

Vicinity Plan

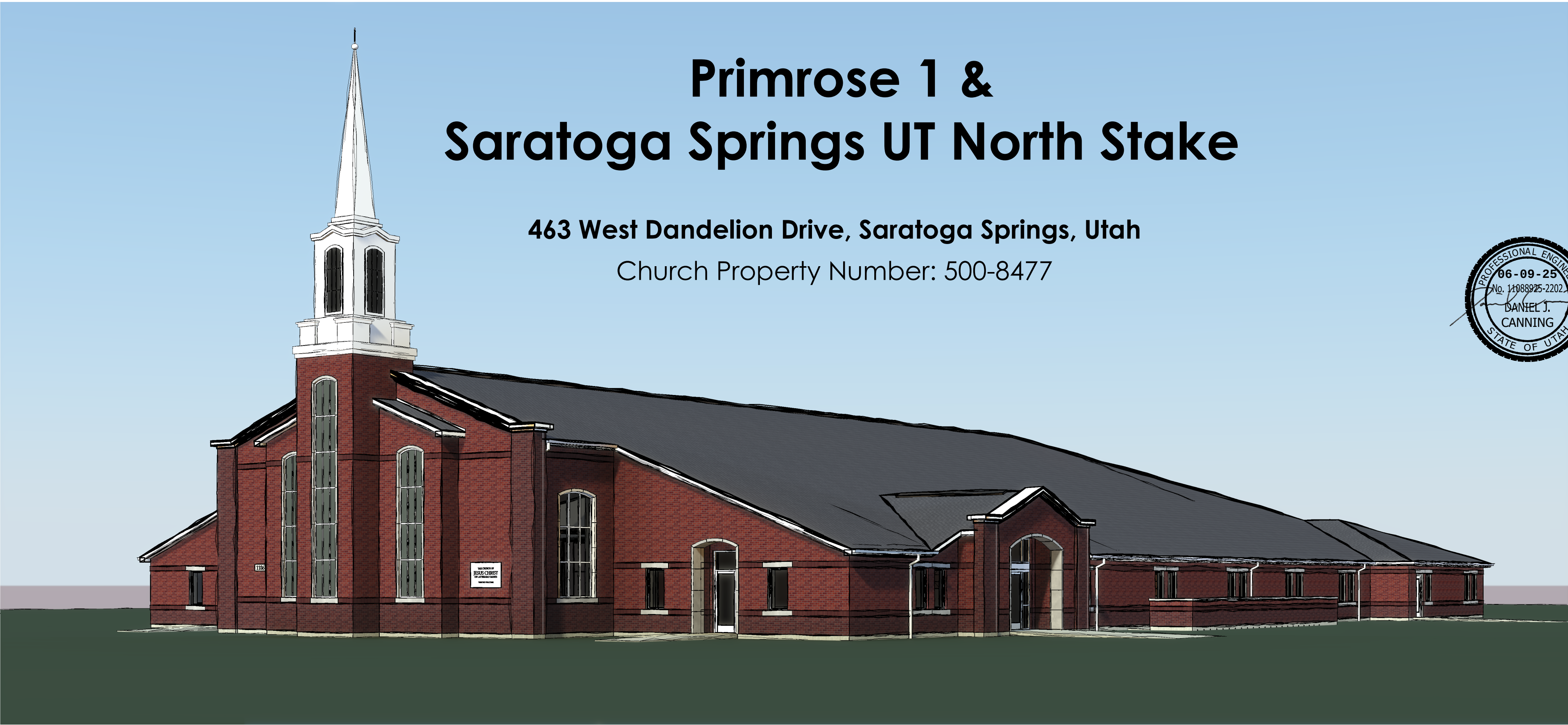


Project Team

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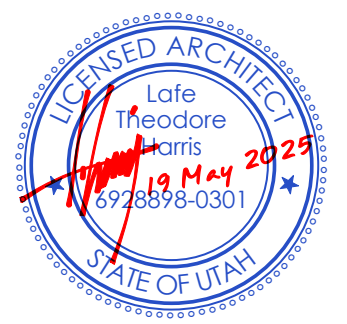
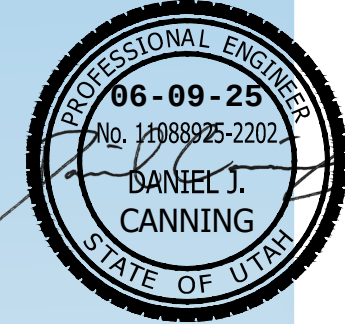
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Primrose 1 & Saratoga Springs UT North Stake

463 West Dandelion Drive, Saratoga Springs, Utah
Church Property Number: 500-8477



Work by Owner

Item	Furnished by	Installed by	Item	Furnished by	Installed by
Special inspections and testing	Owner	Owner	Basketball backstops, equipment	Owner	Owner
HVAC test and balance	Owner	Owner	Volleyball sleeves, volleyball equipment	Owner	Contractor
Font water testing	Owner	Owner	Safety wall padding	Owner	Contractor
Hymn number display	Owner	Owner	Artwork	Owner	Owner
Carpet and carpet base	Owner	Owner	Piano, organ	Owner	Owner
Fixed glass display boards	Owner	Contractor	Phone and computer systems	Owner	Owner
Fixed tackboards	Owner	Contractor	Internet firewall, network switch, wireless access points	Owner	Contractor
Display cases	Owner	Contractor	Access control system	Owner	Owner
Interior signage	Owner	Contractor	Internet service provider modem	Owner	Owner
Pews	Owner	Owner	Televisions, television brackets	Owner	Contractor
Soap, paper towel, and toilet tissue dispensers	Owner	Owner	Pavilion kit and exterior drinking fountain, see C811	Owner	Contractor
Baby changing stations	Owner	Contractor	Exterior high security cylinders and cores	Owner	Owner
Refrigerator, range, microwave	Owner	Contractor	Network streaming equipment	Owner	Owner
Key cabinet	Contractor	Owner	Furniture, desks, chairs, equipment, etc.	Owner	Owner

Deferred Submittals

1. Fire sprinkler shop drawings
2. Fire alarm shop drawings
3. Trussed rafter shop drawings
4. Special inspector certifications.

Drawings Revision Schedule

#	Date	Description
7	19 May 2025	Site Plan Review Responses
6	10 Mar 2025	Site Plan Review Responses
5	8 Oct 2024	Addendum #4
4	8 Oct 2024	Addendum #3
3	1 Oct 2024	Addendum #2
2	23 Sep 2024	Addendum #1
1	19 Sep 2024	Bid Documents

City Standard Notes

- i. Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- ii. Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines. iii. All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- iv. Existing Utilities have been noted to the best of Engineer's knowledge, however it is owner's and contractor's responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- v. Post-acceptance alterations to lighting plans or intended substitutions for accepted lighting equipment shall be submitted to the City for review and acceptance.
- vi. The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and accepted Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City. vii. All exterior lighting shall meet IESNA full-cutoff criteria.

Site Areas

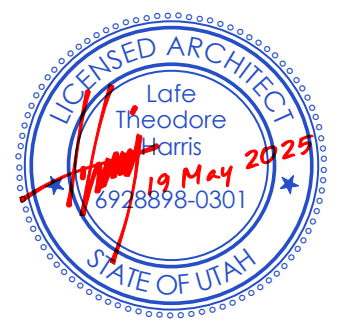
	Square Feet	% of Site
Main building	23,925 sf	14.6 %
Storage building	120 sf	0.1 %
Asphalt pavement	82,409 sf	50.4 %
Concrete	15,329 sf	9.4 %
Turfgrass	0.0 sf	0.0 %
Other landscaping	41,882 sf	25.6 %
Total site	163,665 sf	3.76 acres

Site Data

	Provided	Required
Regular parking stalls	214	2
ADA (van accessible)	9	5
ADA(non-van accessible)	0	232
Total parking stalls	223	232
Ordinance requirement	1 stall per 3 seats. Seats in Chapel/Overflow: 667 / 3 = 223	
Bicycle parking	8	None
Ordinance requirement	No requirement	
Site landscaping%	32.6%	20%
Turfgrass% of landscaping	7.2%	No % req'd
Parking lot landing%	3.5%	No % req'd



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Suite 205 Draper, Utah 84020



THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Primrose 1 & Saratoga Springs UT North Stake
463 West Dandelion Drive, Saratoga Springs, Utah
40, 406,603, -111,932,988
Date: 19 Sep 2024
BHD #: 2322
County Parcel: 69-006-001
Plan Series: Heritage 23.2
Owner #: 500-8477

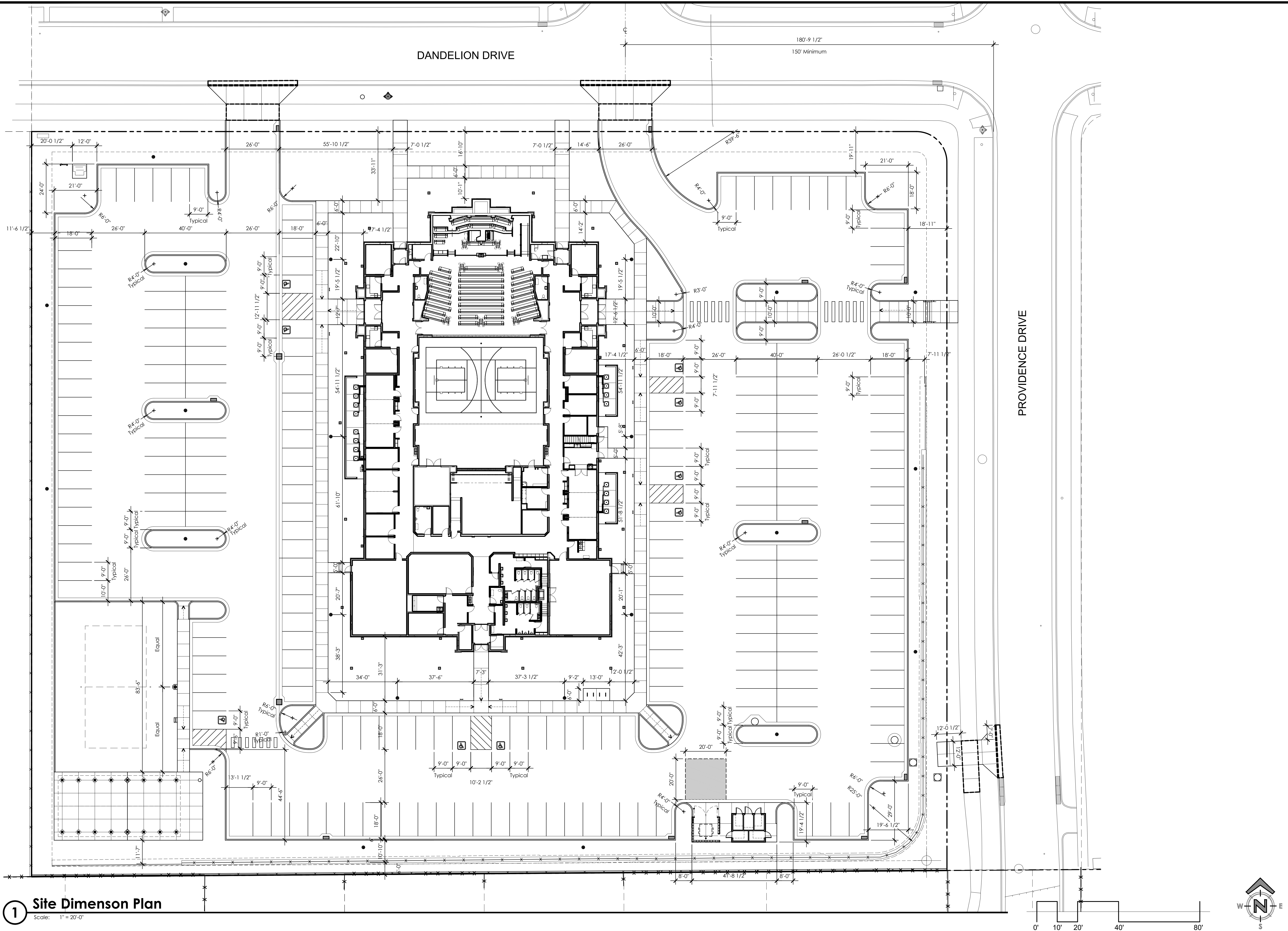
#	Date	Description
7	19 May 2025	Site Plan Review Responses
6	10 Mar 2025	Site Plan Review Responses
5	8 Oct 2024	Addendum #4
4	8 Oct 2024	Addendum #3
3	1 Oct 2024	Addendum #2
2	23 Sep 2024	Addendum #1
1	19 Sep 2024	Bid Documents

Cover Sheet

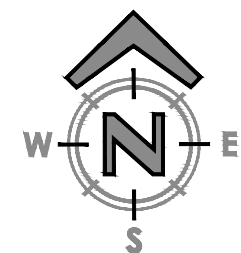
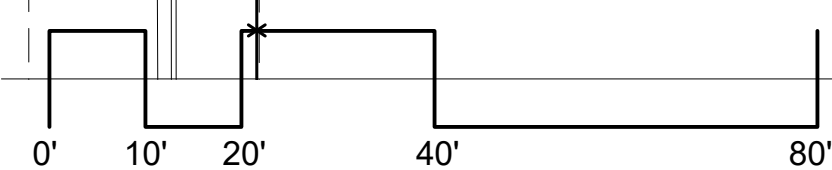
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1 Site Dimension Plan
Scale: 1" = 20'-0"

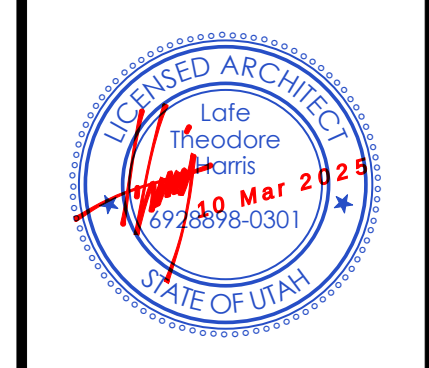


Drawing Issue and Revision Schedule	
#	Description
1	10 Mar 2025 Site Plan Response
2	8 Oct 2024 Addendum #4
3	17 Sep 2024 Bid Documents

Site Dimension Plan

**Primrose 1 &
Saratoga Springs UT North Stake**
463 West Dandelion Drive, Saratoga Springs, Utah
40.45x415, -111.932833

Date: 19 Sep 2024
BHD #: 2322
County Parcel: 69-006-001
Plan Series: Heritage 23.2
Owner #: 500-8477



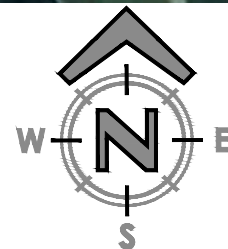
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1 Context Plan and Site Analysis

Scale: Not to Scale



Drawing Issue and Revision Schedule	
#	Description
1	10 Mar 2025 Site Plan Response
2	8 Oct 2024 Addendum #4
3	17 Sep 2024 Bid Documents

Context Plan and Site Analysis

Primrose 1 & Saratoga Springs UT North Stake	
463 West Dandelion Drive, Saratoga Springs, Utah 40.40415, -111.93283	
Date: 19 Sep 2024	BHD #: 2322
Plan Series: Heritage 23.2	Owner #: 500-8477

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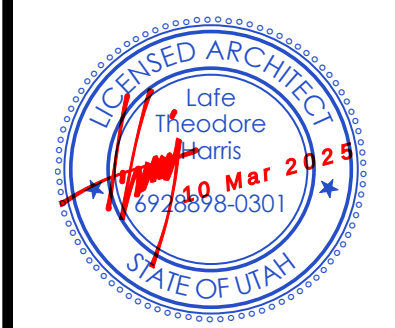
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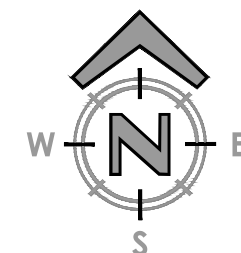
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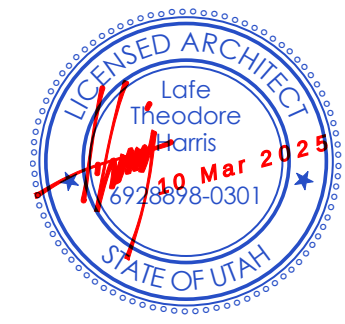
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Transportation Reference Plan

Scale: Not to Scale



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Primrose 1 &
Saratoga Springs UT North Stake

463 West Dandelion Drive, Saratoga Springs, Utah

40.456415, -111.932893

Date: 19 Sep 2024
BHD #: 2322
County Parcel: 69006.001
Plan Series: Heritage 23.2
Owner #: 500-8477

Drawing Issue and Revision Schedule

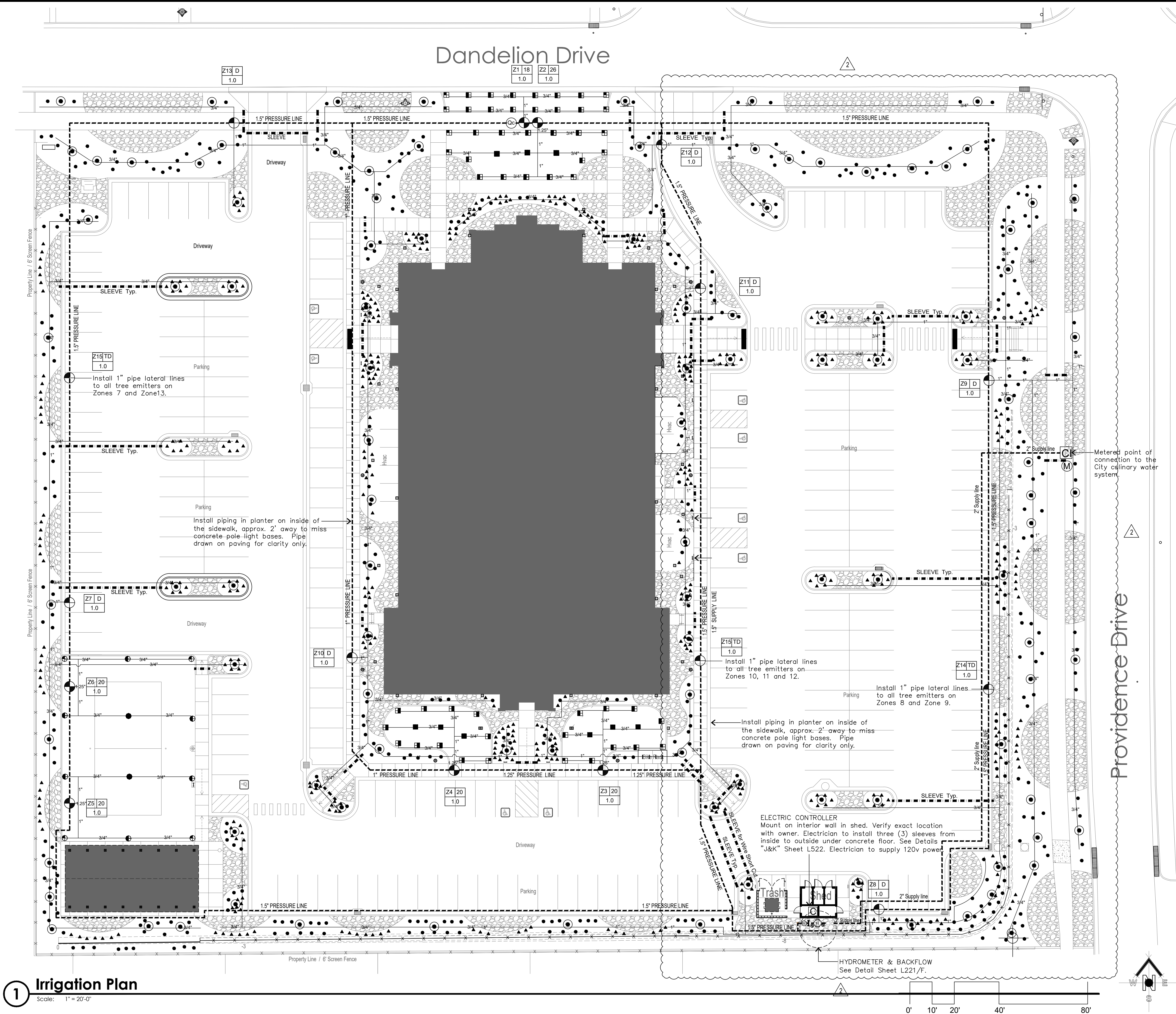
#	Date	Description
1	10 Mar 2025	SIS Plan Response
2	8 Oct 2024	Adendum #4
3	17 Sep 2024	Bid Documents
4		
5		
6		
7		
8		
9		
10		

Transportation
Reference Plan

C114

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- ### Irrigation Notes
1. THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC PRESSURE OF 75 P.S.I. MINIMUM AND 40 G.P.M. AND A 1.5" SECONDARY WATER CONNECTION. PRIOR TO CONSTRUCTION, CONFIRM STATIC PRESSURE OF THE SECONDARY WATER AND SIZE OF CONNECTION. NOTIFY LANDSCAPE ARCHITECT IF PRESSURE AND P.S.I. ARE INADEQUATE.
 2. THE STOP AND WASTE VALVE AND STAND PIPE WILL BE INSTALLED BY THE SITE UTILITY CONTRACTOR. SEE DETAIL "K" SHEET L521.
 3. THIS PLAN IS SOMEWHAT DIAGRAMMATIC. SYSTEM COMPONENTS MAY BE SHOWN IN PAVED AREAS OR OUT OF LANDSCAPE AREAS FOR PLAN CLARITY. ALL PIPING AND COMPONENTS TO BE INSTALLED IN LANDSCAPE AREAS. COORDINATE WITH LANDSCAPE DRAWING TO AVOID CONFLICTS WITH PLANT MATERIALS ESPECIALLY TREES.
 4. LOCATE ALL VALVES AND BOXES NO MORE THAN 12" FROM CURB OR SIDEWALK FOR EASY ACCESS AND MAINTENANCE. USE TAN VALVE BOXES AND LIDS WHEN LOCATED IN MULCH AREAS, GREEN IN LAWN AREAS. USE JUMBO VALVE BOXES FOR DRIP VALVE ASSEMBLIES.
 5. LOCATE SLEEVES UNDER ALL PAVED SURFACES WHERE PIPE OR WIRE CROSS UNDER. SLEEVE SIZE SHALL BE MINIMUM 2 PIPE SIZES LARGER THAN THE PIPE. CONTROL WIRES SHALL BE PLACED IN SEPARATE SLEEVES. INSTALL MORE THAN ONE SLEEVE PER LOCATION IF NECESSARY. EXTEND SLEEVES 6" BEYOND PAVED SURFACE ON EACH SIDE.
 6. CONNECT SHRUB AND PERENNIAL DRIP EMITTER ASSEMBLY POLY PIPE TO NEAREST LATERAL LINE. ONE POLY PIPE RISER MAY SUPPLY TWO OR THREE CLUMPED PERENNIAL OR GRASS PLANTS. THE INTENT IS FOR ALL SHRUBS AND TREES TO RECEIVE AN APPROPRIATE EMITTER AS PER DETAILS WHETHER DRAWN ON THIS PLAN OR NOT. DETERMINE EXACT LOCATION AND QUANTITY OF EMITTERS FROM THE LANDSCAPE PLAN.
 7. INSTALL SEPARATE DEDICATED ZONES FOR TREES. TREES SHALL BE ON SEPARATE ZONE VALVES FROM THE SHRUBS AND PERENNIALS. THERE ARE THREE TREE ZONE VALVES.
 8. ELECTRIC CONTROLLER TO BE INSTALLED ON INTERIOR WALL IN THE SHED. VERIFY WITH OWNER EXACT LOCATION. COORDINATE WITH ELECTRICIAN EARLY IN PROJECT TO ASSURE CONTROLLER SLEEVES ARE INSTALLED PROPERLY. SEE DETAIL "J&K" SHEET L522.
 9. CONTROL CABLE TO THE HYDROMETER TO BE CAGE ELECTRICAL: EV-CAB-SEN #18 OR APPROVED EQUAL. ZONE VALVE WIRES TO BE #14 DIRECT BURIAL WIRE. SEE SPECIFICATIONS.
 10. DO NOT CUT OR SPLICE WIRES WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT. MAKE SMALL COIL OF WIRE AT ALL DIRECTION CHANGES. DO NOT PULL WIRE TIGHT IN TRENCHES, INSTALL SLIGHTLY LOOSE.
 11. INSTALL (3) GROUNDING RODS ADJACENT TO CONTROLLER AS PER MANUFACTURERS RECOMMENDATIONS.
 12. THIS SYSTEM IS DESIGNED TO BE PURGED OF WATER WITH COMPRESSED AIR IN THE FALL. DO NOT INSTALL AUTOMATIC DRAINS.
 13. INSTALL A STEEL LOCKING ENCLOSURE OVER THE BACKFLOW DEVICES. SEE DETAIL "C" SHEET L521.
 14. BACKFILL TRENCHES WITH ONLY NON-ROCKY NON-LUMPY SOILS OR SAND. COVER PIPES WITH 6" OF THIS MATERIAL.
 15. CONTROL WIRES TO BE INSTALLED AS A CONTINUOUS RUN WITH NO SPLICES FROM CONTROLLER TO ZONE VALVES. LAY WIRES LOOSLY IN THE TRENCH AND TAPE TO THE PRESSURE LINE. LEAVE A SMALL LOOP FOR SLACK AT ALL DIRECTION CHANGES.

Key		
ZONE NO.	Z1 Z5	GPM OR DRIP
VALVE SIZE	1.0	D = Shrub Drip TD = Tree Drip

111
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09/19/2024

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Primrose 1 & Saratoga Springs UT North Stake

443 West Dandelion Drive, Saratoga Springs, Utah
40.45415, -111.93283

Date: 19 Sep 2024
BHD #: 2322
County Parcel: 69-006-001
Plan Series: Heritage 23.2
Owner #: 500-8477

#	Date	Description
1	15 Mar 2023	City Comments
2	15 Mar 2023	City Comments
3	15 Sep 2024	Bid Documents

Irrigation Plan

L201