

# **BEACON POINTE I VILLAGE 8**

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## **VILLAGE PLAN**



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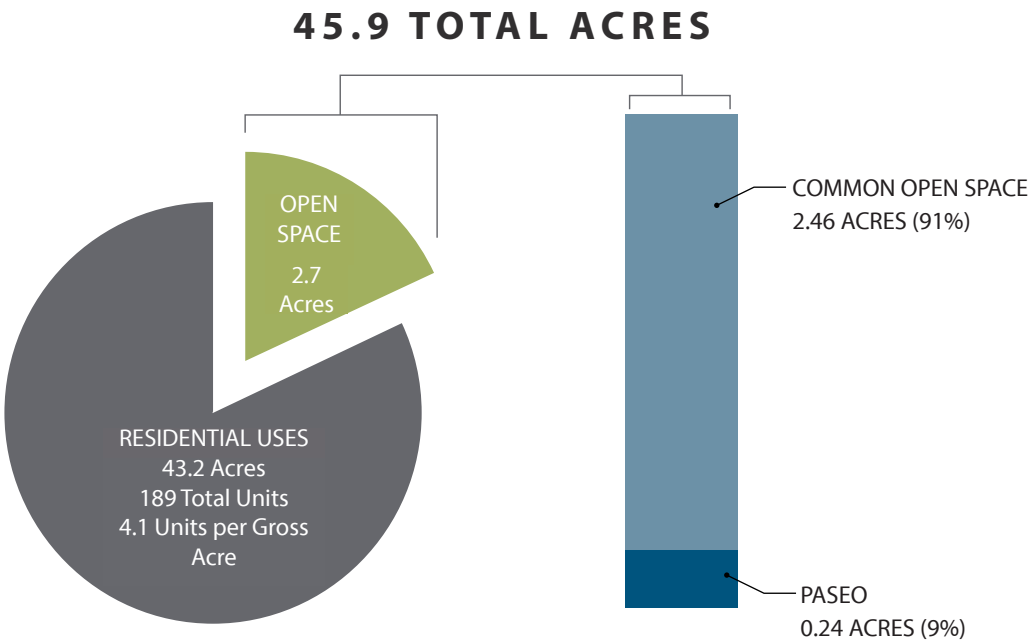
## PREFACE

The following Village Plan document addresses the Improvements as they pertain to the Beacon Pointe Community located in Saratoga Springs, Utah. The property and the proposed improvements for the development are discussed in detail and follow the requirements set forth within the Village Plan requirements of the City Code of Saratoga Springs. This document supersedes Title 19 land development code and ordinances for Village 8 - Porter Haven, where allowable by 2021 city code, however any issue not addressed in either the Beacon Pointe Community

Plan or Village Plan, will default to Title 19 standards. The purpose of the document is to inform the City (Staff, Planning Commission and City Council) and Public of the proposed general design elements, open space plans, guiding design principles and land uses for Village 8. In addition, utility capacities, based on conceptual plans, will outline the methods used to anticipate the demands and service requirements necessary to provide adequate utility service and infrastructure for both the residences within the development and the City.

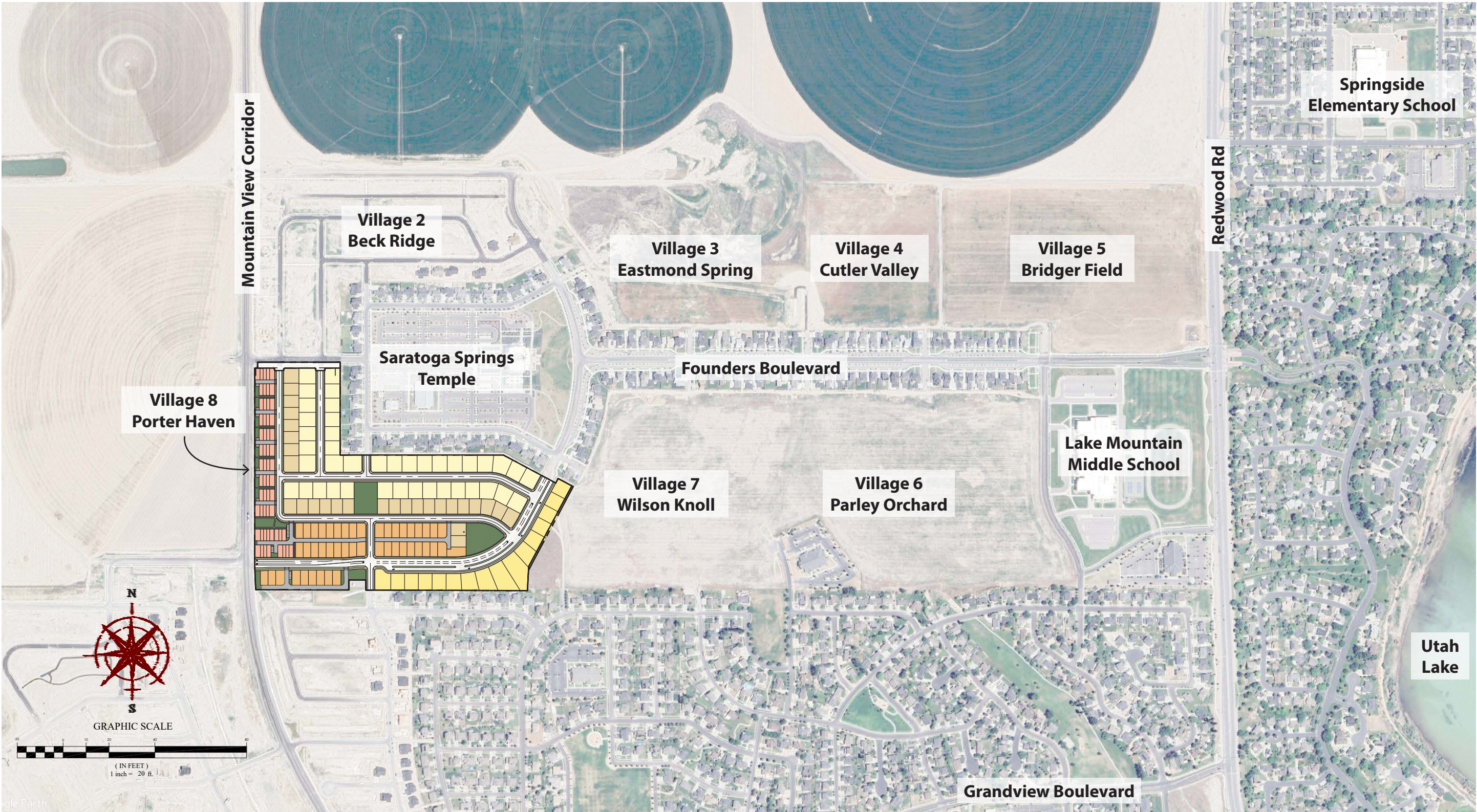
## EXECUTIVE SUMMARY

Village 8 - Porter Haven is an approximate 45.9 acre parcel located east of the future Mountain View Corridor extension and North of the existing Grandview and Saratoga Hills subdivisions of Saratoga Springs. The proposed Village Plan incorporates the following units and approximate acreages:





# Vicinity Context





# Legal Description

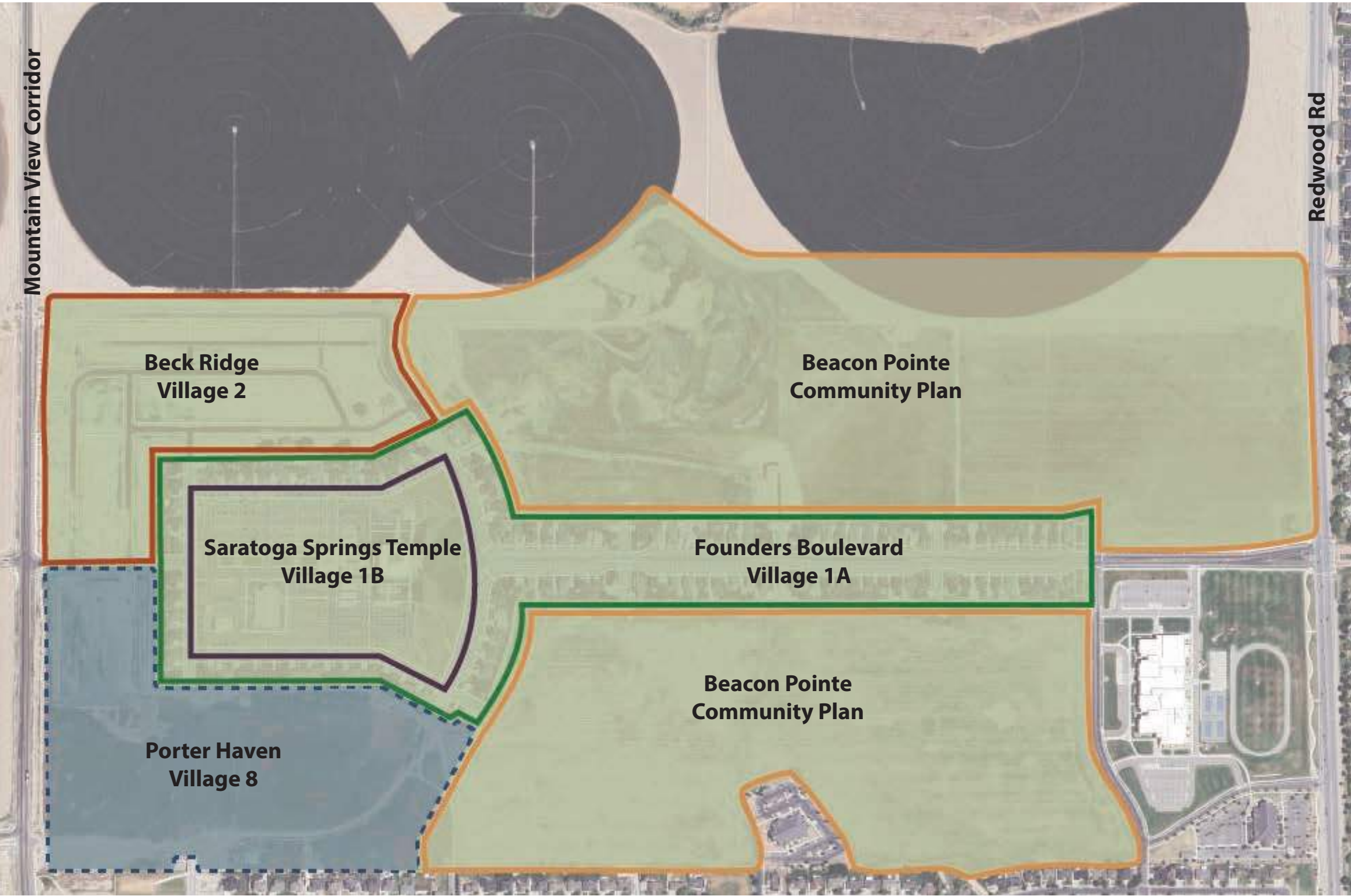
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LEGAL DESCRIPTION(S)  
(FROM TITLE REPORT)

A part of the North Half of Section 34, Township 5 South, Range 1 West, Salt Lake Base and Meridian, located in Saratoga Springs, Utah County, Utah, being more particularly described as follows:  
Beginning at a point located on the easterly right-of-way line of Mountain View Corridor said point being North 89°50'00" West 916.94 feet along the Section line and South 1213.26 feet from the North Quarter Corner of Section 34, Township 5 South, Range 1 W, Salt Lake Base and Meridian; running thence North 89°59'55" East 11.05 feet; thence North 44°59'59" East 10.56 feet; thence North 00°00'01" West 31.03 feet; thence North 89°59'55" East 539.54 feet to the westerly boundary line of Founders at Beacon Pointe Plat A according to the official plat thereof recorded March 03, 2020 as Entry No. 27310:2020 in the Utah County Recorder's Office; thence along said plat the following seven (7) courses: (1) South 00°00'05" East 38.50 feet; thence (2) South 00°00'18" West 568.68 feet; thence (3) East 1,067.49 feet; thence (4) South 61°50'59" East 388.24 feet; thence (5) North 28°09'01" East 29.06 feet; thence (6) Northeasterly along the arc of a non-tangent curve to the right having a radius of 421,901.98 feet (radius bears: South 65°01'20" East) a distance of 4.26 feet through a central angle of 00°00'02" Chord: North 24°58'41" East 4.26 feet; thence (7) South 61°50'59" East 112.39 feet; thence South 28°09'01" West 620.03 feet; thence South 02°59'33" West 134.24 feet to the northerly boundary line of The Benches Plat 10 according to the official plat thereof recorded May 12, 2006 as Entry No. 58788:2006 in the Utah County Recorder's Office; thence along said plat North 89°45'56" West 846.93 feet; thence North 89°50'07" West 210.01 feet to the easterly boundary line of the Questar Benches Minor Subdivision according to the official plat thereof recorded September 24, 2013 as Entry No. 90979:2013 in the Utah County Recorder's Office; thence along said plat the following three (3) courses: (1) North 00°23'17" West 65.00 feet; thence (2) North 89°50'07" West 110.00 feet; thence (3) South 00°23'17" East 65.00 feet to the northerly boundary line of Canton Ridge East Phase A according to the official plat thereof recorded January 25, 2023 as Entry No. 4626:2023 in the Utah County Recorder's Office; thence North 89°50'07" West 609.23 feet to the right-of-way line of Mountain View Corridor; thence along said right-of-way line the following two (2) courses: (1) Northerly along the arc of a non-tangent curve to the right having a radius of 3,000.00 feet (radius bears: North 86°09'42" East) a distance of 200.99 feet through a central angle of 03°50'19" Chord: North 01°55'09" West 200.95 feet; thence (2) North 1,249.14 feet to the point of beginning.



# Community & Village Plan Areas



The Saratoga Springs City Center District Area Plan grants the right to develop in accordance with Section 19.26.13 of the Saratoga Springs City Code. The Beacon Pointe Community Areas is contained within and is a part of the approved City Center District Area Plan.

This Village Plan 8 area is allowed to contain Master-planned Subdivision uses allowing up to 14 dwelling units/ acre.

Specific uses shall comply with the standards identified in the District and Community Plans. Where the District, Community or Village Plans are silent, the existing Saratoga Springs Municipal Codes shall govern.

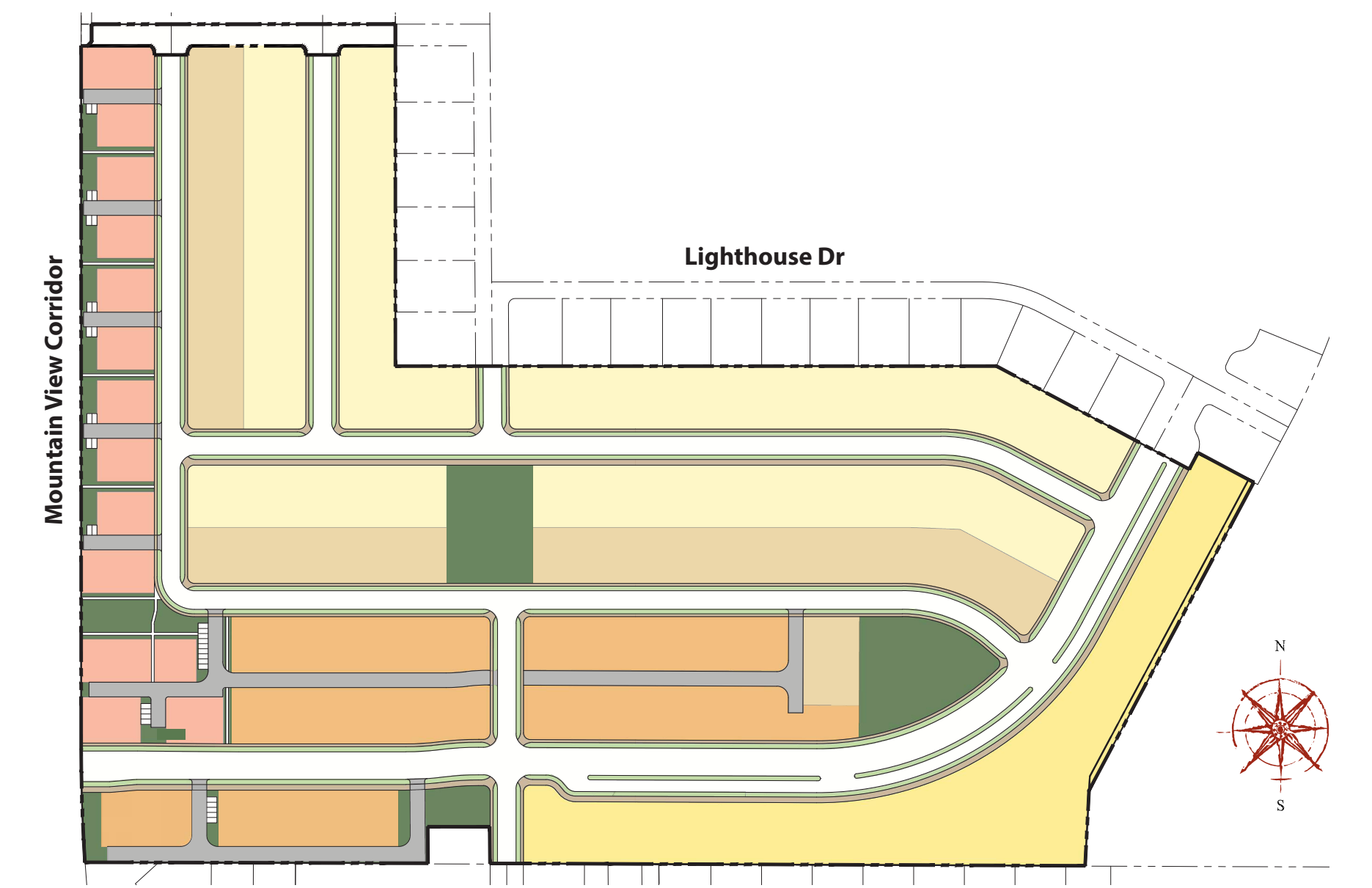
### District Plan Land-Use Designation

MASTER-PLANNED SUBDIVISION	
Range of Average dwelling units/acre	4-14 du/ac
Range of Average FAR	0.35-0.5

### Legend

- Beacon Pointe Community Plan
- Beck Ridge Village 2
- Founders Boulevard Village 1A
- Saratoga Springs Temple Village 1B

# Use Map & Buildout Allocation



The Land Use Map depicts the proposed land uses for Village 8 - Porter Haven. The District Area Plan (DAP) provides specific “Place Types” that have been offered as guidelines for future development. The proposed land uses for Village 8 fall within the Master-Planned Community category with a gross dwelling density of 4.1 units per acre.







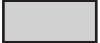
The land use tabulations are broken down into the following categories:

**MIXED RESIDENTIAL**  
This Village is characterized by both traditional single-family detached and single-family attached housing products. Traditional single family lots comprise the bulk of the residential area, with some limited areas of singl-family townhomes along Mountain View Corridor.

**OPEN SPACE**  
The overall Village 8 site contains 2.7 acres (5.88%) of open space, divided into three main areas spread throughout the development.

**LAND USE INTENSITIES**  
4.11 persons per residential ERU has been used for estimating projected populations.

NOTE: Pursuant to the Community Plan, Unit Count may fluctuate up to 15% with approval of the Planning Director and lot dimensions may vary up to minimum established for Village 8, shifting village boundaries accordingly.

Land Use Summary		
Total Site Area		45.9 ac
 Single-Family Residential		10.2 ac
 Single-Family Residential		4.8 ac
 Single-Family Residential		5.1 ac
 Single-Family Residential Alley-Loaded		5.4 ac
 Townhomes		2.6 ac
 Open Space		2.7 ac
 Roads/Alleys		14.1 ac

**Proposed Project**

**Overall Village Area:** 45.9 ac  
**Units per Gross Area:** 4.1 du/ac

**Mixed Residential Area:** 28.7 ac (63%) | 189 ERUs Total | 189 Units  
**Open Space Area:** 2.7 ac (5.9%)

**Projected Population:** 777 persons

**Community Plan Comparison**

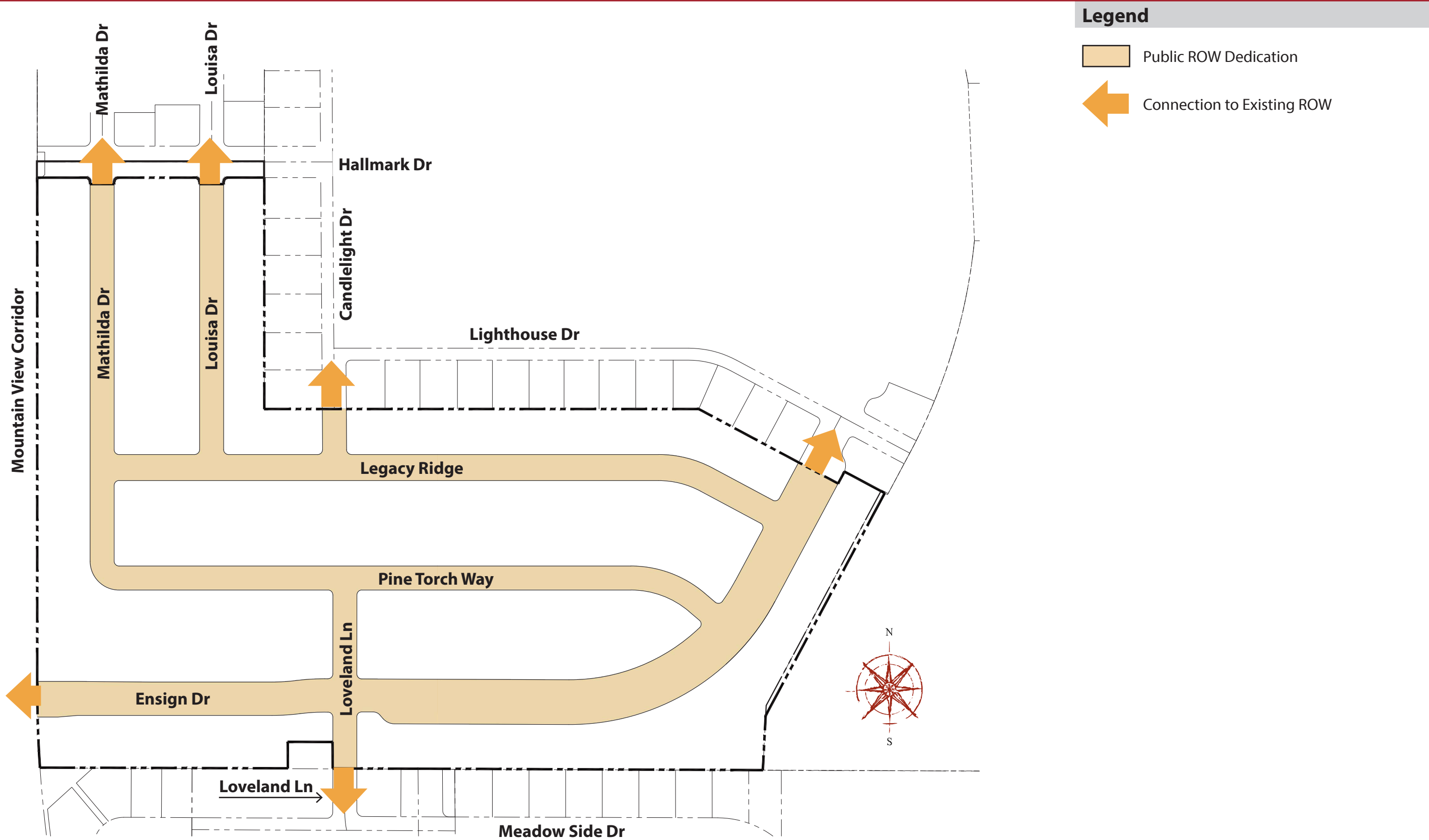
**Overall Village Area:** 46.0 ac  
**Units per Gross Area:** 4.5 du/ac

**Mixed Residential Area:** 28.1 ac (62%) | 207 ERUs Total | 207 Units  
**Open Space Area:** 2.4 ac (5.28%)

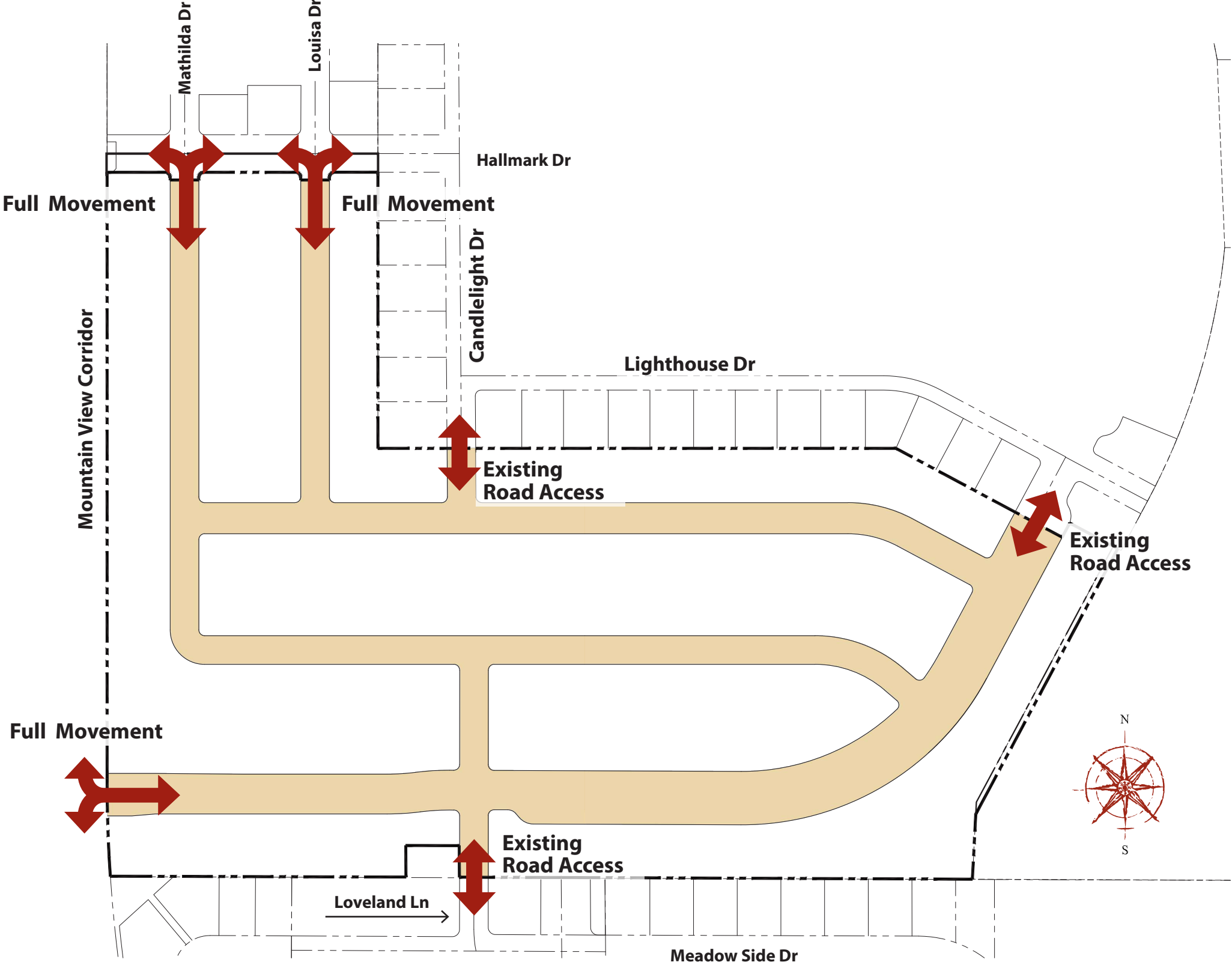
**Projected Population:** 850 persons



# Road Dedication Plan



# Road Access Plan











# Detailed Concept Plan



## Site Summary

Total Site Area	45.9 AC
Total Units	189
Density	4.1 du/ac

## Land Use Summary

	Single-Family Lots (90-100')	10.2 AC
	Single-Family Lots (80-90')	4.8 AC
	Single-Family Lots (75-80')	5.1 AC
	Single-Family Lots (50' rear)	5.4 AC
	Townhomes	2.6 AC
	Common Open Space	2.7 AC

# Development Standards

## TRADITIONAL SINGLE-FAMILY DETACHED

### LOT REGULATIONS

**Lot Size:** The following standards for lots shall be provided and maintained for each dwelling and uses accessory thereto:

**Lot Area:**  
85-95’ wide lots: 8,000 Sq Ft  
75’ wide lots: 6,000 Sq Ft

**Lot Width:**  
Minimum 40’ at the designated front setback.  
The minimum frontage along a public right-of-way shall be 30 feet.

**Lot Coverage:**  
The maximum lot coverage shall be seventy-five percent.

**Building Height:**  
40 feet max. All single-family buildings shall be no higher than 40 feet as measured per Saratoga Springs Land Development Code.

**Minimum Square Feet:**  
85-95’ wide lots: 1,900 Sq Ft of living space above grade.  
75’ wide lots: 1,500 Sq Ft of living space above grade.

**Parking Requirements:**  
Minimum enclosed parking spaces: 2 spaces per lot

**Driveways:**  
Maximum width of driveway at right-of-way is 20 feet. Driveways may widen closer to the garage entrance.

All traditional single-family detached housing shall incorporate a minimum 25 foot long driveway when the garage is facing a public right-of-way.

### SETBACKS

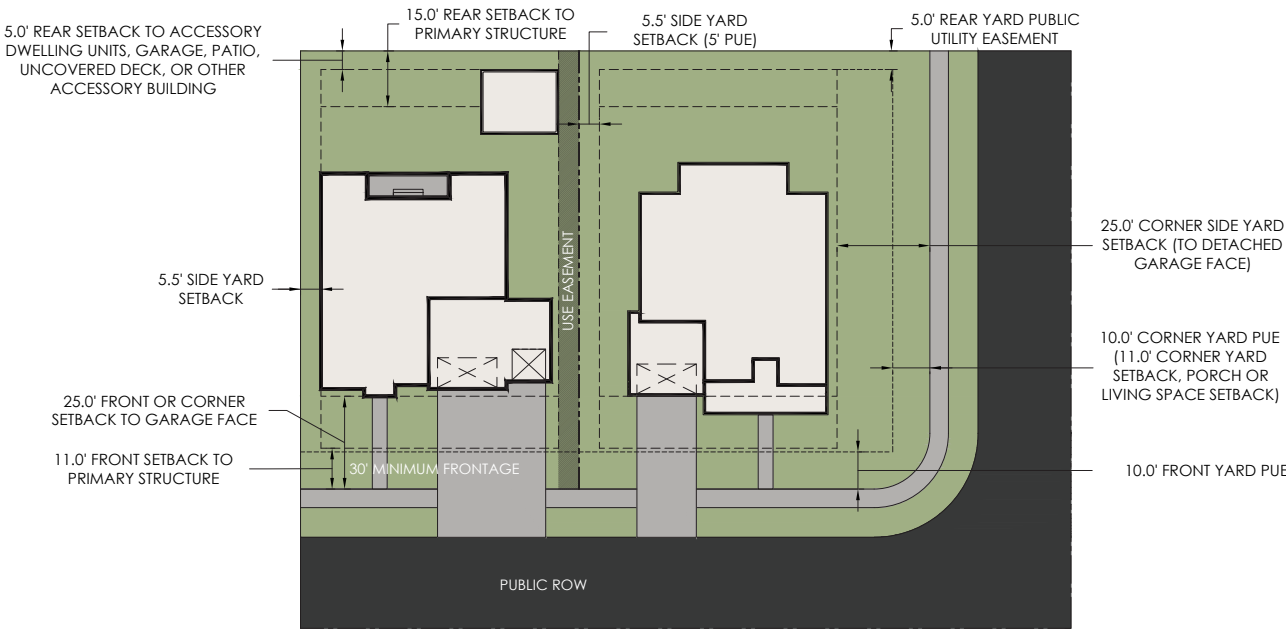
**Front Yard:** 25 feet.  
Setback shall be as measured from a public right-of-way to the garage face, or 11’ feet measured to the foundation of living space, a covered porch, patio or garage side if present.

**Side Yard:** 5.5 feet.  
For all dwelling structures, other main buildings and accessory buildings requiring a building permit shall be set back from each side property line a distance of at least 5.5 feet. Setbacks shall be measured to the foundation, notwithstanding bay windows, pop-outs and other structures (excluding eaves) shall not encroach upon the 5.5 foot setback or public utility easement.

**Rear Yard:** 15 feet.  
All primary dwelling structures shall be set back from the rear property line a minimum of 15 feet as measured to the foundation.

**Rear Yard detached accessory structures:** 5 feet.  
Accessory dwelling units, uncovered decks, patios, detached garages and other accessory buildings shall be set back from the rear property line a minimum of 5 feet as measured to the foundation.

**Corner Lots:**  
On corner lots, the side yard setback on the street side of the lot shall be 25 feet as measured from a public right-of-way to the detached garage face and 11 feet measured to foundation of the primary dwelling structure, a covered porch, patio or garage side if present.



### ACCESSORY BUILDINGS & DWELLING UNITS

Any Accessory Buildings including Detached Accessory Dwelling Units (ADU) shall complement the architecture and style of the main residence, with the intent that it appear part of the original build. ADUs shall be governed by state law and Saratoga Springs Title 19 regulations.

#### Development Standard Definitions

**Primary Dwelling Structure:**  
Areas of the primary structure that are used for living, sleeping and cooking. Excludes attached covered patios/decks, and other detached accessory buildings. Attached garages will adhere to primary structure setbacks unless a separate setback is specified.

**Accessory Dwelling Unit:**  
A subordinate dwelling, which has its own kitchen, living/sleeping area, and sanitation facilities.

**Accessory Building:**  
A detached structure or building which is subordinate to, and the use of which is subordinate to, and whose use is customarily incidental to, that of the primary dwelling structure, or use on the same lot. These include but are not limited to detached garages, greenhouses, pool houses, sunrooms, workshops, storage sheds and other similar structures.



# Development Standards

## SINGLE-FAMILY DETACHED ALLEY-LOAD

### LOT REGULATIONS

**Lot Size:** The following standards for lots shall be provided and maintained for each dwelling and uses accessory thereto:

**Lot Area:**  
50’ wide lots: Minimum 4,000 Sq Ft

**Lot Width:**  
Minimum 40’ at the designated front setback.  
The minimum frontage along a public right-of-way shall be 30 feet.

**Lot Coverage:**  
The maximum lot coverage shall be seventy-five percent.

**Building Height:**  
40 feet max. All single-family buildings shall be no higher than 40 feet as measured per Saratoga Springs Land Development Code.

**Minimum Square Feet:**  
50’ wide lots: 1,200 Sq Ft of living space above grade.

**Parking Requirements:**  
Minimum enclosed parking spaces: 2 spaces per lot

**Driveways:**  
Maximum width of driveway at right-of-way is 20 feet.  
Driveways may widen closer to the garage entrance.

**Lighting:**  
All rear yard structures facing onto the private alley shall have either directed under eave light or shielded exterior lighting fixtures to allow for safe egress/ingress and are encouraged to use sensors and timers as appropriate. Dark Sky approval or low BUG (Backlight, Uplight, Glare) ratings can be helpful in choosing appropriate fixtures.

### SETBACKS

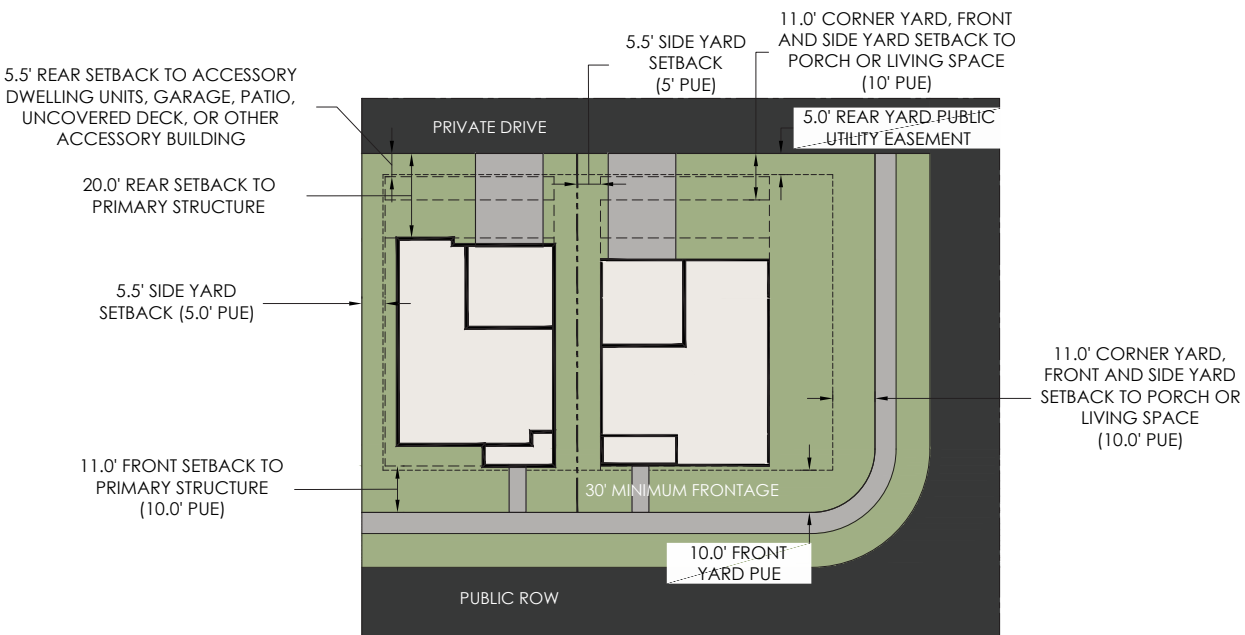
**Front Yard:** 11 feet.  
Setback measured to the foundation of living space, a covered porch, or patio.

**Side Yard:** 5.5 feet.  
For all dwelling structures, other main buildings and accessory buildings requiring a building permit shall be set back from each side property line a distance of at least 5.5 feet. Setbacks shall be measured to the foundation, notwithstanding bay windows, pop-outs and other structures (excluding eaves) shall not encroach upon the 5.5 foot setback or 5.0 foot public utility easement.

**Rear Yard:** 20 feet/5.5 feet.  
All primary dwelling structures shall be set back from the rear property line a minimum of 20 feet as measured to the foundation. Alley-loaded garages shall be set back a minimum of 5.5 feet from the alley.

**Rear Yard detached accessory structures:** 5.5 feet.  
Accessory dwelling units, uncovered decks, patios, detached garages and other accessory buildings shall be set back from the rear property line a minimum of 5.5 feet as measured to the foundation.

**Corner Lots:**  
On corner lots, the side yard setback on the street side of the lot shall be 11 feet measured to foundation of the primary dwelling structure, a covered porch, patio or garage side if present.



# Development Standards

## SINGLE FAMILY ATTACHED (NON-TRADITIONAL) TOWNHOMES

### LOT REGULATIONS

The following standards for lots shall be provided and maintained for single family attached residential dwelling areas:

**Lot Coverage:**

The maximum lot coverage shall be seventy-five percent.

**Building Height:**

45 feet. All single family attached residential buildings shall be no higher than 45 feet as measured per Saratoga Springs Land Development Code.

**Minimum Square Feet:**

The minimum finished square footage shall be 1,300 square feet of living space above grade.

**Parking Requirements:**

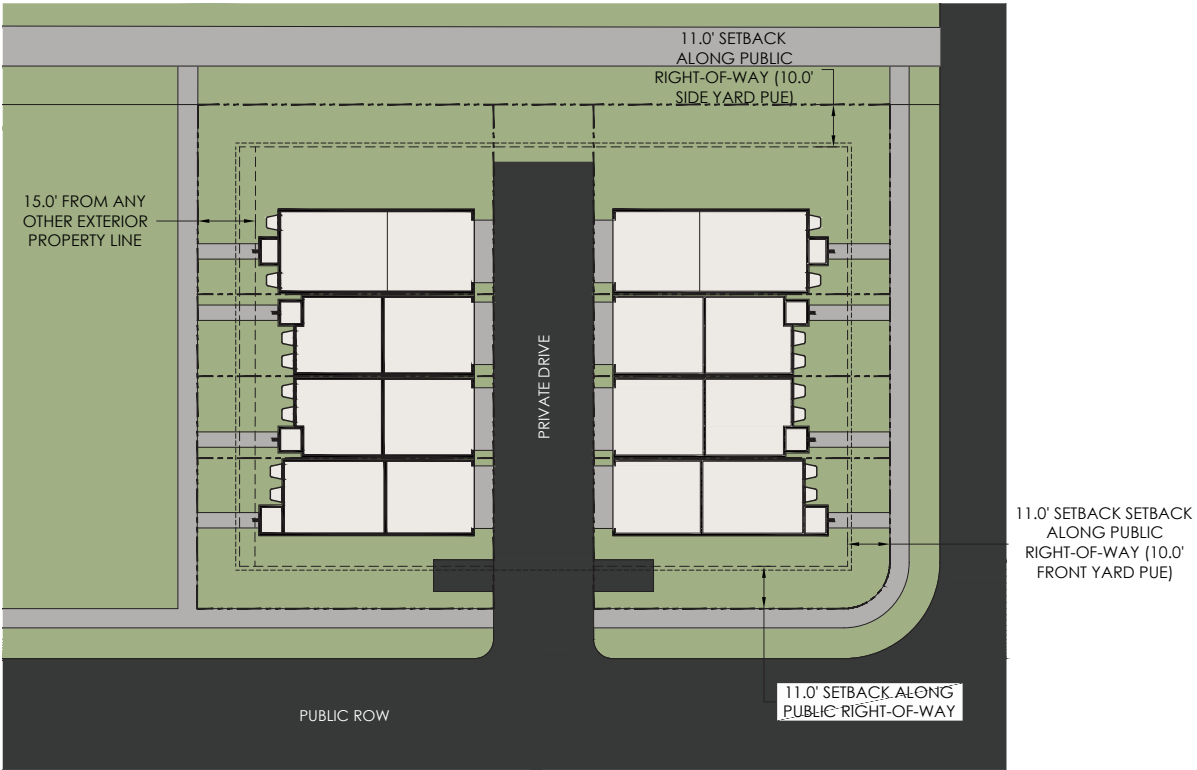
Minimum parking spaces: 2 spaces per unit. Tandem parking of a garage stall and associated driveway stall shall be allowed and count as two stalls. Public street parking does not qualify to meet requirements, but will be provided.

**Access:**

Single-family attached units will be accessed by 26’ private drives, with dead-ends not exceeding 150’ in length.

### SETBACKS

All single family attached residential buildings shall have a minimum setback of 11 feet from property line to foundation along any public right-of-way and 15 feet from any other exterior property line. Interior lot and rear lines shall not be subject to minimum setbacks. Setbacks shall be measured to the foundation, notwithstanding bay windows, pop-outs and other structures (excluding eaves) shall not encroach upon the 5 foot setback for public utility easement.





# Development Standards

## SINGLE-FAMILY DETACHED - BUILDING TYPES

### ARCHITECTURAL STANDARDS

Architectural styles that include extreme colors, problematic materials, or styling as defined by the Architectural Review Committee will not be allowed within the Village. However, reasonable variations in the architectural styles and construction materials are allowed and will be necessary to give flexibility for future trends in the market place. All variations in style and material require formal approval from the Village Architectural Review Committee.

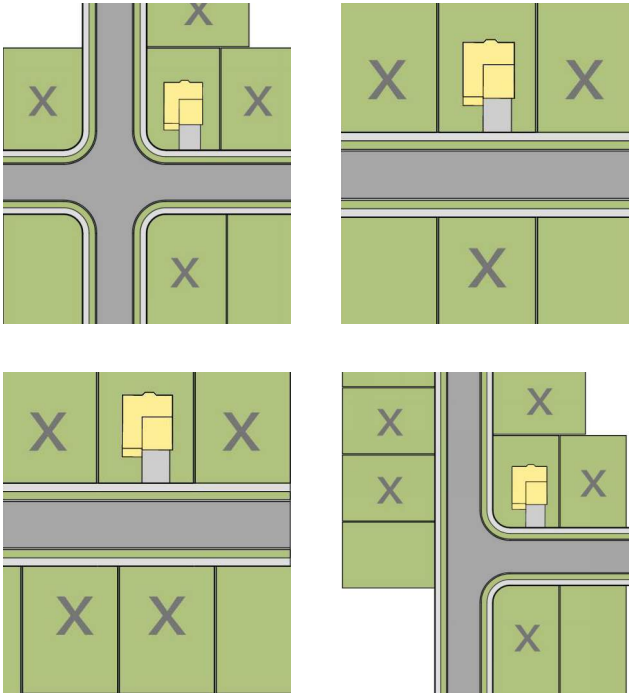
#### Floor Plan & Exterior Color Scheme Mixing:

In an effort to promote variety within the neighborhood the following village-wide restriction will be enforced:

- No single-family homes may be built on lots next door to or directly across the street from previously selected single family homes with the same floor plan.
- Identical floor plan and elevation combinations must be separated by at least 3 lots
- No main body exterior color can be built next door or directly across the street from a previously selected main body exterior color.

#### Spatial Hierarchy:

Create a progression of spaces, transitioning from the public to private realm. At the sidewalk begin to define the semi-public front yard with a change in materials or planting and continue to articulate the semi-private porch or entry court with seating, planters and other furniture.



Floor Plan & Exterior Color Scheme Mixing Exhibit

#### Architectural Styles:

Listed in the section are examples of architectural styles that will be acceptable for Village 8 Builders. Architectural Styles should be inspired by local and regional architecture to contribute to a sense of place. Avoid combining structural and decorative characteristics from different architectural style into a single building. Allowable styles as set forth in this plan are as described by the Utah Department of Heritage and Arts. Further detail and reference at <https://heritage.utah.gov/history/building-styles> and in the document 'Architectural Styles in Utah' in Appendix G of the Community Plan.

#### A. Classical Building Styles

- Georgian
- Federal

#### B. Picturesque Building Styles

- Greek Revival
- Gothic Revival
- Italianate

#### C. Victorian Building Styles

- Stick Style
- Shingle Style
- Romanesque

#### D. Early Twentieth-Century Building Styles

- Bungalow
- Arts and Crafts
- Prairie School

#### E. Period Revival Building Styles

- Colonial Revival
- Jacobethan Revival 1900-1935

# Development Standards

## SINGLE-FAMILY ATTACHED - TOWNHOMES

### TOWNHOME STANDARDS

The following standards apply to all new townhome residential development:

#### Architectural Material Transitions

- a. Material transitions must occur at full-height internal corners.
- b. Stone or brick on the front elevation shall extend the full width of any street-side yard or façade abutting common open space.
- c. On corner units, stone, brick, or siding on the shall wrap the front, side, and at least 2 feet around the rear elevation.
- d. Corner units are at the intersection of two streets or the intersection of a street and common open space

#### Materials and Colors

- a. A minimum of two materials and two colors shall be utilized on front or street side elevations, building façades abutting common open space, or building facades abutting an arterial or collector road. The roof shall not be considered a material or color. Trim, including soffit/fascia, corner boards, trim around openings, and horizontal bands, may be considered a separate material.
- b. Soffits/Fascia and trim shall match or be a complementary color.
- c. No more than 75 percent of any building elevation shall consist of any one material or color. The roof shall not be considered a material or color. Bay windows and porches may count as a separate material/color.
- d. Carports and similar structures shall be compatible in architectural design and details with the main residential structure by using at least two of the same materials and colors.
- e. For townhome buildings composed of three or more units, all building facades abutting an arterial or collector road or abutting common open space shall include either: a porch or stoop that projects a minimum of 7 feet, or a bay window, or other building plane change that projects a minimum of 2 feet.

#### Color Variation

- a. Townhome developments containing more than five units shall be designed with at least two color palettes.

#### Townhome Composition

- a. Townhome buildings should have no more than three units in the same plane along the front elevation.
- b. Plane transitions between units must be at least one foot.
- c. Buildings composed of 4 or more units shall include at least one front-facing gable along the street or common open space.

### EXISTING STANDARDS

Any standards not articulated here will default to the requirements outlined in Title 19.



# Development Standards

## BUILDING TYPES

### PICTURESQUE BUILDING STYLES



Greek Revival



Greek Revival



Italianate

### CLASSIC BUILDING STYLES



Georgian Style



Federal Style

### VICTORIAN BUILDING STYLES



Stick Style



Shingle Style



Romanesque

### PERIOD REVIVAL BUILDING STYLES



Colonial Revival Style



Jacobethan Style

### EARLY TWENTIETH-CENTURY BUILDING STYLES



Bungalow Style



Arts and Crafts Style



Prairie Style



# Development Standards

BUILDING TYPES

BUILDING MATERIALS

Material choices shall reflect and reinforce the architectural style of the residence.

- Use building materials that convey a sense of durability and permanence.
- Use the highest quality and most durable materials at the base of buildings, because those can be most impacted by landscaping, people, and automobiles.
- Use a complementary palette of material on all four sides of buildings. Use building materials of similar durability and quality through the project.
- Use exterior siding materials such as wood siding, masonry, tile, wood shingles, metal panels, stucco and glass panels.
- Locate material changes at interior corners and not at external corners.

**Building Colors:**

Select a coordinated palette of complimentary colors, rather than a patchwork of competing colors.

- Select a set of colors that is compatible with the architectural style of the property.

**Architectural Articulation:**

Design doorways, columns, overhangs, and other architectural elements to be substantial in depth, in order to create shadow and architectural relief. Architecture shall have elevated articulation on any publicly visible face. Rear facades shall not be flat or featureless. Incorporate the following features, consistent in design style, that provide articulation and design interest consistently throughout the property:

- Decorative trim elements that add detail and articulation, such as door surrounds with at least a two-inch depth, decorative eave detailing or belt courses appropriate for the architectural style.
- Incorporate projections and recesses throughout the facade design to add architectural interest and visual play of light and shadow. Examples include: bay windows, chimneys, front porches, balconies, overhangs, brackets, and cornices.
- Incorporate building projections that enhance the design and articulation of the building. These may project into required front, side, and rear yards up to the limits allowed in the development standards.

**Roof Forms:**

Incorporate variable roof forms into the building designs, to the extent necessary to avoid a boxy appearance of residential buildings. This may be accomplished by changes in roof height, offset change in direction of roof slope, dormers, parapets, etc.

- All roof penetrations and vents shall be located so they are not visible on the front elevation from the public street.

**Doors, Porches & Entrances:**

Emphasize building entrances with special architectural and landscape treatments. Generous, functional porches or entry courts are strongly encouraged. Design building entrances so that they are not over-scaled relative to the size of the buildings, such that they exaggerate the scale of the structure. Front entry doors are encouraged to have elevated styling and detail. Emphasis through color, material, upgraded hardware, transoms and sidelights, etc. is expected.

**Windows:**

Design windows patterns and proportions to enhance all facades of the building and add architectural interest. Differentiate window designs (size, proportion) to reflect the different components of the residential units, (for example entrances, living areas, stairways, and bedrooms) while ensuring harmony within that variety. Design windows recesses, windows trim and other window elements to be substantial in depth to create shadows and add architectural interest. Incorporate at least one of the following window features throughout the project:

- A minimum depth of at least two inches from glass to exterior of trim.
- Decorative trim elements that add detail and articulation, such as window surrounds with at least a two inch depth. They must be designed as an integral part of the design, and not appear “tacked-on”. Shutters must have hardware that implies full functionality, even if they are merely decorative.

# Development Standards

## BUILDING TYPES

### FENCING

**Fencing:**

Fences and walls help define public and private open space boundaries, but can distract from the character of a community without regulation. Homeowners have the option of using the standard village-wide fence or submitting plans for a custom fence to the Architectural Review Committee for approval. Custom fences shall correspond to the style of the Architecture and will be approved at the discretion of the Architectural Review Committee.

**Residential Perimeter Fencing:**

- Front Yard Height: maximum of 3 feet
- Back/Side Yard Height: maximum of 6 feet for privacy fencing between lots
- A privacy fence shall be reduced to a height of 3 feet, and shall not be placed within 10’ of the driveway for visibility.
- The Standard fence style throughout Village 8 is a wooden fence strained with Cabot Bleaching Stain in Natural Driftwood Gray.
- Acceptable materials for custom fencing- wood , metal, brick, stone, architectural concrete, etc. Vinyl, composite, and precast concrete products will be allowed on a case-by-case basis as approved by the Architectural Review Committee.

### OTHER STANDARDS

**Accessory Buildings:**

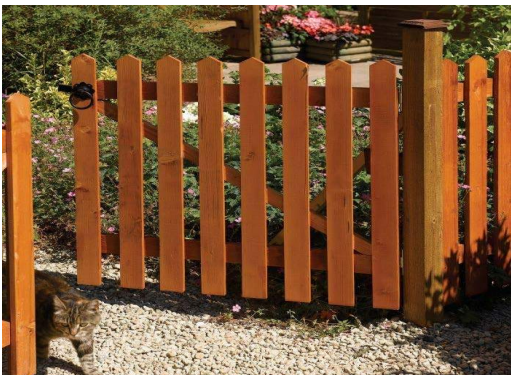
Design accessory buildings such that the exterior appearance of the building demonstrates design integrity in the following ways:

- Use complementary materials for exterior facades.
- Use window types that are similar in size, shape and proportion of the windows on the original building.
- Use consistent roof materials and roof forms.

**Privacy:**

Use design strategies to protect privacy, such as offsetting windows of adjacent units, locating minor windows above eye level, and using opaque glass for minor windows.

**Custom Fence Examples**



Wooden Fence - 3’ Max



Contemporary - Semi Private Fence



Wood & Metal Perimeter Fence - 3’ Max



Modern Slat Privacy Fence - Closed Picket



Gabion & Wooden Fence - Closed Picket



Contemporary Mesh Fence - 3’ Max

**Mailbox Structures:**

Village 8 multi-family areas will utilize the 16 Door Vogue Classic Cluster Mailbox of approved equivalent, located in or near the park strip for convenience. ADA accessible paths will allow access to the retrieval side. Mailbox locations will be identified on all final plats.

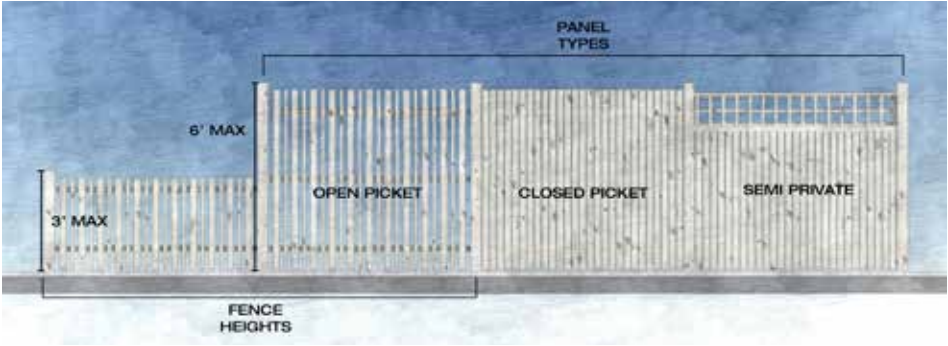
**Mailbox**





# Fencing Plan

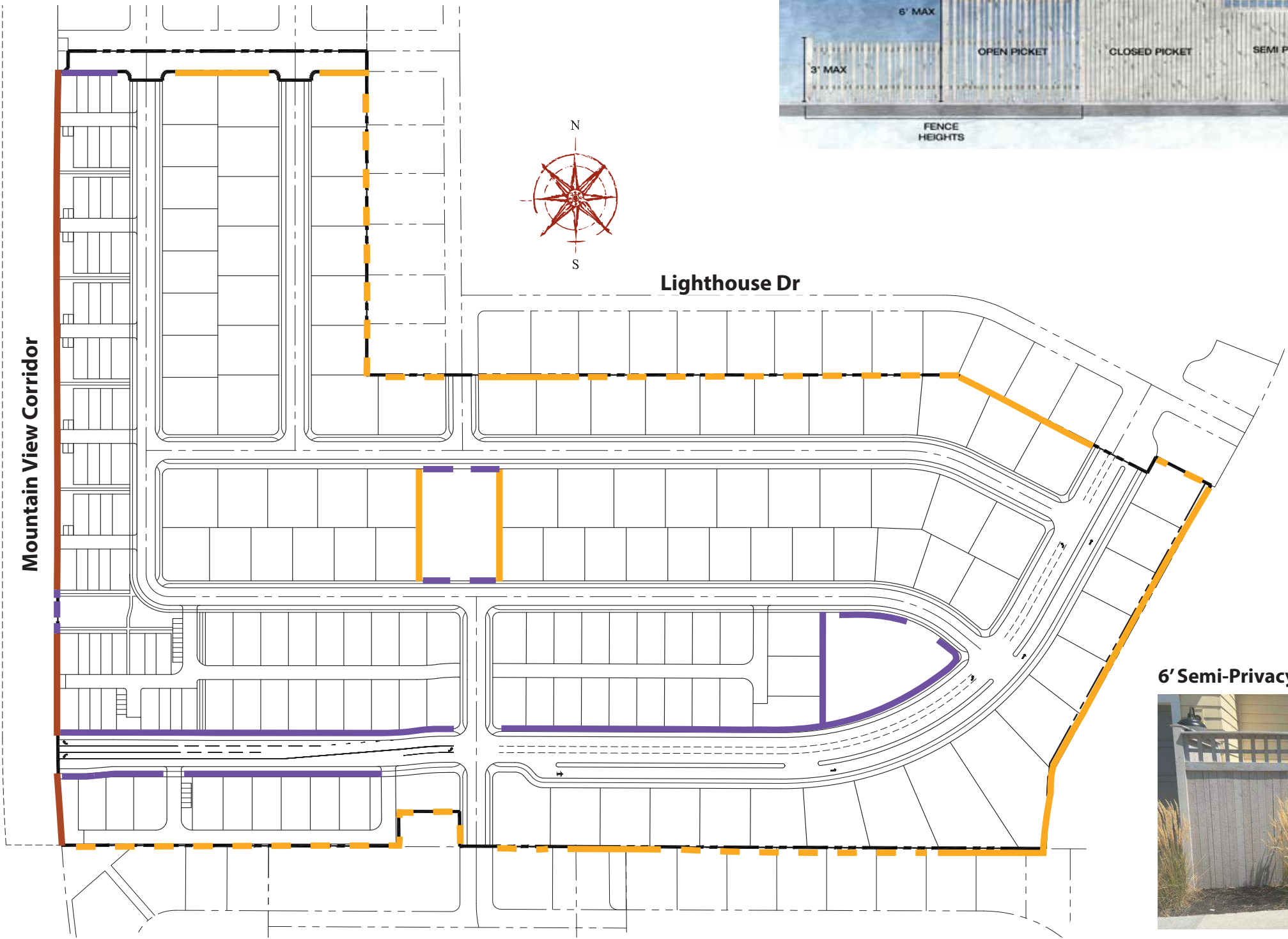
## FENCING | RESIDENTIAL



### Fencing Types

- 6' Semi-Private Stained Cedar Fence
- 6' Stained Cedar Fence
- 3' Picket Cedar with Planting
- Existing 6' Stained Cedar Privacy Fence

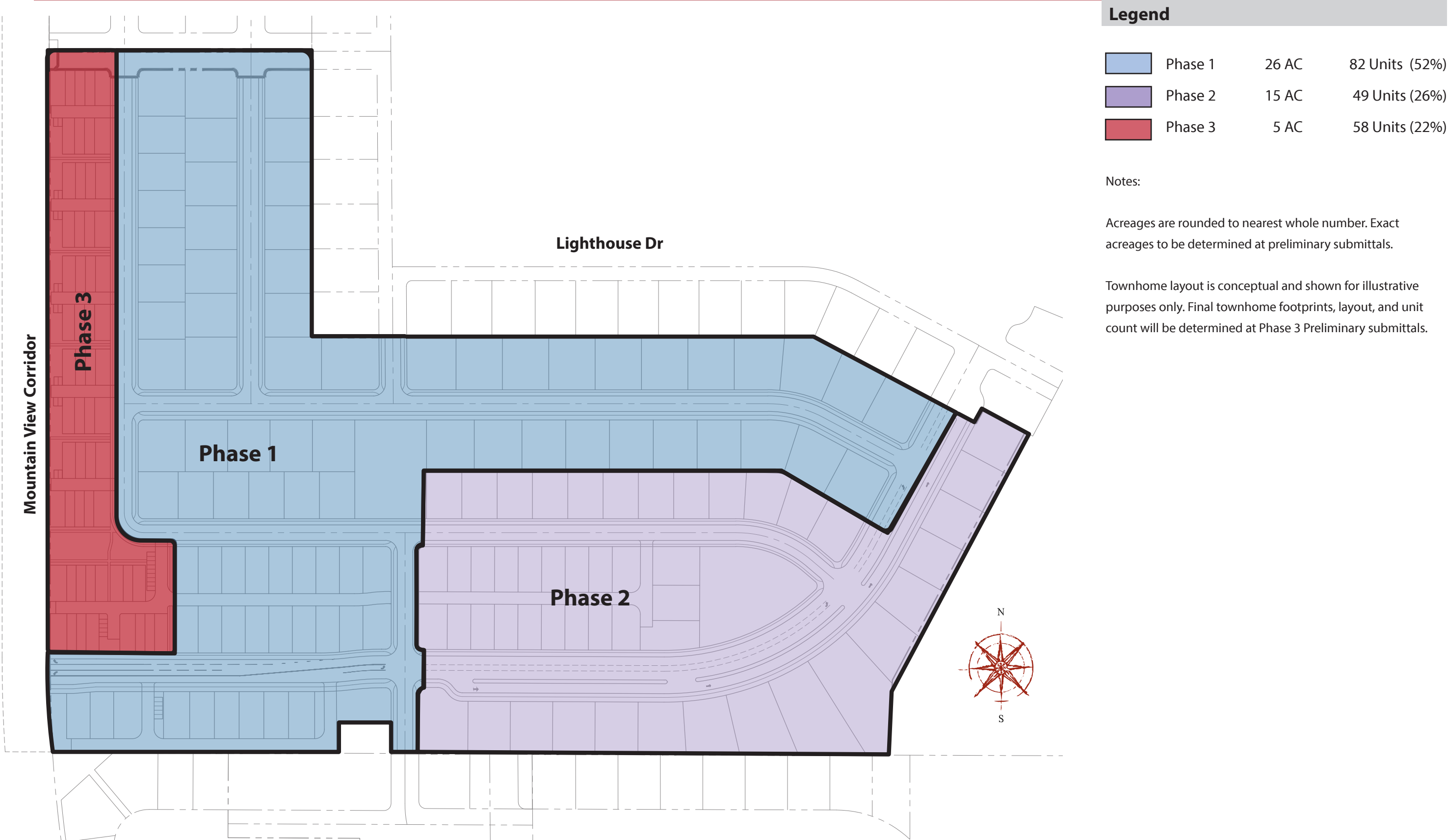
- Notes:
1. Additional fencing may be installed on the side yards and rear yards of lots. Location and type of fence shall be approved by the ARC. Fencing shall follow city standards for fencing if the Village Plan does not state specifics.
  2. Fencing on corners shall be terminated at the front-yard setback.
  3. Openings in fencing shall accommodate for driveways, alleys and walkways.



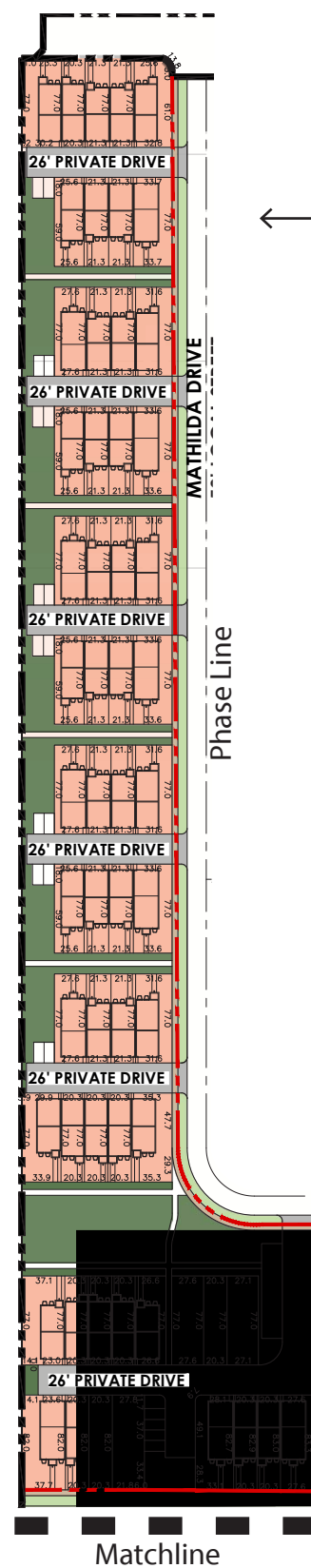
Images are conceptual only.



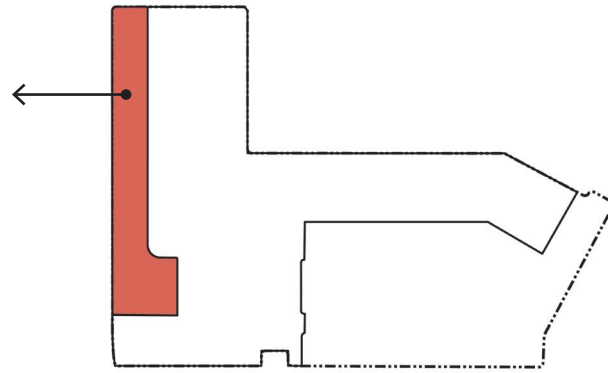
# Phasing Plan



## Detailed Lotting Plan - Phases 1 & 3









### CONTEXT MAP: P3



Townhome layout is conceptual and shown for illustrative purposes only. Final townhome footprints, layout, and unit count will be determined at Phase 3 Preliminary submittals.

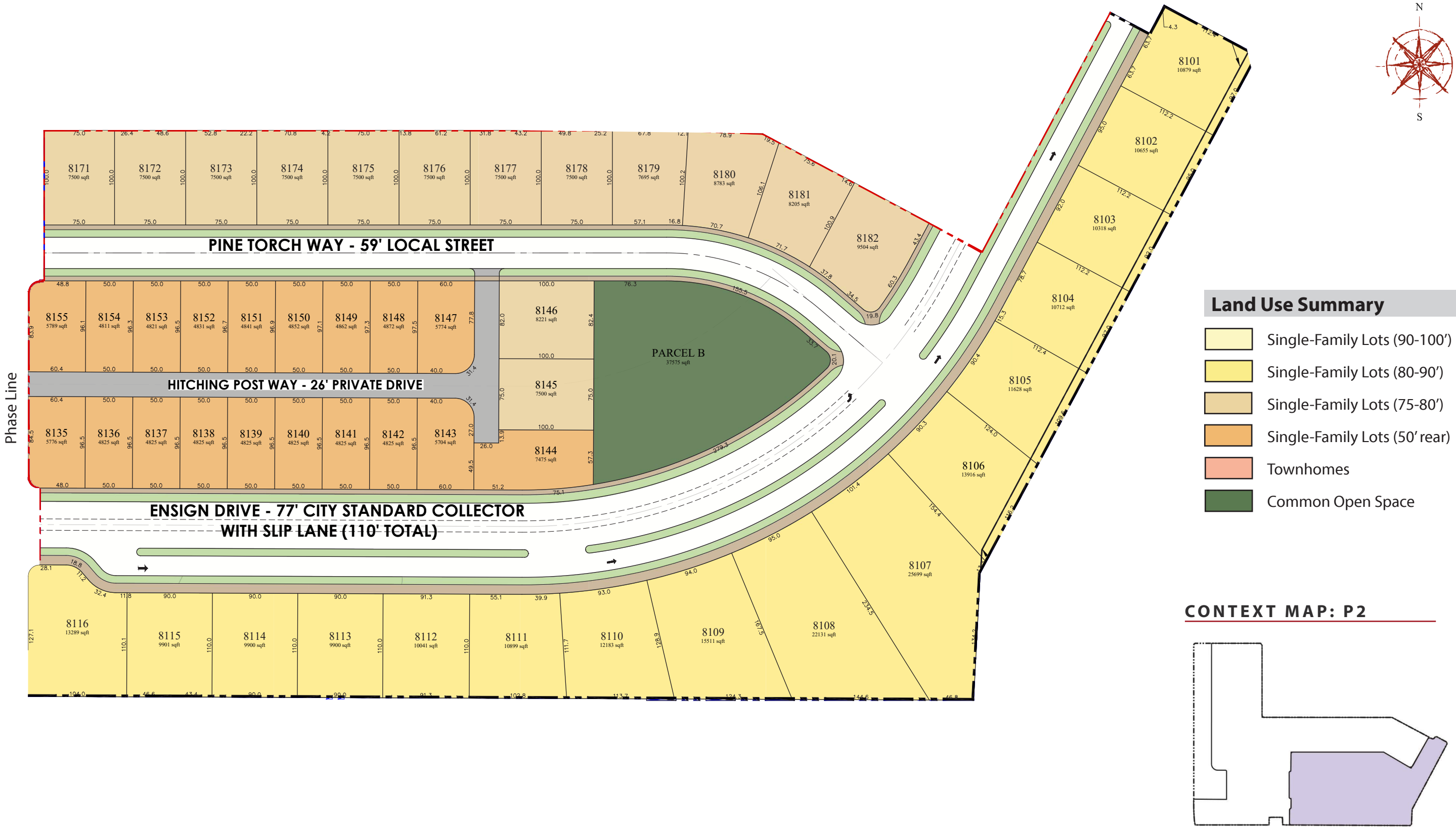


## Land Use Summary

- |   |                               |
|---|-------------------------------|
|  | Single-Family Lots (90'-100') |
|  | Single-Family Lots (80-90')   |
|  | Single-Family Lots (75-80')   |
|  | Single-Family Lots (50' rear) |
|  | Townhomes                     |
|  | Common Open Space             |



# Detailed Lotting Plan - Phase 2





# Landscape Plan

SINGLE AND MULTI-FAMILY RESIDENTIAL

## LANDSCAPE PLANS

Landscaping shall be considered an extension of a residence and viewed as a series of outdoor rooms. This level of planning can dramatically extend the living environment by creating outdoor spaces with defined functions across the lot. Yards, especially those areas visible from the street, shall complement the architecture while expressing the individuality of each homeowner.

Residential landscapes are a visible expression of neighborhood culture and identity. Any guidelines provided in this document are meant to create coherent streetscapes and encourage thoughtful planning of yards for each housing typology. Expression though landscaping is encouraged and aids in personalizing neighborhoods. Example planting palettes have been provided in the following pages.

Landscape designs should frame the home and reinforce the human scale already integrated into the architecture. For front yards, and side yards adjacent to a road, consider the impact of the design on social opportunities and street life. In general, the landscape should connect the residence to the street. NOTE: No fruit-bearing trees should be placed adjacent to public trails or sidewalks.

## INTENT

- Landscaping shall complement the surrounding architecture and unify open spaces.
- Landscapes shall reduce the apparent mass of adjacent buildings by considering important architectural elements prior to planting and how vegetation will aid in grounding the structure.
- Landscaping shall screen cars, trash enclosures, secondary structures, and parking from the road.
- Vegetation shall be used to define boundaries and preserve residential privacy and discourage defaulting to fencing and walls. Plantings should soften fences and walls exposed to public view.
- Landscape shall enhance safety and comfort. Avoid vegetation that reduces visibility along primary paths and entrances.

## ACCESSORY BUILDINGS & DWELLING UNITS

### Residential Landscapes

All residential yards are encouraged to have plantings that correspond to the following locations or features of the lot, actual landscape requirements will follow Title 19 code:

### Foundation Planting

- 3 FT wide densely planted with shrubs to screen the foundation where exposed to view.

### Fence Planting

- Minimum of 2-3 FT of landscaping on sides exposed to public view where consistent maintenance is provided. (This requirement is waived along Mountian View Corridor (See Edge Condition #2).

All planting areas (planter beds and lawn) shall contain a minimum of 12 inches of topsoil, tilled into the top 4 inches of the existing grade, and 3 inches of mulch (organic or inorganic) to maintain soil moisture and prevent weed growth. Clean edges between lawn and plantings shall be integrated into the landscape and can be accomplished with discrete edging or shovel cut edges.

### Lawns

Shall be limited to areas where it serves a function. Deep rooted and drought tolerant turf varieties shall be considered in an effort to conserve water. Do not place turf in narrow, small, or odd shaped areas that reduce irrigation efficiency. Lawn strips are encouraged to be at least 8 FT wide. Lawn strips on side yards may be reduced to 3 FT.

- Lawns must be a minimum of 2 FT from fencing and 3 FT from building foundations on sides exposed to public view.

### Irrigation

Implement water efficient landscaping techniques. Utilize matched precipitation rate spray and rotor heads for all lawn areas. Avoid overspray by using the appropriate spray head distances and inspect system frequently. Shrub and perennial beds shall be drip irrigated to more efficiently water planter areas and avoid spraying the house, garden structures, and fencing.

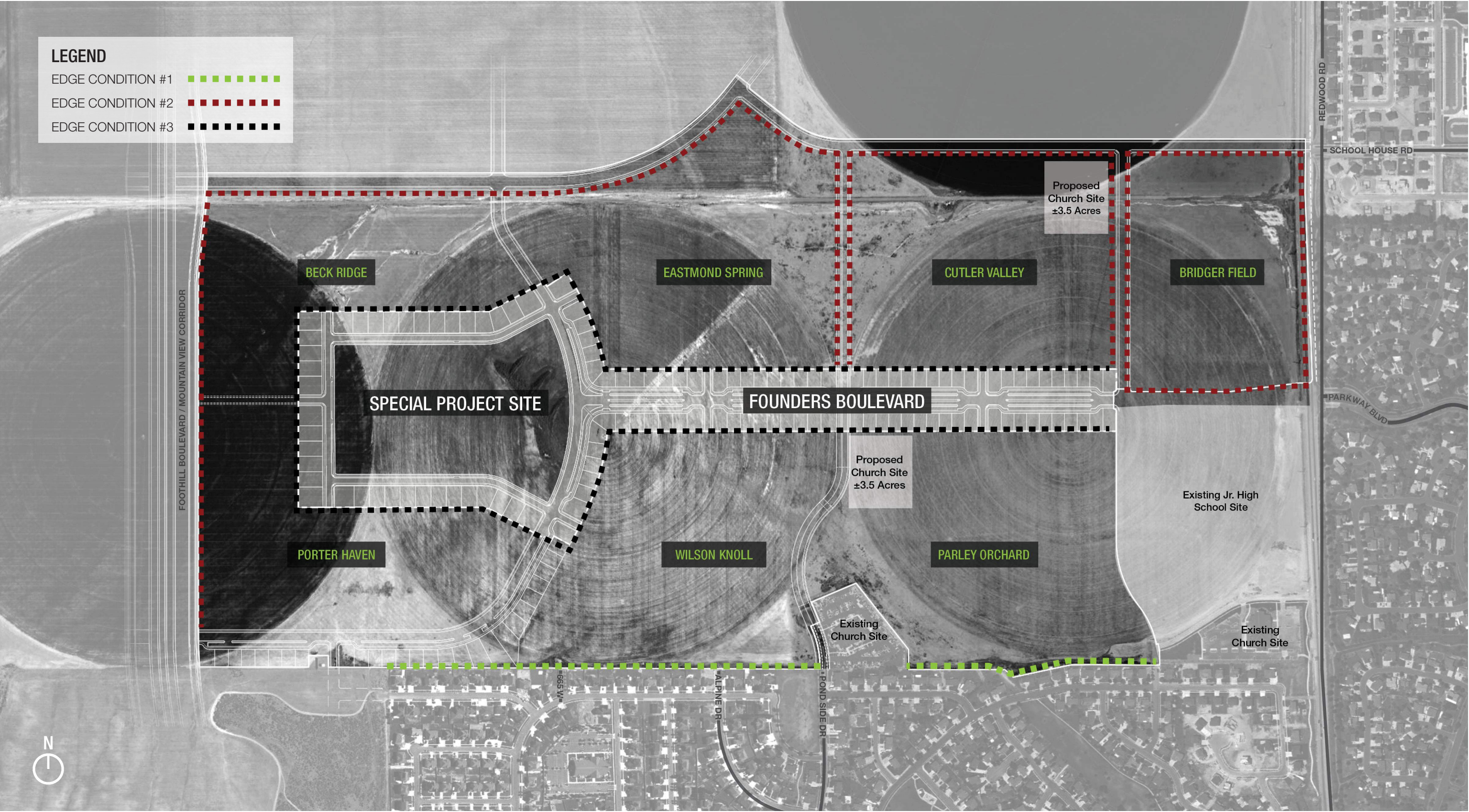
### Landscaped Areas

Areas highlighted in green indicate areas to be treated with landscape (i.e. turf, shrubs, trees, planters, mulch, etc.) Areas in park strips within public rights of way shall also be landscaped with turf, street trees per this village plan and may incorporate additional shrubs and ornamental grasses in locations to be identified in final plat.

### Open Space Management

All common landscaped areas within Village 8 shall be maintained by a Homeowners Association. Areas within park strips in front of single-family detached residences shall be maintained by homeowners where the lot fronts the right-of-way, including corner lots on both rights-of-way. Maintenance for the multi-family residential portion shall be maintained by a common homeowners association for the townhomes.







**EDGE CONDITIONS**

With the Special Project Community Plan being implemented in eight separate Villages, it is imperative that the interactions between Villages and between Villages and public transportation corridors is regulated. For visual reference, see Exhibit 4. Therefore, three distinct Edge Conditions have been identified:

**CONDITION #1.** This condition applies along the portion of the south project border in common with the existing Subdivision. In order to transition from these existing uses into individual Villages, the following criteria applies to residential lots which share a property line:

- Fence lines should align with existing lots to the South where possible
- Residential units to be single family detached dwellings
- Minimum 60 FT frontage lots
- 7,000 square foot lots
- Minimum 20 FT rear setback

**CONDITION #2.** This edge condition applies to Village boundaries which are adjacent to limited access roadways. Where the following restrictions apply:

- All fencing must meet the fencing standards of this Community Plan
- Housing product may face edges with proper accommodations for rear garage loading which meet City standards for the road classification
- Slip lanes, similar in scope and design to Parkway Boulevard, may be incorporated for limit access roads
- Architecture should be articulated on all four sides and approved by the ARC:
  - Wall plane difference of 2 FT minimum, which is intended to give depth and movement to the elevation
  - Wall planes to be extended through to roof line in order to avoid a mono-plane roof
  - No false facades materials partially wrapping the structure

**CONDITION #3.** In order to preserve the unique characteristics of the Village 1 development and the associated Special Project Area, conditions will be placed along all Village 1 boundaries as follows:

- All fencing must meet the fencing standards of this Community Plan
- Single Family Land Uses
- No alleys or roadways adjacent to edge
- Fence lines are not required to align
- Minimum 20 FT rear setback from Village 1 boundary to all living space

FOUR-SIDED ARCHITECTURE | DO THIS



FOUR-SIDED ARCHITECTURE | NOT THIS







**EDGE CONDITION 1**

- 1** Fence line and lots adjacent to existing Subdivision align where possible.
- 2** Residential units to be single family detached dwellings.
- 3** Minimum 60 FT frontage lots.
- 4** 7,000 square foot lots.
- 5** Minimum 20 FT rear setback.





**EDGE CONDITION 2**

- 1

Slip lanes, similar in scope and design to Founders Boulevard, may be incorporated for limited access roads.
- 2

Housing may face edges with proper accommodation for rear garage loading which meet City standards for the road classification.
- 3

All fencing must meet the fencing standards of Community Plan.
- 4

Housing elevations adjacent have a wall plane difference of at least 2 FT, to give depth and movement to elevation.
- 5

Wall planes to be extended to meet roof line.
- 6

Architecture articulated on all four sides - no partial material wraps.





**EDGE CONDITION 3**

- 1 All fencing must meet the fencing standards of Community Plan.

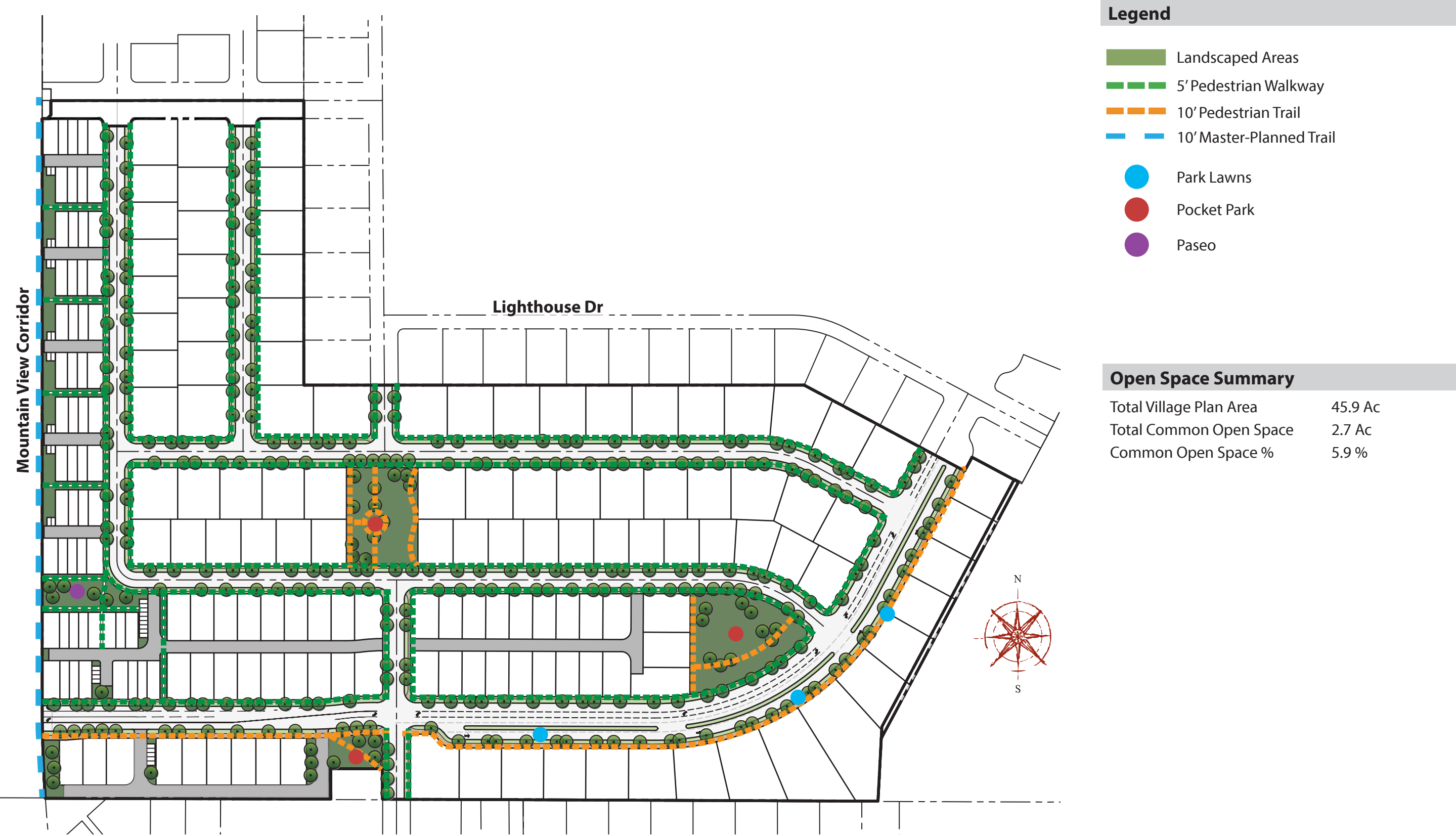
2 Single family land uses.
- 3 No alleys or roadways adjacent to edge.

4 Fence lines are not required to align
- 5 Minimum 20-foot rear setback from Village 1 boundary to all living space.

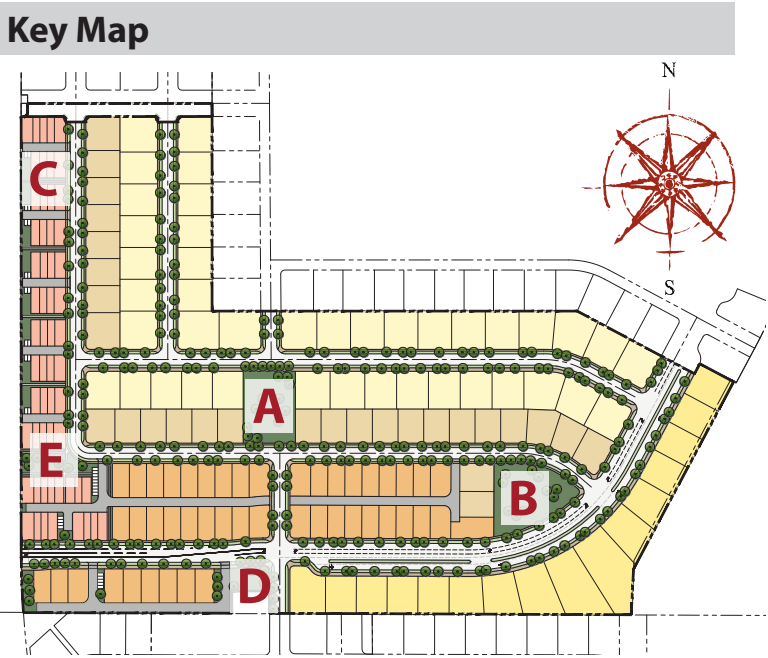
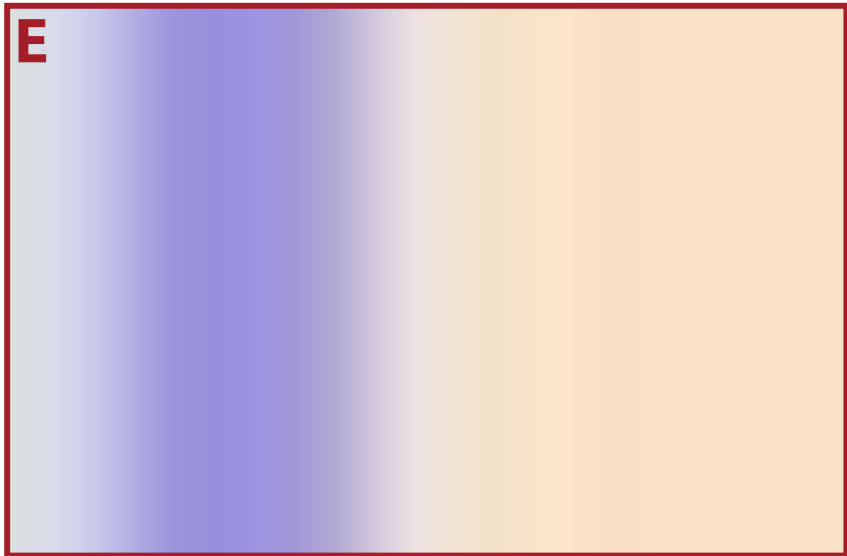
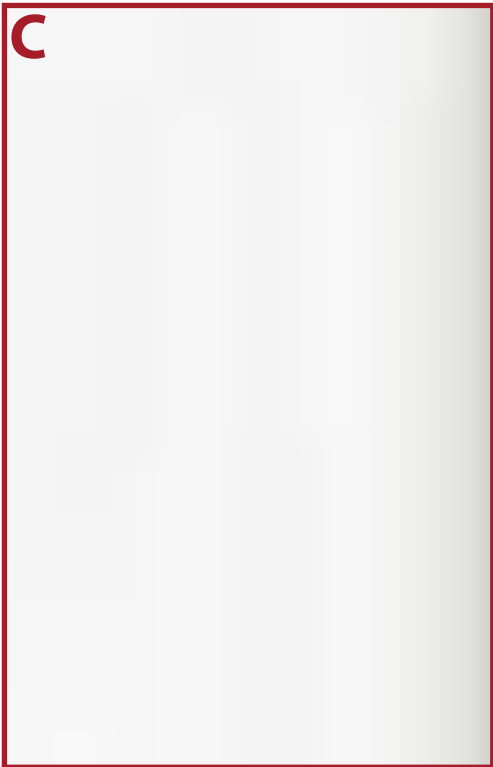
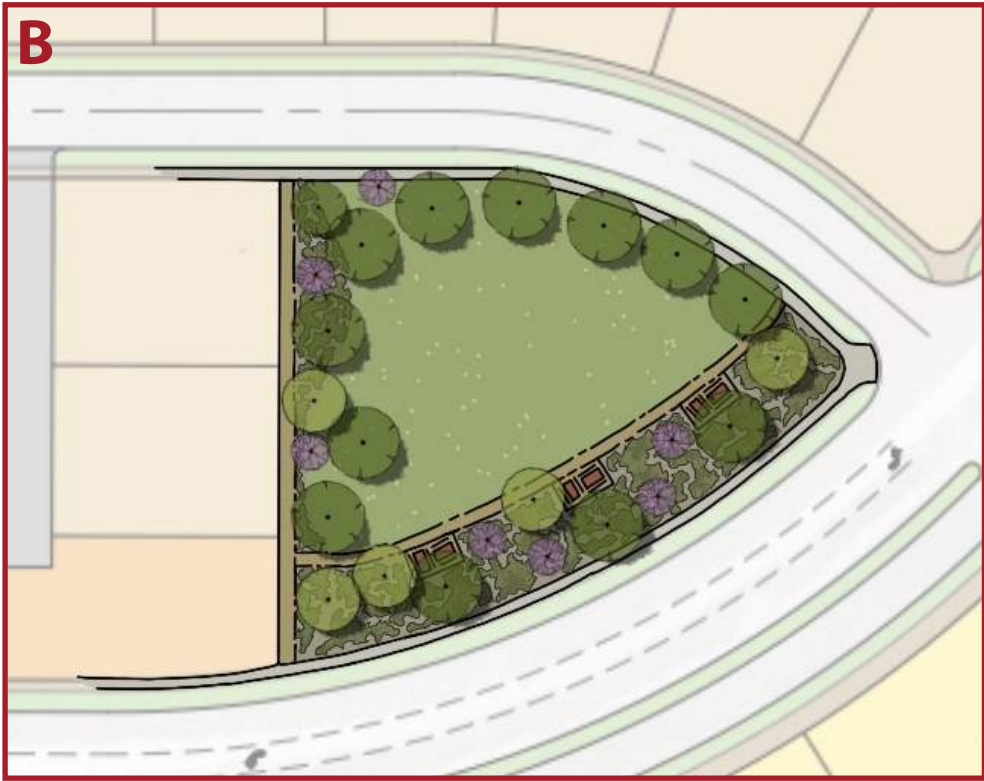
6 Wall planes to be extended to meet roof line.



# Open Space Plan

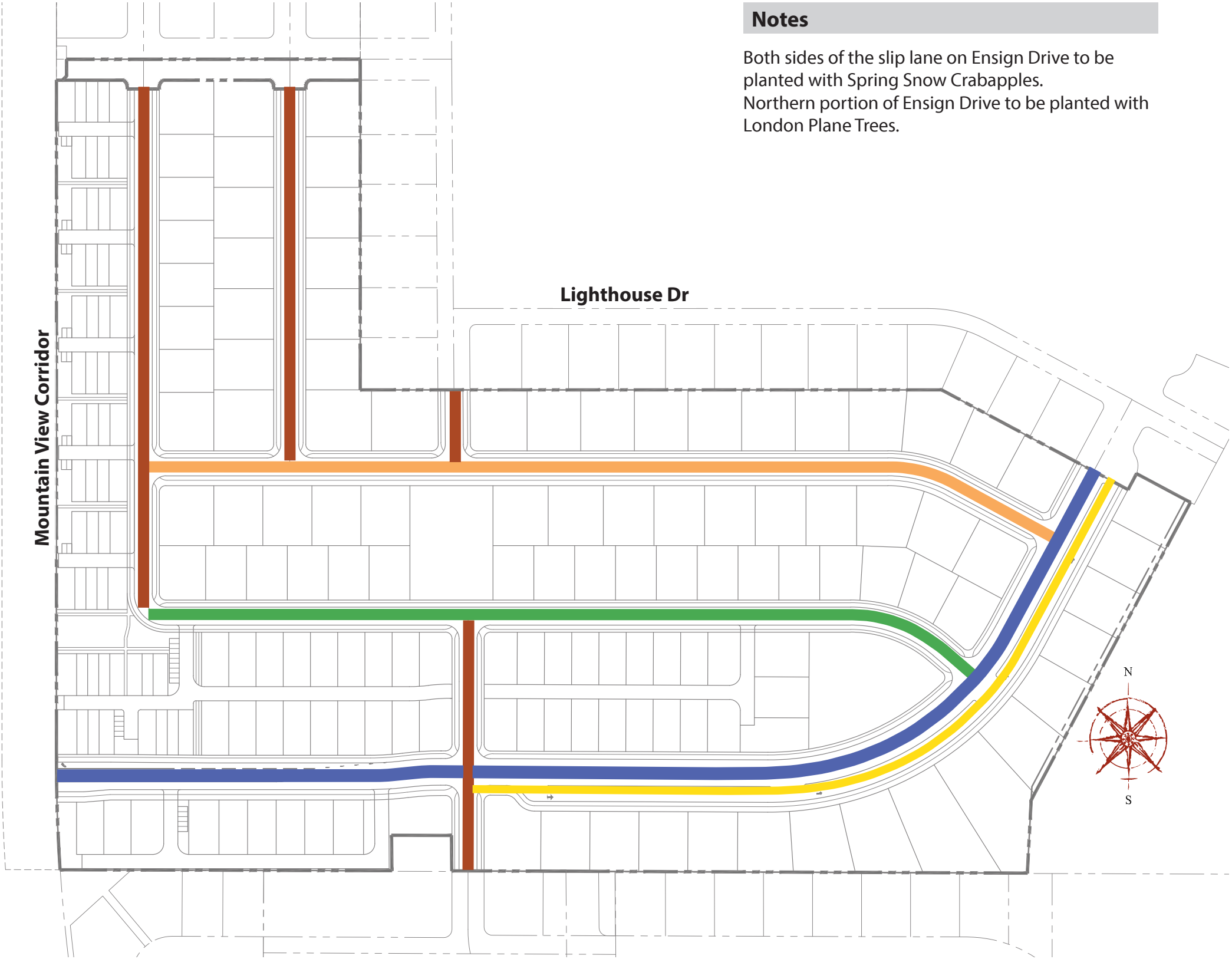


# Open Space Plan



Notes: All graphics are conceptual. Open spaces and amenities in Beacon Pointe Village 8 meet the requirements outlined in the DAP and Community Plan, including 2,500 sq. ft. minimum for pocket parks, 10' trails, and the intent to create easily accessible spaces throughout the development. All site furnishings and amenities—including benches, picnic areas, pavilions, lighting, water fountains, and trash receptacles—will follow the requirements outlined in the Beacon Pointe Community Plan. Further details for each open space will be provided in future submittals.

# Street Tree Plan



## Notes

Both sides of the slip lane on Ensign Drive to be planted with Spring Snow Crabapples.  
Northern portion of Ensign Drive to be planted with London Plane Trees.

## Legend



Platanus x acerifolia  
London Plane Tree 2" Cal.



Pyrus calleryana 'Aristocrat'  
'Aristocrat' Callery Pear 2" Cal.



Malus x 'Spring Snow'  
Spring Snow Crabapple 2" Cal.



Ulmus 'Frontier'  
Frontier Elm 2" Cal.



Quercus macrocarpa  
Bur Oak 2" Cal.



# Landscape Plant Palette

## RECOMMENDED TREE SPECIES


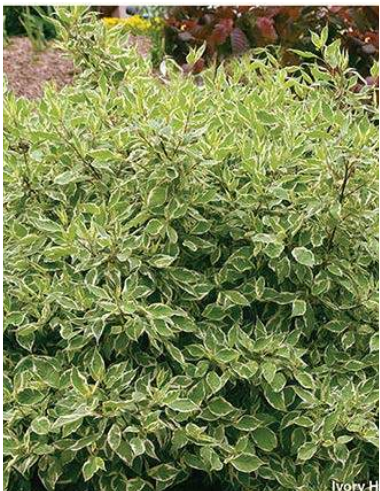







Botanical Name	Common Name	Size	Drought Tolerant
<i>Acer campestre</i>	Hedge Maple	2" Cal.	✓
<i>Acer platanoides</i>	Norway Maple	2" Cal.	
<i>Acer truncatum x platanoides</i>	Pacific Sunset Maple	2" Cal.	✓
<i>Acer freemanii</i>	Freeman Maple	2" Cal.	
<i>Acer pseudoplatanus</i>	Sycamore Maple	2" Cal.	✓
<i>Acer tatarian</i>	Tatarian Maple	2" Cal.	✓
<i>Carpinus betulus</i>	Hornbeam	2" Cal.	
<i>Catalpa speciosa</i>	Catalpa (podless)	2" Cal.	✓
<i>Celtis occidentalis</i>	Common Hackberry	2" Cal.	✓
<i>Cercis canadensis</i>	Redbud	2" Cal.	✓
<i>Fagus sylvatica</i>	Weeping Beech	2" Cal.	
<i>Fraxinus mandschurica</i>	Manchurian Ash	2" Cal.	✓
<i>Fraxinus pennsylvanica</i>	Green Ash	2" Cal.	
<i>Ginkgo biloba</i>	Maidenhair Tree (male)	2" Cal.	✓
<i>Gleditsia triacanthos inermis</i>	HoneyLocust	2" Cal.	
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	5' Height	✓
<i>Liriodendron tulipefera</i>	Tuliptree	2" Cal.	
<i>Malus sp.</i>	Crabapple	2" Cal.	
<i>Platanus acerifolia</i>	London Planetree	2" Cal.	
<i>Prunus sargentii</i>	Flowering Cherry	2" Cal.	
<i>Prunus serrulata</i>	Japanese Flowering Cherry	2" Cal.	
<i>Prunus virginiana</i>	Chokecherry	2" Cal.	
<i>Pyrus calleryana</i>	Flowering Pear	2" Cal.	
<i>Quercus gambelii</i>	Gamble Oak	2" Cal.	✓
<i>Quercus macrocarpa</i>	Bur Oak	2" Cal.	✓
<i>Tilia cordata</i>	Littleleaf Linden	2" Cal.	
<i>Tilia tomentosa</i>	Silver Linden	2" Cal.	✓
<i>Ulmus pavifolia</i>	Lace Bark Elm	2" Cal.	✓
<i>Ulmus sp.</i>	Elm	2" Cal.	
<i>Zelkova serrata</i>	Zelkova	2" Cal.	✓





# Landscape Plant Palette
















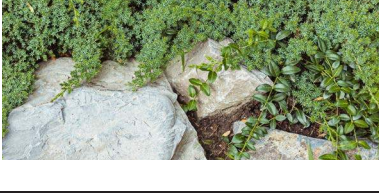


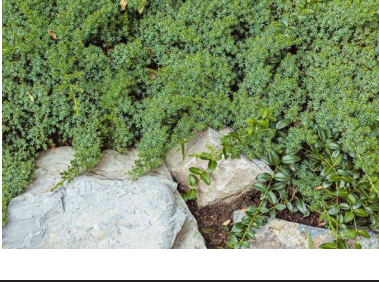


SHRUBS

Botanical Name	Common Name	Size	Drought Tolerant			
<i>Aronia melanocarpa</i>	Chokeberry	1 Gal.	✓			
<i>Berberis thunbergii</i> A. N.	Redleaf Barberry	5 Gal.				
<i>Buxus</i>	Boxwood	1 Gal.				
<i>Caryopteris x clandonensis</i>	Blue Beard	3 Gal.	✓			
<i>Cornus sericea</i>	Red Twig Dogwood	5 Gal.				
<i>Euonymus alatus</i>	Burning Bush	1 Gal.				
<i>Forsythia x intermedia</i>	Forsythia	1 Gal.	✓			
<i>Hibiscus syriacus</i>	Rose of Sharon	1 Gal.	✓			
<i>Juniperus chinensis</i>	Juniper	5 Gal.	✓			
<i>Juniperus horizontalis</i>	Creeping Juniper	5 Gal.	✓			
<i>Lavandula angustifolia</i>	Lavendar	5 Gal.	✓			
<i>Lonicera tatraica utahensis</i>	Tatrian Honeysuckle	1 Gal.				
<i>Mahonia aquafolium</i>	Oregon Grape	5 Gal.	✓			
<i>Mahonia repens</i>	Creeping Oregon Grape	1 Gal.	✓			
<i>Nandina domestica</i>	Heavenly Bamboo	3 Gal.				
<i>Perovskia atriplicifolia</i>	Russian Sage	1 Gal.	✓			
<i>Physocarpus opulifolius</i>	Ninebark	5 Gal.	✓			
<i>Pinus mugo</i>	Mugo Pine	1 Gal.	✓			
<i>Potentilla fruticosa</i>	Potentilla	3 Gal.	✓			
<i>Prunus laurocerasus x cistena</i>	Laurel	5 Gal.				
<i>Rhamnus frangula</i>	Fern Leaf Buckthorn	5 Gal.	✓			
<i>Rhus aromatica</i>	Fragrant Sumac	5 Gal.	✓			
<i>Rhus glabra</i>	Sumac	3 Gal.	✓			
<i>Ribies alpinum</i>	Apline Current	3 Gal.				



# Landscape Plant Palette










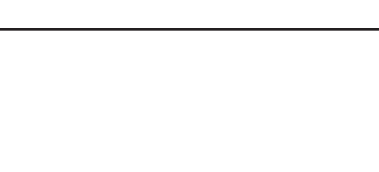
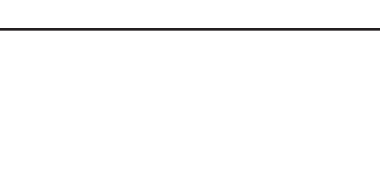
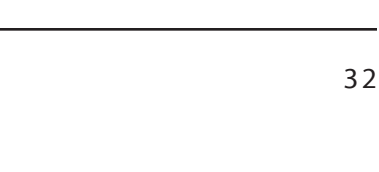
EVERGREEN SHRUBS, ORNAMENTAL GRASSES, GROUNDCOVERS

Botanical Name	Common Name	Size	Drought Tolerant			
<i>Rosa 'knock out'</i>	Knock Out Rose	3 Gal.	✓			
<i>Rosa 'Radtko'</i>	Double Knock Out Rose	5 Gal.				
<i>Rosa 'Woodsii'</i>	Wood's Rose	5 Gal.				
<i>Spirea bumalda</i>	Spirea	3 Gal.				
<i>Spirea japonica</i>	Japanese Spirea	3 Gal.	✓			
<i>Syringa meyeri</i>	Korean Lilac	1 Gal.				
<i>Syringa patula</i>	Lilac	5 Gal.				
<i>Taxus baccata</i>	Japanese Yew	1 Gal.				
<i>Taxus media</i>	Spreading Yew	5 Gal.	✓			
<i>Viburnum trilobum</i>	Viburnum	3 Gal.				
<i>Weigela florida</i>	Weigela	3 Gal.				
Botanical Name	Common Name	Size	Drought Tolerant			
<i>Calamagrostis x acutiflo 'Karl Foerster'</i>	Karl Foerster Grass	1 Gal.	✓			
<i>Carex muskingumensis</i>	Sedge	1 Gal.				
<i>Chasmanthium latifolium</i>	Northern Sea Oats	1 Gal.				
<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1 Gal.				
<i>Festuca Ovina glauca</i>	Blue Fescue Grass	1 Gal.	✓			
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	1 Gal.				
<i>Miscanthus sinensis</i>	Dwarf Maiden Hair Grass	1 Gal.				
<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	1 Gal.				
<i>Muhlenbergia reverchonii</i>	Seep Muhly Grass	1 Gal.	✓			
<i>Panicum virgatum</i>	Switch Grass	1 Gal.				
<i>Pennisetum alopecuroides</i>	Dwarf Fountain Grass	1 Gal.				
Botanical Name	Common Name	Size	Drought Tolerant			
<i>Euonymus fortunei</i>	Winter Creeper	3" Pot	✓			
<i>Ajuga reptans</i>	Bugleweed	3" Pot				
<i>Sedum</i>	Sedum	3" Pot				



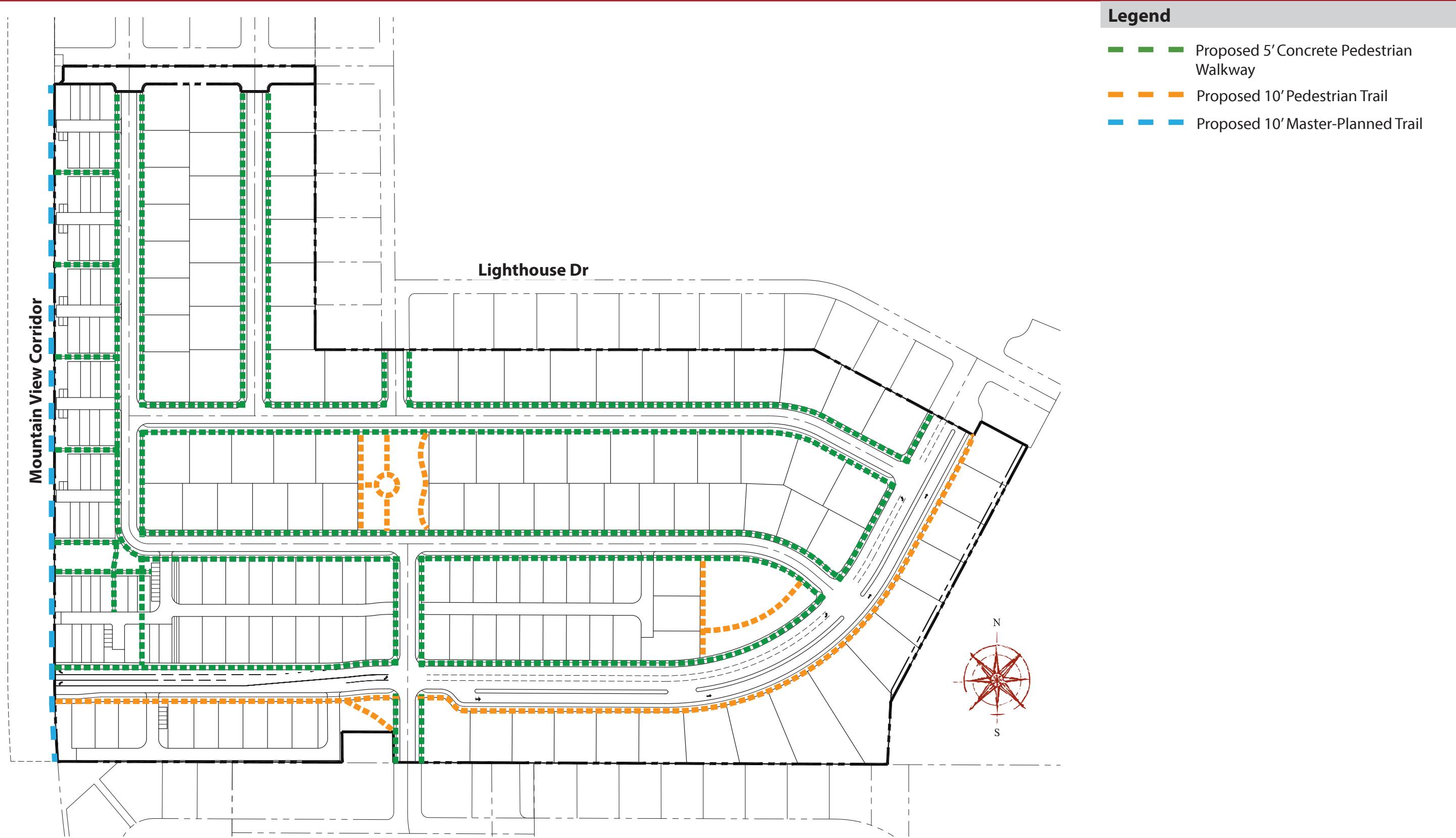
# Landscape Plant Palette

PERENNIALS

Botanical Name	Common Name	Size	Drought Tolerant			
<i>Achillea sp.</i>	Yarrow	1 Gal.	✓			
<i>Agastache cana</i>	Mint	1 Gal.	✓			
<i>Anemone hybrida</i>	Windflower	1 Gal.				
<i>Astilbe chinensis</i>	Goats Beard	1 Gal.				
<i>Bergenia cordifolia</i>	Heartleaf Bergenia	1 Gal.	✓			
<i>Campamula carpatica</i>	Bellflower	1 Gal.				
<i>Coreopsis sp.</i>	Tickseed	1 Gal.	✓			
<i>Echinacea purpurea</i>	Coneflower	5 Gal.				
<i>Gaillardia aristata</i>	Blanket Flower	5 Gal.	✓			
<i>Gaura lindheimeri</i>	Gaura	1 Gal.	✓			
<i>Hemerocallis sp.</i>	Daylily	1 Gal.	✓			
<i>Heuchera</i>	Coral Bells	5 Gal.	✓			
<i>Hosta sp.</i>	Hosta	5 Gal.				
<i>Kniphofia sp.</i>	Red Hot Poker	1 Gal.	✓			
<i>Lavandula angustifolia</i>	Lavender	1 Gal.	✓			
<i>Leucanthemum superbum</i>	Shasta Daisy	1 Gal.				
<i>Liriope muscari</i>	Lily Turf	1 Gal.				
<i>Paeonia lactiflora</i>	Peony	5 Gal.				
<i>Rudbeckia fulgida</i>	Black Eyed Susan	1 Gal.	✓			
<i>Salvia nemorosa</i>	May Night Sage	1 Gal.	✓			
<i>Salvia x sylvestris</i>	Sage	1 Gal.				



# Pedestrian Plan

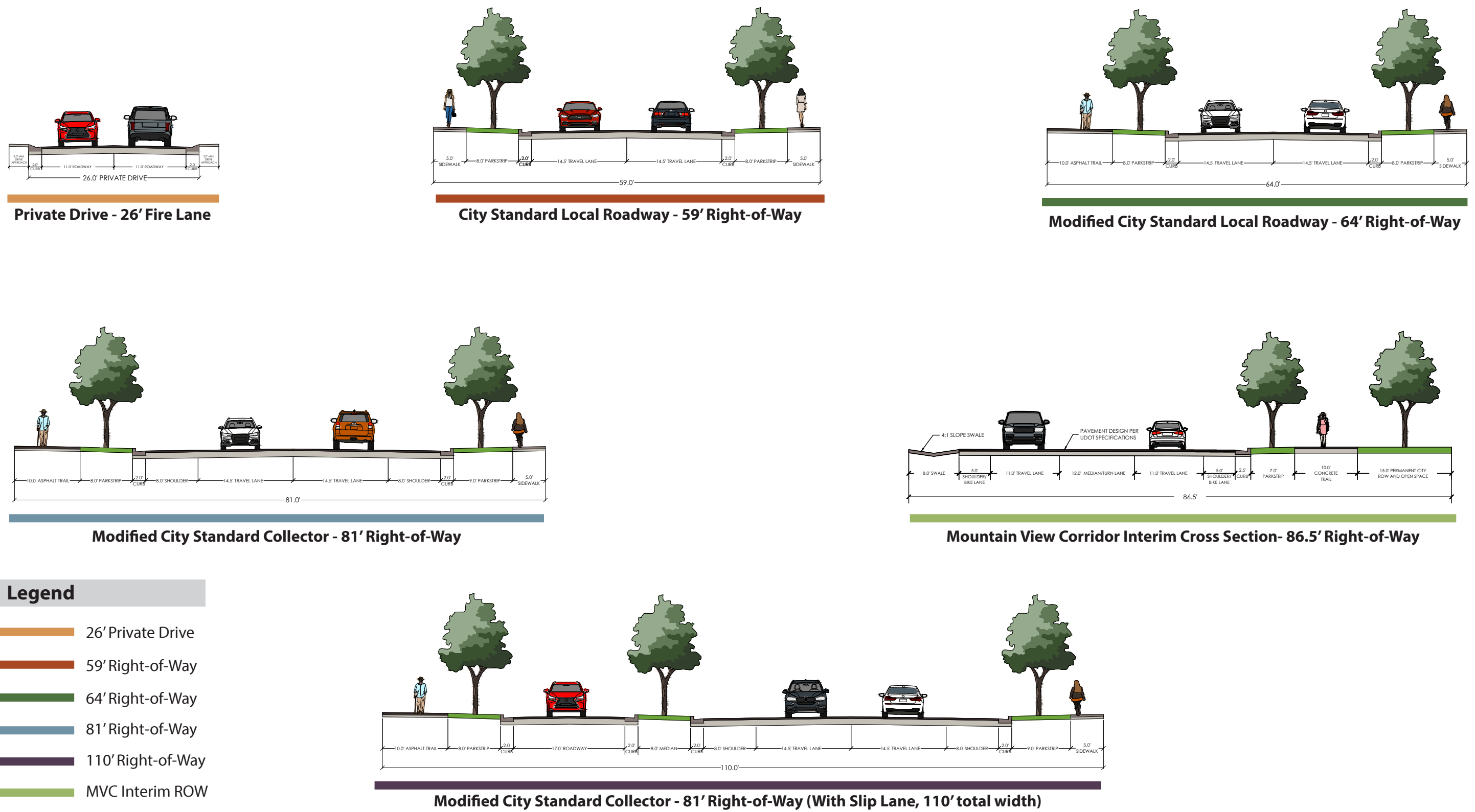


# Vehicular Plan

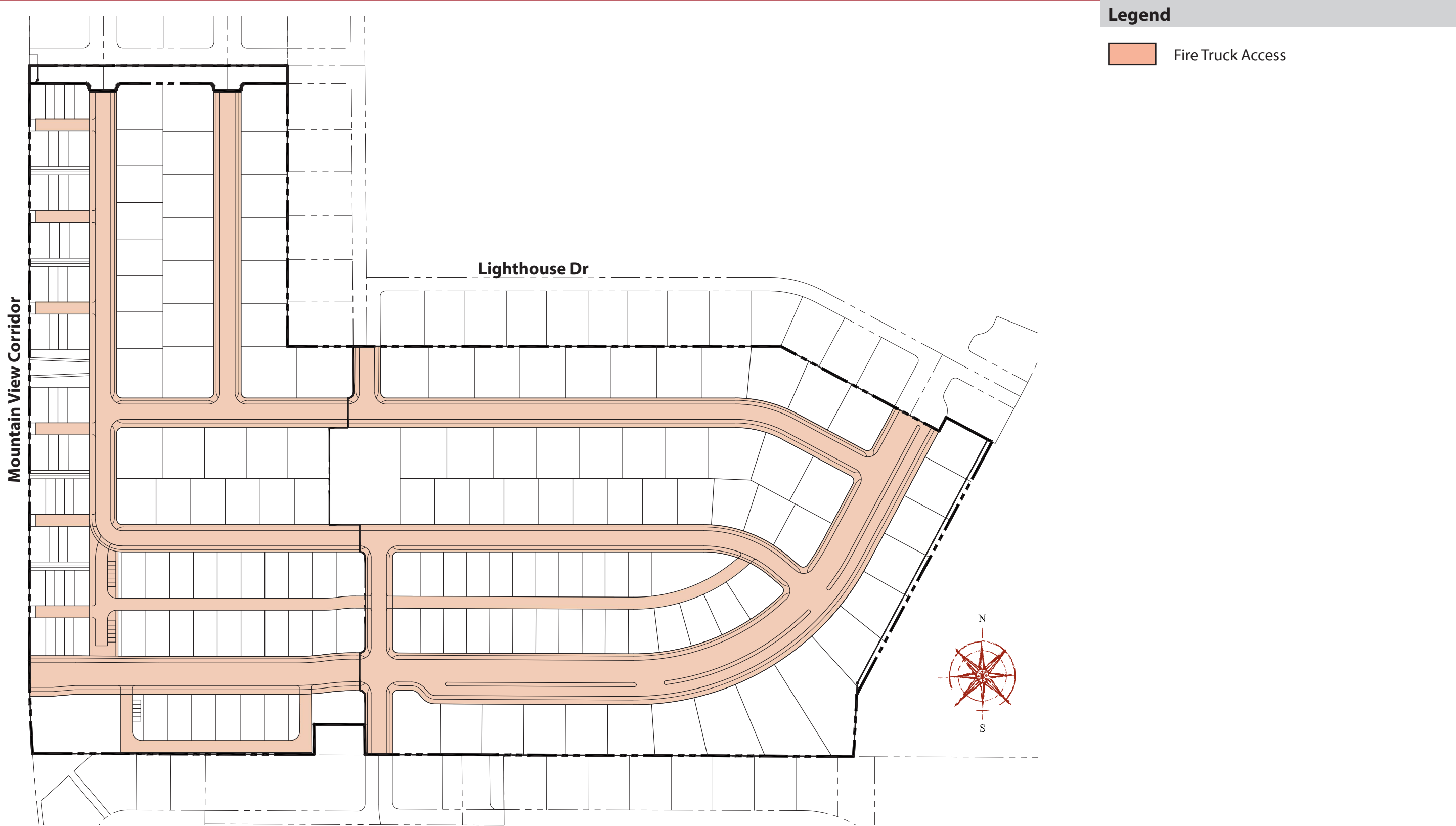




# Vehicular Plan



# Fire Access Plan





# Additional Elements

## FINDINGS

Village Plan 8 is the 45.9-acre phase within the 371.8-acre Beacon Pointe Community Plan located in Saratoga Springs, Utah. Beacon Pointe Village 8 is compliant with all Planned Community Zone Requirements for Village Plans as defined in Section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan 8:

**A. IS CONSISTENT WITH THE ADOPTED COMMUNITY PLAN;**

Village Plan 8 adheres to the development standards, design guidelines, infrastructure plans, and other requirements established in the Beacon Pointe Community Plan.

**B. IS CONSISTENT WITH THE TOTAL NUMBER OF EQUIVALENT RESIDENTIAL UNITS (ERUS) DICTATED IN THE ADOPTED COMMUNITY PLAN;**

The number of potential ERUs established in the Community Plan for Village Plan 8 establishes a maximum of 207 ERUs, with the potential to transfer a maximum of 15% to or from other villages with the approval of the Planning Director.

**C. FOR AN INDIVIDUAL PHASE, IS CONSISTENT WITH THE TOTAL NUMBER OF EQUIVALENT RESIDENTIAL UNITS DICTATED IN THE ADOPTED COMMUNITY PLAN UNLESS TRANSFERRED PER THE PROVISIONS OF THE COMMUNITY PLAN;**

The number of ERUs established in Village 8 is 189, with the ability to transfer a maximum of 15% to or from other villages with the approval of the Planning Director.

**D. IS CONSISTENT WITH THE UTILITY, INFRASTRUCTURE, AND CIRCULATION PLANS OF THE COMMUNITY PLAN; INCLUDES ADEQUATELY SIZED UTILITIES, SERVICES, AND ROADWAY NETWORKS TO MEET DEMANDS; AND MITIGATES THE FAIR SHARE OF OFF-SITE IMPACTS;**

Village Plan 8 implements the utility, infrastructure, and circulation plans as specified in the Beacon Pointe Community Plan.

**E. PROPERLY INTEGRATES UTILITY, INFRASTRUCTURE, OPEN SPACES, PEDESTRIAN AND BICYCLE SYSTEMS, AND AMENITIES WITH ADJACENT PROPERTIES;**

Village Plan 8 has been designed to accommodate necessary infrastructure elements for residents and establish a framework that will provide for future community development and adjacent connections.

**F. CONTAINS THE REQUIRED ELEMENTS AS DICTATED IN SECTION 19.26.10 OF THE SARATOGA SPRINGS MUNICIPAL CODE.**

Village Plan 8 contains all the relevant required elements as dictated in Section 19.26.10.

**G. MEETS THE MINIMUM REQUIRED SPACE IN ADOPTED COMMUNITY PLAN, AND ADOPTED DISTRICT AREA PLAN IF APPLICABLE.**

Village Plan 8 contains 45.9 acres, down from 46.0 acres as listed in the Beacon Pointe Community Plan, a slight reduction in area.

## Other Project Information

**Associations**

The Beacon Pointe HOA will maintain open space, pocket parks and paseos. The Benefited Service Area will allocate cost to townhomes on limited common areas. All streets, excluding private streets, will be maintained by the city.

**Mitigation Plans**

No significant environmental issues will be encountered on this site, and as a result, no mitigation plans are required.

**Development Agreement**

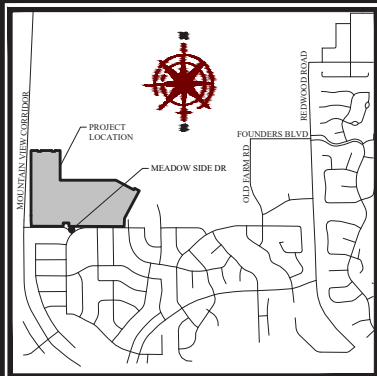
This property is a part of the Saratoga Springs City Center District Area Plan. A Development agreement was signed at the time of the approval of the District Plan.

**Master Association**

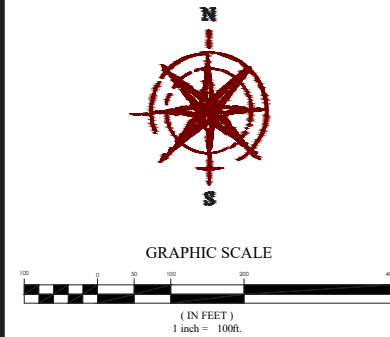
Beacon Pointe has been maintained, operated, and governed by a master owners’ association known as the Beacon Pointe Owners’ Association (the “Master Association”) to ensure Beacon Pointe is developed in accordance with the Community Plan, each Village Plan, and to ensure a beautiful and harmonious community for all residents residing within Beacon Pointe. Additionally, the Master Association provides general administration over Beacon Pointe in its entirety, including, design and architectural review, managing, controlling, and operating common areas, and other rights and duties provided in the Master Declaration.



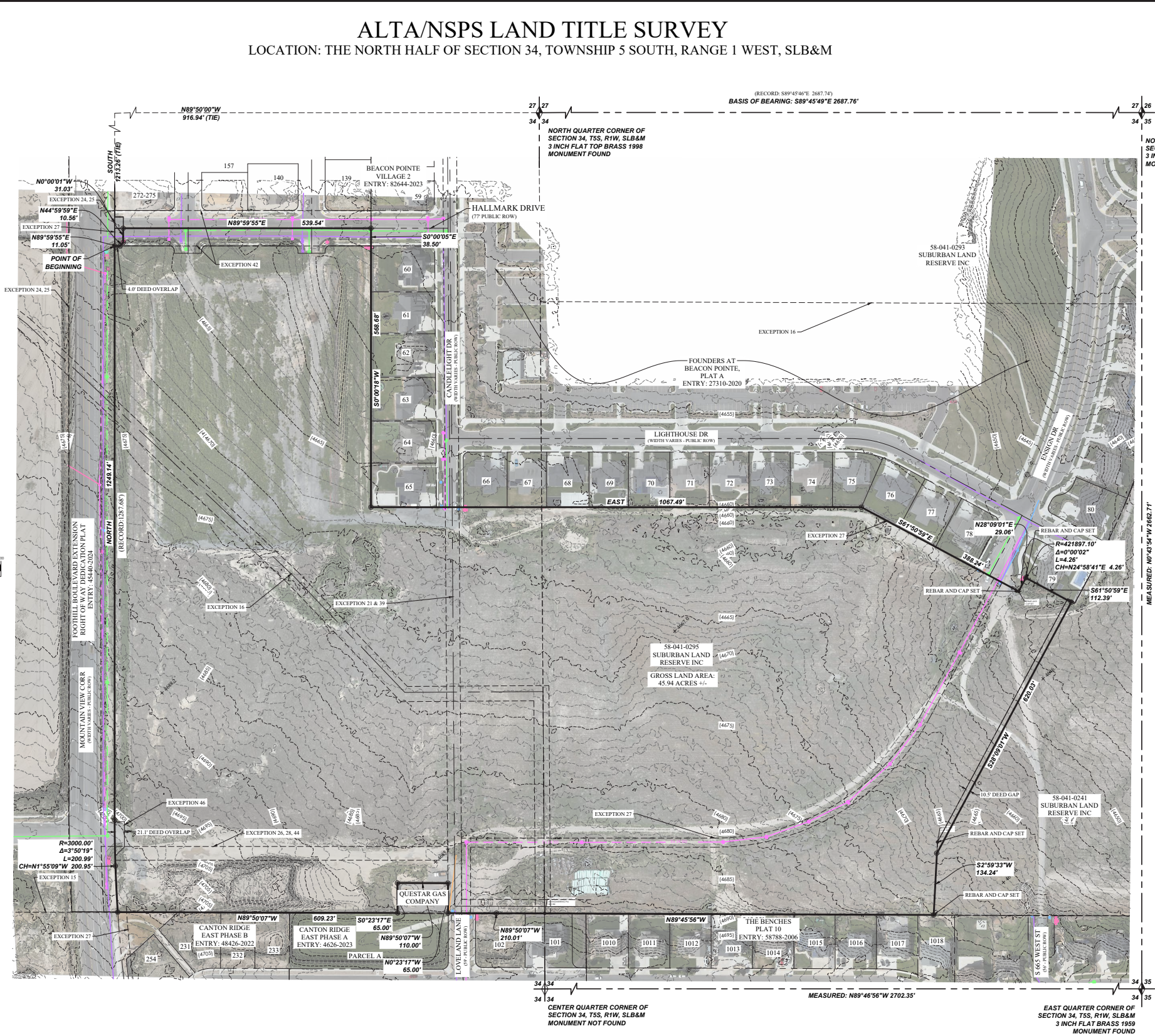
Site Characteristics - Survey



VICINITY MAP  
N.T.S.



- LEGEND**
- BOUNDARY LINE
  - SECTION LINE
  - EXIST. EASEMENT LINE
  - EXIST. PROPERTY LINE
  - EXIST. CONTOUR MAJOR
  - EXIST. CONTOUR MINOR
  - EXIST. STORM DRAIN
  - EXIST. SANITARY SEWER
  - EXIST. CULINARY WATER
  - EXIST. SECONDARY WATER
  - EXIST. IRRIGATION
  - EXIST. NATURAL GAS
  - EXIST. COMMUNICATIONS
  - EXIST. OVERHEAD POWER
  - EXIST. UNDERGROUND POWER
  - EXIST. FENCE
  - EXIST. IRRIGATION DITCH FLOWLINE
  - EXIST. CONCRETE, CURB & GUTTER, SIDEWALK
  - EXIST. EDGE OF ASPHALT
  - EXIST. WALL
  - SECTION MONUMENT (FOUND)
  - SECTION MONUMENT (NOT FOUND)
  - BOUNDARY MARKER
  - EXIST. SD INLET, MANHOLE & COMBO BOX
  - EXIST. SEWER MANHOLE
  - EXIST. WATER VALVE & WATER METER
  - EXIST. FIRE HYDRANT
  - EXIST. IRRIGATION BOX
  - EXIST. GAS VALVE & GAS METER
  - EXIST. STREET LIGHT
  - EXIST. POWER POLE
  - EXIST. ELECTRICAL BOX
  - REBAR AND CAP (SET BY FOCUS ENGINEERING)



**FOCUS**  
ENGINEERING AND SURVEYING, LLC  
100 S. HIGHTOWER BLVD., SUITE 200  
MIDVALE, UTAH 84047, PH: (801) 332-0075  
www.focus-es.com

071018  
No. 125548  
RYAN BULL  
STATE OF UTAH

**ALTA/NSPS LAND TITLE SURVEY**  
LOCATION: THE NORTH HALF OF SECTION 34, T5S, R1W, SLB&M  
SARATOGA SPRINGS, UTAH COUNTY, UTAH  
PROPERTY OF: SUBURBAN LAND RESERVE, INC  
PREPARED FOR: RYAN BULL

REVISION BLOCK	#	DATE	DESCRIPTION
	1		
	2		
	3		
	4		
	5		
	6		

Drawn: RM/LH

Checked: JDL

Scale: 1"=100'

Job #: 24-0319

Date: 07/07/2025

Sheet: 2 OF 2



# Site Characteristics



## WATERWAYS

There are no existing waterways within the boundaries of the Village 8 site.

## FAULT LINES AND GEOLOGICAL INFORMATION

The site is in an area known to have fine-grained soils susceptible to frost heave, wetting- induced collapse ad expansive soils. Specific recommendations are made to address these condition in the geotechnical report.

Liquefaction is not considered a major hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site. These factors will be considered by geotechnical engineer from structural design recommendations.

There are no mapped active faults extending though the site. The closest mapped active fault to the tire is the Cedar Valley Tear Fault located approximately 4 miles northwest.

## GENERAL SOIL DATA

Soils within Village 8 vary from silty clay loam to a gravelly loam.

## SLOPES

The site currently slopes from the southwest to northeast with grades ranging from 2% to 8%. No slopes exist on the site that are greater than 30%.

## WETLANDS

There are no existing wetlands within the project boundaries.

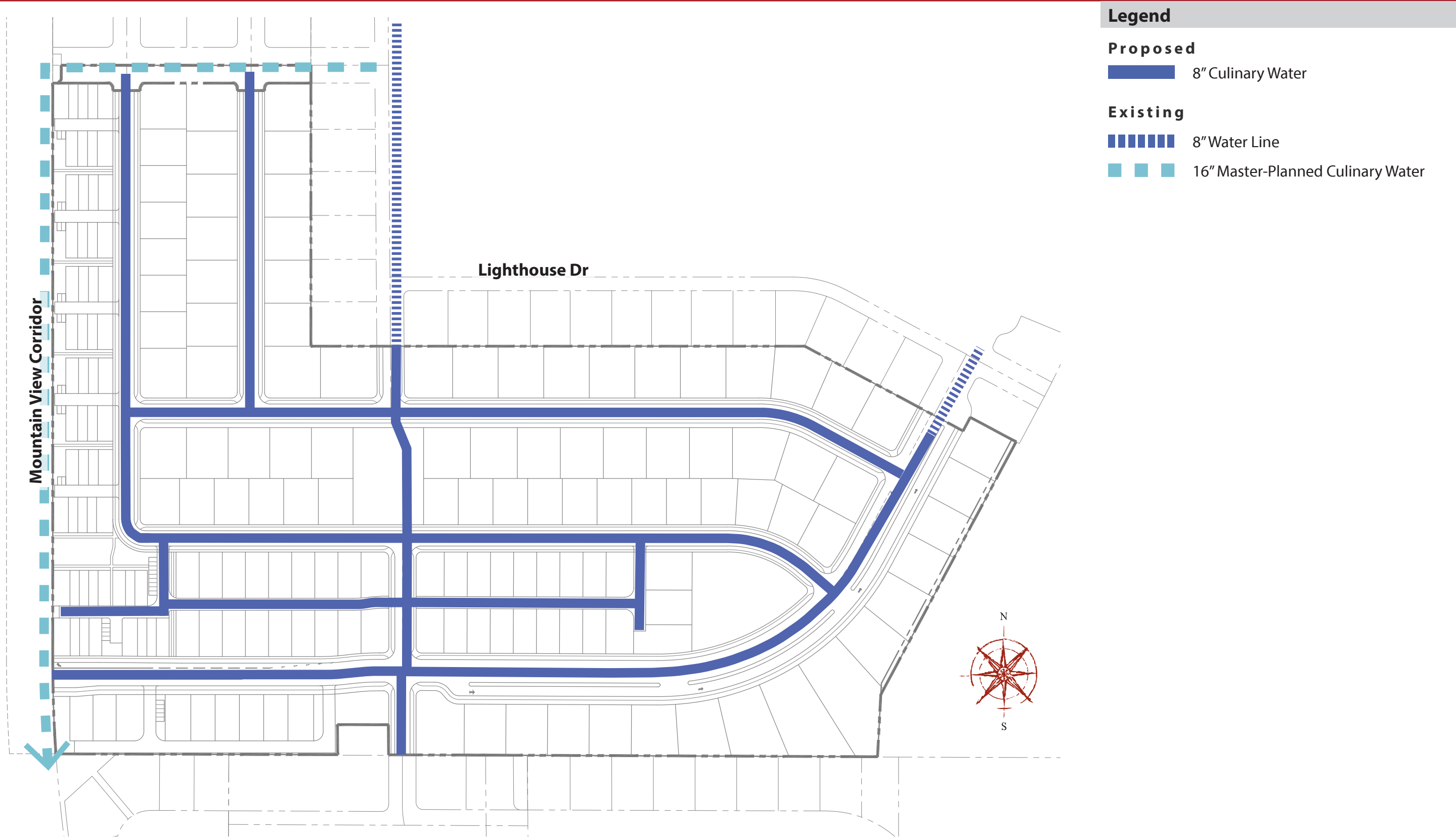
## ENDANGERED PLANTS

The site is currently being framed. There are no endangered plants within the project boundaries.

## WILDLIFE

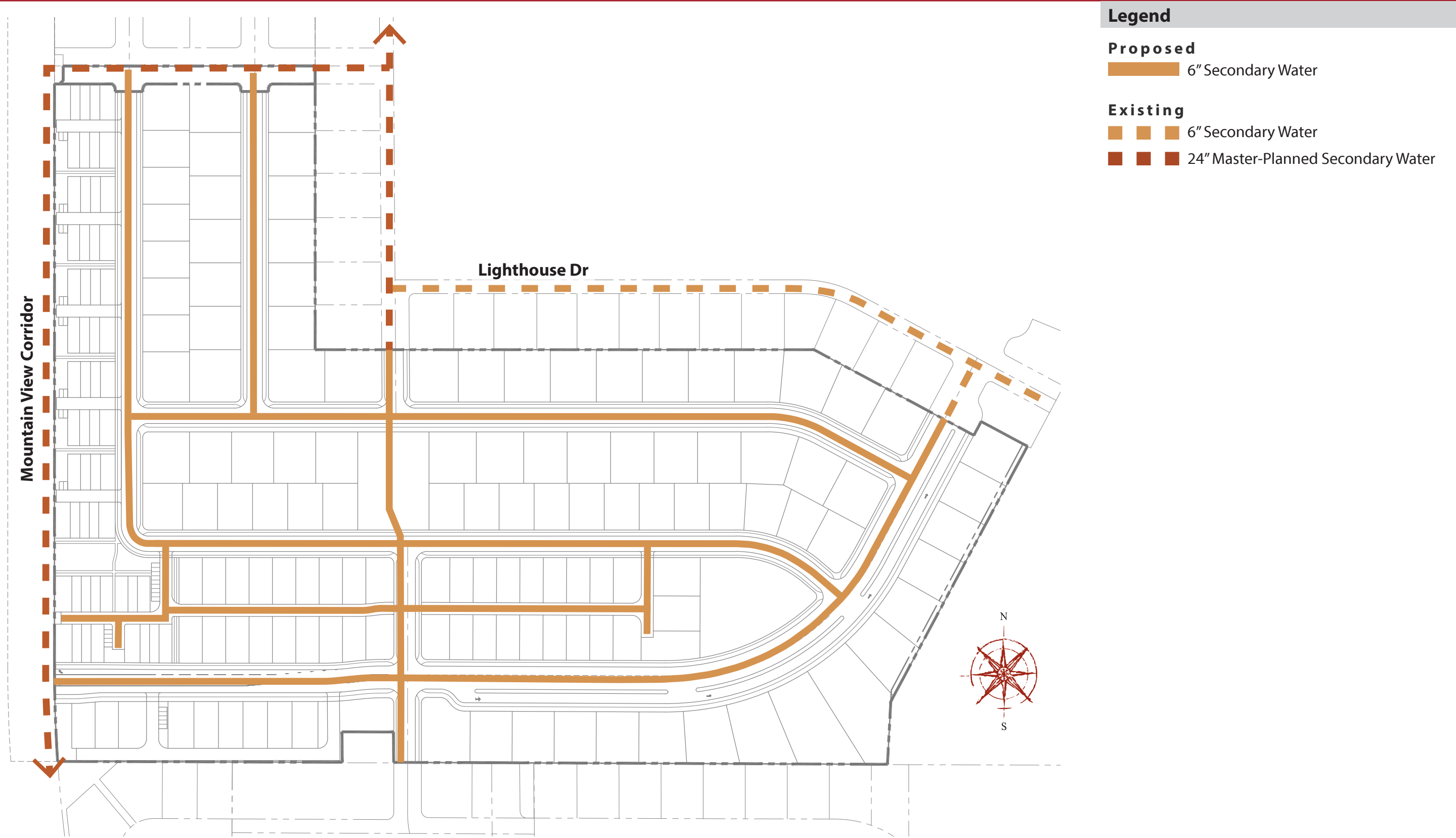
The site is currently being farmed. There are no wildlife within the project boundaries.

# Culinary Water

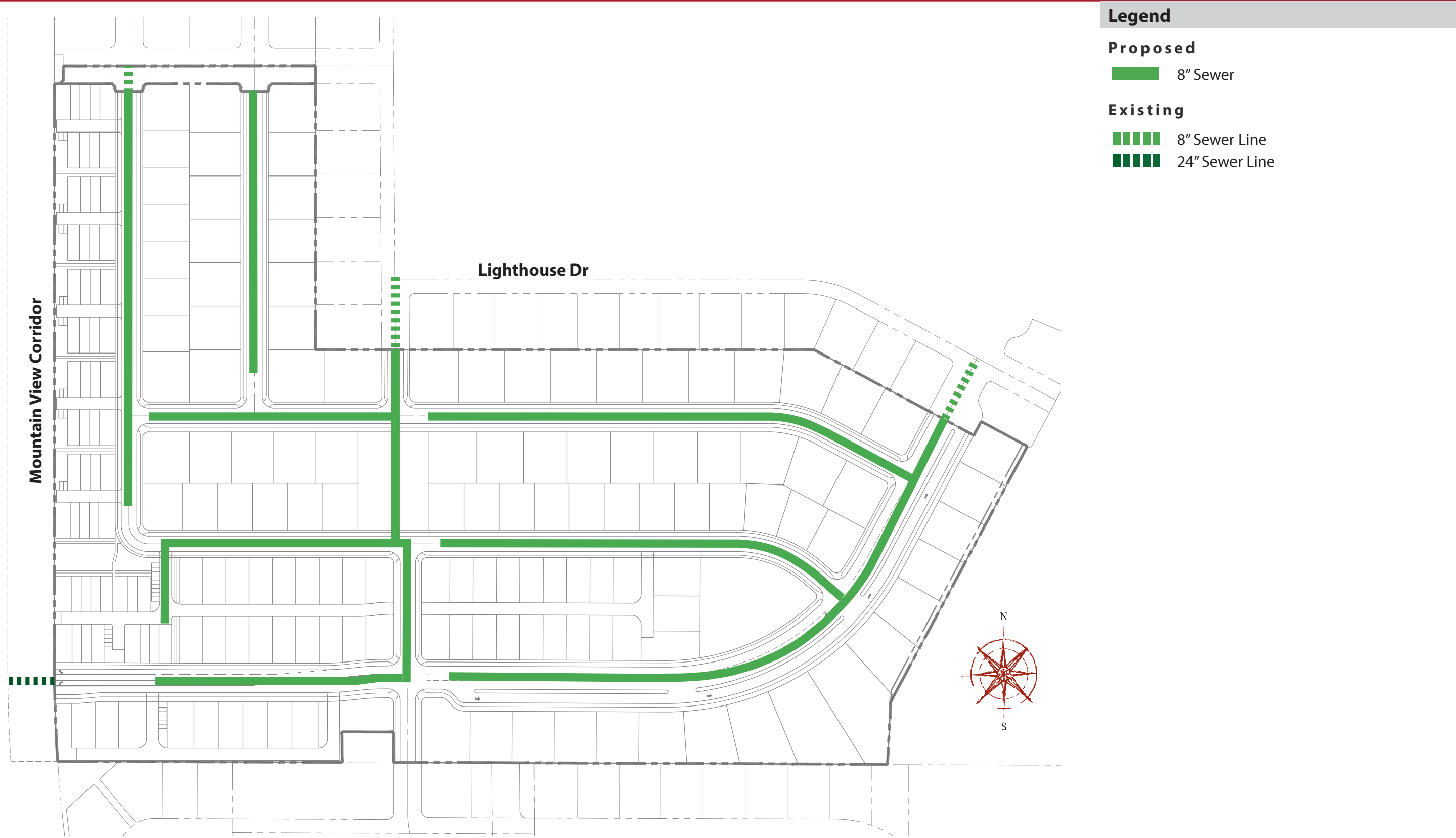




# Secondary Water



# Sewer





# Storm Drain

