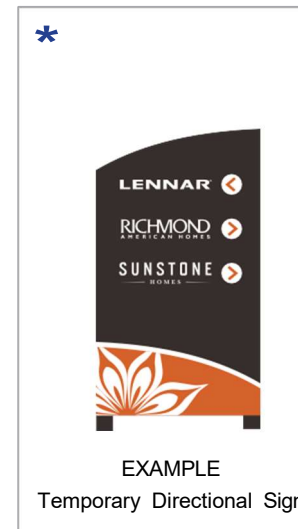


Temporary Signage Plan Exhibit

Conceptual final detail will be determined in Sign Permit Application.

Temporary directional signage (*) may be installed where indicated, as needed to direct traffic to builder model home(s). The areas highlighted in yellow (■) along Wild Blossom Blvd may require up to 4 branded temporary community information signs during active development. The design and message may vary, but the purpose is to provide information about the Wildflower community. Sign faces shall not exceed 96 sf and height of sign will not exceed 12 feet from grade. Temporary community information signage shall be at least 200 feet from any other temporary sign.

Builder-branded, model home signage located on the model property or general yard area where the model is located may not exceed a total of 32 sf per model. Sign permits, production, and installation of builder signage shall be the responsibility of builder.



Notes

1. Locations shown represent the approximate vicinity of signs, if needed, Temporary directional signage will only be used as needed to guide visitors to models. Not all location will be needed, and the minimum number of signs will be used to effectively direct traffic. There will be no more than 5 signs per model location. All signs will be a minimum of 3' back from any sidewalk and their height/lengths from property line location will be determined at sign permit application.
2. Signs shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials. (AASHTO).
4. Temporary signs will be installed on builder-owned lots or open space, not on privately owned lots.

- Temporary Community Information Sign
- * Temporary Directional Sign





Conceptual Plan. Final grading to be determined with Site Plan and Grading Permits in compliance with CP/MDA standards.



Open Space Management Plan

The total acreage within Village Plan 8 is approximately 64 .04 acres . The open space provided is 20.51 acres, which is approximately 30% of the total acreage .

Equivalent Acres Required	Equivalent Acres Provided	Minimum # Amenity Points Required	Minimum # Amenity Points Provided	# Amenity Points Above Required
7.6	4.7	304	508.9	204.9

EQUIVALENT ACRES REQUIRED 7.6		EQUIVALENT ACRES PROVIDED 4.7	
Category	Multiplier	Quantity	Points
Trail, paved (1000 LF)	B	10.6	437.8
Playground Structure, 1 platform (250 SF)	C	1.0	25.0
Pavilion 12 x 12	D	1.0	4.7
Trail, Soft Surface (per 1,000 LF)	D	4.7	39.0
Picnic Table 6'	E	2.0	1.6
Bench	E	2.0	0.8
Additional EA Above Requirement			0.0
Maximum Allowed Additional EA Points			152.0
Additional EA Points Applied			0.0
Total Amenity Points			508.9

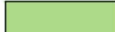

General open space is managed by the Master HOA, and Type 4 open space is managed by a sub-HOA .

The amenity details for the Violet Type 4 townhome neighborhood will be determined at Site Plan and/or Plat submittal .

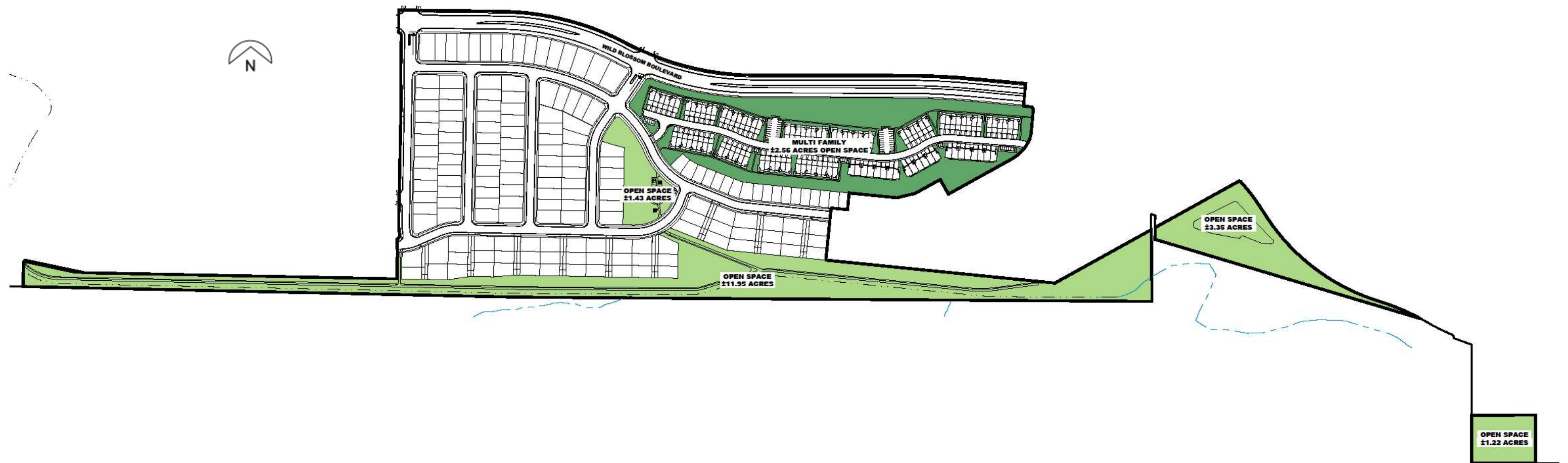




Open Space Tabulation Exhibit

LEGEND		
	OPEN SPACE PUBLIC	±17.95 AC
	OPEN SPACE (TYPE 4)	±2.56 AC

*OPEN SPACE WITHIN TOWNHOME AREA IS GRATER THAN 20% OF TOWNHOME AREA

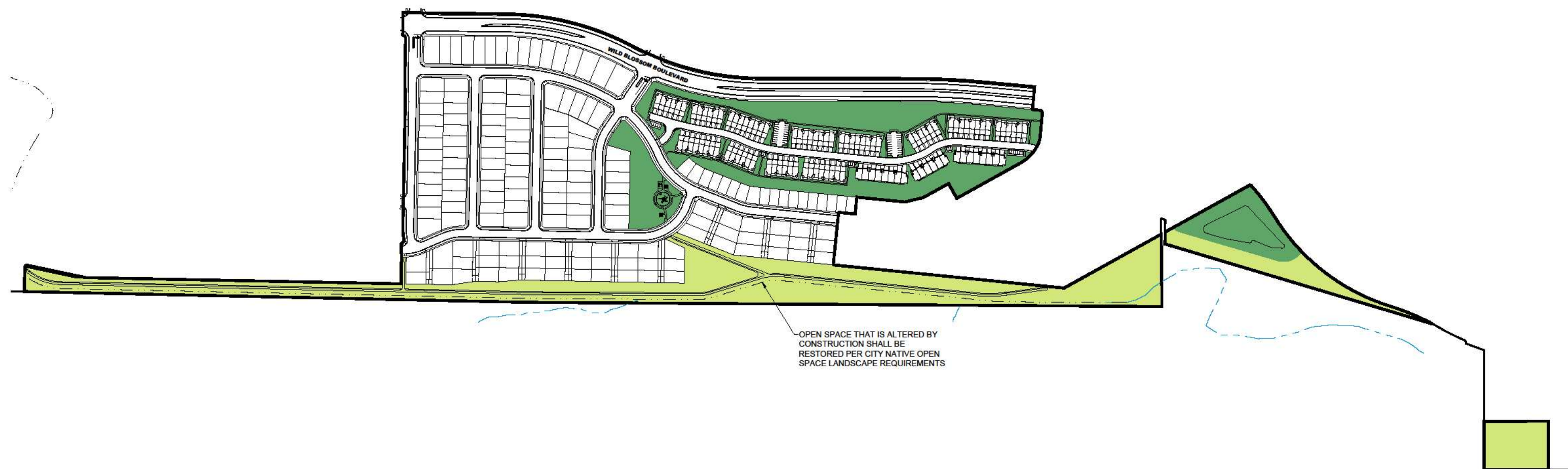


Conceptual plan. Final details will be determined in Site Plan Application.



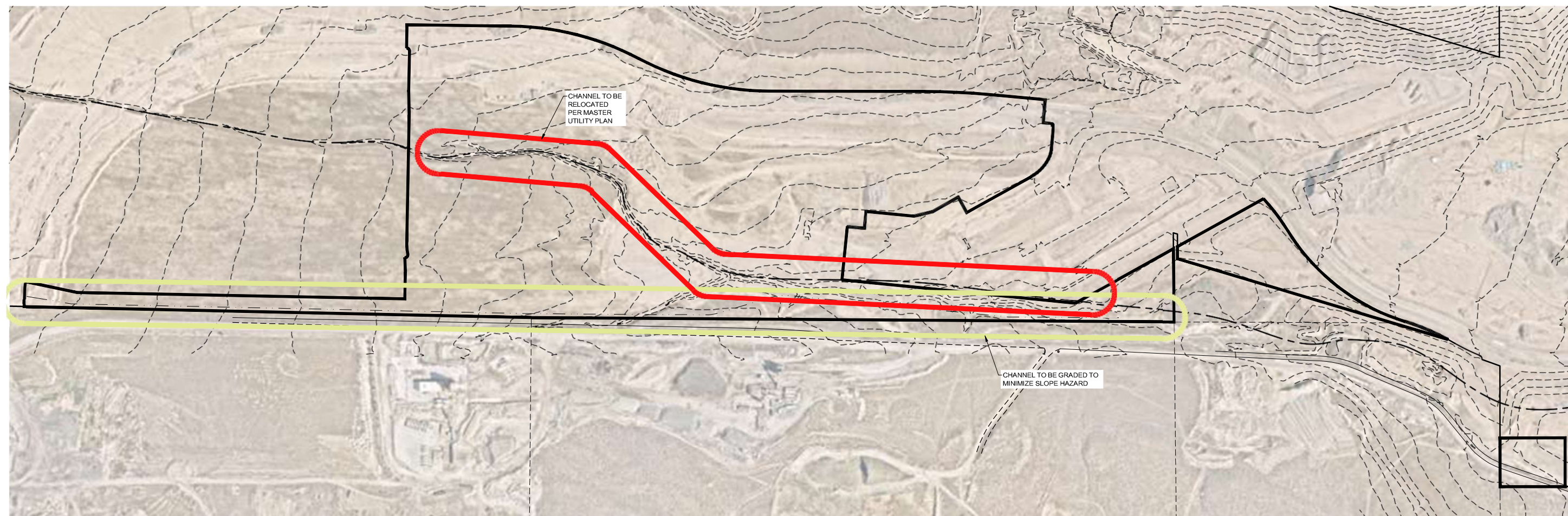


LEGEND	
	IMPROVED OPEN SPACE
	NATIVE OPEN SPACE WITH PUBLIC ACCESS TO TRAILS



Conceptual plan. Final details will be determined in Site Plan Application.





Conceptual plan. Final details will be determined in Site Plan Application.

SCALE: 1" = 200'



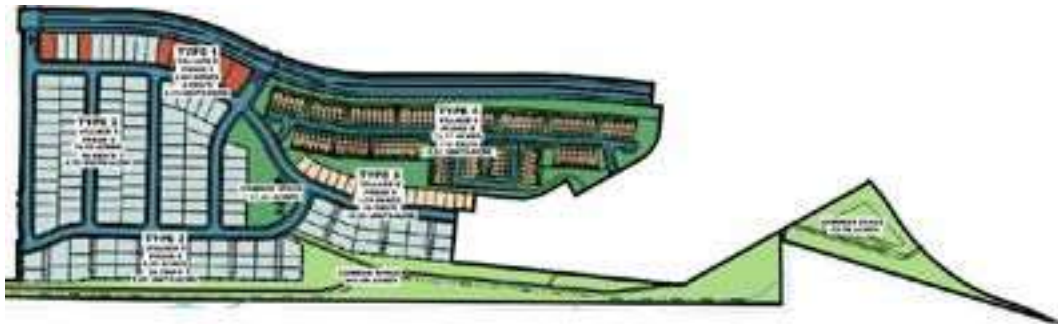
Traffic Study

Village Plan 8

HALES ENGINEERING
Innovative transportation solutions

Wildflower Village 8

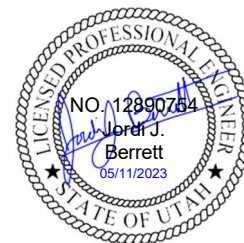
Traffic Impact Study



Saratoga Springs, Utah

May 11, 2023

UT21-2063



1220 North 500 West, Ste. 202 Lehi, UT 84043 p 801.766.4343
www.halesengineering.com



EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed Wildflower Village 8 development located in Saratoga Springs, Utah. The development is located west of Mountain View Corridor, with access onto Wild Blossom Boulevard.

The purpose of this traffic impact study is to analyze traffic operations at key intersections for existing (2023), and future (2028) conditions, with and without the proposed project, and to recommend mitigation measures as needed. The evening peak hour level of service (LOS) results are shown in Table ES-1. A site plan of the project is provided in Appendix A.

Table ES-1: Evening Peak Hour Level of Service Results

	Intersection	Level of Service			
		Existing (2023)		Future (2028)	
		BG	PP	BG	PP
1	Wild Blossom Boulevard / NB MVC (S.R. 145)	B	B	C	C
2	Wild Blossom Boulevard / SB MVC (S.R. 145)	B	B	F	F
3	Chianti Street / Wild Blossom Boulevard	A	A	A	B
4	West Road / Wild Blossom Boulevard	a	a	a	a
5	East Access / Wild Blossom Boulevard	a	a	a	a
6	Central Access / Wild Blossom Boulevard	a	a	-	a
7	West Access / Wild Blossom Boulevard	a	a	-	a

1. Intersection LOS values represent the overall intersection average for roundabout, signalized, and all-way stop-controlled (AWSC) intersections (uppercase letter) and the worst movement for all other unsignalized intersections (lowercase letter)

2. BG = Background (without project traffic), PP = Plus Project (with project traffic)

Source: Hales Engineering, May 2023

SUMMARY OF KEY FINDINGS & RECOMMENDATIONS

Project Conditions

- The development will consist of residential townhomes and single-family detached units.
- The project is anticipated to generate approximately 2,416 weekday daily trips, including 172 trips in the morning peak hour, and 226 trips in the evening peak hour
- Based on projected volumes, westbound left-turn pockets are recommended at the following intersections:
 - o East Access / Wild Blossom Boulevard
 - o Central Access / Wild Blossom Boulevard

2023	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> • Wild Blossom Blvd / NB MVC (S.R. 145) and Wild Blossom Blvd / SB MVC (S.R. 145): improvements assumed as the mitigation measures identified in previous Wildflower Village TIS reports 	<ul style="list-style-type: none"> • None
Findings	<ul style="list-style-type: none"> • Acceptable LOS 	<ul style="list-style-type: none"> • Acceptable LOS
2028	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> • West Road – Connects southward to S.R. 73 	<ul style="list-style-type: none"> • None
Findings	<ul style="list-style-type: none"> • Poor LOS at the Wild Blossom Boulevard / SB MVC (S.R. 145) intersection 	<ul style="list-style-type: none"> • Poor LOS at the Wild Blossom Boulevard / SB MVC (S.R. 145) intersection
Mitigations	<ul style="list-style-type: none"> • None, it is anticipated that LOS will improve with the completion of the MVC Freeway 	<ul style="list-style-type: none"> • None, it is anticipated that LOS will improve with the completion of the MVC Freeway

12 Site Characteristics

Village Plan 8 is located in the southwest region of the Wildflower Development, which is also referred to as The Springs. The Village is also situated south of Camp Williams and is south of the extension of Wild Blossom Boulevard. Much of the Village site was used historically for farming operations. An off-site storm drainage channel from Camp Williams cuts through the Village. This channel will be relocated to a safe and controlled by an open channel at the south of the Village and connect into previously approved improvements within Village 7. Village Plan 8 is located within the zone 4 water service area for both drinking and secondary water. Improvements for zone 4 are currently under design or construction and will be available for service within Village 8 prior to any plat recordation. Sewer mains necessary for Village 8 service were installed with previous Villages or off-site improvements. All other site characteristics were included in the approved Wildflower ARCP.



13 Master Development Agreement

This Village Plan is subordinate to the Master Development Agreement, Wildflower ARCP, and Master Utility Plan, which are approved and recorded by the City .

