

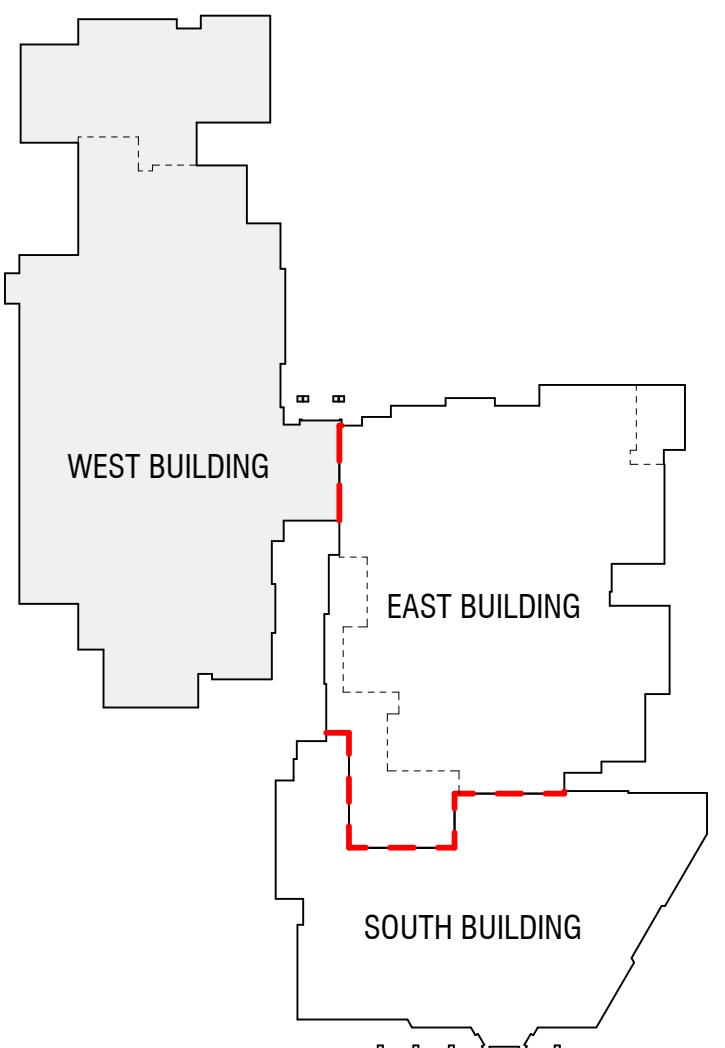
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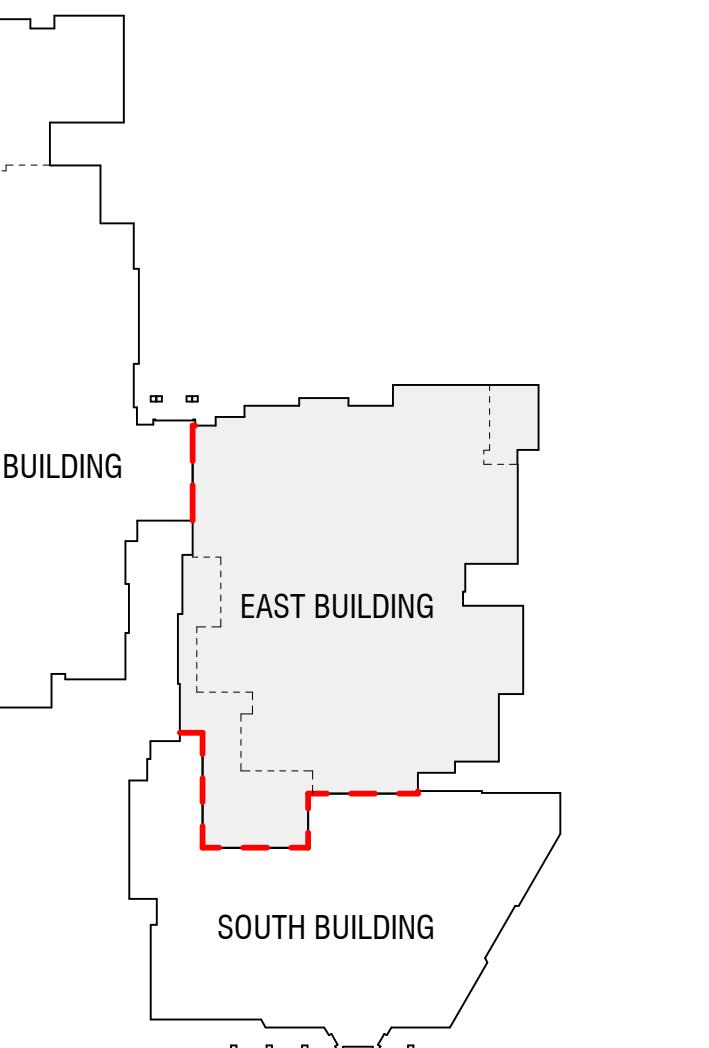
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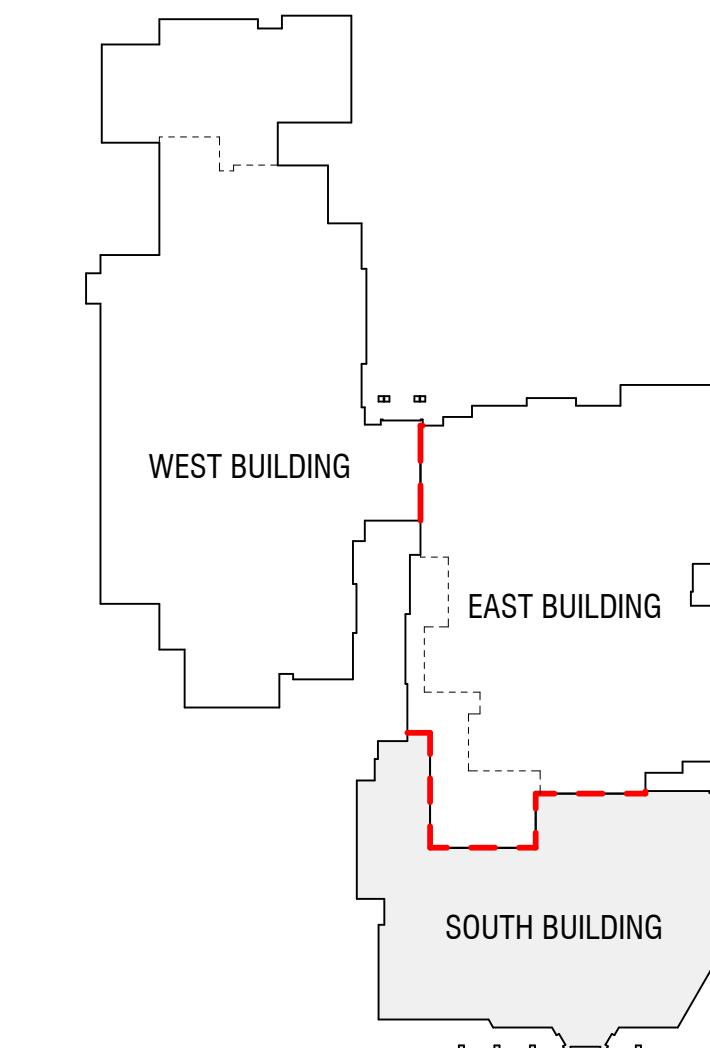
WEST BUILDING



EAST BUILDING



SOUTH BUILDING



LAKEVIEW ACADEMY

LAKEVIEW ACADEMY ADDITION

527 W 400 N SARATOGA SPRINGS, UT
84045

CODE SUMMARY AND PROJECT INFORMATION: WEST BUILDING

APPLICABLE CODES AND STANDARDS					
2021 INTERNATIONAL PLUMBING CODE (IPC)					
2021 INTERNATIONAL MECHANICAL CODE (IMC)					
2021 NATIONAL ELECTRICAL CODE (NEC)					
2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)					
2021 INTERNATIONAL FIRE CODE (IFC)					
2009 ANSI A117.1					

PROJECT DESCRIPTION:
A TWO-STORY CLASSROOM ADDITION ON THE NORTH SIDE OF AN EXISTING CHARTER SCHOOL BUILDING AS WELL AS MINOR INTERIOR MODIFICATIONS TO A FEW OF THE EXISTING SPACES.

WEST BUILDING AREA:
LEVEL 1 EXISTING 35,740 SF
LEVEL 1 ADDITION 6,476 SF
LEVEL 2 NEW 6,954 SF
TOTAL 76,629 SF

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)

GROUP(R): E

SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY (IBC CHAPTER 4)

GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5)

CONSTRUCTION TYPE: V-B

	ALLOWABLE	ACTUAL
BUILDING HEIGHT IN FEET (Table 504.3):	60	52
BUILDING HEIGHT IN STORES (Table 504.4):	20	2
AREA PER FLOOR (Table 505.2):	28,500	42,708

ALLOWABLE AREA DETERMINATION (505.2)

S₀ = ACTUAL NUMBER OF BUILDING STORES
MULTI-STORY BLDG. (505.2.1)
ABOVE GRADE PLANE: NOT TO EXCEED
3 IF (NON-SPRINKLERED) OR NOT TO
EXCEED 4 IF (SPRINKLERED);

= 2
A₀ = (A₀ * (N₀ + 1)) * S₀

= (28500 * (5000 + 1)) * 2
= 58,500 MAX. AREA PER FLOOR (SF)

NO INDIVIDUAL STORY SHALL EXCEED THE ALLOWABLE AREA (A₀) AS

DETERMINED USING THE VALUE OF S₀ = 1

A₀ = (A₀ * (N₀ + 1)) * S₀

= (28500 * (5000 + 1)) * 1
= 28,500 MAX. AREA PER FLOOR (SF)

FRONTAGE INCREASE (Table 506.3.3):

PUBLIC WAY OR 30 MIN. OPEN SPACE FOR MORE

THAN 70% OF WEST BUILDING PERIMETER

L=1.5

MAX ALLOWABLE AREA PER FLOOR (SF) 42,750

TOTAL ALLOWABLE BUILDING AREA (SF) 45,500

42,708

TOTAL ALLOWABLE BUILDING AREA (SF) 76,629

MAX ALLOWABLE AREA PER FLOOR (SF) 42,750

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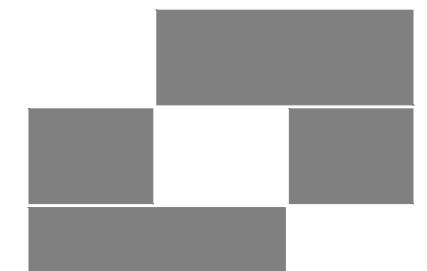
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LAKEVIEW ACADEMY CONSTRUCTION DOCUMENTS

10/14/2024



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LAKEVIEW ACADEMY

527 WEST 400 NORTH
SARATOGA SPRINGS, UT



Sheet Index	
Sheet Number	Sheet Title
C100	COVER
C101	DEMO PLAN
C102	SITE PLAN
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C104	GRADING & DRAINAGE PLAN
C105	EROSION CONTROL PLAN
C201	PLAN & PROFILE NORTH SD
C202	PLAN & PROFILE SOUTH SD
C501	DETAILS
C502	DETAILS
C503	DETAILS
C504	DETAILS
C505	DETAILS
C506	DETAILS

GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THESE PLANS OR ISSUE OF A PERMIT BY THE CITY OF SARATOGA SPRINGS DOES NOT AUTOMATICALY AUTHORIZE THE OWNER TO VIOLATE ANY FEDERAL, STATE, OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL NOT DESTROY, REMOVE, OR ALTER ANY VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF RELOCATING VERTICAL CONTROLLING MONUMENTS.
- CONTRACTOR SHALL NOTIFY THE STAKEHOLDER TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTAKES.ORG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADES AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND SARATOGA SPRINGS CITY.
- THE CONTRACTOR IS SUBJECT TO DISPUTE OR DAMAGE. IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, UNLESS SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
- PROVIDE ANY DISTURBANCE TO THE SITE, EXCEPT AS PROVIDED IN THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE PRE-CONSTRUCTION ACTIVITIES AND EROSION CONTROL WORKING WITH THE CITY OF SARATOGA SPRINGS.
- EXCAVATION FROM THE SITE SHALL NOT BE ALLOWED UNLESS A CONSTRUCTION DRAWING IS APPROVED BY THE CITY ENGINEER AND A CHECK IS REQUIRED BY THE INSPECTOR.
- ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS, WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RECENT EDITION SHALL GOVERN.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE UTAH CHAPTER OF AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARDS AND SPECIFICATIONS, 2017 EDITION.
- THE CONTRACTOR SHALL NOT DESTROY, REMOVE, OR ALTER ANY VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EXISTING UTILITY SURVEYS, WATER MAIN, CURB, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE SITE ELEMENTS INDICATED IN THESE PLANS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER. DESIGN MODIFICATIONS MUST BE APPROVED BY THE OWNER PRIOR TO BEING IMPLEMENTED.
- THE CONTRACTOR SHALL NOT DESTROY, REMOVE, OR ALTER ANY VERTICAL CONTROLLING MONUMENTS OF EXISTING UTILITIES AS INDICATED ON THESE PLANS, BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT BLUE STAKES (BY DIALING 811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRAVING TO NOTIFY ALL REGISTERED UTILITY LOCATIONS MARKED. ALL OTHER UN-REGISTERED UTILITIES (E. G. DITCH, IRRIGATION COMPANY, OTHER SITE-SPECIFIC UTILITIES, ETC.) ARE TO BE LOCATED BY THE CONTRACTOR AND REPORTED TO THE CITY ENGINEER FOR RECORDING.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE PROJECT OWNER, LOCAL JURISDICTION, AND ALL UTILITY COMPANIES INVOLVED REGARDING RELOCATING, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES INVOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEANS REQUIRED TO PROTECT EXISTING UTILITIES AND/OR TO WORK AROUND SUCH UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, SUPPORTING EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, AND PROVIDING ADEQUATE SCAFFOLDING.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AFFECTED UTILITY COMPANY, AND ALL AFFECTED PARTIES A MINIMUM OF 24 HOURS PRIOR TO ANY WATER INTERRUPTION.
- THE CONTRACTOR IS NOT TO OPERATE ANY VALVE, FIRE HYDRANT AND OTHER APPURTENANCES COORDINATE WITH THE UTILITY SUPPLIER.
- THE CONTRACTOR SHALL NOT DESTROY, REMOVE, OR ALTER ANY VERTICAL CONTROLLING MONUMENTS, TRAFFIC CONTROL, SECURITY AND OTHER SITE RELATED SAFETY PRACTICES. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
- IF DURING CONSTRUCTION CONDITIONS ARE ENCOUNTERED WHICH COULD INDUCE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PERFORM ANY ACTIVITIES WITHIN, OR AFFECTING THE RIGHT-OF-WAY, ALL TRAFFIC CONTROL PLANS SHALL BE IN ACCORDANCE WITH MUTCD OR UDOT STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL DEVICES, PERSONNEL AND OTHER FACILITIES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE UTAH PERMIT FOR STORM WATER DISCHARGE, THE SWPPP AND THE EROSION CONTROL PLAN.
- THE APPROVED, DESIGNATED PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
- SOIL TESTS FOR THE PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
- a. THE MINIMUM RELATIVE DENSITY SHALL BE 95% OF THE MODIFIED PROCTOR (ASTM D 1557 OR AASHTO T 180) FOR A-1 SOILS.
- b. THE MINIMUM RELATIVE DENSITY SHALL BE 95% OF THE STANDARD PROCTOR (ASTM D 698 OR AASHTO T 99) FOR ALL SOILS OTHER THAN A-1 SOILS THAT LIE BEATHEN PAVEMENTS, STRUCTURES AND OTHER ELEMENTS AS DEFINED IN THIS PLAN.
- c. THE MINIMUM RELATIVE DENSITY SHALL BE 90% OF THE STANDARD PROCTOR (ASTM D 698 OR AASHTO T 99) FOR ALL SOILS OTHER THAN A-1 SOILS THAT LIE BEATHEN LANDSCAPED OR OTHER AREAS THAT ARE NOT INTENDED FOR VEHICULAR OR STRUCTURAL LOADINGS.

LEGEND EXISTING

	PROPERTY BOUNDARY
	STORM DRAIN LINE
	WATER LINE
	SEWER LINE
	CONTOUR MINOR
	CONTOUR MAJOR
	ASPHALT
	OPEN FACE CURB AND GUTTER
	FENCE
	CONCRETE
	EXISTING TO BE REMOVED
	WATER VALVE
	FIRE HYDRANT
	STORMDRAIN BOX
	WATER METER
	SEWER MANHOLE
	IRRIGATION VALVE
	GAS METER
	SEWER CLEANOUT
	ELECTRICAL EQUIPMENT
	STORMDRAIN MANHOLE
	COMMUNICATION EQUIPMENT
	LIGHT POLE

LEGEND PROPOSED

	WATER LINE (SIZE SHOWN ON PLAN)
	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
	IRRIGATION LINE (SIZE SHOWN ON PLAN)
	GAS LINE
	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
	CONTOUR MAJOR
	CONTOUR MINOR
	ASPHALT
	CATCH CURB AND GUTTER
	SPILL CURB AND GUTTER
	CONCRETE SIDEWALK
	SAWCUT ASPHALT
	WATER VALVE
	FIRE HYDRANT
	STORMDRAIN BOX
	WATER METER
	STORMDRAIN BOX
	STORM WATER CATCH BASIN

STANDARD DRAWINGS & SPECIFICATIONS:

- SARATOGA SPRINGS CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- SARATOGA SPRINGS CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DRAWINGS.
- STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGEMENT PROGRAM.
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.

SARATOGA SPRINGS CITY ENGINEERING DEPARTMENT APPROVAL:

THE IMPROVEMENT FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY-APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION AND SUBSEQUENT IMPROVEMENTS. THE OWNER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING, AND RELATED FIELD INFORMATION. THE CONTRACTOR/CONTRACTOR IS RESPONSIBLE FOR SUBDIVISIONS WHICH SHALL BE CORRELATED AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCE OF HIS OR HER WORK.

BY: _____ DATE: _____

Revisions	Num.	Description	Date

Project Number	#
Original Issue	
Project Status	

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Stamp



Sheet Title

COVER

Sheet Number

C100



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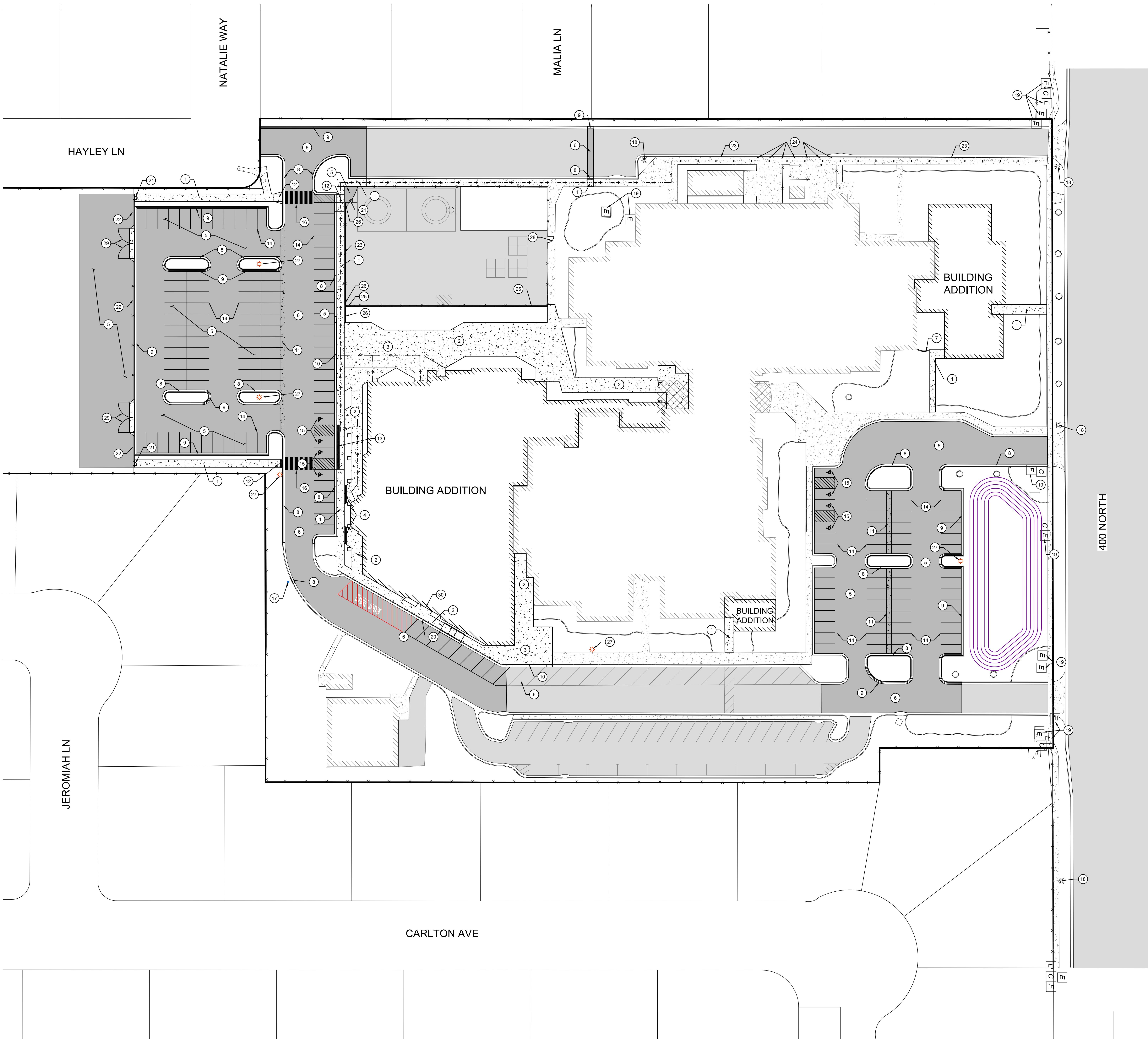
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LAKEVIEW ACADEMY

527 WEST 400 NORTH
SARATOGA SPRINGS, UT

① SITE SHEET KEY NOTES:
PROVIDE THE INFORMATION FOLLOWING PER THE SPECIFICATIONS GIVEN OR STATED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- CONCRETE SIDEWALK (6/C501)
- STANDARD DUTY CONCRETE PAVEMENT (3/C501)
- HEAVY DUTY CONCRETE PAVEMENT (4/C501)
- CONCRETE PAVEMENT (3/C501)
- STANDARD DUTY ASPHALT PAVEMENT (1/C501)
- HEAVY DUTY ASPHALT PAVEMENT (2/C501)
- LANDSCAPE PLANS
- CATCH CURB & GUTTER (5/C501)
- SPILL CURB & GUTTER (7/C501)
- ADA RAMP (1/C502 & 2/C502)
- ADA ACCESSIBLE SURFACE (10/C501)
- 4" YELLOW PAINT STRIPE (11/C501)
- ADA PARKING STALL WITH ADA SIGNAGE AND MARKINGS (8/C501)
- PEDESTRIAN CROSSWALK (12/C501)
- LOCATED FIRE HYDRANT (13/C503)
- EXISTING FIRE HYDRANT
- EXISTING ELECTRICAL EQUIPMENT SEE ELECTRICAL PLANS.
- RED PARK CUBE
- 3 PEDESTRIAN ACCESS GATE
- 2 C CHANNEL FENCE
24. BOLLARDS AND CHAIN
25. 12' CIV STOPLINE (11/C501)
26. CUPOLA (1/C501)
27. LIGHT POLE SEE ELECTRICAL PLANS
28. 9' PEDESTRIAN ACCESS GATE
29. 12' SWINGING VEHICLE ACCESS GATE
30. FOO SWINGING GATE SEE ARCHITECTURAL PLANS.



EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL		HONED	
E-1	EIPS - COLOR 1	DRYWIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIPS - COLOR 2	DRYWIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIPS - LIGHT TINTED	DRYWIT		DARK - MATCH EXISTING		SANDBLAST	
FO-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-1	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAR 70XL OPTIGRAY+CLEAR			
GL-2	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAR 70XL OPTIGRAY+CLEAR			
GL-3	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING		MATCH EXISTING	MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

EXTERIOR ELEVATION GENERAL NOTES

- REFER TO MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
- CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
- ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
- CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
- SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
- SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

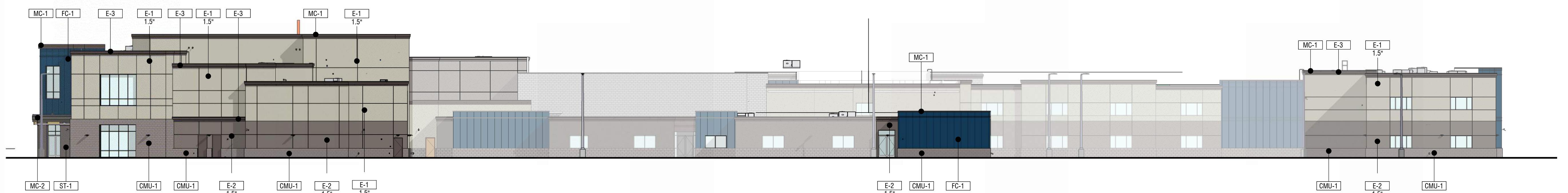
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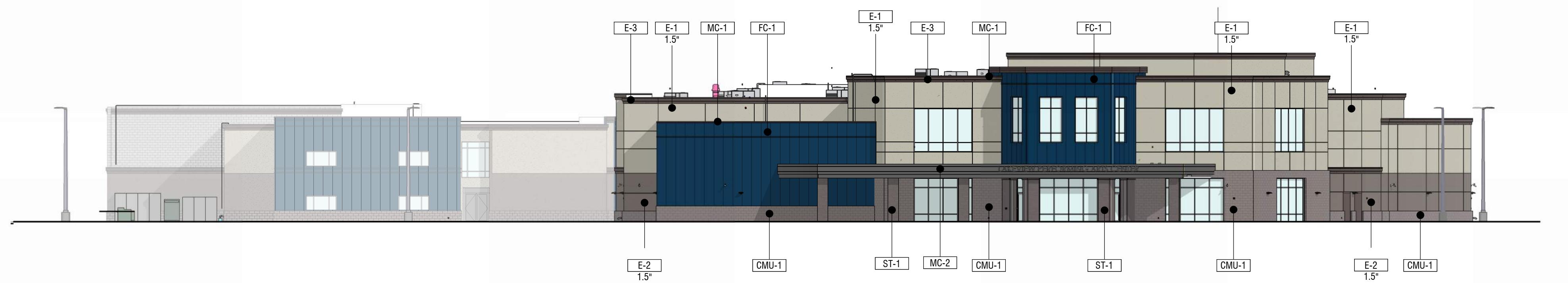
1 | OVERALL NORTH ELEVATION



LAKEVIEW ACADEMY ADDITION

527 W 400 N SARATOGA SPRINGS, UT
84045

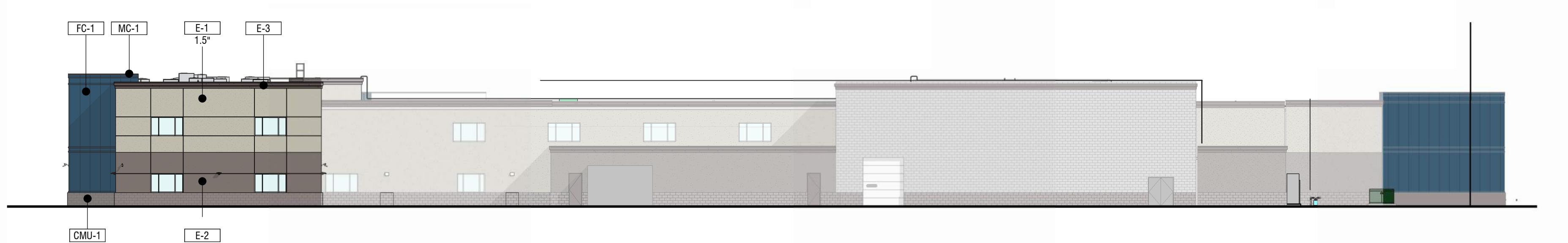
2 | OVERALL EAST ELEVATION



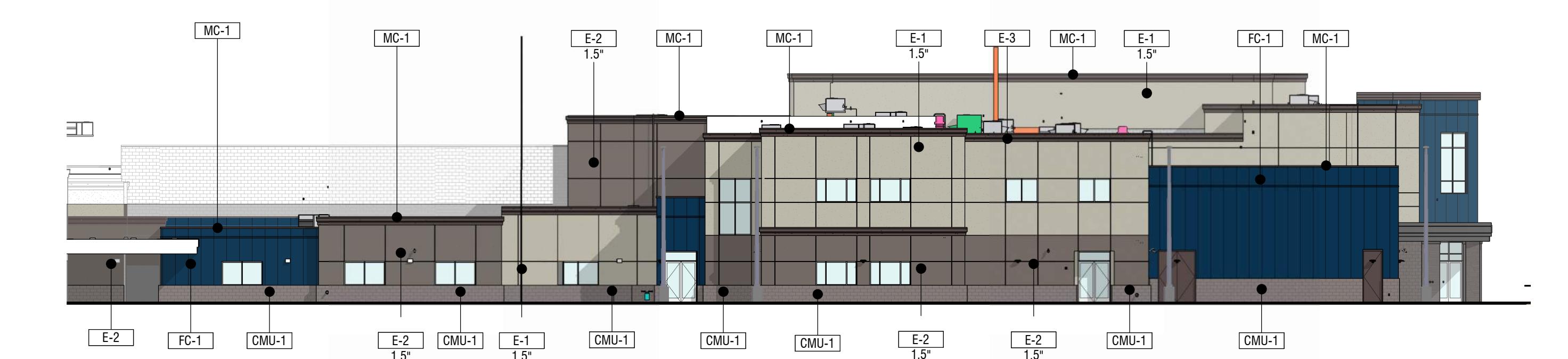
Revisions

Num. Description Date

3 | OVERALL SOUTH ELEVATION



4 | OVERALL WEST ELEVATION - NORTH ADDITION

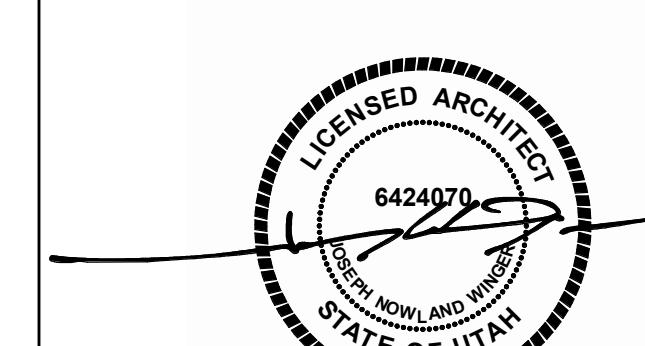


5 | OVERALL WEST ELEVATION - SOUTH/EAST ADDITION

Project Number 24048
Original Issue 10.15.2024
Project Status PLAN REVIEW AND BIDDING

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Sheet Title

EXTERIOR ELEVATIONS

Sheet Number

A201

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED EXTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - COLOR 3	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	DRYVIT	BOARD & BATTEN	DIA. BLUE - MATCH EXISTING		SATIN	
GL-1	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70X OPTIGRAY + CLEAR			
GL-2	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70X OPTIGRAY + CLEAR			
GL-3	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING			MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

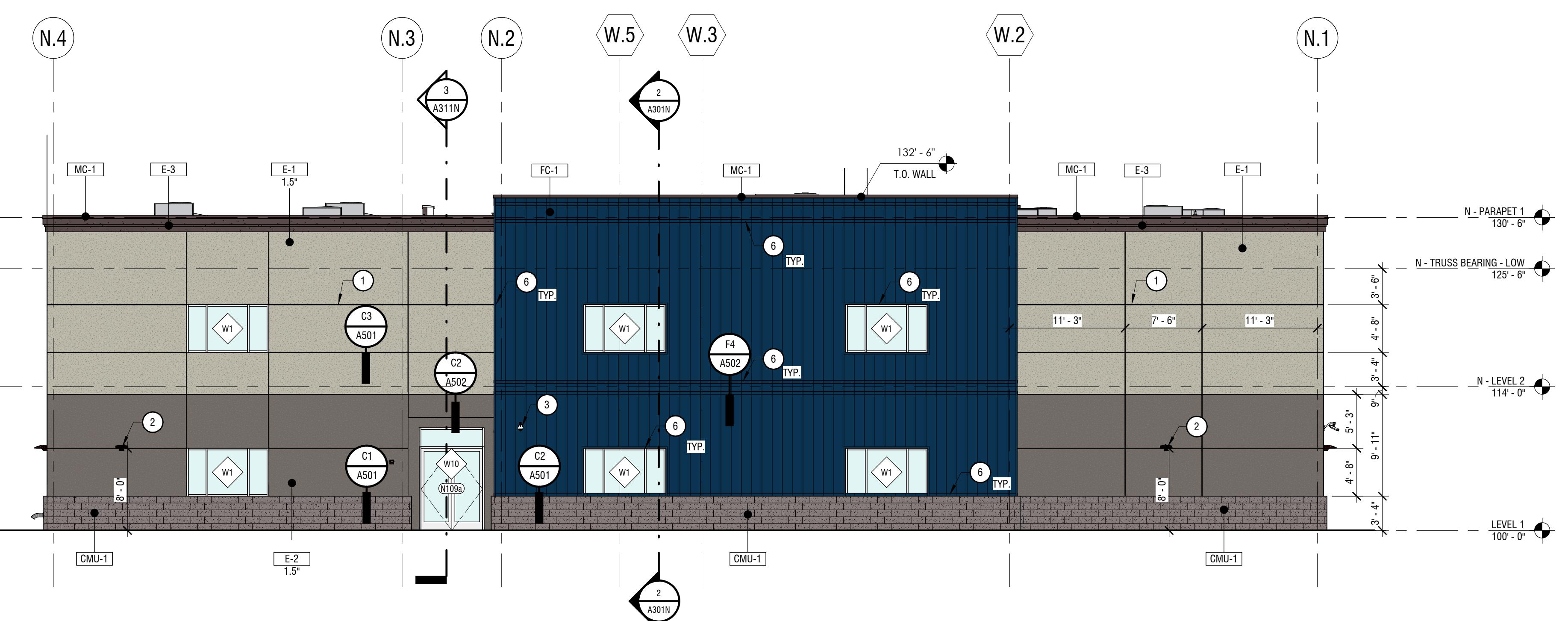
EXTERIOR ELEVATION GENERAL NOTES

1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

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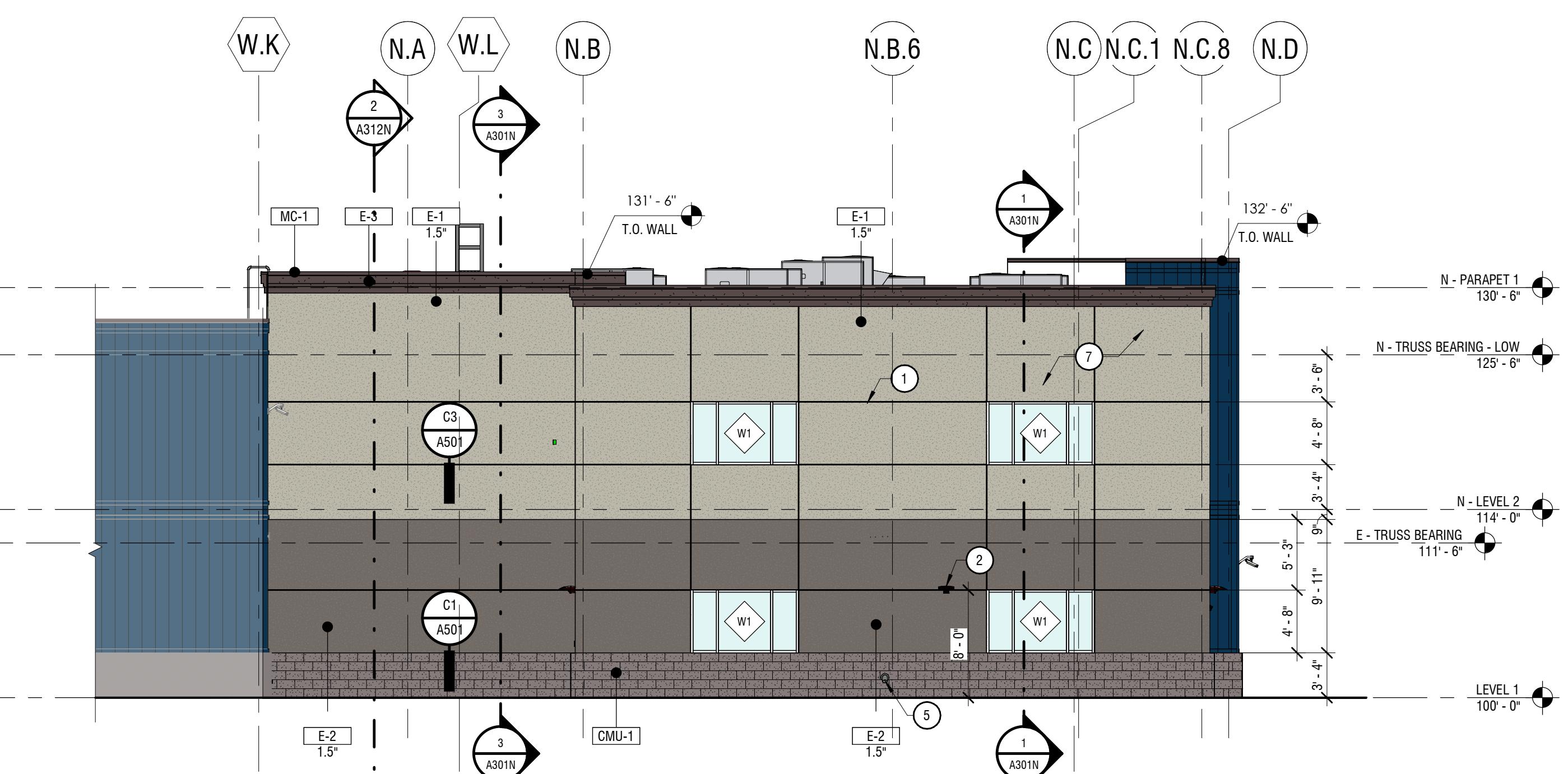
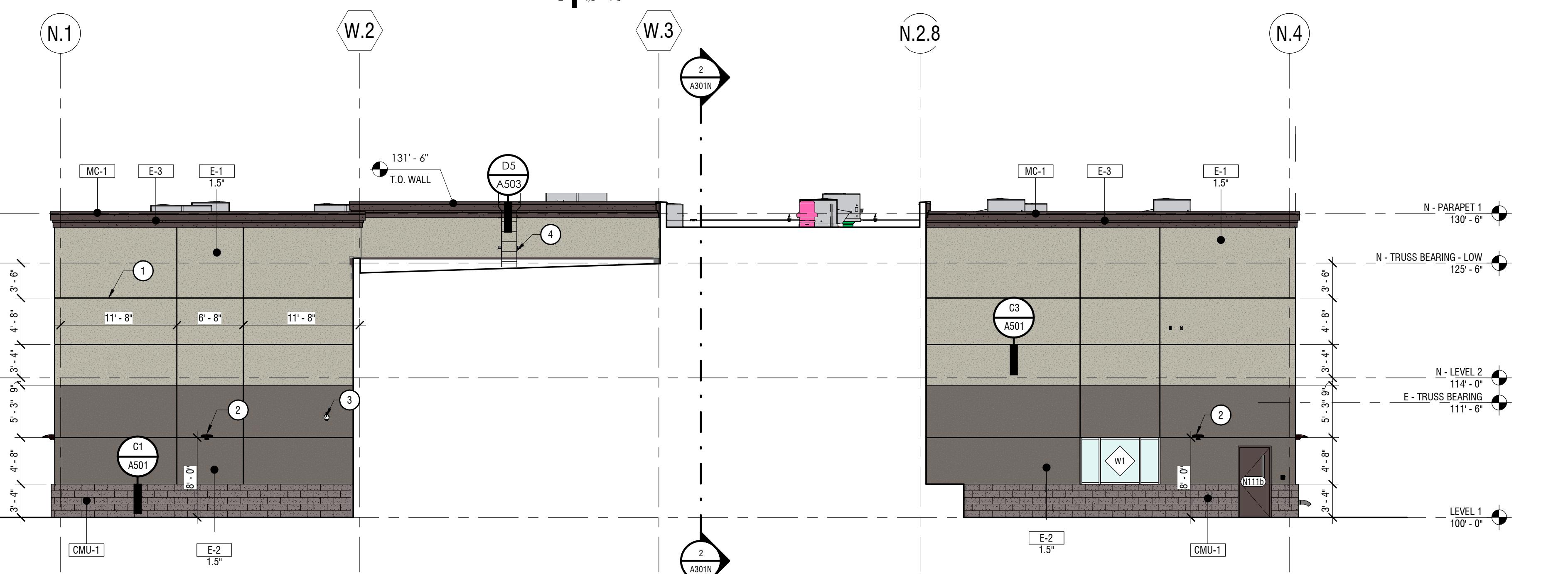


LAKEVIEW ACADEMY

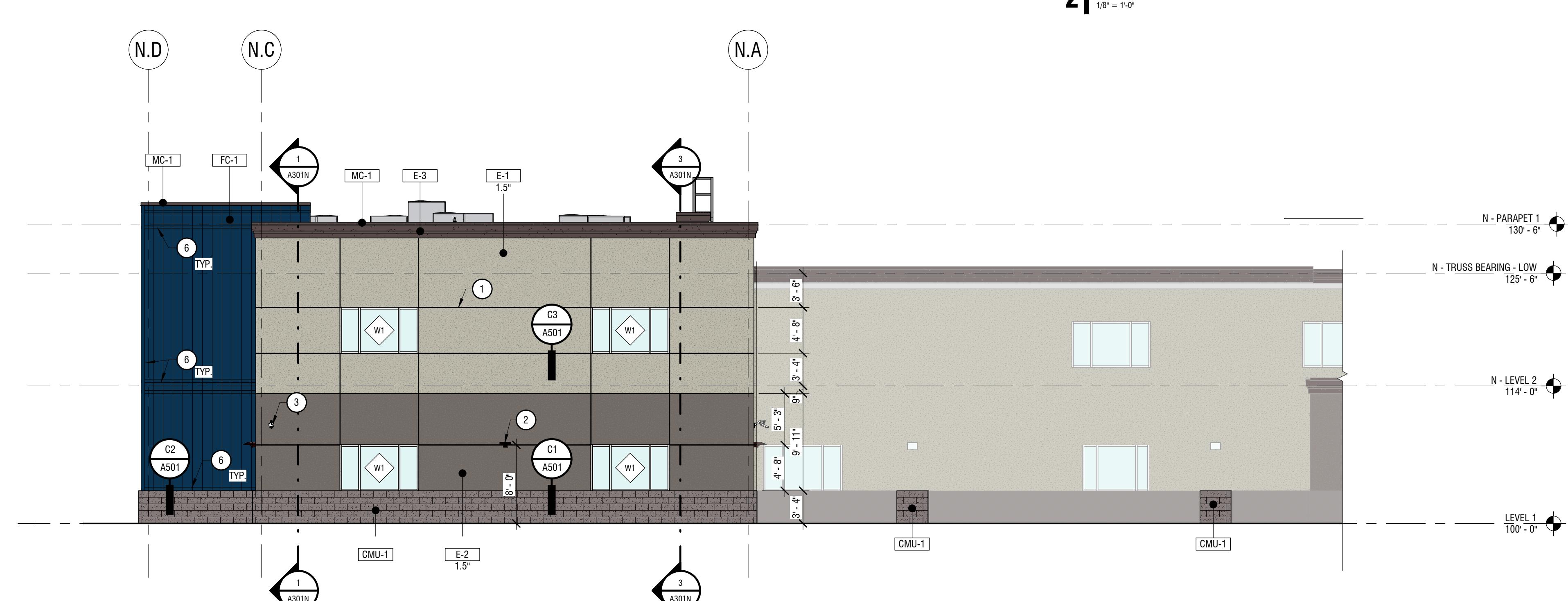
LAKEVIEW ACADEMY ADDITION

527 W 400 N SARATOGA SPRINGS, UT 84045

1 | NORTH ADDITION - NORTH ELEVATION



3 | NORTH ADDITION - SOUTH ELEVATION



4 | NORTH ADDITION - WEST ELEVATION

SHEET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

1. EIFS REVEAL SEE DETAILS
2. LIGHT FIXTURE COORDINATE WITH ELECTRICAL
3. SECURITY CAMERA - COORDINATE WITH ELECTRICAL
4. ROOF ACCESS LADDER SEE DETAILS
5. DOWNSPOUT - COORDINATE WITH MECHANICAL
6. FIBER CEMENT TRIM
7. PROVIDE STUBBED ELECTRICAL CONDUIT FOR FUTURE LIGHT ADDITION. COORDINATE WITH ELECTRICAL.

LAKEVIEW ACADEMY

LAKEVIEW ACADEMY ADDITION

527 W 400 N SARATOGA SPRINGS, UT 84045

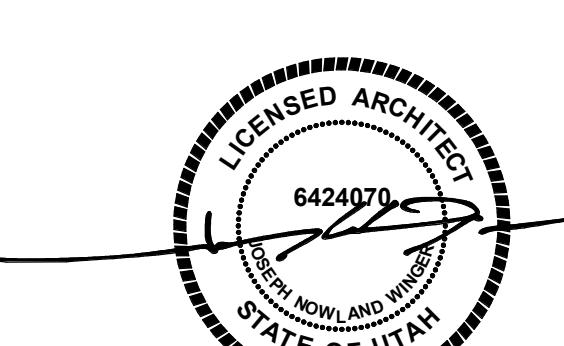
Revisions

Num. Description Date

Project Number 24048
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Sheet Title

EXTERIOR ELEVATIONS - NORTH ADDITION

Sheet Number

A211N

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINGSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY+CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY+CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

EXTERIOR ELEVATION GENERAL NOTES

1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDING'S STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

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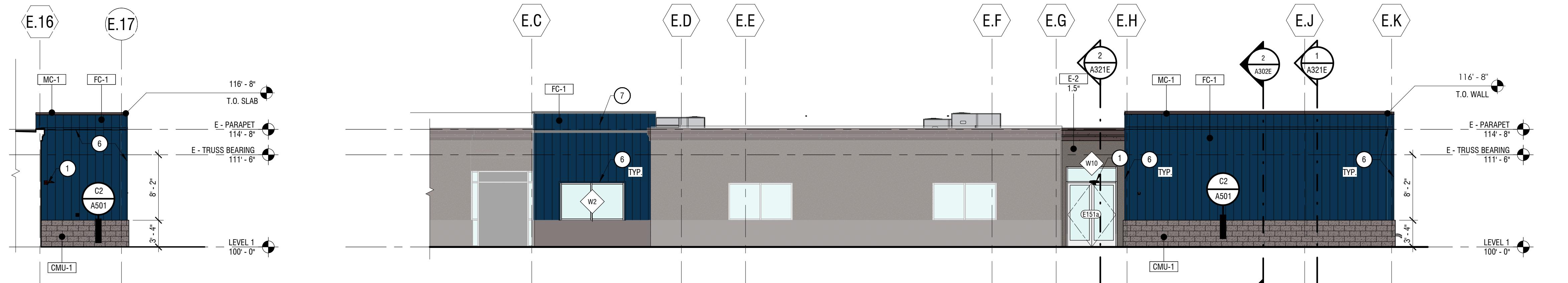
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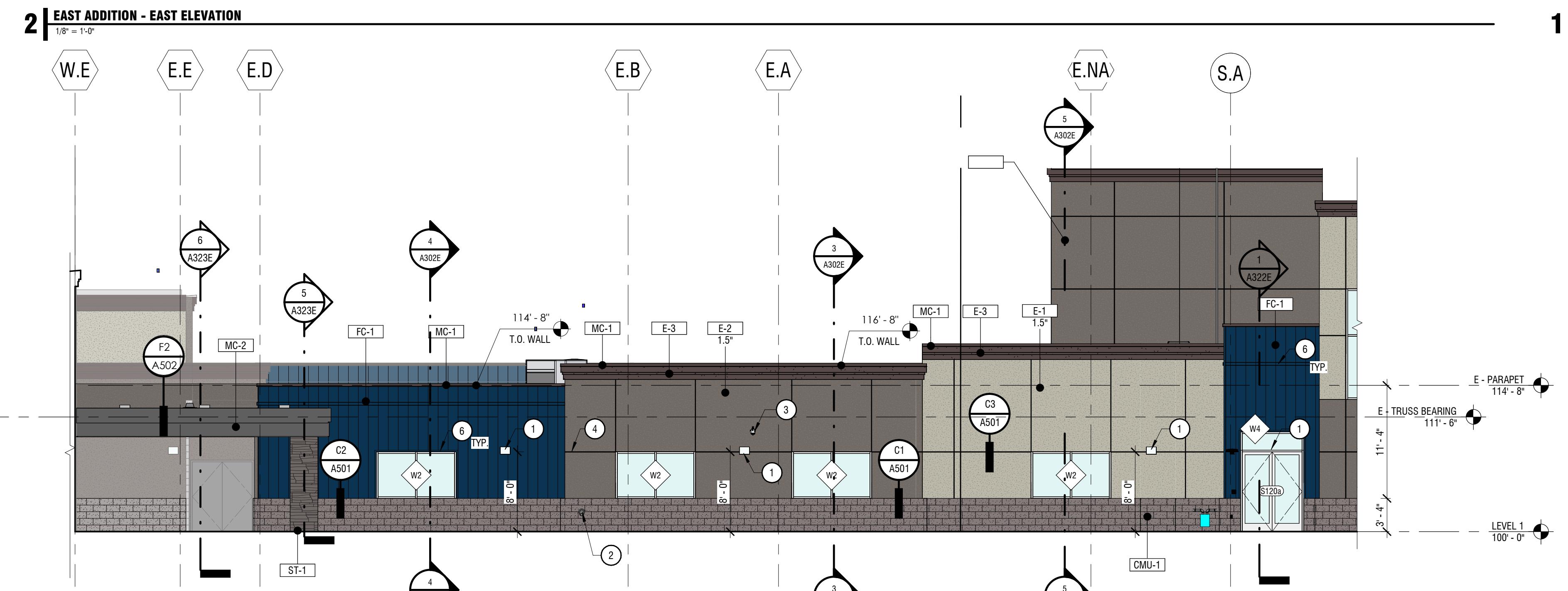
EET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

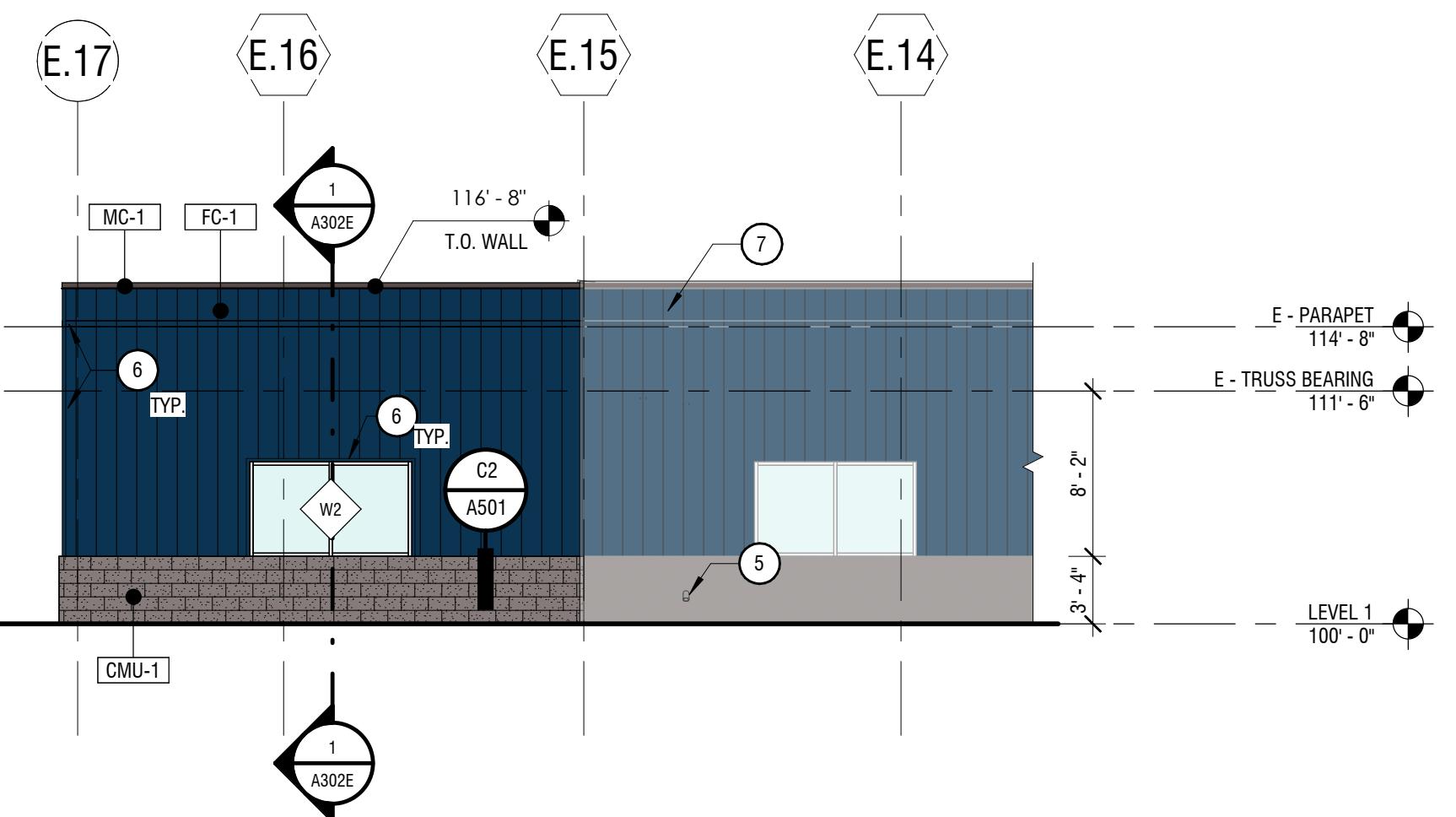
LIGHT FIXTURE COORDINATE WITH ELECTRICAL
DOWNSPOUT - COORDINATE WITH MECHANICAL
SECURITY CAMERA - COORDINATE WITH ELECTRICAL
EIFS REVEAL, SEE DETAILS
EXISTING ROOF DRAIN TO REMAIN
FIBER CEMENT TRIM
EXISTING WALL TO REMAIN. REPAIN DURING NEW CONSTRUCTION.



3 | EAST ADDITION - SOUTH ELEVATION



4 | SOUTH CORRIDOR - WEST ELEVATION



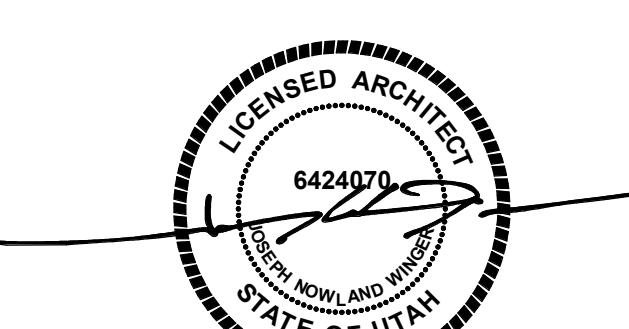
EAST ADDITION - NORTH ELEVATION



Project Number	24048
Initial Issue	10.15.2024
Project Status	PLAN REVIEW AND BIDDING

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EXTERIOR ELEVATIONS - EAST ADDITION

Part Number

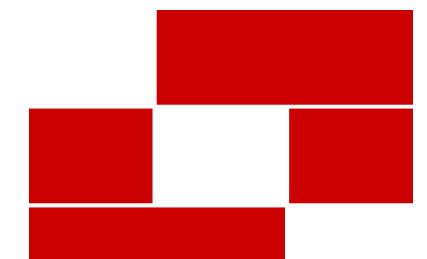
A221 E

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINGSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - COLOR 3	DRYVIT		CHARCOAL - MATCH EXISTING		SANDBLAST	
FG-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-1	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAR 70X1 OPTIGRAY + CLEAR			
GL-2	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAR 70X1 OPTIGRAY + CLEAR			
GL-4	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING		MATCH EXISTING	MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

SHEET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. LINTELS, ETC.).
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.



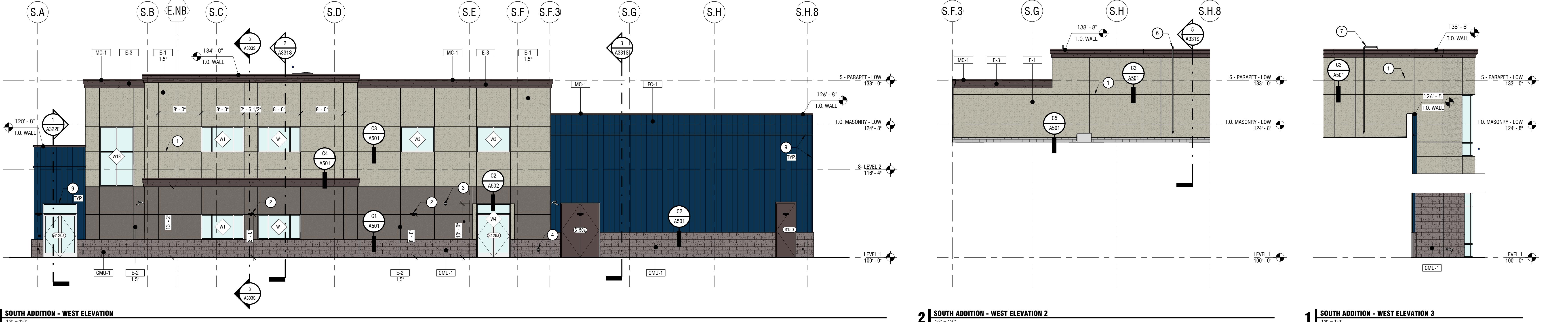
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3 | SOUTH ADDITION - WEST ELEVATION

2 | SOUTH ADDITION - WEST ELEVATION 2

1 | SOUTH ADDITION - WEST ELEVATION 3

5 | SOUTH ADDITION - SOUTH ELEVATION 2

4 | SOUTH ADDITION - SOUTH ELEVATION 1

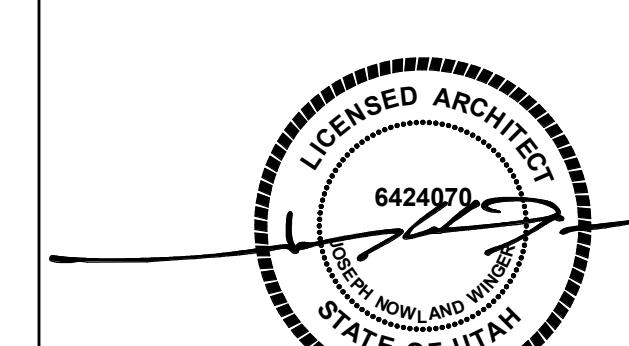
Revisions

Num. Description

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Sheet Title

EXTERIOR ELEVATIONS - SOUTH ADDITION

Sheet Number

A231S

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINGSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - COLOR 3	DRYVIT		WHITE - MATCH EXISTING		SANDBLAST	
FG-1	FIBER CEMENT BOARD	HAGG BOARD	BOARD & BATTEN	DARK BROWN - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAR 70X1 OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAR 70X1 OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

SHEET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. NON SANITARY PIPING - SEE MECHANICAL
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

EXTERIOR ELEVATION GENERAL NOTES



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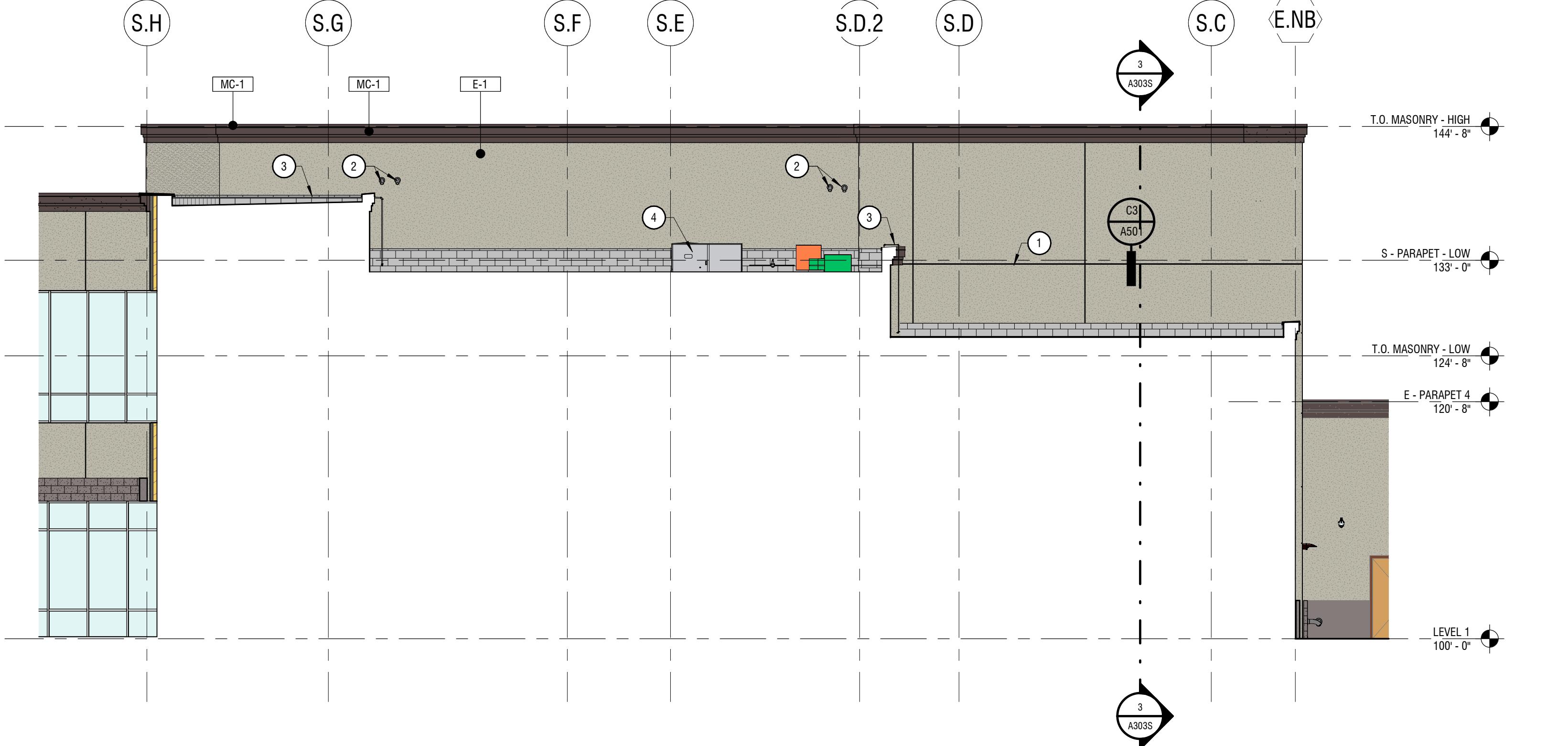
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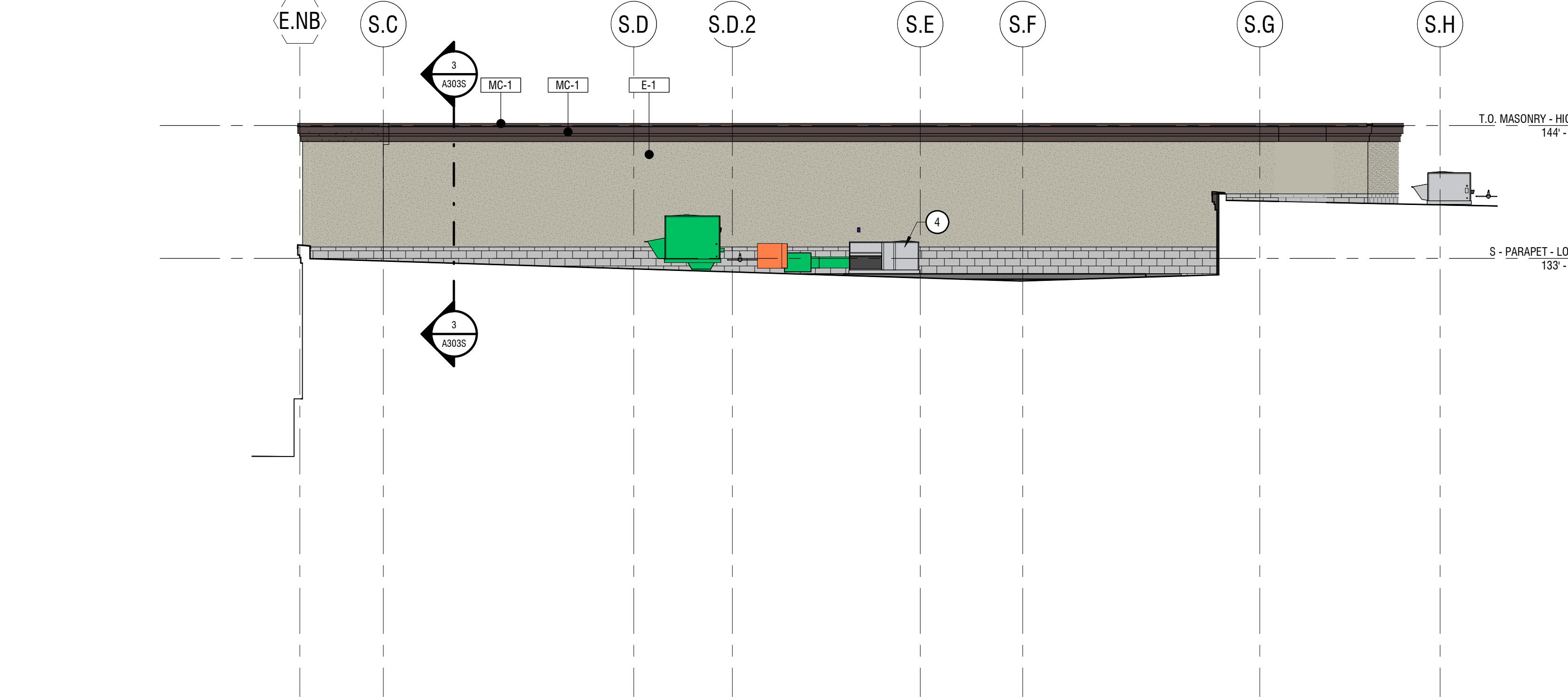
LAKEVIEW ACADEMY

LAKEVIEW ACADEMY ADDITION

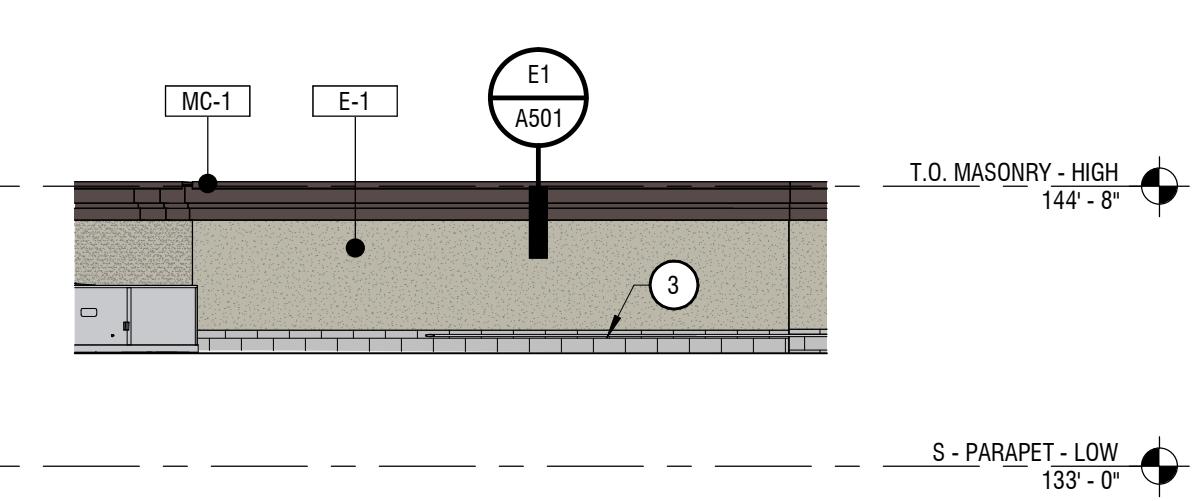
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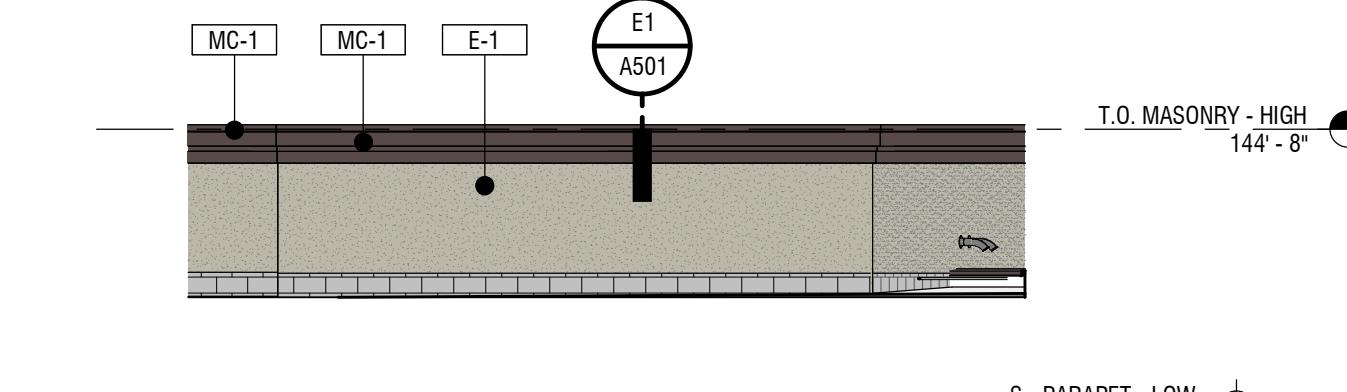
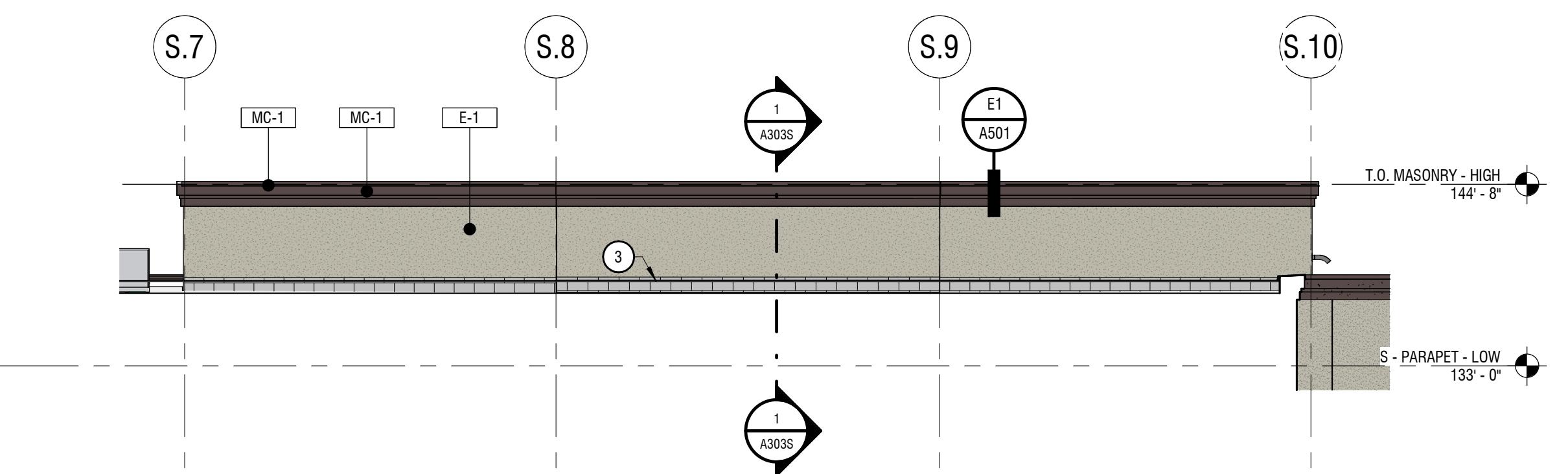
2 | THEATER - EAST WALL



1 | THEATER - WEST WALL



5 | THEATER - SOUTH WALL 2



3 | THEATER - SOUTH WALL 3

Revisions

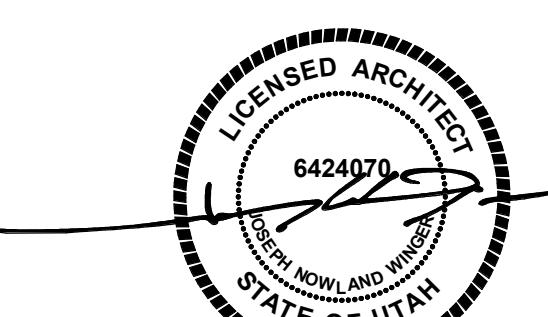
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Sheet Title

EXTERIOR ELEVATIONS - SOUTH ADDITION

Sheet Number

A233S