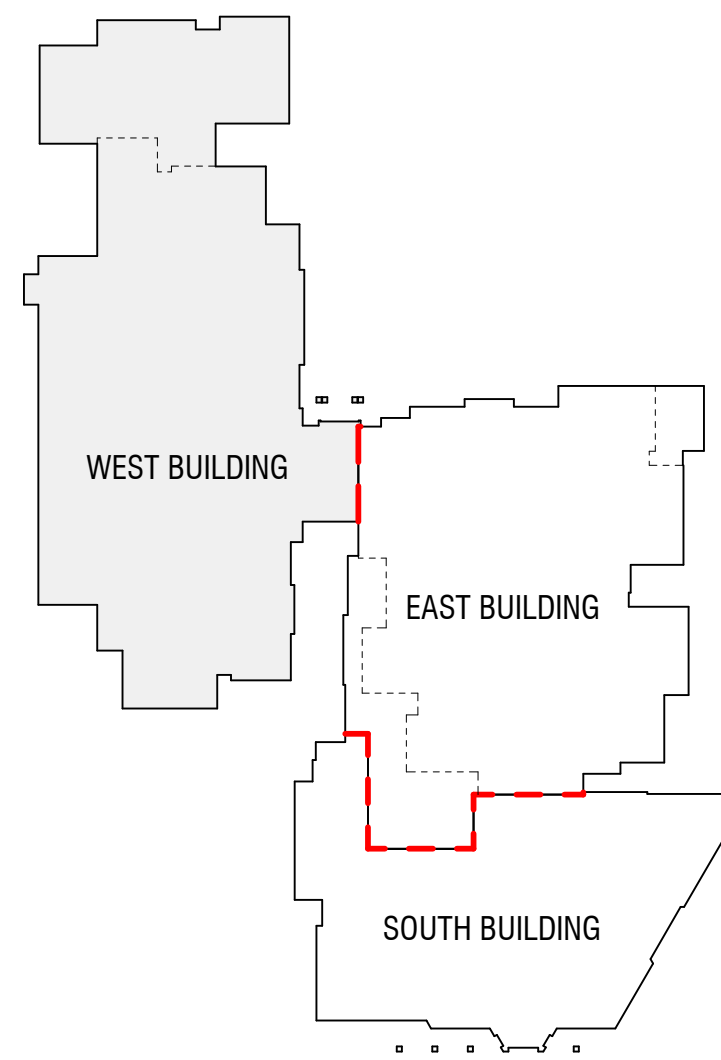


WEST BUILDING



CODE SUMMARY AND PROJECT INFORMATION:
WEST BUILDING

APPLICABLE CODES AND STANDARDS

2021 INTERNATIONAL BUILDING CODE (IBC)

2021 INTERNATIONAL PLUMBING CODE (IPC)

2021 INTERNATIONAL MECHANICAL CODE (IMC)

2020 NATIONAL ELECTRICAL CODE (NEC)

2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2020 INTERNATIONAL FIRE CODE (IFC)

2009 IBCS A17.1

PROJECT DESCRIPTION

A TWO-STORY CLASSROOM ADDITION ON THE NORTH SIDE OF AN EXISTING CHARTER SCHOOL BUILDING AS WELL AS MINOR INTERIOR MODIFICATIONS TO A PORTION OF THE EXISTING SPACE

WEST BUILDING AREA:

LEVEL 1 EXISTING

35,740 SF

LEVEL 2 EXISTING

26,944 SF

LEVEL 1 NEW

6,949 SF

LEVEL 2 NEW

6,949 SF

TOTAL

76,629 SF

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)

GROUP(S): E

SPECIAL DETAIL REQUIREMENTS BASED ON USE AND OCCUPANCY (IBC CHAPTER 4)

GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5)

CONSTRUCTION TYPE: V-B

BUILDING HEIGHT IN FEET (TODAY SDA-3)

40

ALLOWABLE

ACTUAL

BUILDING HEIGHT IN STORIES (TODAY SDA-3)

6

5

AREA PER FLOOR (TODAY SDA-3)

28,500

42,708

ALLOWABLE AREA INTERVENTION (506.2)

SINGLE OCCUPANCY

$S_n = \text{ACTUAL NUMBER OF BUILDING STORIES ABOVE GRADE PLANE, NOT TO EXCEED } \times 180 \text{ NON-SPRINKLERED, OR NOT TO EXCEED } \times 4 \text{ (IF SPRINKLERED)}$

$A_{n-1} = [A_n \times (N_S + 1)] \times S_n$

$= [28,500 + (9500 + 1.5)] \times 2$

$= 85,000$

TOTAL SF

NO INDIVIDUAL STORY SHALL EXCEED THE ALLOWABLE AREA (A_n) AS DETERMINED BY THE VALUE OF $S_n + 1$

$A_n = [A_n \times (N_S + 1)] \times S_n$

$= [28,500 + (9500 + 1.5)] \times 1$

$= 42,750$

MAX. AREA PER FLOOR (SF)

FRONTAGE INCREASE (Table 506.3.3)

PUBLIC WAY OR SR OR MND - OPEN SPACE FOR MORE THAN 75% OF WEST BUILDING PERIMETER

L = 1.5

MAX ALLOWABLE AREA PER FLOOR (SF)

42,750

76,629

TOTAL ALLOWABLE AREA PER FLOOR (SF)

85,500

142,298

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC CHAPTER 4)

CONSTRUCTION TYPE: V-B

STRUCTURAL FRAME:

0

HR

BEARING WALLS EXTERIOR:

0

HR

BEARING WALLS INTERIOR:

0

HR

NON-BEARING WALLS INTERIOR:

0

HR

FLOOR CONSTRUCTION:

0

HR

ROOF CONSTRUCTION:

0

HR

FIRE AND SMOKE PROTECTION FEATURES (IBC CHAPTER 7)

ALLOWABLE AREA OF OPENINGS:

FIRE SEPARATION DISTANCE: 30 FEET

OPENING PROTECTION: UNPROTECTED; SPRINKLERED

ALLOWABLE AREA: NO LIMIT

FIRE PROTECTION SYSTEMS (IBC CHAPTER 9)

AUTOMATIC SPRINKLER SYSTEM:

NFPA 13

EXISTING SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW ADDITION

MEANS OF EGRESS (IBC CHAPTER 10)

OCCUPANT LOAD [1004]

1,831

EXISTING OCCUPANTS

NEW OCCUPANTS

2,346

TOTAL OCCUPANTS

(SEE OCCUPANT LOAD CALCULATION ON SHEET G101)

EGRESS SIZING (1005):

STARWAYS + OCCUP. LOAD +

0.2' / OCC.

925

LEVEL 2 OCCUPANTS

NEW OCCUPANTS

304

INCHES PROVIDED

OTHER EGRESS COMPONENTS + OCCUP. LOAD +

0.15' / OCC.

351.9

INCHES REQUIRED

612

INCHES PROVIDED

COMMON PATH OF EGRESS TRAVEL:

75 FEET

EXIT ACCESS TRAVEL DISTANCE:

200

PLUMBING FIXTURE REQUIREMENTS (IBC CHAPTER 21)

SEE PLUMBING FIXTURE CALCULATIONS ON SHEET: G101

THERMAL ELEVATION (IECC)

ROOF INSULATION R-VALUE:

R-30

STUD CAVITY INSULATION R-VALUE:

R-19

CONTINUOUS INSULATION R-VALUE:

R-10

SLAB/FOUNDATION R-VALUE:

R-10

AT CMU/CONCRETE WALLS

EXTERIOR GLAZING INFORMATION:

VTI

PPG SOLARBAN 70

SHGC FACTOR:

0.28

Btu/(hr x sq ft) MAXIMUM

WINTER U-FACTOR:

0.25

Btu/(hr x sq ft) MAXIMUM

SHGC:

0.26

INCHES PROVIDED

EXTERIOR GLAZING SYSTEM INFORMATION:

U-FACTOR:

0.35

Btu/(hr x sq ft) MAXIMUM

SHGC:

0.38

MAXIMUM

DEFERRED SUBMITTALS

FIRE SUPPRESSION SYSTEM

FIRE ALARM SYSTEM

SEISMIC RESTRAINTS (WHERE REQUIRED EXCEPT AS NOTED ON SHEET A501)

FIRE SAFETY AND EVACUATION PLANS

OTHER

NOTES:

ALL DEFERRED SUBMITTALS TO BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW WITHIN A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF WORK.

ALL DEFERRED SUBMITTALS TO BE REVIEWED BY THE ARCHITECT PRIOR TO SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION.

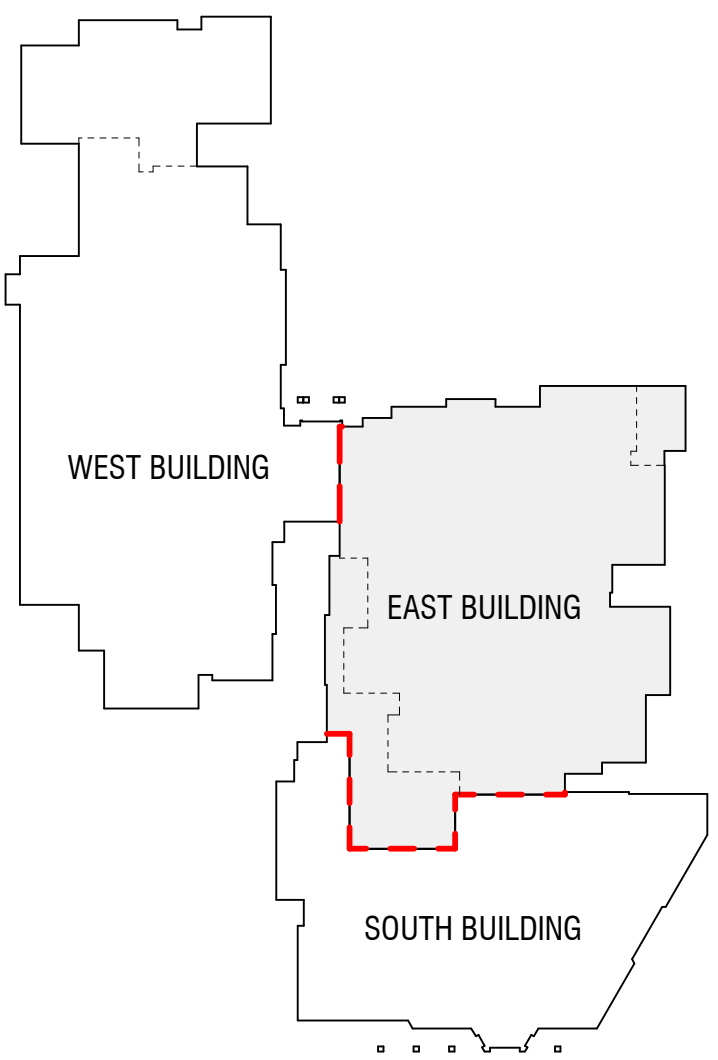
WEST BUILDING - PLUMBING FIXTURE CALCULATIONS PER TABLE 2901.1																
EXISTING + NEW CONSTRUCTION																
OCCUPANCY	OCCUPANT COUNTS				PLUMBING LOAD FACTOR				WATER CLOSETS		LAVATORIES		BATHTUBS/ DRINKING		SERVICE SINK	
	Total	Male	Female	WC Male Load	WC Female Load	Low Load	H/S Load	DF Load	Male	Female	Male	Female	SHOWERS	FOUNTAINS		
E --- Educational	1758	879	879	50	50	50	0	100	17.58	17.58	17.58	17.58	-	17.58	1.0	
	1758	879	879						Required	18.00	18.00	18.00	18.00	0.00	19.00	Notes
									17.58	17.58	17.58	17.58		0.00	16.48	
									Provided	25	25	21	22	0	20	1

Notes:

1. The code requires only one service sink per building if all occupancies have access to the service sink at all times.

Original drawing is 30" x 42" Autodesk Docs://24048 - Lakeview Academy Addition/24048 - Lakeview Academy Addition.rvt

EAST BUILDING

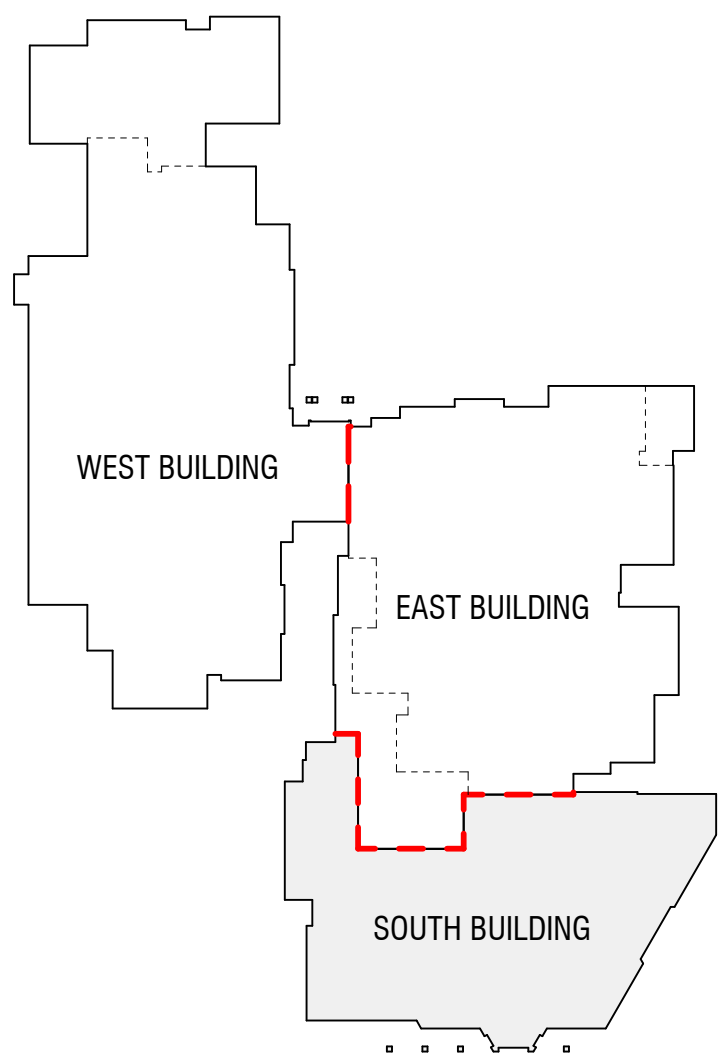


CODE SUMMARY AND PROJECT INFORMATION: EAST BUILDING																				
APPLICABLE CODES AND STANDARDS																				
2021	INTERNATIONAL PLUMBING CODE (IPC)																			
2021	INTERNATIONAL FIRE PROTECTION CODE (IFPC)																			
2021	INTERNATIONAL MECHANICAL CODE (IMC)																			
2021	NATIONAL ELECTRICAL CODE (NEC)																			
2021	INTERNATIONAL ENERGY CONSERVATION CODE (IECC)																			
2021	INTERNATIONAL FIRE CODE (IFC)																			
2009	ASCE A117.1																			
PROJECT DESCRIPTION																				
TWO ADDITIONS TO AN EXISTING CHARTER SCHOOL BUILDING INCLUDING A SINGLE STORY CLASSROOM ADDITION IN THE NORTH-EAST CORNER AND A TWO-STORY CLASSROOM AND CORRIDOR ADDITION IN THE SOUTH-WEST CORNER																				
EAST BUILDING AREA:																				
LEVEL 1 EXISTING	30,214 SF																			
LEVEL 1 NEW	5,337 SF																			
LEVEL 2 EXISTING	7,290 SF																			
LEVEL 2 NEW	2,330 SF																			
TOTAL	45,171 SF																			
USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 5)																				
GROUP/SUBTYPE:	E																			
SPECIAL DETAIL REQUIREMENTS BASED ON USE AND OCCUPANCY (IBC CHAPTER 4)																				
GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5)																				
CONSTRUCTION TYPE: V-8																				
<table><thead><tr><th></th><th>ALLOWABLE</th><th>ACTUAL</th></tr></thead><tbody><tr><td>BUILDING HEIGHT IN FEET (TOWER 504.3)</td><td>60</td><td>52</td></tr><tr><td>BUILDING HEIGHT IN STORIES (TOWER 504.6)</td><td>7</td><td>2</td></tr><tr><td>AREA PER FLOOR (TOWER 506.2)</td><td>28,500</td><td>35,561</td></tr></tbody></table>				ALLOWABLE	ACTUAL	BUILDING HEIGHT IN FEET (TOWER 504.3)	60	52	BUILDING HEIGHT IN STORIES (TOWER 504.6)	7	2	AREA PER FLOOR (TOWER 506.2)	28,500	35,561						
	ALLOWABLE	ACTUAL																		
BUILDING HEIGHT IN FEET (TOWER 504.3)	60	52																		
BUILDING HEIGHT IN STORIES (TOWER 504.6)	7	2																		
AREA PER FLOOR (TOWER 506.2)	28,500	35,561																		
SINGLE-OCCUPANCY, MULTI-STORY BLDG. [506.2.1]																				
$S_u = \text{ACTUAL NUMBER OF BUILDING STOREYS ABOVE GRADE PLANE, NOT TO EXCEED 12 FOR NON-SPRINKLERED OR NOT TO EXCEED 4 IF SPRINKLERED.}$																				
$A_s = [A + (N \times U_1) \times S_u] \times S_2$																				
$= [28,500 + (9,500 \times 0.75)] \times 2$																				
$= 71,250 \quad \text{TOTAL SF}$																				
NO DETERMINED SHALL EXCEED THE ALLOWABLE AREA (A _s) AS INDIVIDUALLY USING THE VALUE OF S _n = 1																				
$A_n = [A + (N \times U_1) \times S_n]$																				
$= [28,500 + (9,500 \times 0.75)] \times 1$																				
$= 35,625 \quad \text{MAX. AREA PER FLOOR (SF)}$																				
FRONTAGE INCREASE (TOWER 506.3.3)																				
PUBLIC WAY OR 37' MIN. OPEN SPACE FOR MORE THAN 75% OF WEST BUILDING PERMETER L=0.75																				
<table><tbody><tr><td>MAX ALLOWABLE AREA PER FLOOR (SF)</td><td>35,625</td><td>35,561</td></tr><tr><td>TOTAL ALLOWABLE AREA PER FLOOR (SF)</td><td>71,250</td><td>45,171</td></tr></tbody></table>			MAX ALLOWABLE AREA PER FLOOR (SF)	35,625	35,561	TOTAL ALLOWABLE AREA PER FLOOR (SF)	71,250	45,171												
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TOTAL ALLOWABLE AREA PER FLOOR (SF)	71,250	45,171																		
FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC CHAPTER 4)																				
CONSTRUCTION TYPE: V-8																				
<table><tbody><tr><td>STRUCTURAL FRAME:</td><td>0</td><td>HR</td></tr><tr><td>BEARING WALLS EXTERIOR:</td><td>0</td><td>HR</td></tr><tr><td>BEARING WALLS INTERIOR:</td><td>0</td><td>HR</td></tr><tr><td>NONBEARING WALLS INTERIOR:</td><td>0</td><td>HR</td></tr><tr><td>FLOOR CONSTRUCTION:</td><td>0</td><td>HR</td></tr><tr><td>ROOF CONSTRUCTION:</td><td>0</td><td>HR</td></tr></tbody></table>			STRUCTURAL FRAME:	0	HR	BEARING WALLS EXTERIOR:	0	HR	BEARING WALLS INTERIOR:	0	HR	NONBEARING WALLS INTERIOR:	0	HR	FLOOR CONSTRUCTION:	0	HR	ROOF CONSTRUCTION:	0	HR
STRUCTURAL FRAME:	0	HR																		
BEARING WALLS EXTERIOR:	0	HR																		
BEARING WALLS INTERIOR:	0	HR																		
NONBEARING WALLS INTERIOR:	0	HR																		
FLOOR CONSTRUCTION:	0	HR																		
ROOF CONSTRUCTION:	0	HR																		
FIRE AND SMOKE PROTECTION FEATURES (IBC CHAPTER 7)																				
ALLOWABLE AREA OF OPENINGS:																				
FIRE SEPARATION DISTANCE: 30 FEET																				
OPENING PROTECTION: UNPROTECTED; SPRINKLERED																				
ALLOWABLE AREA: NO LIMIT																				
FIRE PROTECTION SYSTEMS (IBC CHAPTER 9)																				
AUTOMATIC SPRINKLER SYSTEM: NFPA 13																				
EXISTING SPRINKLER SYSTEM TO BE MODIFIED TO ACCOMMODATE NEW ADDITION																				
MEANS OF EGRESS (IBC CHAPTER 10)																				
OCCUPANT LOAD (1004):	1,483	EXISTING OCCUPANTS																		
	243	NEW OCCUPANTS																		
	1,726	TOTAL OCCUPANTS																		
	(SEE TOTAL OCCUPANT CALCULATION ON SHEET G101)																			
EGRESS SIZING (1005):																				
STAIRWAYS = OCCUP. LOAD × 0.2 / OCC.	344	LEVEL 2 OCCUPANTS																		
	= 68.8	INCHES REQUIRED																		
	= 110	INCHES PROVIDED (INCLUDING EGRESS THROUGH WEST BUILDING)																		
OTHER EGRESS COMPONENTS = OCCUP. LOAD × 0.15 / OCC.																				
	= 259	INCHES REQUIRED																		
	= 278	INCHES PROVIDED																		
COMMON PATH OF EGRESS TRAVEL: 75 FEET																				
EXIT ACCESS TRAVEL DISTANCE: 75 FEET																				
PLUMBING FIXTURE REQUIREMENTS (IBC CHAPTER 29)																				
SEE PLUMBING FIXTURE CALCULATIONS ON SHEET: G101																				
THERMAL ENVELOPE (IECC)																				
ROOF INSULATION R-VALUE: R-30																				
SUMMER U-FACTOR: R-19																				
CONTINUOUS INSULATION R - VALUE: R-10																				
SLAB/FLOORBOARD R-VALUE: R-10 AT CMU/CONCRETE WALLS																				
EXTERIOR GLAZING INFORMATION:																				
BASIS OF DESIGN PRODUCT: PPG SOLARBRAN 70																				
VLT: 60% MINIMUM																				
SUMMER U-FACTOR: Bu/(Br x sdiff) MAXIMUM																				
WINTER U-FACTOR: 0.26 Bu/(Br x sdiff) MAXIMUM																				
SHGC: 0.27 MAXIMUM																				
EXTERIOR GLAZING SYSTEM INFORMATION:																				
BASIS OF DESIGN PRODUCT: KAWNEER 451T (THERMAL)																				
U-FACTOR: 0.36 Bu/(Br x sdiff) MAXIMUM																				
SHGC: 0.38 MAXIMUM																				
DEFERRED SUBMITTALS																				
• FIRE SUPPRESSION SYSTEM																				
• FIRE ALARM SYSTEM																				
• SEISMIC RESTRAINTS (WHERE REQUIRED EXCEPT AS NOTED ON SHEET A201)																				
• FIRE SAFETY AND EVACUATION PLANS																				
• OTHER																				
NOTES:																				
ALL DEFERRED SUBMITTALS TO BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF WORK.																				
ALL DEFERRED SUBMITTALS TO BE REVIEWED BY THE ARCHITECT PRIOR TO SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION.																				

EAST BUILDING - PLUMBING FIXTURE CALCULATIONS PER TABLE 2901.1																		
EXISTING + NEW CONSTRUCTION OCCUPANCY		OCCUPANT COUNTS			PLUMBING LOAD FACTOR					WATER CLOSETS		LAVATORIES		BATH/US	DRINKING	SERVICE		
		Total	Male	Female	WC Male Load	WC Female Load	WC Male Load	WC Female Load	WC Male Load	WC Female Load	Male	Female	Male	Female	SHOWERS	FOUNTAINS	SINK	
E – Educational		921	460.5	460.5	50	50	50	50	0	100	9.21	9.21	9.21	9.21	-	-	1.0	
		921	460.5	460.5							Required	10.00	10.00	10.00	10.00	0.00	11.00	1.0
											Provided	11	12	11	12	0	11	1

Notes:
1. The code requires only one service sink per building if all occupancies have access to the service sink at all times.

SOUTH BUILDING



CODE SUMMARY AND PROJECT INFORMATION:
SOUTH BUILDING

APPLICABLE CODES AND STANDARDS
 2021 INTERNATIONAL BUILDING CODE (IBC)
 2021 INTERNATIONAL PLUMBING CODE (IPC)
 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 2020 NATIONAL ELECTRICAL CODE (NEC)
 2020 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 2021 INTERNATIONAL FIRE CODE (IFC)
 2020 ANSI A117.7

PROJECT DESCRIPTION
 A NEW TWO-STORY PERFORMING ARTS BUILDING ATTACHED TO AN EXISTING CHARTER SCHOOL. INTERIOR SPACES INCLUDE NEW CLASSROOMS, A BLACK BOX THEATER, A FIXED SEAT AUDITORIUM AND STAGE, AND SUPPORT SPACES.

SOUTH BUILDING AREA

LEVEL 1 NEW	23,177 SF	
LEVEL 2 NEW	11,039 SF	
TOTAL	34,236 SF	

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)
 GROUP:

SPECIFIED REQUIREMENTS BASED ON USE AND OCCUPANCY (IBC CHAPTER 4)
 GROUP:

GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5)
 CONSTRUCTION TYPE:

BUILDING HEIGHT IN FEET (Table 504.3)	ALLOWABLE	ACTUAL
BUILDING HEIGHT IN STORIES (Table 504.4)	60	41
AREA PER FLOOR (Table 505.4)	25,500	23,177

ALLOWABLE AREA DETERMINATION [505.2]
 SINGLE-STORY BLDG. $A_n = [A_n \times (NS + 1)] \times S_n$
 MULTI-STORY BLDG. [505.2.1]
 $A_n = [A_n \times (NS + 1)] \times S_n$
 $A_n = [28500 + (P500 \times 0.5)] \times 2$
 $= 66,500$ TOTAL SF
 NO INDIVIDUAL STORY SHALL EXCEED THE ALLOWABLE AREA (A) AS DETERMINED USING THE VALUE OF $S_n = 1$
 $A_n = [A_n \times (NS + 1)] \times S_n$
 $= [28500 + (P500 \times 0.5)] \times 1$
 $= 33,250$ MAXIMUM ALLOWABLE FLOOR (SF)

FRONTAGE INCREASE (Table 506.3.3)

MAX ALLOWABLE AREA PER FLOOR (SF)	33,250	23,177
TOTAL ALLOWABLE BUILDING AREA (SF)	66,500	34,236

ACTUAL NUMBER OF BUILDING STORES ABOVE GRADE PLANE, NOT TO EXCEED (4 IF SPRINKLERED), $= 7$
 $A_n = [28500 + (P500 \times 0.5)] \times 2 = 66,500$ TOTAL SF
 PUBLIC WAY OR 30' MIN. OPEN SPACE FOR MORE THAN 75% OF WEST BUILDING PERIMETER
 $L = 0.5$

FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS (IBC CHAPTER 6)
 CONSTRUCTION TYPE:

STRUCTURAL FRAME	0	HR
BEARING WALLS EXTERIOR	0	HR
BEARING WALLS INTERIOR	0	HR
NONBEARING WALLS INTERIOR	0	HR
FLOOR CONSTRUCTION	0	HR
ROOF CONSTRUCTION	0	HR

FIRE AND SMOKE PROTECTION FEATURES (IBC CHAPTER 7)
 ALLOWABLE AREA OF OPENINGS:
 FIRE SEPARATION DISTANCE: 30 FEET
 OPENING PROTECTION: UNPROTECTED/ETC. SPRINKLERED
 ALLOWABLE AREA: NO LIMIT

FIRE PROTECTION SYSTEMS (IBC CHAPTER 9)
 AUTOMATIC SPRINKLER SYSTEM:

MEANS OF EGRESS (IBC CHAPTER 10)
 OCCUPANT LOAD (1004)

1,134 TOTAL OCCUPANTS
 [SEE OCCUPANT LOAD CALCULATION ON SHEET G101]

EGRESS SIZING (1003):

STAIRWAYS = OCCUP. LOAD x	0.2	/ OCC.
	365	LEVEL 2 OCCUPANTS
	= 73	INCHES REQUIRED
	= 274	INCHES PROVIDED

OTHER EGRESS COMPONENTS = OCCUP. LOAD x

	0.15	/ OCC.
	= 170.1	INCHES REQUIRED
	= 408	INCHES PROVIDED

COMMON PATH OF EGRESS TRAVEL: 75 FEET
EXIT ACCESS TRAVEL DISTANCE: 230 FEET

PLUMBING FIXTURE REQUIREMENTS (IBC CHAPTER 29)
 SEE PLUMBING FIXTURE CALCULATIONS ON SHEET:

THERMAL ENVELOPE (IECC)

ROOF INSULATION R-VALUE:	R-30	
STO CAVITY INSULATION R-VALUE:	R-19	
CONTINUOUS INSULATION R-VALUE:	R-10	AT CMU/CONCRETE WALLS
SLAB/FLOORING R-VALUE:	R-10	

EXTERIOR GLAZING INFORMATION:
 BASIS OF DESIGN PRODUCT:

VLT	PPG SOLARBAN 70	60% MINIMUM
SUNGLASS UFACTOR:	0.28	BLU/(IR x SHG) MAXIMUM
WINTER UFACTOR:	0.26	BLU/(IR x SHG) MAXIMUM
SHGC	0.27	MAXIMUM

EXTERIOR GLAZING SYSTEM INFORMATION:
 BASIS OF DESIGN PRODUCT:

UFACTOR:	KAWNEER 451T (THERMAL)	0.34
SHGC	0.38	MAXIMUM

DEFERRED SUBMITTALS
 FIRE SUPPRESSION SYSTEM
 FIRE ALARM SYSTEM
 SEISMIC RESTRAINTS (WHERE REQUIRED EXCEPT AS NOTED ON SHEET A501)
 FIRE SAFETY AND EVACUATION PLANS
 OTHER

NOTES:
 ALL DEFERRED SUBMITTALS TO BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW A MINIMUM OF TWO WEEKS PRIOR TO COMMENCEMENT OF WORK.

SOUTH BUILDING - PLUMBING FIXTURE CALCULATIONS PER TABLE 2901.1																
NEW CONSTRUCTION OCCUPANCY	OCCUPANT COUNTS				PLUMBING LOAD FACTOR				WATER CLOSETS		LAVATORIES		BATHTUBS /	DRINKING	SERVICE	
	Total	Male	Female	WC/Male Load	WC/Female Load	Men Load	W/L Load	DF Load	Male	Female	Male	Female	SHOWERS	FOUNTAINS	SINK	
	E — Educational	319	159.5	159.5	50	50	50	0	100	3.19	3.19	3.19	3.19	-	-	3.19
A-1 — Theaters, performing arts, etc.	817	408.5	408.5	125	65	200	0	500	3.27	6.28	2.04	2.04	-	-	1.63	
	1136	568	568					Required	7.00	10.00	6.00	6.00	0.00	0.00	5.00	
									6.46	9.47	5.23	5.23			4.02	

Notes:

1. The code requires only one service sink per building if all occupancies have access to the service sink at all times.

Babcock Design

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Salt Lake City, UT 84111
801.531.1144

Boise
800 W Main Street, Suite 940
Boise, ID 83702
208.424.7675

babcockdesign.com

Consultant

LAKEVIEW ACADEMY

LAKEVIEW ACADEMY ADDITION

527 W 400 N SARATOGA SPRINGS, UT
84045

SOUTH BUILDING - NEW SF - OCCUPANCY LOAD CALCULATIONS (EGRESS)					
NUMBER	NAME	ROOM OCCUPANCY	NET AREA	S.F. PER PERSON	# OF OCCUPANTS
S - LEVEL 1					
S124	ART	Educational - Classroom area	951.99 SF	20	47.6
S1244	REIN	Educational - Classroom area	14.71 SF	20	2.7
S130	CLASS / DRESSING	Educational - Classroom area	662.96 SF	20	33.1
S131	CLASS / DRESSING	Educational - Classroom area	662.96 SF	20	33.1
S131A	UTILITY	Accessory Storage Areas, Mechanical Equipment Room	23.28 SF	300	0.1
S150	BLACK BOX	Stages and Performances	2,368.00 SF	15	157.9
S154	STORAGE	Accessory Storage Areas, Mechanical Equipment Room	138.41 SF	300	0.5
S158	UTILITY	Accessory Storage Areas, Mechanical Equipment Room	19.59 SF	300	0.4
S160A	TEMP CONC.	Business Areas	85.66 SF	15.6	0.6
S160B	TRICKING/CONCESSIONS	Business Areas	200.43 SF	15.0	1.3
S162A	LIFT	Accessory Storage Areas, Mechanical Equipment Room	26.80 SF	300	0.1
S163A	STORAGE	Accessory Storage Areas	19.59 SF	300	0.1
S164	HOUSE	Assembly with Fixed Seats	1,381.08 SF	0	265.0
S1644	TECH BOOTH	Business Areas	190.59 SF	15.0	1.0
S165	STAGE	Stages and Performances	2,824.73 SF	15	188.3
S172	SCENIC SHOP	Educational - Shops and other Vocational	1,916.46 SF	50	38.3
			11,580.19 SF		771.1
S - LEVEL 2					
S222	CHOR	Educational - Classroom area	894.15 SF	20	46.7
S223	PRACTICE	Educational - Classroom area	92.58 SF	20	4.6
S224	PRACTICE	Educational - Classroom area	85.41 SF	20	4.3
S225	PRACTICE	Educational - Classroom area	81.82 SF	20	4.1
S226	BAND	Educational - Classroom area	1,247.76 SF	20	62.4
S227	STORAGE / MECH	Educational - Classroom area	77.27 SF	20	3.6
S229A	STORAGE	Accessory Storage Areas, Mechanical Equipment Room	127.38 SF	300	2.7
S230	OFFICE	Business Areas	124.62 SF	15.0	0.8
S251	CONFERENCE	Assembly - Unconcentrated (tables and chairs)	406.18 SF	15	27.1
S256	UTILITY	Accessory Storage Areas, Mechanical Equipment Room	114.81 SF	300	0.4
S261	MEZZANINE	Assembly with Fixed Seats	1,685.36 SF	0	207.0
S264	STORAGE	Accessory Storage Areas, Mechanical Equipment Room	460.40 SF	300	1.5
S2644	IDF	Accessory Storage Areas, Mechanical Equipment Room	6,199.25 SF		365.5
			17,136.44 SF		1,136.6
TOTAL OCCUPANTS					

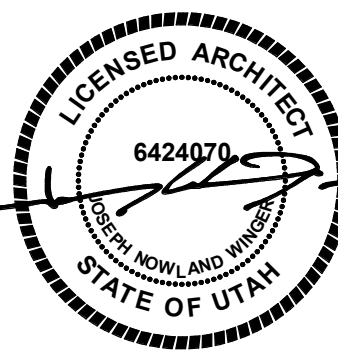
SOUTH BUILDING - OCCUPANCY LOAD CALCULATION (PLUMBING FIXTURES)		
	NET AREA	# OF OCCUPANTS
SOUTH - NEW	9,539.69 SF	318.4
TOTAL OCCUPANTS	9,539.69 SF	318.4

[illegible]

Project Number	24048
Original Issue	10.15.2024
Project Status	PLAN REVIEW AND BIDDING

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Sheet Title

Sheet Number

G101

LAKEVIEW ACADEMY CONSTRUCTION DOCUMENTS

10/14/2024

VICINITY MAP
NTS



Sheet Index

Sheet Number	Sheet Title
C100	COVER
C101	DEMO PLAN
C102	SITE PLAN
C103	UTILITY PLAN
C104	GRADING & DRAINAGE PLAN
C105	EROSION CONTROL PLAN
C201	PLAN & PROFILE NORTH SD
C202	PLAN & PROFILE SOUTH SD
C501	DETAILS
C502	DETAILS
C503	DETAILS
C504	DETAILS
C505	DETAILS
C506	DETAILS

GENERAL NOTES:

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SARATOGA SPRINGS DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL. BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION, A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT "BLUE STAKES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTAKES.ORG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND SARATOGA SPRINGS CITY.
- "PUBLIC IMPROVEMENT SUBJECT TO DESIQUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY. SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE SARATOGA SPRINGS CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SARATOGA SPRINGS.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- ALL MATERIALS, WORKMANSHIP, CONSTRUCTION AND PLACEMENT SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS AS DEFINED IN THE MANUAL OF STANDARD SPECIFICATIONS AND MANUAL OF STANDARD PLANS, UTAH CHAPTER AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS. WHERE THERE IS A CONFLICT BETWEEN THESE PLANS, SPECIFICATIONS OR ANY APPLICABLE STANDARD, THE MOST RESTRICTIVE STANDARD SHALL APPLY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE UTAH CHAPTER OF AMERICAN PUBLIC WORKS ASSOCIATION (APWA) STANDARD PLANS AND SPECIFICATIONS, 2017 EDITION.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD LOCATING AND VERIFYING ELEVATIONS OF ALL EXISTING SEWER MAINS, WATER MAINS, CURBS, GUTTERS AND OTHER UTILITIES AT THE POINTS OF CONNECTION SHOWN ON THE PLANS AND AT ANY UTILITY CROSSINGS PRIOR TO INSTALLING ANY OF THE SITE ELEMENTS INDICATED IN THESE PLANS. IF A CONFLICT EXISTS AND/OR A DESIGN MODIFICATION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER. DESIGN MODIFICATION(S) MUST BE APPROVED BY THE OWNER PRIOR TO BEING IMPLEMENTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES, AS INDICATED ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT BLUE STAKES (BY DIALING 811) AT LEAST 2 WORKING DAYS PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING TO HAVE ALL REGISTERED UTILITY LOCATIONS MARKED. ALL OTHER UN-REGISTERED UTILITIES (I.E. DITCH, IRRIGATION COMPANY, OTHER SITE-SPECIFIC UTILITIES, ETC.) ARE TO BE LOCATED BY CONTACTING, IN ADVANCE, THE RESPECTIVE REPRESENTATIVE. UTILITY SERVICE LATERALS SHOULD ALSO BE LOCATED PRIOR TO BEGINNING EXCAVATION, TRENCHING OR GRADING ACTIVITIES.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE PROJECT OWNER, LOCAL JURISDICTION AND ALL UTILITY COMPANIES INVOLVED REGARDING RELOCATIONS, ADJUSTMENTS, EXTENSIONS AND REARRANGEMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, IN ADVANCE, ALL PARTIES AFFECTED BY ANY DISRUPTION OF UTILITY SERVICE AS WELL AS THE UTILITY COMPANIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION AND FOR COORDINATING WITH THE APPROPRIATE UTILITY COMPANY FOR ANY UTILITY CROSSINGS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL MEANS REQUIRED TO PROTECT EXISTING UTILITIES AND/OR TO WORK AROUND SUCH UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, SUPPORTING EXISTING UTILITIES, SHORING AROUND EXISTING UTILITIES, PHASING OF WORK AND TRAFFIC CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL JURISDICTION AND AFFECTED UTILITY COMPANY, AND ALL AFFECTED PARTIES A MINIMUM OF 24 HOURS PRIOR TO ANY WATER INTERRUPTION.
- THE CONTRACTOR IS NOT TO OPERATE ANY VALVES, FIRE HYDRANTS AND OTHER APPURTENANCES. COORDINATE WITH THE UTILITY SUPPLIER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY, INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, SECURITY AND OTHER SITE RELATED SAFETY PRACTICES. REFER TO OSHA PUBLICATION 2226, EXCAVATING AND TRENCHING.
- IF DURING CONSTRUCTION CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION TRAFFIC CONTROL PLAN TO THE REVIEWING AGENCY (LOCAL GOVERNMENT, UDOT OR OTHERS AS REQUIRED BY PERMIT) FOR REVIEW AND ACCEPTANCE. PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY, ALL TRAFFIC CONTROL PLANS SHALL BE IN ACCORDANCE WITH MUTCD OR UDOT STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL TRAFFIC CONTROL DEVICES, PERSONNEL AND OTHER FACILITIES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL HAVE ON-SITE AT ALL TIMES AN UP-TO-DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), A BMP MAINTENANCE FOLDER, ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND AGREEMENTS NEEDED FOR THE JOB.
- THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE UTAH PERMIT FOR STORM WATER DISCHARGE, THE SWPPP AND THE EROSION CONTROL PLAN.
- ALL BMPs SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION AND AT AREAS WITH DISTURBED SOIL (ON OR OFF SITE) PRIOR TO ANY OTHER GROUND DISTURBING ACTIVITY. ALL BMPs SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL THE ENTIRE DISTURBED AREA IS STABILIZED WITH HARD SURFACING OR LANDSCAPING.
- MUD AND DEBRIS MUST BE REMOVED BY THE END OF EACH WORKING DAY BY AN APPROPRIATE MECHANICAL METHOD (I.E. MACHINE BROOM SWEEP, HAND SWEEPING, ETC.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-CONSTRUCTED INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE. THIS RECORD DRAWING SET SHALL BE AVAILABLE TO THE OWNERS/ENGINEERS DESIGNATED REPRESENTATIVE AT ALL TIMES.
- WORK ACTIVITY AND SCHEDULES SHALL BE COORDINATED WITH THE OWNER AND THEIR ACTIVITIES ON-SITE.
- UPON COMPLETION OF CONSTRUCTION, THE SITE SHALL BE CLEANED AND RESTORED TO A CONDITION EQUAL TO, OR BETTER THAN, THAT WHICH EXISTED BEFORE CONSTRUCTION, OR TO THE GRADES AND CONDITION AS REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- IMPROVEMENTS DEPICTED IN THESE PLANS AND CONSTRUCTED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR TO BE FREE FROM MATERIAL AND WORKMANSHIP DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- THE APPROVED, DESIGNATED PROJECT SUPERVISOR SHALL BE ON-SITE WHILE WORK IS BEING CONDUCTED.
 - THE MINIMUM RELATIVE DENSITY SHALL BE 95% OF THE MODIFIED PROCTOR (ASTM D 1557 OR AASHTO T 180) FOR A-1 SOILS.
 - THE MINIMUM RELATIVE DENSITY SHALL BE 95% OF THE STANDARD PROCTOR (ASTM D 698 OR AASHTO T 99) FOR ALL SOILS OTHER THAN A-1 SOILS THAT LIE BENEATH PAVEMENTS, STRUCTURES AND OTHER ELEMENTS AS DEFINED IN THIS PLAN AND SPECIFICATIONS.
 - THE MINIMUM RELATIVE DENSITY SHALL BE 90% OF THE STANDARD PROCTOR (ASTM D 698 OR AASHTO T 99) FOR ALL SOILS OTHER THAN A-1 SOILS THAT LIE BENEATH LANDSCAPED OR OTHER AREAS THAT ARE NOT INTENDED FOR VEHICULAR OR STRUCTURAL LOADINGS.

LEGEND EXISTING

---	PROPERTY BOUNDARY
sd	STORM DRAIN LINE
w	WATER LINE
ss	SEWER LINE
####	CONTOUR MINOR
####	CONTOUR MAJOR
ASPHALT	ASPHALT
OPEN FACE CURB AND GUTTER	OPEN FACE CURB AND GUTTER
FENCE	FENCE
CONCRETE	CONCRETE
EXISTING TO BE REMOVED	EXISTING TO BE REMOVED
W	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
STORMDRAIN BOX	STORMDRAIN BOX
W	WATER METER
S	SEWER MANHOLE
IRRIGATION VALVE	IRRIGATION VALVE
G	GAS METER
SCO	SEWER CLEANOUT
E	ELECTRICAL EQUIPMENT
D	STORMDRAIN MANHOLE
C	COMMUNICATION EQUIPMENT
LIGHT POLE	LIGHT POLE

LEGEND PROPOSED

W	WATER LINE (SIZE SHOWN ON PLAN)
SD	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
IRR	IRRIGATION LINE (SIZE SHOWN ON PLAN)
G	GAS LINE
SS	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
####	CONTOUR MAJOR
####	CONTOUR MINOR
ASPHALT	ASPHALT
CATCH CURB AND GUTTER	CATCH CURB AND GUTTER
SPILL CURB AND GUTTER	SPILL CURB AND GUTTER
CONCRETE SIDEWALK	CONCRETE SIDEWALK
SAWCUT ASPHALT	SAWCUT ASPHALT
W	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
S	SEWER MANHOLE
W	WATER METER
STORMDRAIN BOX	STORMDRAIN BOX
STORM WATER CATCH BASIN	STORM WATER CATCH BASIN

STANDARD DRAWINGS & SPECIFICATIONS:

- SARATOGA SPRINGS CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- SARATOGA SPRINGS CITY CORPORATION DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DRAWINGS.
- STORM WATER SPECIFICATIONS ARE PER THE EPA NATIONAL MENU OF STORMWATER BEST MANAGEMENT PRACTICES UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND THE UTAH DEPARTMENT OF WATER QUALITY STORMWATER MANAGEMENT PROGRAM.
- THE SPECIFICATIONS MENTIONED IN ITEMS ONE AND TWO SHALL SUPERSEDE ANY CONFLICTING SPECIFICATIONS CONTAINED WITHIN THESE PLANS.

SARATOGA SPRINGS CITY ENGINEERING DEPARTMENT APPROVAL:

THE IMPROVEMENT FOR THIS SUBDIVISION HAVE BEEN REVIEWED BY THE CITY ENGINEER FOR GENERAL CONFORMANCE WITH THE REQUIREMENTS OF THE CITY SUBDIVISION ORDINANCE. THIS SET OF CITY-APPROVED DRAWINGS SHALL BE USED FOR CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS. THE DEVELOPER'S ENGINEER, WHOSE STAMP IS ON THESE DRAWINGS, IS RESPONSIBLE FOR THE ENGINEERING DESIGN, DRAFTING, AND RELATED FIELD INFORMATION. THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS WHILE CONSTRUCTING AND CORRELATED AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF HIS OR HER WORK WITH THAT OF ALL OTHER TRADES; AND THE SATISFACTORY PERFORMANCES OF HIS OR HER WORK.

BY: _____ DATE: _____



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LAKEVIEW ACADEMY

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Revisions

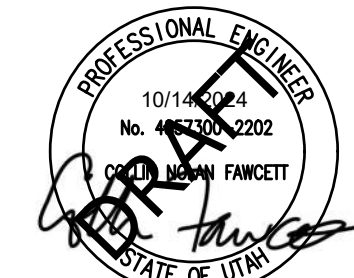
Num.	Description	Date
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Project Number	#
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Project Status	95% CONSTRUCTION DOCUMENTS

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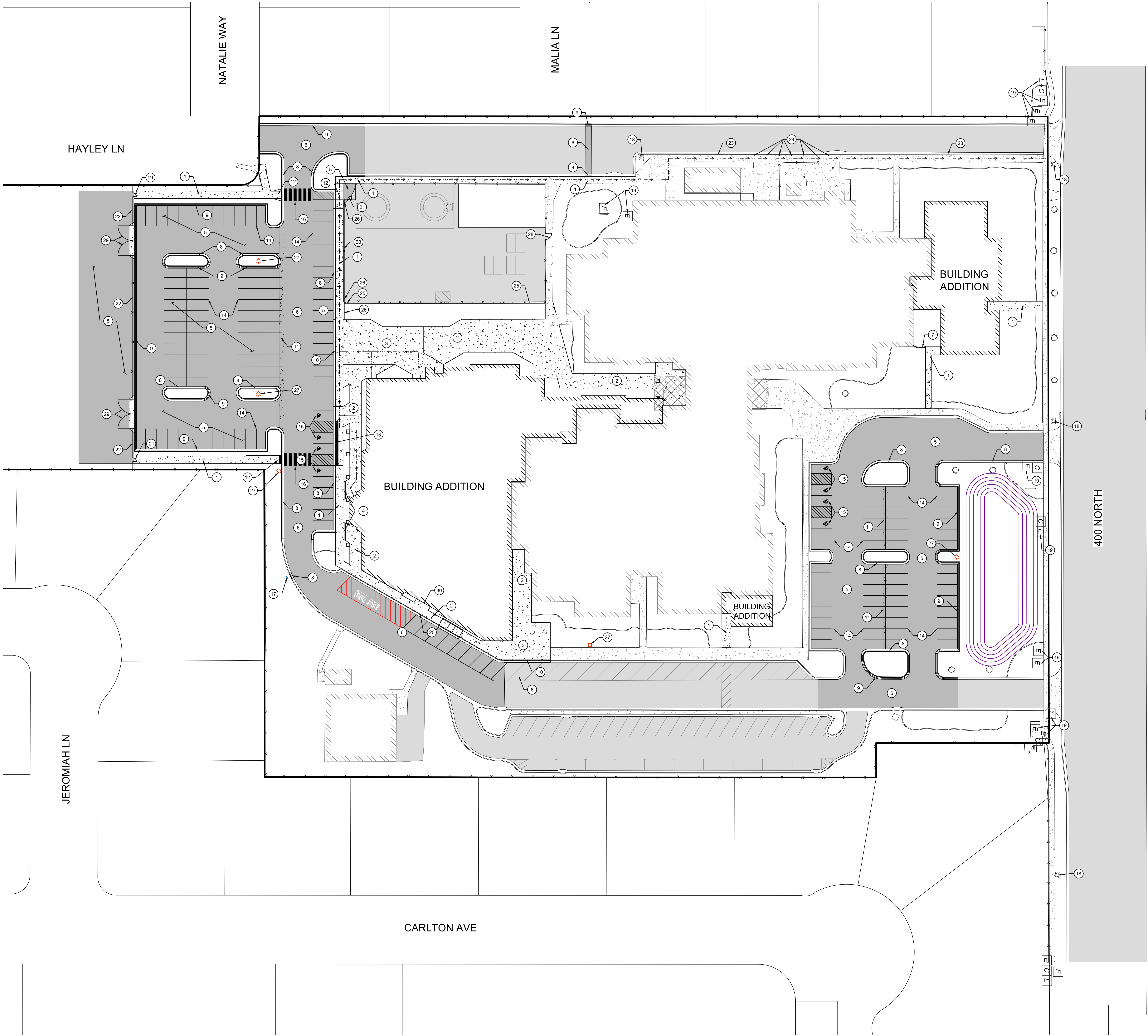


Sheet Title

COVER

Sheet Number

C100



- 1 SITE SHEET KEY NOTES:**
PROVIDE, INSTALL, AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. CONCRETE SIDEWALK (8/C501)
 2. STANDARD DUTY CONCRETE PAVEMENT (3/C501)
 3. HEAVY DUTY CONCRETE PAVEMENT (4/C501)
 4. CONCRETE STAIRS: SEE STRUCTURAL PLANS.
 5. STANDARD DUTY ASPHALT PAVEMENT (1/C501)
 6. HEAVY DUTY ASPHALT PAVEMENT (2/C501)
 7. LANDSCAPE CURB: SEE LANDSCAPE PLANS.
 8. CATCH CURB & GUTTER (8/C501)
 9. SPILL CURB & GUTTER (8/C501)
 10. MOUNTABLE CURB (5/C501)
 11. 4" CONCRETE WATERWAY (7/C501)
 12. ADA RAMP (1/C502 & 2/C502)
 13. DETECTABLE WARNING SURFACE (10/C501)
 14. 4" YELLOW PAINT STRIPE, PER M.U.T.C.D. STANDARDS
 15. ADA PARKING STALL WITH ADA SIGNAGE AND MARKINGS (8/C501)
 16. PEDESTRIAN CROSSWALK
 17. RELOCATED FIRE HYDRANT (1/C503)
 18. EXISTING FIRE HYDRANT
 19. EXISTING ELECTRICAL EQUIPMENT: SEE ELECTRICAL PLANS.
 20. RED PAINT CURB
 21. 2" PEDESTRIAN ACCESS GATE
 22. 6" CHAIN LINK FENCE
 23. 4" CHAIN LINK FENCE
 24. BOLLARDS AND CHAIN
 25. 12" MOW STRIP (11/C501)
 26. 12" CURB WALL (12/C501)
 27. LIGHT POLE: SEE ELECTRICAL PLANS
 28. 5" PEDESTRIAN ACCESS GATE
 29. 12" SWINGING VEHICLE ACCESS GATE
 30. FDC LOCATION: SEE ARCHITECTURAL PLANS.

- GENERAL NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND CONTACT ENGINEER IF DIFFERENT FROM LOCATIONS DISPLAYED ON THESE PLANS.
 2. MINIMUM 18" OF VERTICAL SEPARATION REQUIRED BETWEEN WATER MAIN AND SEWER MAIN WHERE LINES INTERSECT.
 3. MINIMUM OF 10' FROM OUTSIDE-OF-PIPE TO OUTSIDE-OF-PIPE REQUIRED BETWEEN CULINARY WATER LINE AND ALL OTHER VET UTILITIES.
 4. ALL SEWER, IRRIGATION, STORM DRAIN AND CULINARY WATER LINES SHALL BE INSTALLED PER UTILITY TRENCHING DETAIL FOUND IN STANDARD DETAIL 4 ON SHEET C502.
 5. ALL CULINARY WATER AND IRRIGATION LINES SHALL BE AWWA C900 DR18. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 8' OF COVER, AND IRRIGATION LINES WITH A MINIMUM OF 3' OF COVER.
 6. ALL SEWER AND WATER SERVICES SHALL BE 5.5' OFFSET FROM SIDE PROPERTY BOUNDARY. PROVIDE 11-FIT HORIZONTAL SEPARATION BETWEEN CENTERLINES OF WATER & SEWER, 8-FIT HORIZONTAL SEPARATION BETWEEN SECONDARY IRRIGATION AND SEWER.
 7. ALL WATER SERVICES SHALL BE INSTALLED PER STANDARD DETAIL 3 ON SHEET C503.
 8. ALL SEWER SERVICES SHALL BE INSTALLED PER STANDARD DETAILS 4 AND 5 ON SHEET C502.
 9. ALL SEWER LINES SHALL BE CONSTRUCTED OF PVC SDR-35 MATERIAL.
 10. ALL SEWER MANHOLES SHALL BE INSTALLED PER SARATOGA SPRINGS CITY STANDARDS.
 11. ALL SECONDARY IRRIGATION SERVICES SHALL BE INSTALLED PER SARATOGA SPRINGS CITY STANDARDS.
 12. ALL IRRIGATION MAIN PIPE SHALL BE "PURPLE PIPE" FOR USE WITH RECLAIMED WATER SYSTEMS AS IS REQUIRED BY STATE REGULATIONS. SEWER CONNECTIONS TO SEWER MANHOLES SHALL BE GROUTED USING NON-SHRINK GROUT.
 13. CONTRACTOR SHALL PLACE CONCRETE THRUST BLOCKS ON ALL TEES, WYES, BENDS, ANGLES, ETC ON ALL WATER AND IRRIGATION LINES AS SHOWN IN DETAIL 3 ON SHEET C503.
 14. POWER - CONTRACTOR SHALL COORDINATE WITH OWNER AND ROCKY MOUNTAIN POWER TO DETERMINE PRECISE LOCATION AND LAYOUT OF POWER LINES THROUGH DEVELOPMENT. CONTRACTOR SHALL BE RESPONSIBLE TO TRENCH, BED, INSTALL AND FILL IN THE POWER TRENCH AND PROVIDE THE REQUIRED PVC SCHEDULE 40 CONDUIT.
 15. TELEPHONE AND CABLE - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR LOCATION OF CONDUIT CROSSINGS AND SHALL INSTALL ALL CONDUITS.
 16. GAS - CONTRACTOR SHALL COORDINATE INSTALLATION OF GAS WITH DOMINION ENERGY.
 17. CONTRACTOR SHALL INSTALL WIRING JUNCTION FOR STREET LIGHTS AT LOCATIONS PER CITY REQUIREMENTS AND ROCKY MOUNTAIN POWER. STREET LIGHTS SHALL BE INSTALLED BY ROCKY MOUNTAIN POWER AND SARATOGA SPRINGS CITY.
 18. CONTRACTOR SHALL NOT EXCAVATE ROAD SIDE SWALES UNTIL ALL UTILITIES HAVE BEEN INSTALLED.

LEGEND

→ → → → → ACCESSIBLE ROUTE

AREA TABULATION:

Landscape area:	3.3 acres
Impervious (Hardscape) area:	6.6 acres
Total area:	9.9 acres



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LAKEVIEW ACADEMY

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Revisions

Num.	Description	Date
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Project Number	#
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PROFESSIONAL ENGINEER
No. 10100
JANUARY 2022
JANUARY 2022
STATE OF UTAH

Sheet Title

SITE PLAN

Sheet Number

C102

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4XBX16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8XBX16 / 12XBX16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8XBX16 / 12XBX16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

EXTERIOR ELEVATION GENERAL NOTES

1.

REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.

2.

CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.

3.

ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. UNTELS, ETC.).

4.

CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.

5.

SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.

6.

SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

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LAKEVIEW ACADEMY

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ADDITION

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84045

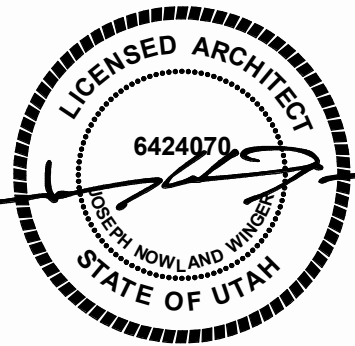
Revisions

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Stamp



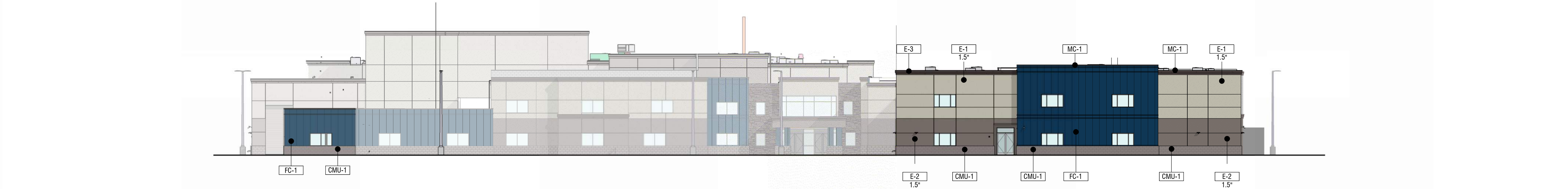
Sheet Title

EXTERIOR
ELEVATIONS

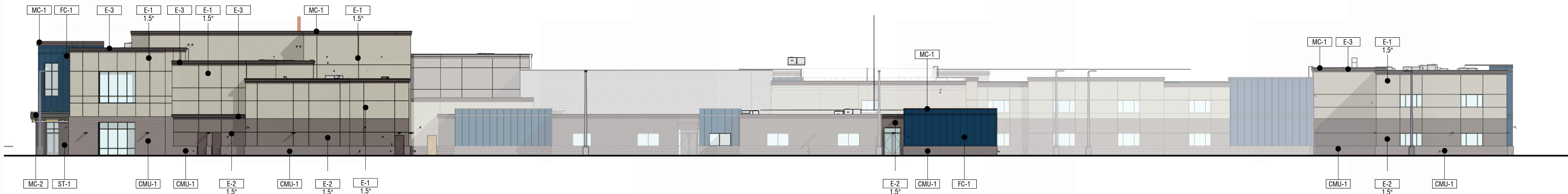
Sheet Number

A201

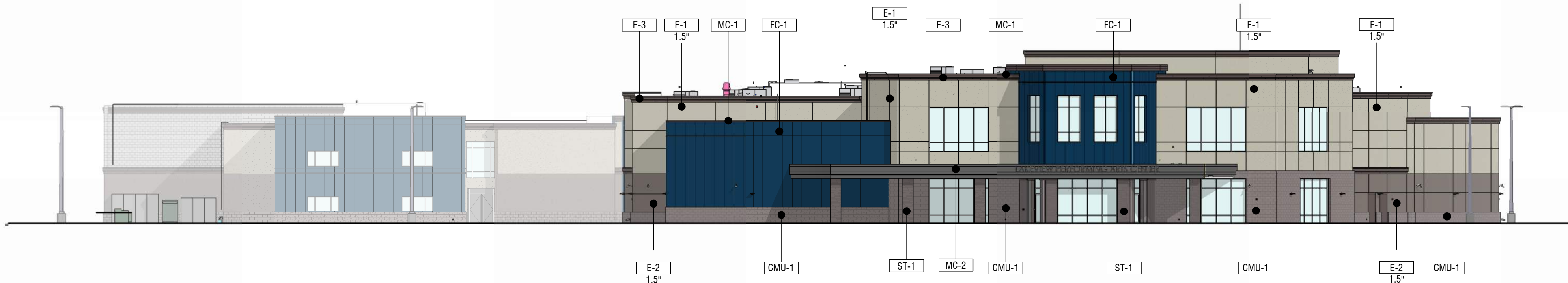
1 | OVERALL NORTH ELEVATION
1" = 20'-0"



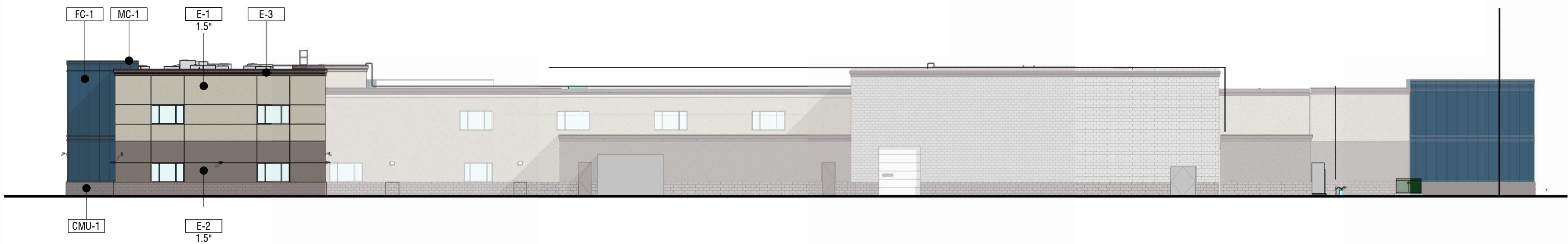
2 | OVERALL EAST ELEVATION
1" = 20'-0"



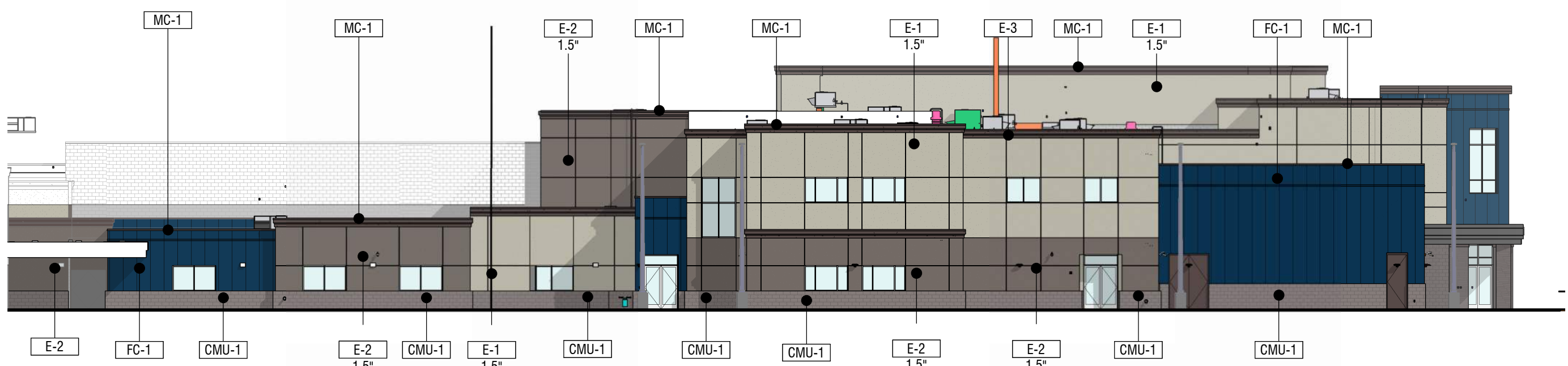
3 | OVERALL SOUTH ELEVATION
1" = 20'-0"



4 | OVERALL WEST ELEVATION - NORTH ADDITION
1" = 20'-0"



5 | OVERALL WEST ELEVATION - SOUTH/EAST ADDITION
1" = 20'-0"

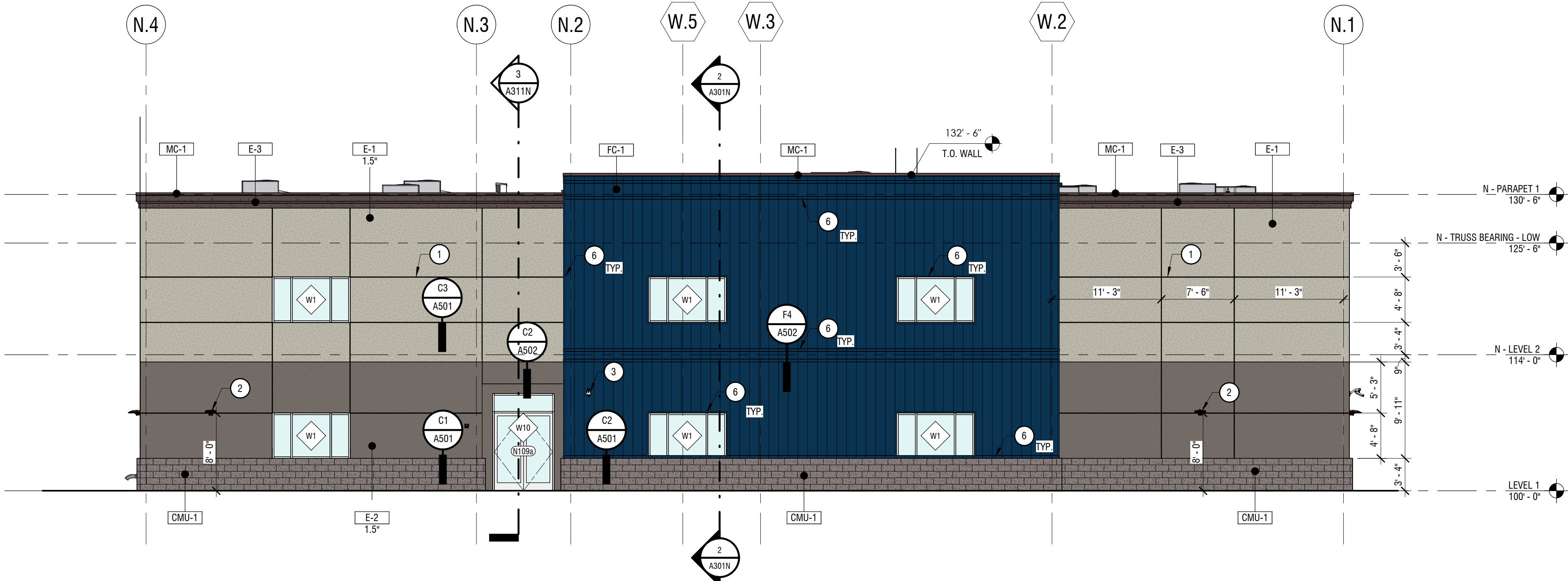


EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	4X8X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING		SANDBLAST	
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

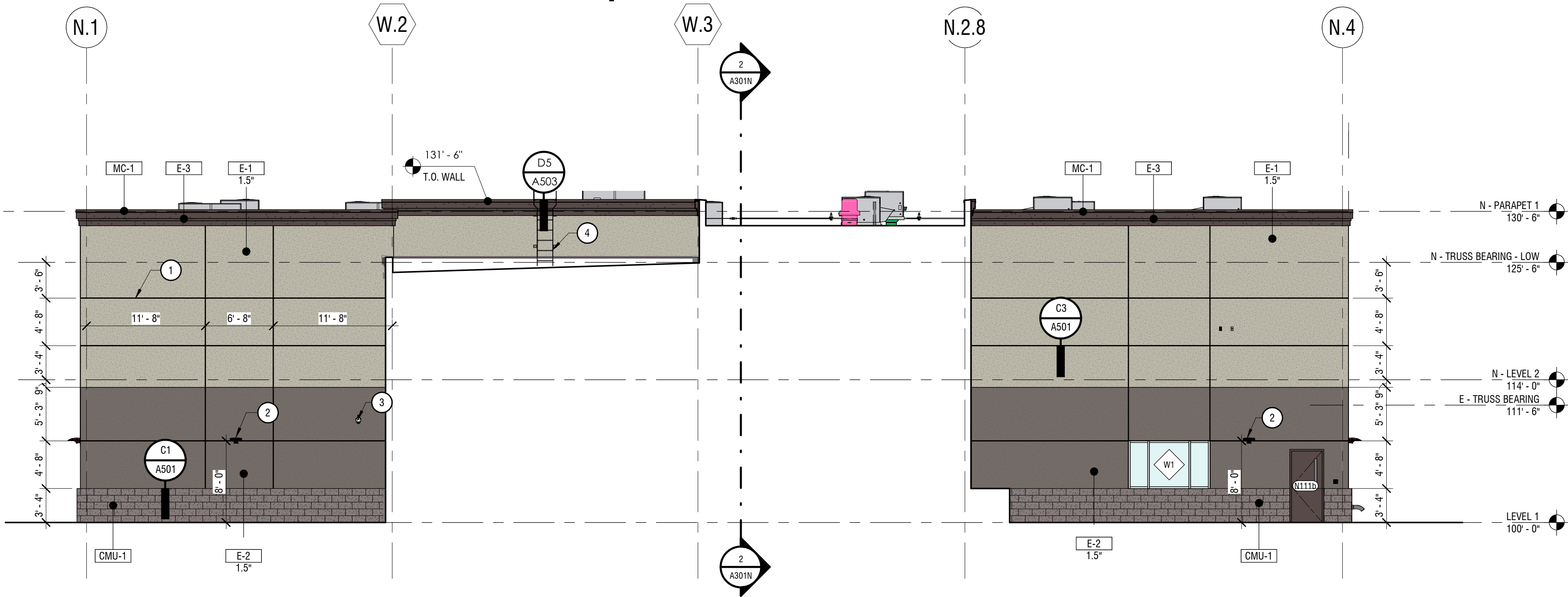
EXTERIOR ELEVATION GENERAL NOTES	
1.	REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2.	CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3.	ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. UNTELS, ETC.).
4.	CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5.	SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6.	SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

SHEET NOTES	
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.	

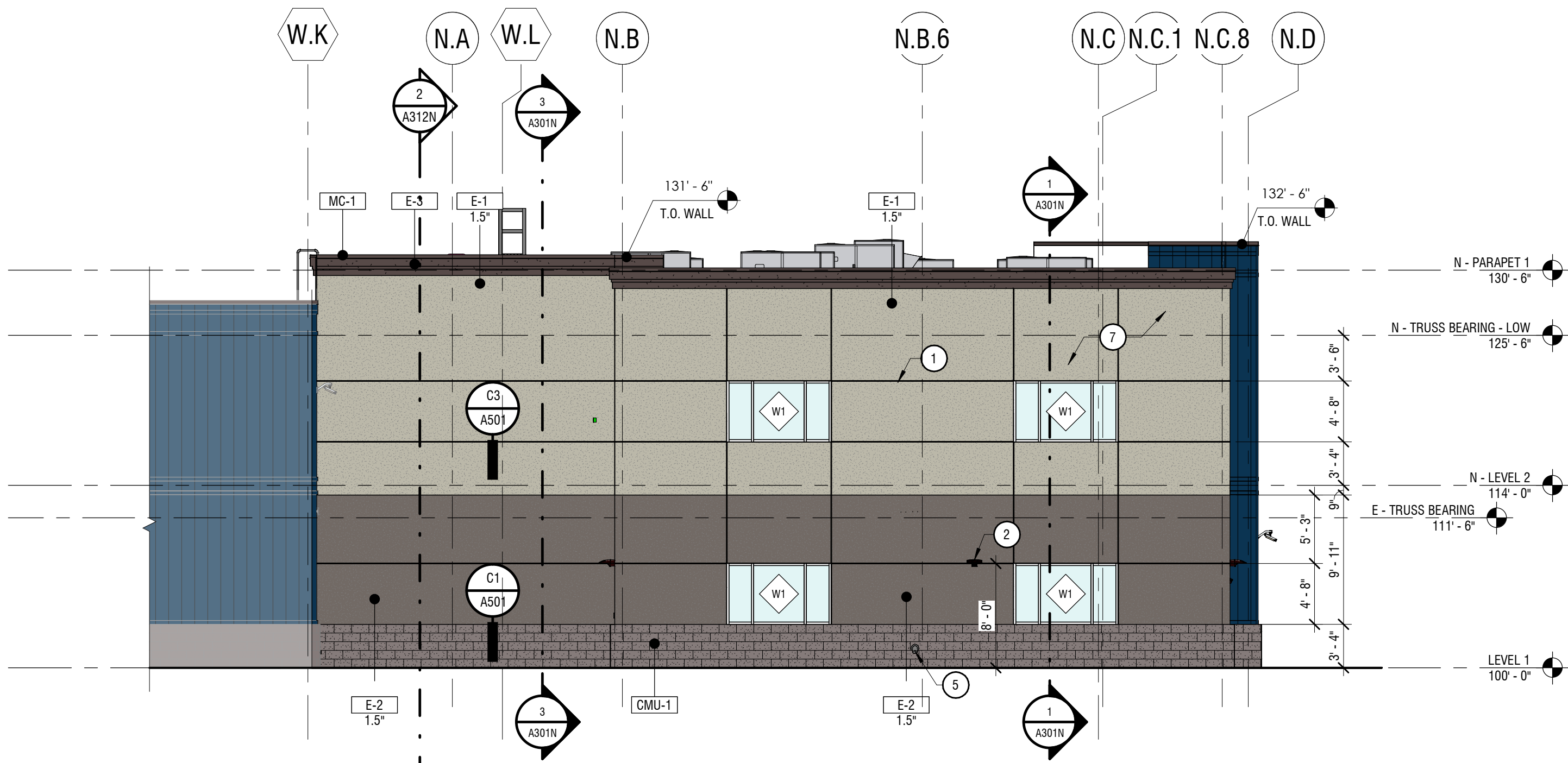
- EIFS REVEAL, SEE DETAILS
- LIGHT FIXTURE COORDINATE WITH ELECTRICAL
- SECURITY CAMERA - COORDINATE WITH ELECTRICAL
- ROOF ACCESS LADDER SEE DETAILS
- DOWNSPOUT - COORDINATE WITH MECHANICAL
- FIBER CEMENT TRIM
- PROVIDE STUBBED ELECTRICAL CONDUIT FOR FUTURE LIGHT ADDITION. COORDINATE WITH ELECTRICAL.



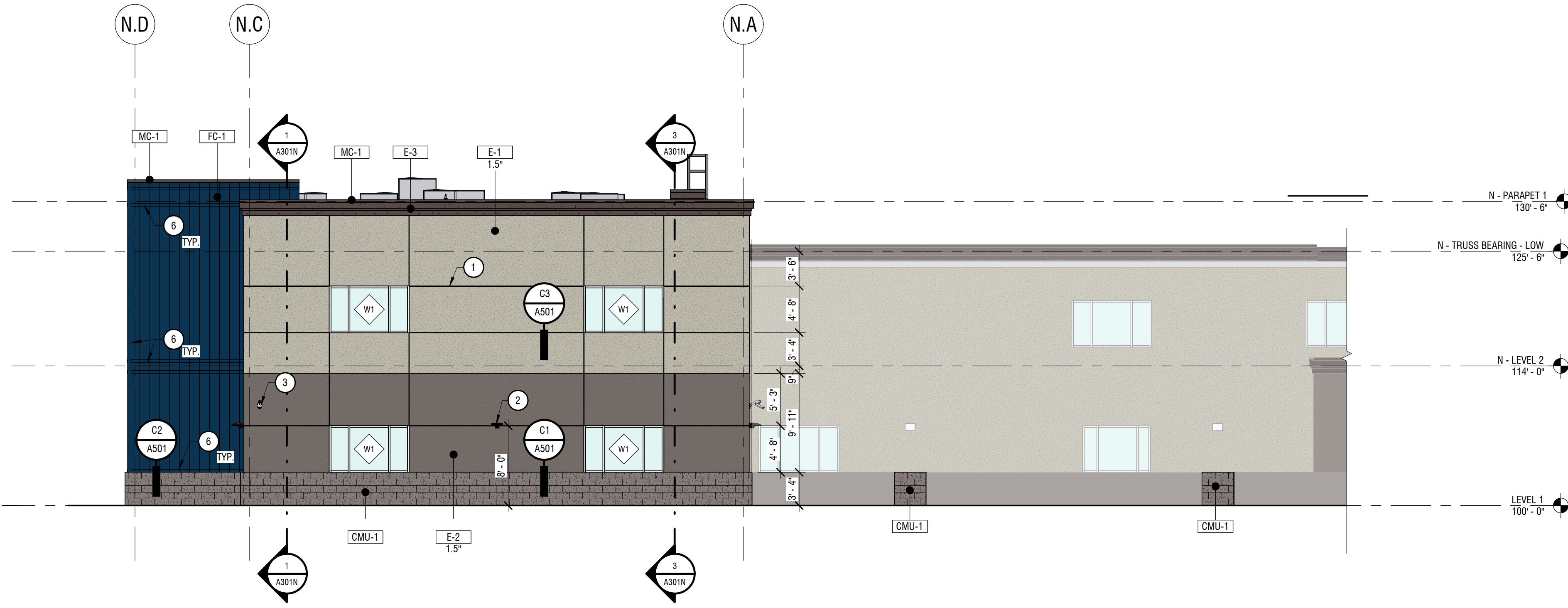
1 NORTH ADDITION - NORTH ELEVATION
1/8" = 1'-0"



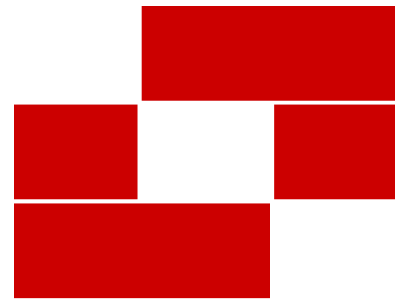
3 NORTH ADDITION - SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ADDITION - EAST ELEVATION
1/8" = 1'-0"



4 NORTH ADDITION - WEST ELEVATION
1/8" = 1'-0"



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84045

Revisions

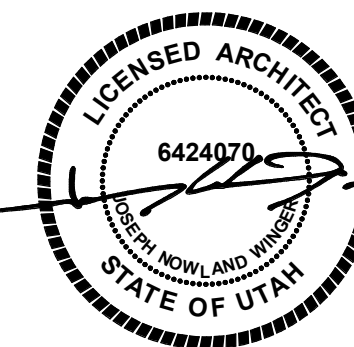
Num.	Description	Date
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Project Number	24048
Original Issue	10.15.2024
Project Status	PLAN REVIEW AND BIDDING

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EXTERIOR
ELEVATIONS - NORTH
ADDITION

Sheet Number

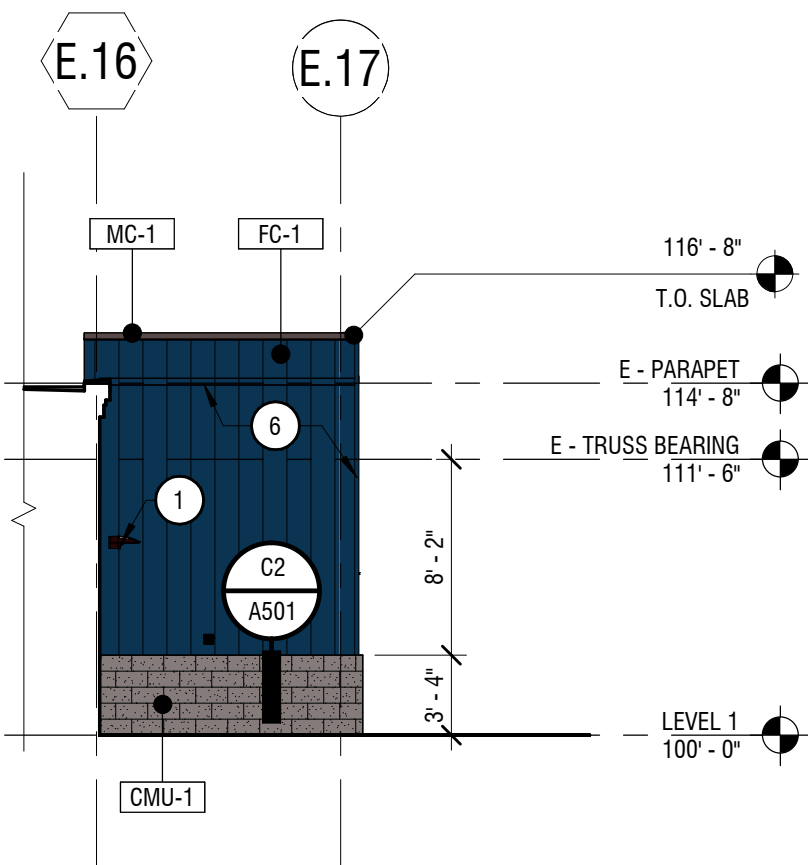
A211N

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	48X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

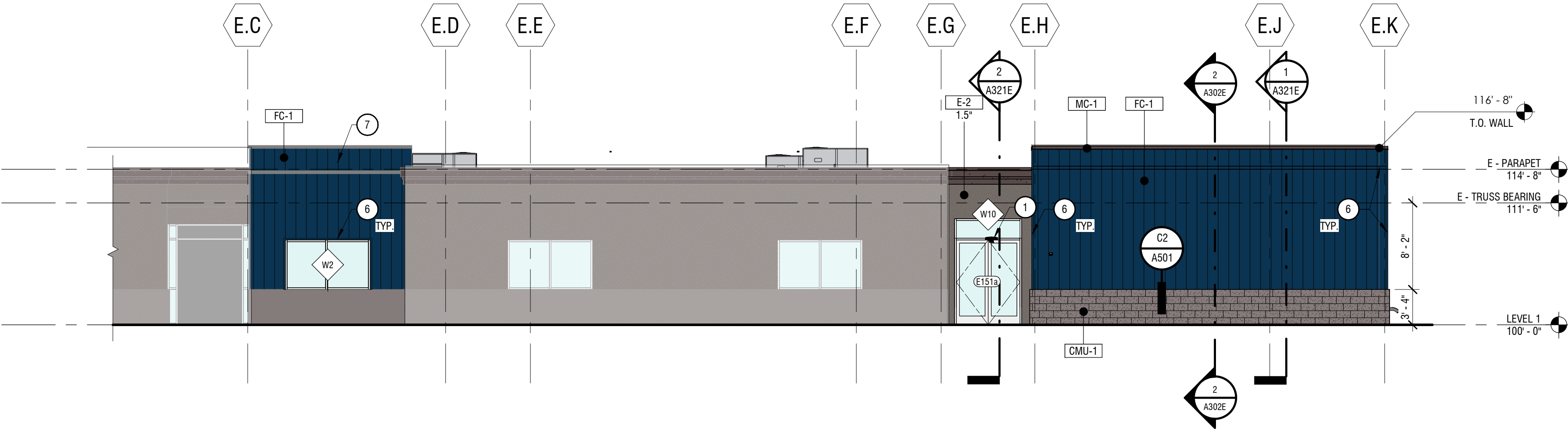
EXTERIOR ELEVATION GENERAL NOTES
1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. UNTELS, ETC.).
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.

SHEET NOTES
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

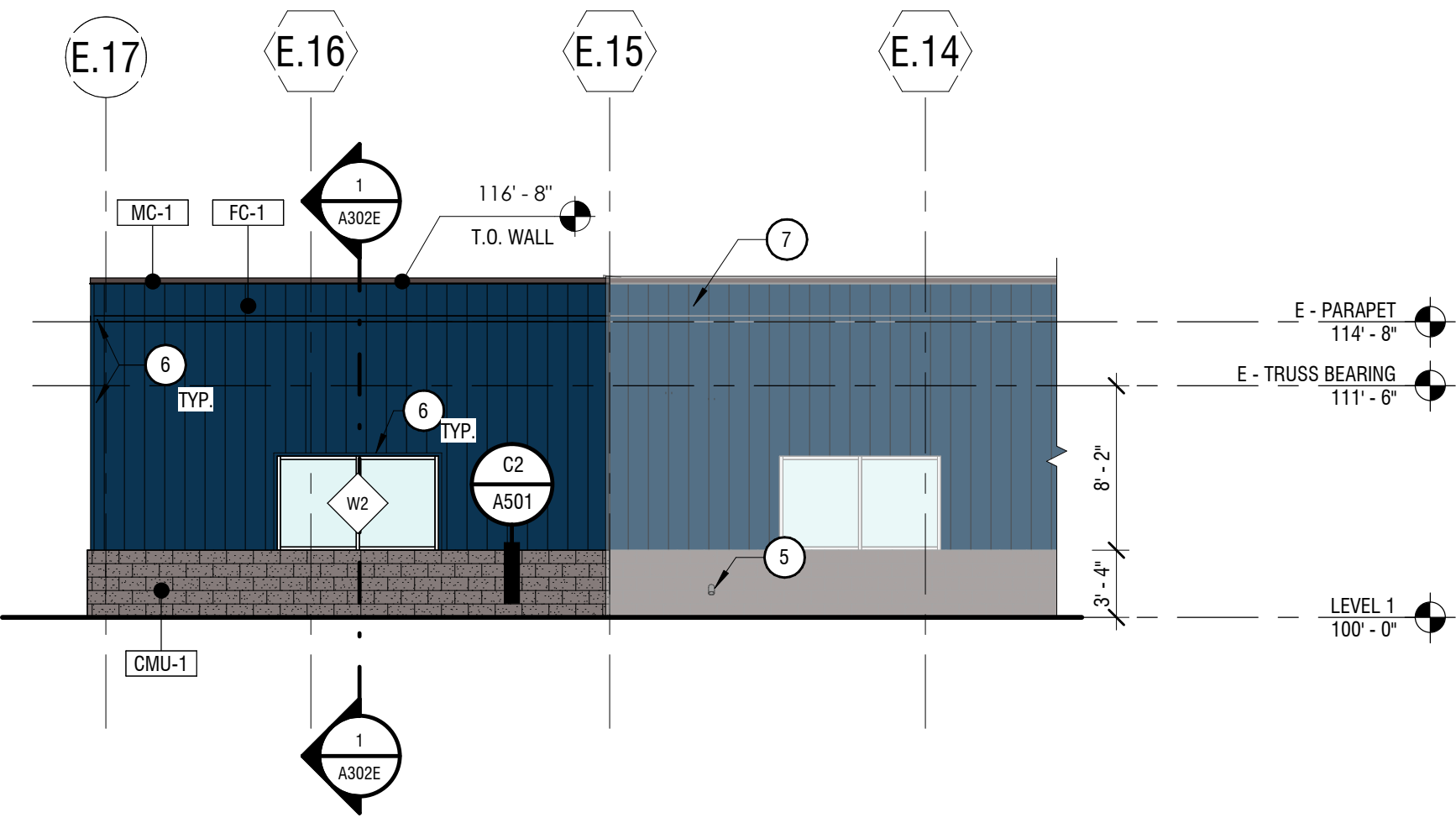
- 1 LIGHT FIXTURE COORDINATE WITH ELECTRICAL
2 DOWNSPOUT - COORDINATE WITH MECHANICAL
3 SECURITY CAMERA - COORDINATE WITH ELECTRICAL
4 EIFS REVEAL, SEE DETAILS
5 EXISTING ROOF DRAIN TO REMAIN
6 FIBER CEMENT TRIM
7 EXISTING WALL TO REMAIN. REPAINT DURING NEW CONSTRUCTION.



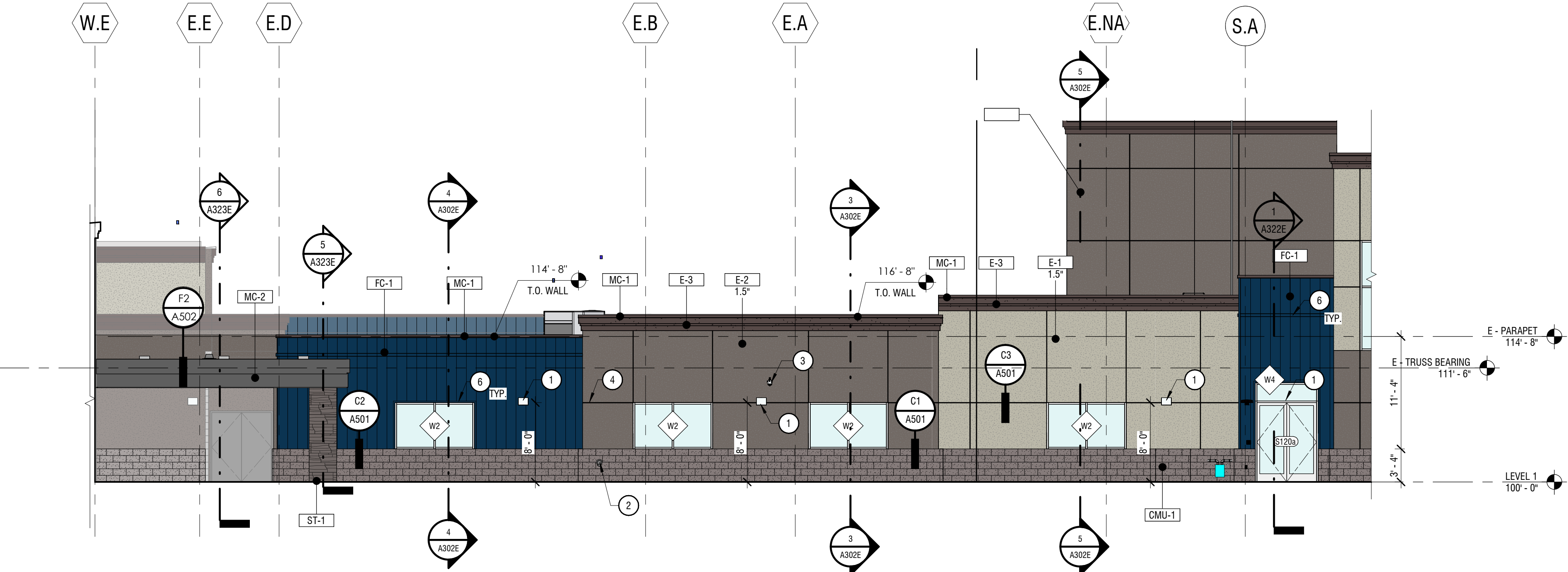
3 | EAST ADDITION - SOUTH ELEVATION
1/8" = 1'-0"



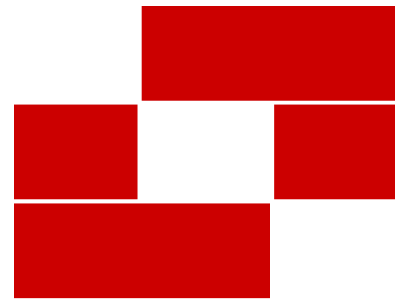
2 | EAST ADDITION - EAST ELEVATION
1/8" = 1'-0"



1 | EAST ADDITION - NORTH ELEVATION
1/8" = 1'-0"



4 | SOUTH CORRIDOR - WEST ELEVATION
1/8" = 1'-0"



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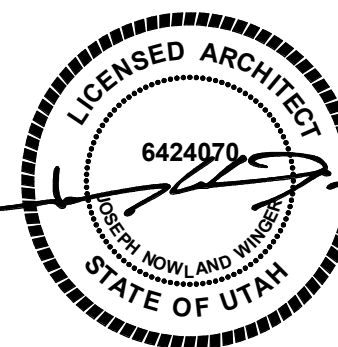
Num.	Description	Date
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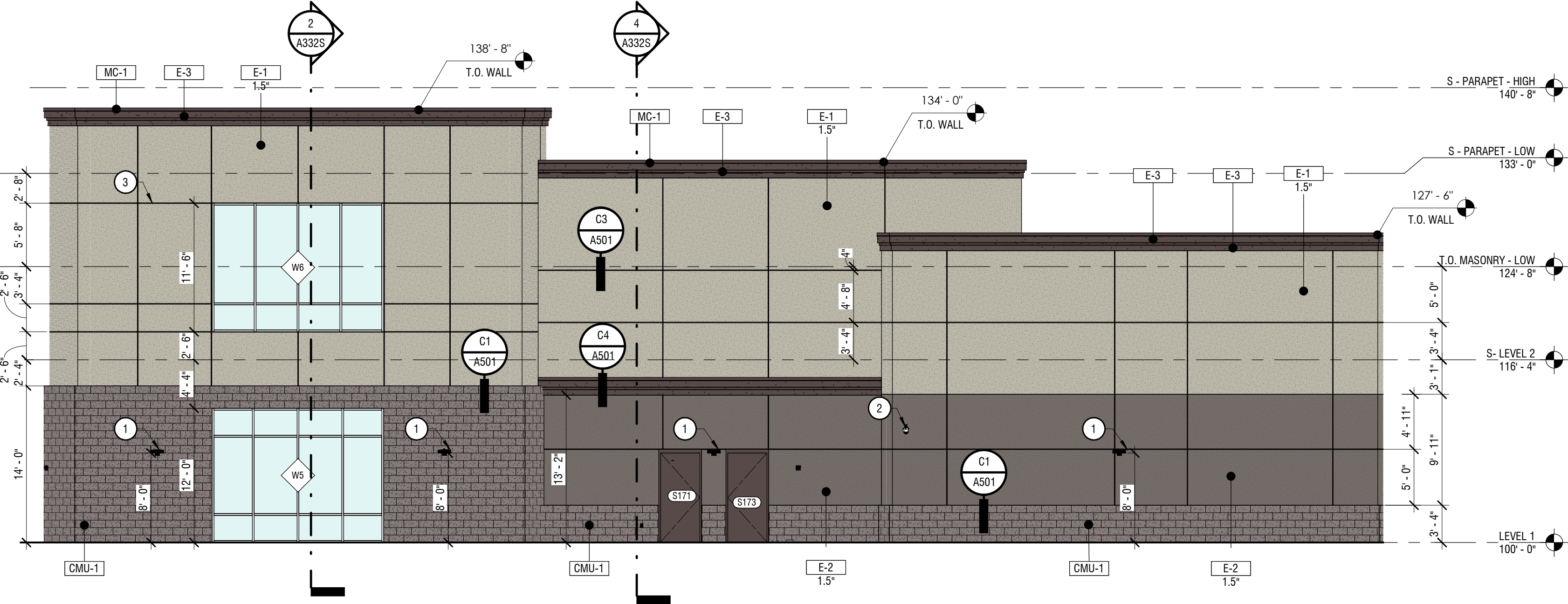
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EXTERIOR
ELEVATIONS - EAST
ADDITION

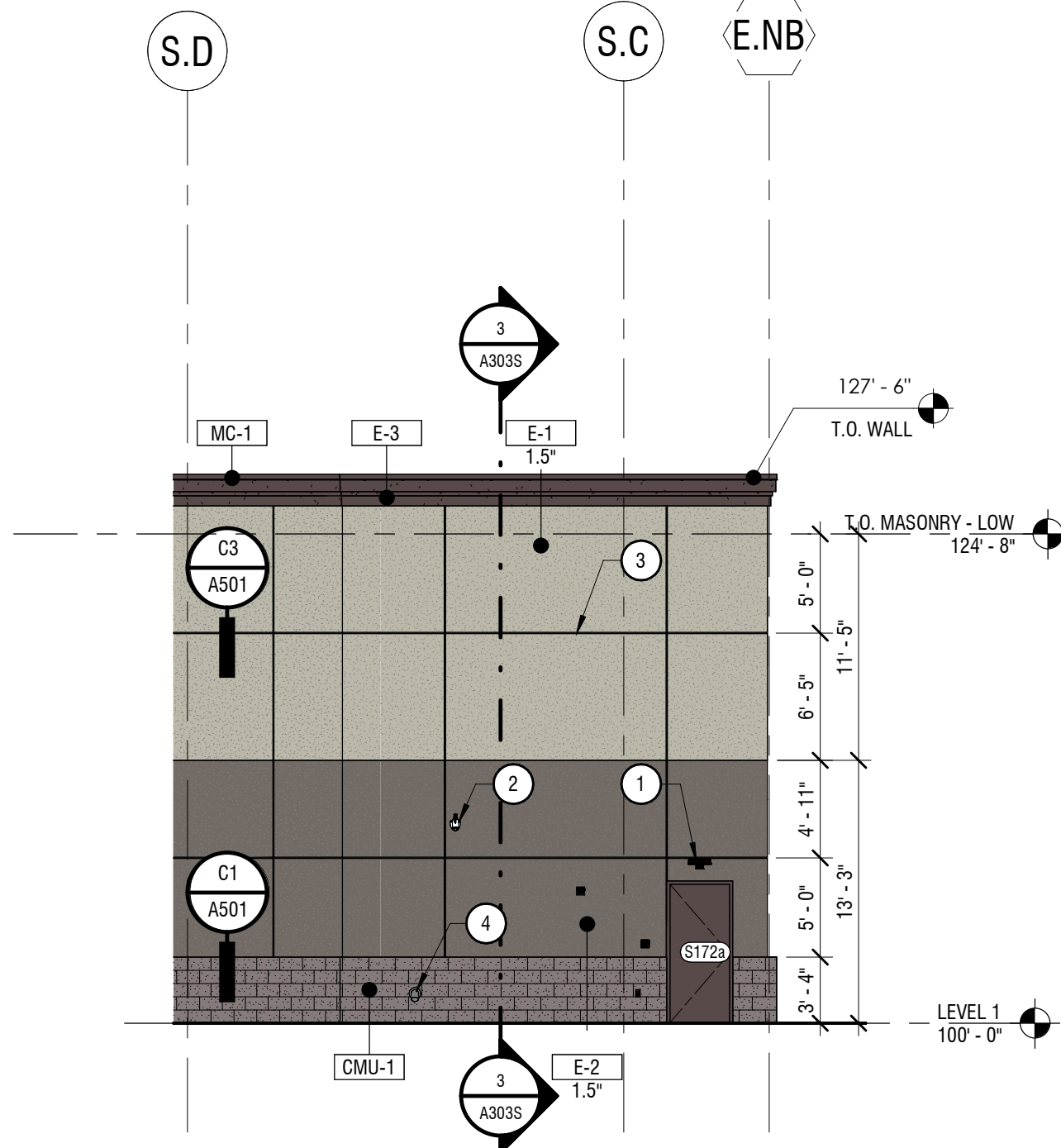
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A221E

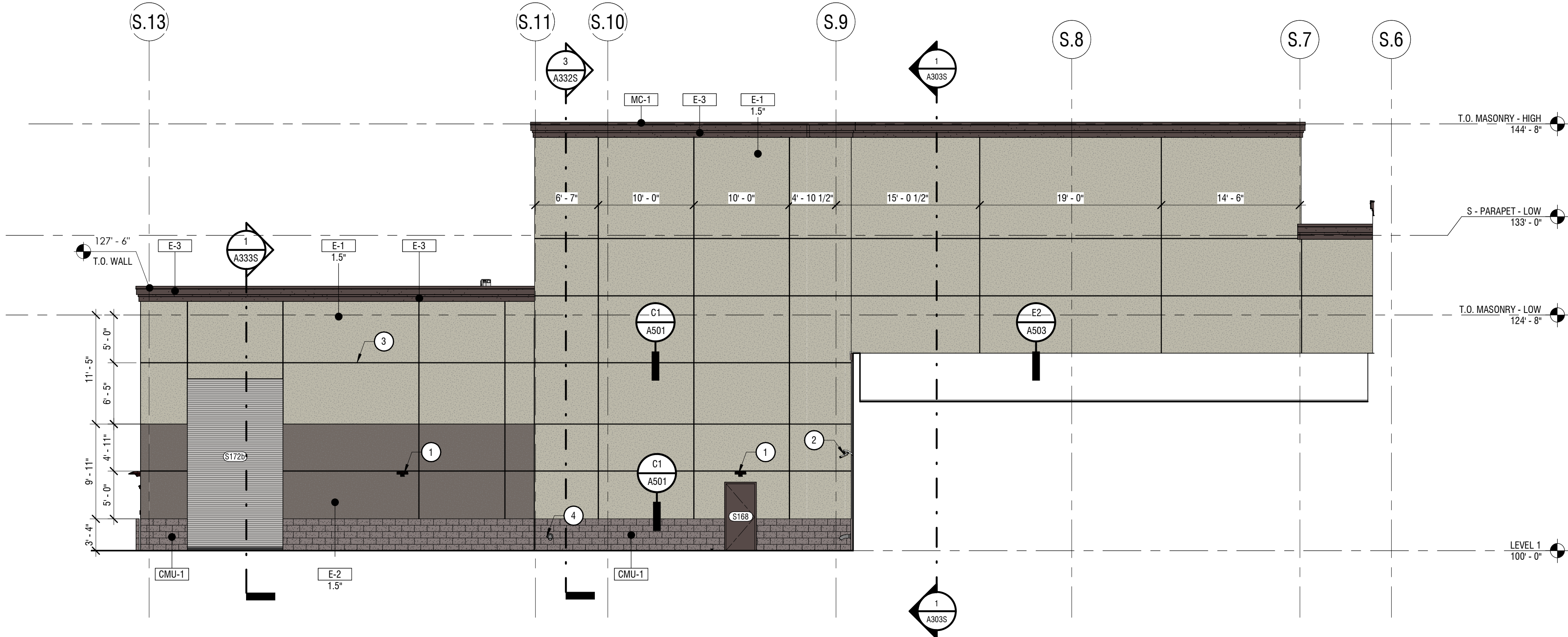
EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	40X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FC-1	FIBER CEMENT BOARD	HARDIE BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS



2 | SOUTH ADDITION - SOUTHEAST ELEVATION
1/8" = 1'-0"



1 | SOUTH ADDITION - EAST ELEVATION
1/8" = 1'-0"



3 | SOUTH ADDITION - NORTH ELEVATION
1/8" = 1'-0"

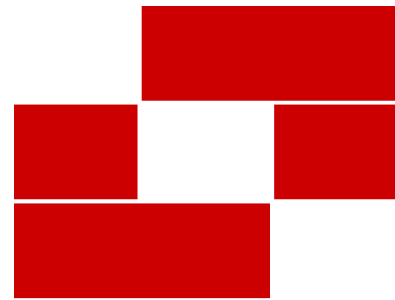
SHEET NOTES

NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

- 1 LIGHT FIXTURE COORDINATE WITH ELECTRICAL
- 2 SECURITY CAMERA - COORDINATE WITH ELECTRICAL
- 3 EIFS REVEAL. SEE DETAILS
- 4 DOWNSPOUT - COORDINATE WITH MECHANICAL

EXTERIOR ELEVATION GENERAL NOTES

1. REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
2. CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
3. ALL EXPOSED EXTERIOR STEEL TO BE PAINTED (I.E. UNTELS, ETC.).
4. CONTRACTOR TO PAINT ALL VENT PIPES, EXHAUST FANS AND OTHER ROOF EQUIPMENT AND PENETRATIONS THAT ARE VISIBLE FROM THE SURROUNDING BUILDINGS STREET FRONTAGE.
5. SEE ELECTRICAL DRAWINGS FOR EXTERIOR POWER LOCATIONS, LIGHTING, HORN STROBES, CARD READERS, ETC.
6. SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.



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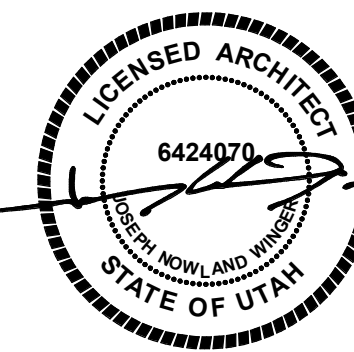
Num.	Description	Date
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Project Number	24048
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Project Status	PLAN REVIEW AND BIDDING

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Sheet Title

EXTERIOR
ELEVATIONS - SOUTH
ADDITION

Sheet Number

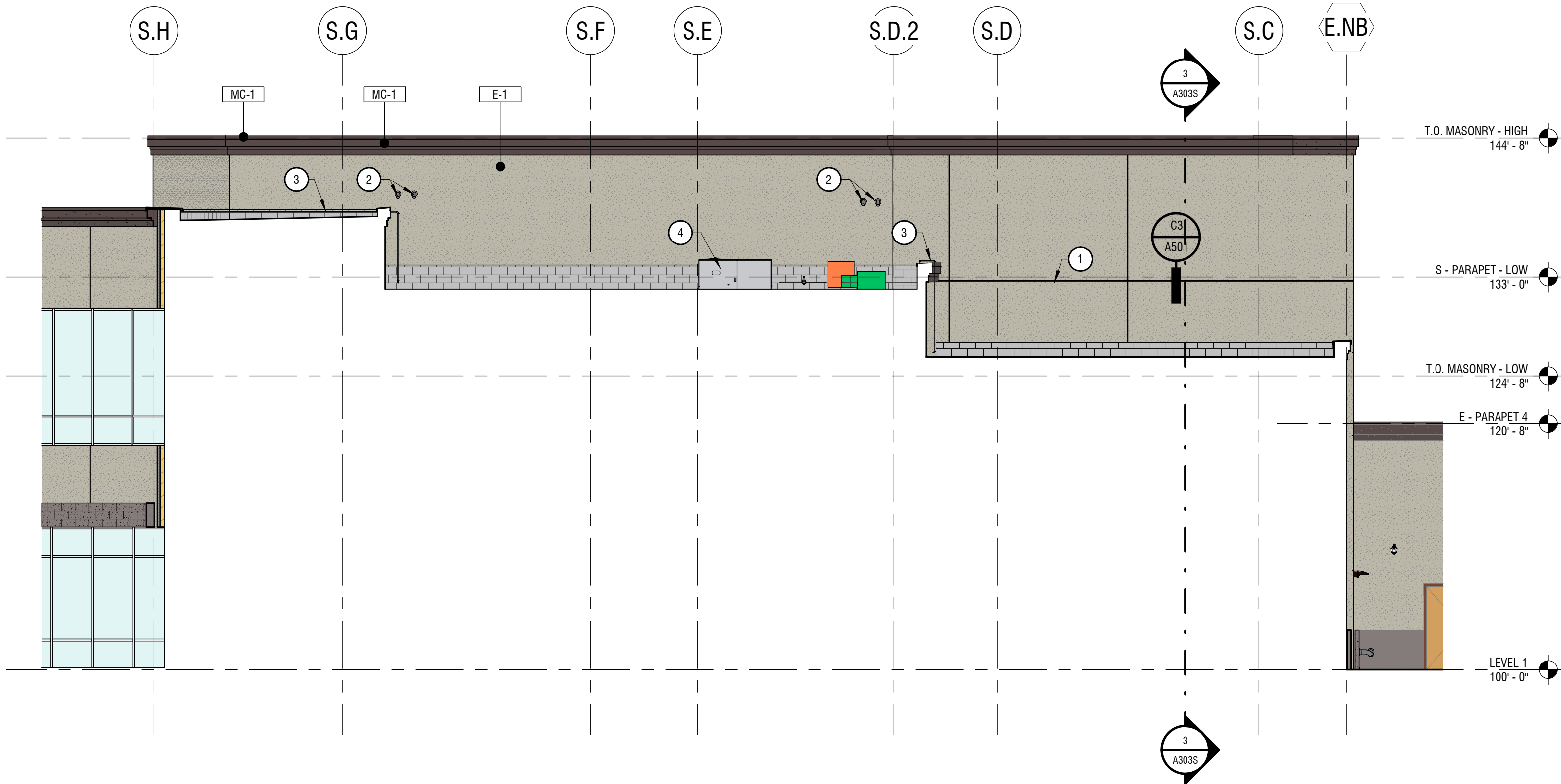
A232S

EXTERIOR MATERIAL SCHEDULE							
MARK	DESCRIPTION	MANUFACTURER	PATTERN	COLOR	SIZE	FINISH	COMMENTS
CMU-1	SPLIT FACE MASONRY VENEER	AMCOR		TAN - MATCH EXISTING	40X8X16	SPLIT FACE	WAINSCOTTING TO MATCH EXISTING
CMU-2	STANDARD SMOOTH CMU	AMCOR		GRAY	8X8X16 / 12X8X16	SMOOTH	STANDARD CMU USED WHERE PAINTED / FINISH NOT VISIBLE
CMU-3	HONED MASONRY	AMCOR		CHARCOAL	8X8X16 / 12X8X16	HONED	ALLEXPOSED INTERIOR CMU IN MAIN LOBBY
E-1	EIFS - COLOR 1	DRYVIT		LIGHT - MATCH EXISTING		SANDBLAST	
E-2	EIFS - COLOR 2	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
E-3	EIFS - UPPER CORNICE	DRYVIT		DARK - MATCH EXISTING		SANDBLAST	
FG-1	FIBER CEMENT BOARD	HARDC BOARD	BOARD & BATTEN	DARK BLUE - MATCH EXISTING		SATIN	
GL-2	1" INSULATED - LOW E - TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-2T	1" INSULATED - LOW E - TEMPERED TINTED GLASS	VITRO		SOLARBAN 70XL OPTIGRAY + CLEAR			
GL-4	1/4" CLEAR GLASS	VITRO		CLEAR			
GL-4T	1/4" TEMPERED CLEAR GLASS	VITRO		CLEAR			
MC-1	METAL PARAPET CAP	MBCI - SEE SPEC		DARK - MATCH EXISTING			
MC-2	METAL CANOPY FASCIA	MBCI - SEE SPEC		DARK - MATCH EXISTING			
ST-1	CULTURED STONE VENEER			MATCH EXISTING	MATCH EXISTING		MATCH EXISTING STONE ON FRONT ENTRANCE / PILLARS

SHEET NOTES
NOTE: THESE NOTES APPLY TO THIS SHEET ONLY.

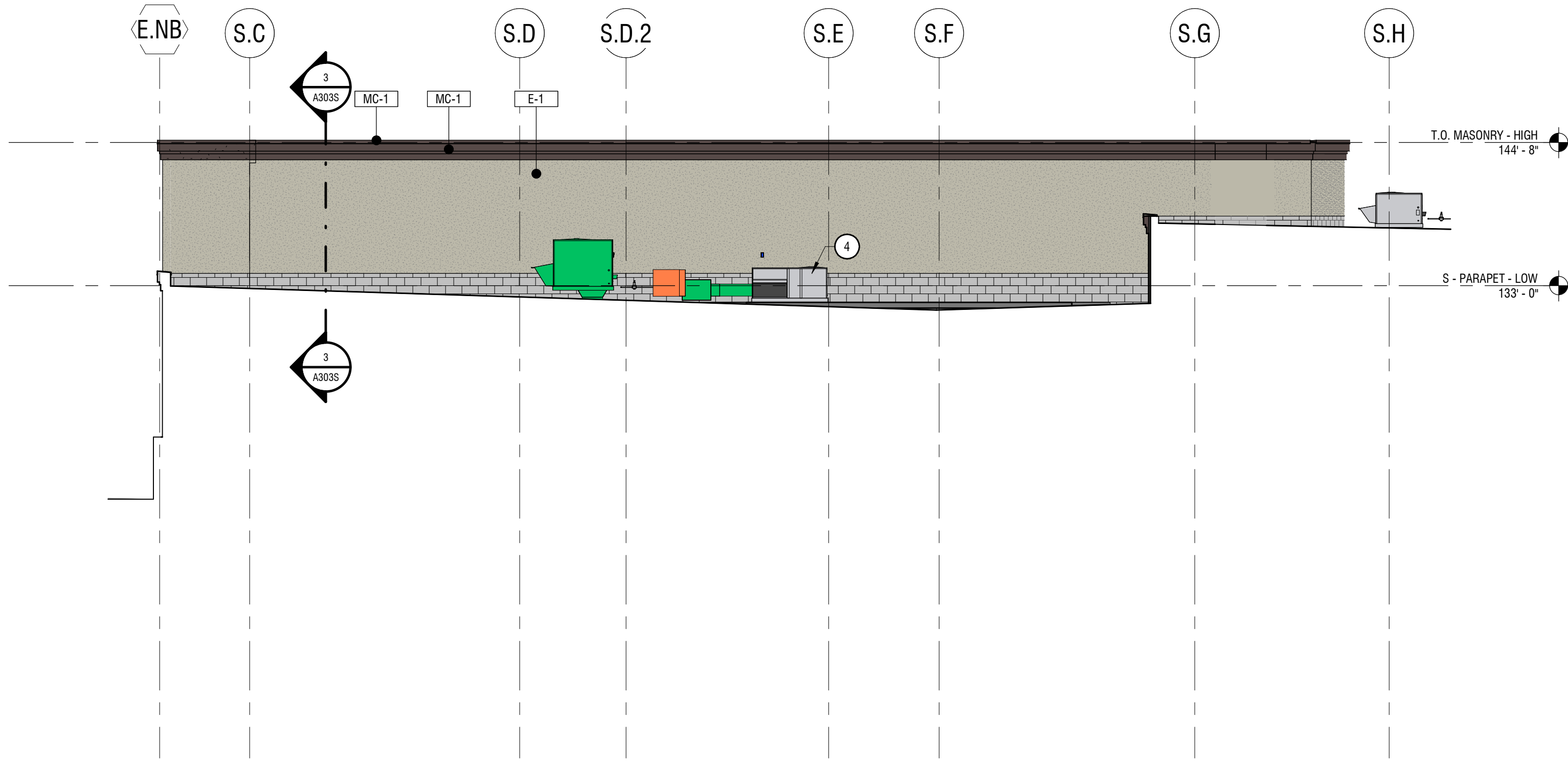
- EIFS REVEAL. SEE DETAILS
- DOWNSPOUT - COORDINATE WITH MECHANICAL
- NON SANITARY PIPING - SEE MECHANICAL
- ROOF TOP UNIT - COORDINATE WITH MECHANICAL

- EXTERIOR ELEVATION GENERAL NOTES
- REFER TO THE MATERIAL AND FINISH SCHEDULES ON SHEET A641 FOR FURTHER INFORMATION.
 - CONTRACTOR TO LEAVE A 1/2" GAP BETWEEN ALL DISSIMILAR MATERIAL TYP. TO BE FILLED WITH BACKER ROD AND SEALANT, COLOR AS SELECTED.
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 - SEE PLUMBING DRAWINGS FOR DOWNSPOUT NOZZLE, HOSE BIB, AND FDC CONNECTION LOCATIONS, ETC.



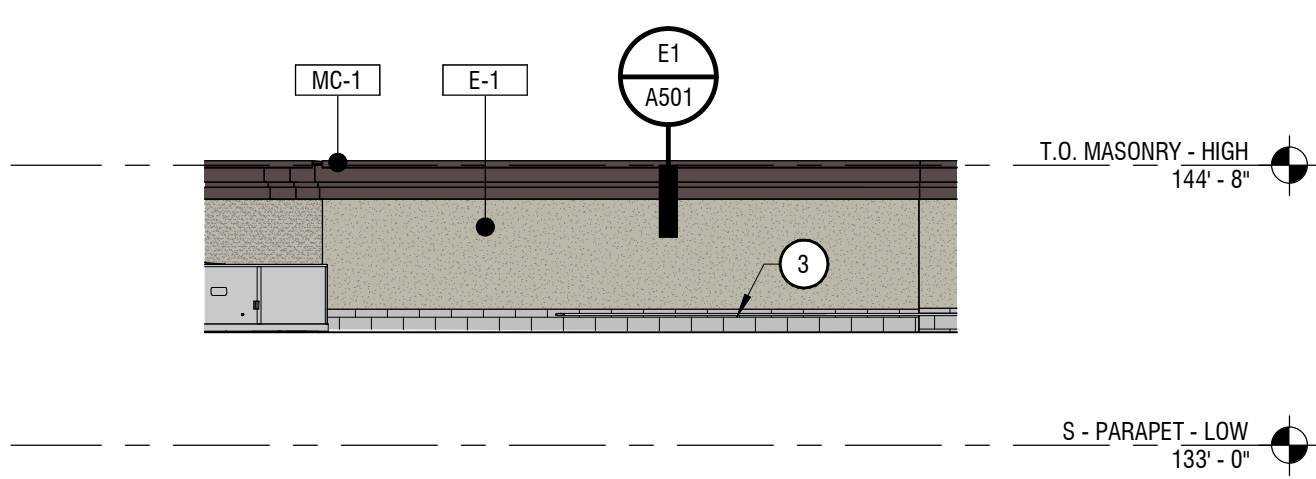
2 THEATER - EAST WALL

1/8" = 1'-0"



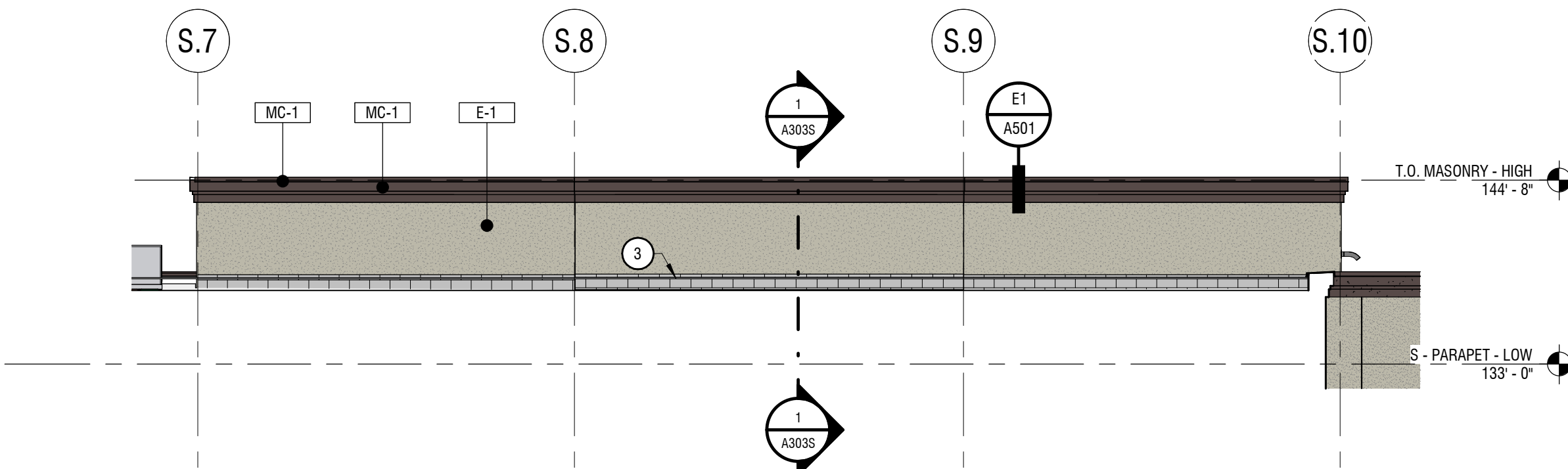
1 THEATER - WEST WALL

1/8" = 1'-0"



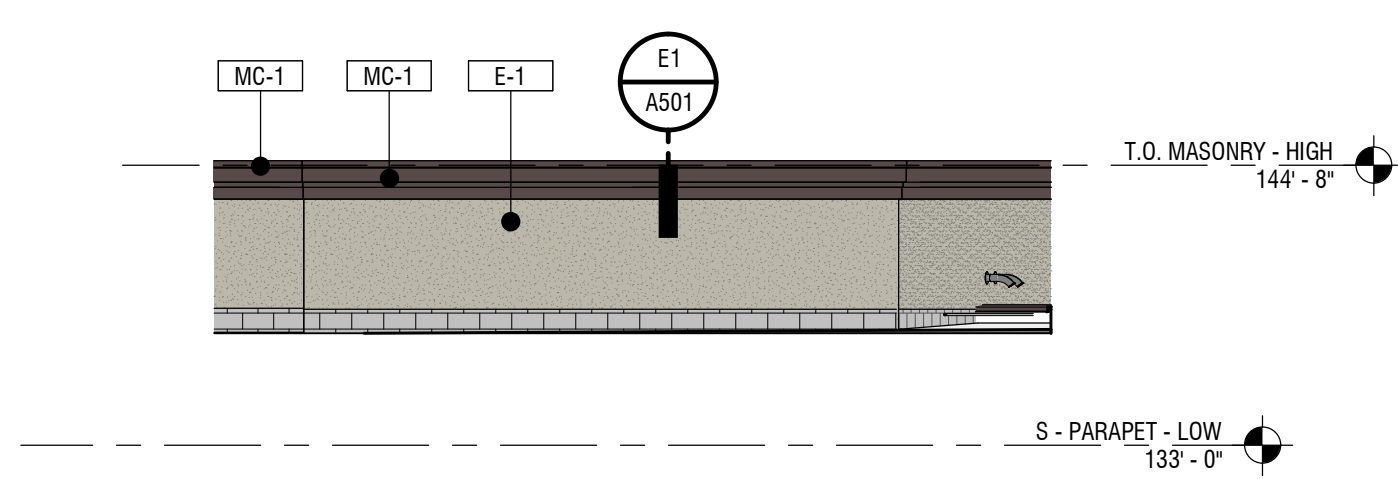
5 THEATER - SOUTH WALL 2

1/8" = 1'-0"



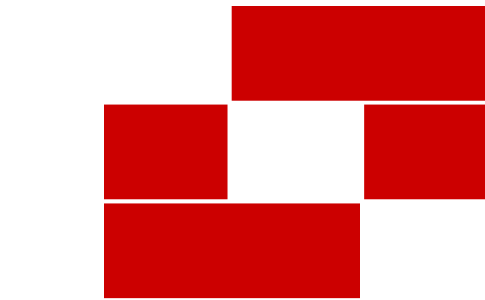
4 THEATER - SOUTH WALL

1/8" = 1'-0"



3 THEATER - SOUTH WALL 3

1/8" = 1'-0"



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Revisions

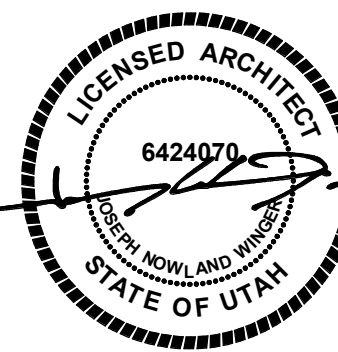
Num.	Description	Date
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Sheet Title

EXTERIOR
ELEVATIONS - SOUTH
ADDITION

Sheet Number

A233S