

Landscaping and Lighting  
Plan shall be provided with  
each lots individual Site  
Plan.

# Jacob's Ranch Commercial

## Redwood Road & Ring Road

### Saratoga Springs, Utah, 84045

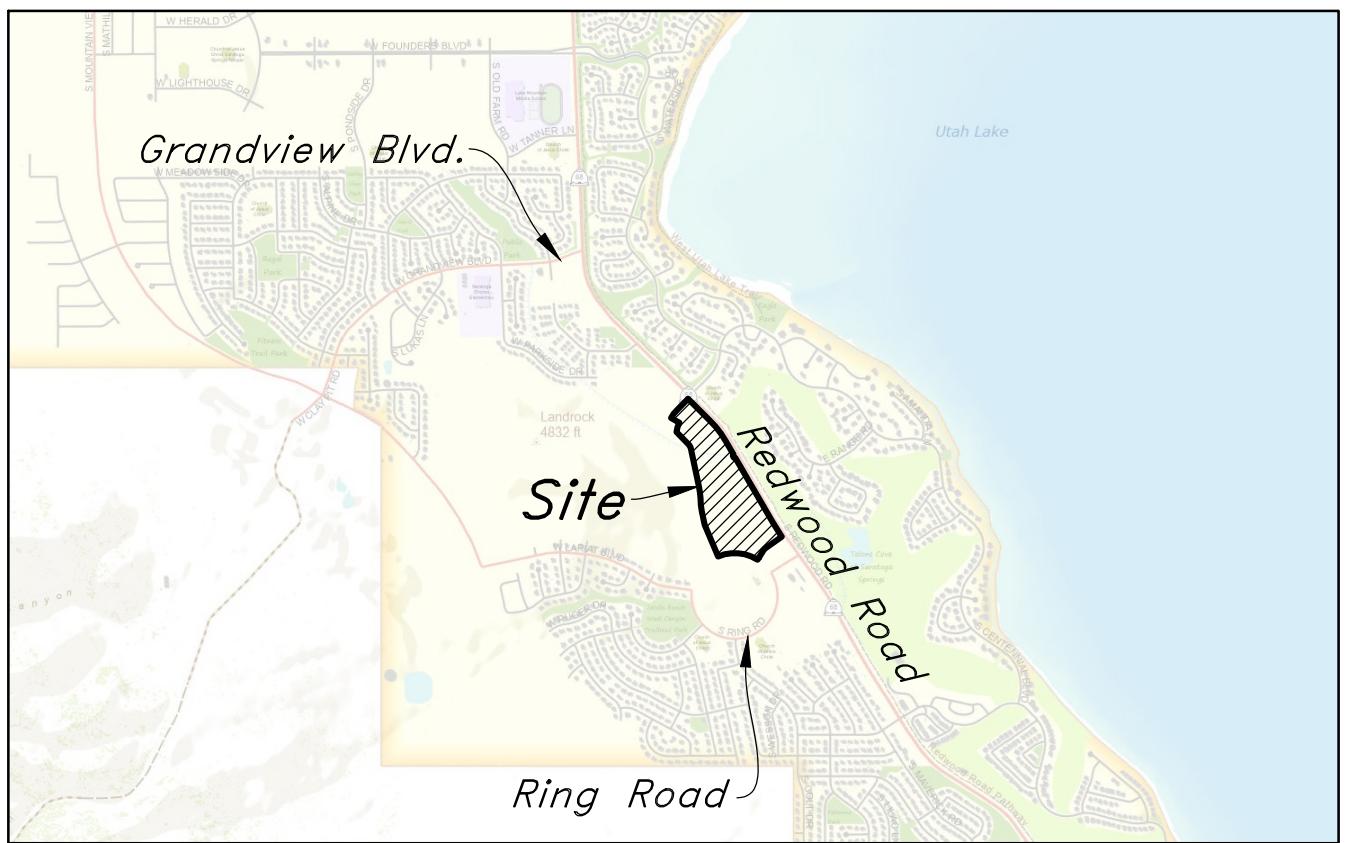
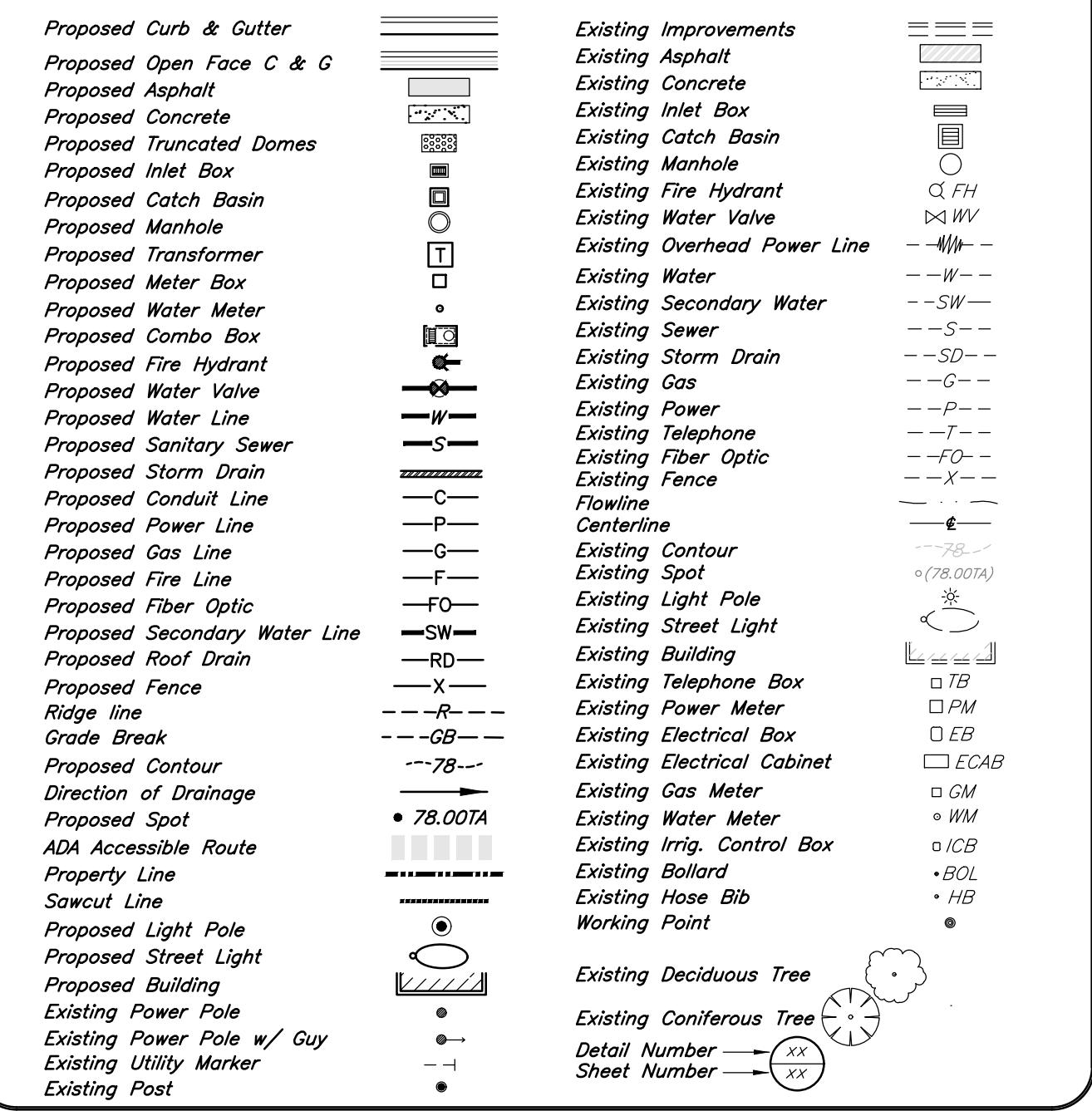
#### City Standard Notes

1. Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
2. Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
3. All construction shall comply to the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
4. Existing Utilities have been noted to the best of Engineers knowledge, however it is the owner's and contractor's responsibility to locate utilities in the field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
5. Post-acceptance alterations to lighting plans or intended substitutions for accepted lighting equipment shall be submitted to the City for review and acceptance.
6. The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and accepted lighting plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
7. All exterior lighting shall meet IESNA full-cut-off criteria.

#### Abbreviations

|      |   |
|------|---|
| BCR  | Begin Curb Return                       |
| BOL  | Bollard                                 |
| BRW  | Finish Grade - Bottom of Retaining Wall |
| CATV | Cable Television Box                    |
| CB   | Catch Basin                             |
| CMP  | Corrugated Metal Pipe                   |
| COB  | Cleanout Box                            |
| COTG | Cleanout to Grade                       |
| EA   | Edge of Asphalt                         |
| EB   | Electrical Box                          |
| EC   | End of Curve                            |
| ECR  | End Curb Return                         |
| FF   | Finished Floor                          |
| 9    | Ground                                  |
| GB   | Grade Break                             |
| GM   | Gas Meter                               |
| HB   | Hose Bib                                |
| HP   | High Point                              |
| I    | Irrigation Line                         |
| ICB  | Irrigation Control Box                  |
| Lip  | Lip of Gutter                           |
| LP   | Light Pole                              |
| MH   | Manhole                                 |
| Mon  | Monument                                |
| PC   | Point of Curvature                      |
| PCC  | Point of Compound Curvature             |
| PI   | Point of Intersection                   |
| PM   | Power Meter                             |
| PP   | Power Pole                              |
| PT   | Point of Tangency                       |
| PVC  | Polyvinyl Chloride                      |
| PVI  | Point of Vertical Intersection          |
| RCP  | Reinforced Concrete Pipe                |
| RD   | Roof Drain                              |
| SB   | Signal Box                              |
| SD   | Storm Drain                             |
| SDMH | Storm Drain Manhole                     |
| SMH  | Sewer Manhole                           |
| SP   | Signal Pole                             |
| SS   | Sanitary Sewer                          |
| SVZ  | Sight Visibility Zone                   |
| SW   | Secondary Water                         |
| TA   | Top of Asphalt                          |
| TB   | Telephone Box                           |
| TBC  | Top Back of Curb                        |
| TG   | Top of Grate                            |
| TMH  | Telephone Manhole                       |
| TP   | Top of Concrete                         |
| TRW  | Finish Grade - Top of Retaining Wall    |
| TW   | Top of Walk                             |
| VC   | Vertical Curve                          |
| VPC  | Vertical Point of Curve                 |
| VPT  | Vertical Point of Tangency              |
| WL   | Waterline                               |
| WP   | Working Point                           |
| WV   | Water Valve                             |

#### Legend



Vicinity Map  
Not to Scale

## Civil Sheet Index

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#### UDOT General Notes

1. All construction within the UDOT right-of-way shall conform to the most current UDOT standard (including supplemental) drawings and specifications.
2. The contractor is to obtain an encroachment permit from the applicable UDOT Region Permit office prior to commencing work within UDOT right-of-way. Working hours and days of work are limited by the terms of the encroachment permit.
3. UDOT reserves the right, at its option, to install a raised median island or restrict the access to a right-in or right-out at any time.
4. Owner, developer, and contractor are responsible for any damages directly or indirectly within the UDOT right-of-way as a result of development activities.
5. Owner, developer, and/or contractor is required to hire an independent company for utility relocation within the UDOT right-of-way.
6. All signs installed on the UDOT right-of-way must be high intensity grade (type XI sheeting) with a B3 slip base. install all signs per UDOT SN series Standard Drawings.
7. Comply with the requirements of Utah Code 17-23-14 (Disturbed Corners - County surveyor to be notified - Coordination with certain state agencies).

**AWA**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-5629 - AWEngineering.net

**Owner:**  
Corner Partners, LLC  
Address: 3307 West 200 South, Suite 3003 Salt Lake City, Utah 84101  
Phone: (801) 111-1234

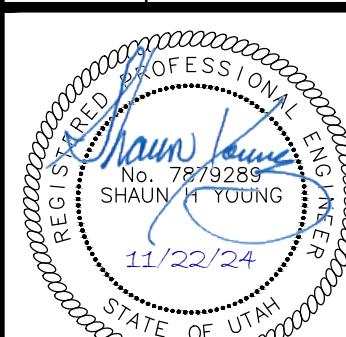
#### Overall Site Data Table

Total Area = 1,264,228 s.f. (29.02 ac.)  
Impervious Area = 816,873 s.f. (18.75 ac.) (64.61%)  
Landscape Area = 253,440 s.f. (5.82 ac.) (20.05%) Total Building Area = 193,915 s.f. (4.45 ac.) (15.34%) Total Parking Provided = 936 stalls (45 Accessible Stalls)

#### Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Utah County, Utah and Incorporated Areas Community Map No. 49049C0285F dated June 19, 2020. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual floodplain." (No Shading)

**Cover Sheet**  
**Jacob's Ranch Commercial**  
Redwood Road & Ring Road  
Saratoga Springs, Utah



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UTILITY LOCATION CENTER, INC.  
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18 Oct, 2024

SHEET NO.

**CO.0**

**Phase 1 Data Table**

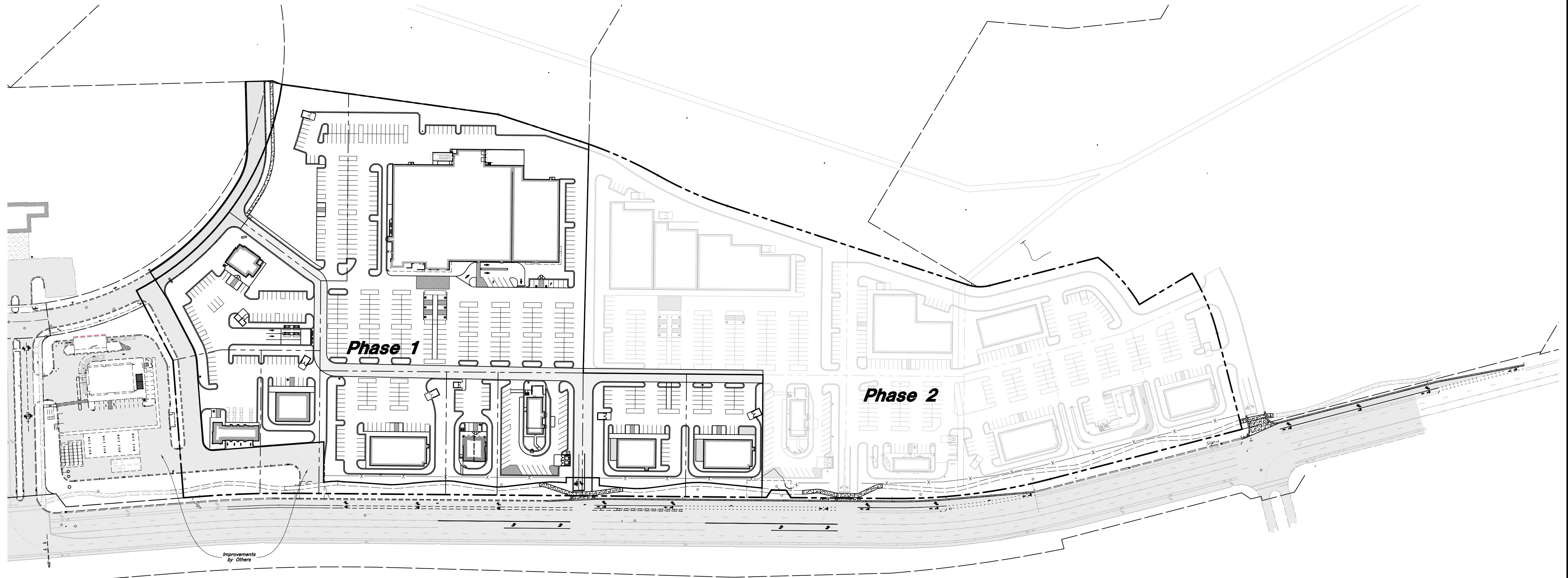
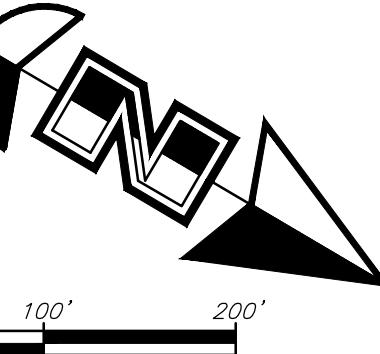
Phase 1 Area = 714,278 s.f. (16.40 ac.)  
Phase 1 Impervious Area = 475,958 s.f. (10.93 ac.)  
Phase 1 Landscape Area = 139,204 s.f. (3.20 ac.)  
Phase 1 Building Area = 99,116 s.f. (2.28 ac.)  
Phase 1 Parking Provided = 495 stalls

**Phase 2 Data Table**

Phase 2 Area = 549,950 s.f. (12.62 ac.)  
Phase 2 Impervious Area = 340,915 s.f. (7.82 ac.)  
Phase 2 Landscape Area = 114,236 s.f. (2.62 ac.)  
Phase 2 Building Area = 94,799 s.f. (2.17 ac.)  
Phase 2 Parking Provided = 441 stalls

**Overall Site Data Table**

Total Area = 1,264,228 s.f. (29.02 ac.)  
Impervious Area = 816,873 s.f. (18.75 ac.) (64.61%)  
Landscape Area = 253,440 s.f. (5.82 ac.) (20.05%) Total  
Building Area = 193,915 s.f. (4.45 ac.) (15.34%) Total  
Parking Provided = 936 stalls (45 Accessible Stalls)



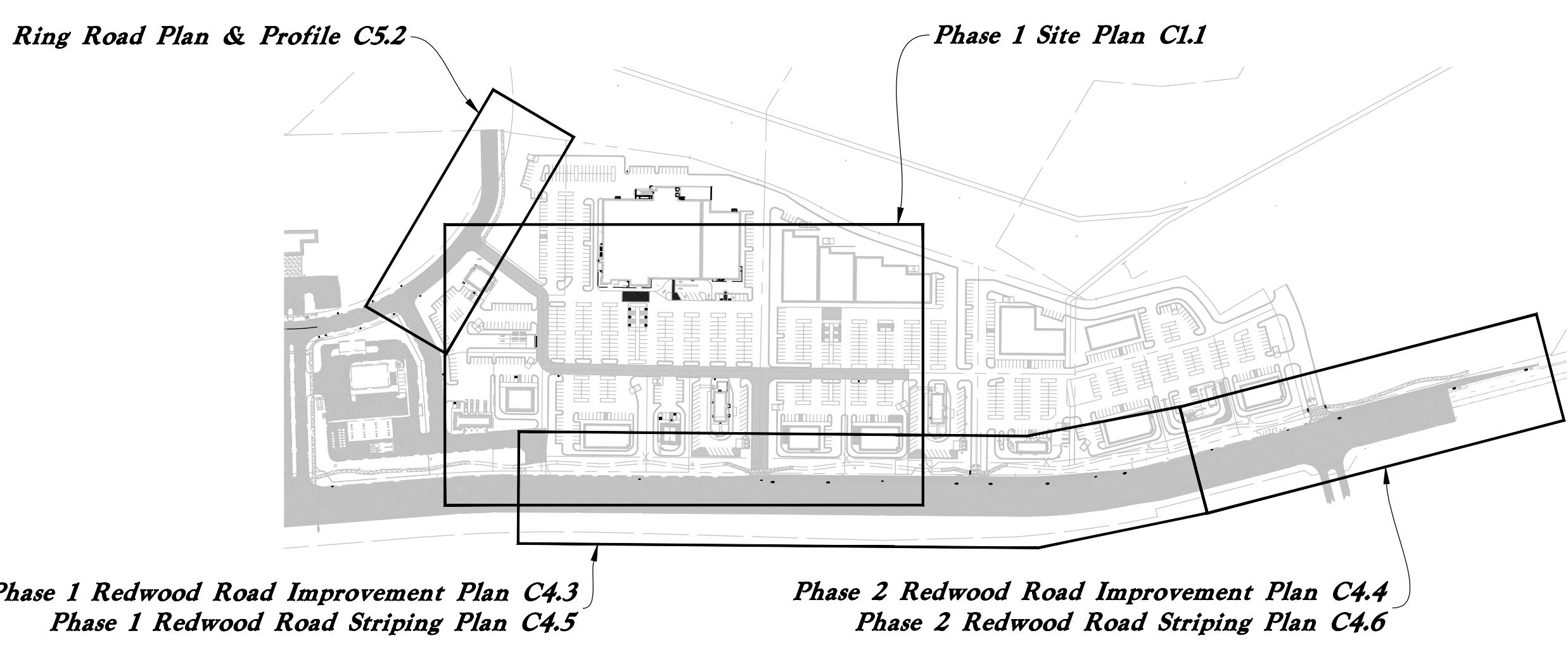
**AWA**

2010 North Redwood Road, Salt Lake City, Utah 84116

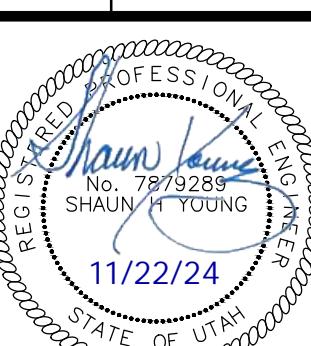
(801) 521-5529 - AWEngineering.net

**Phasing Plan**

**Jacob's Ranch Commercial**  
Redwood Road & Ring Road  
Stratoga Springs, Utah



**Sheet Key Map**



18 Oct, 2024

SHEET NO.

**C1.0**