

VICINITY MAP  
(N.T.S.)

DATA TABLE					
INFORMATION	ACRES	SQUARE FEET	% TOTAL	#	NOTES
TOTAL PROJECT AREA	1.174	51,156	100		
SENSITIVE LANDS	0.0	0.0	0.0		
OPEN SPACE	0.0	0.0	0.0		
BUILDABLE LAND					
ROW AREA	0.048	2,116	4.14		
LANDSCAPING AREA					
LOTS				1	
BUILDING UNITS					
COMMON AREA	0	0			
PRIVATE AREA	0	0			

LINE TABLE					
LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING
L1	25.55'	S11° 20' 44" E	L14	39.47'	S45° 03' 56" E
L2	156.99'	N73° 54' 56" E	L15	15.00'	S44° 30' 03" W
L3	1.29'	N32° 44' 47" E	L16	44.13'	N45° 03' 56" W
L4	5.57'	N12° 15' 13" W	L17	190.45'	N11° 20' 44" W
L5	10.00'	N76° 36' 54" E	L18	180.12'	S11° 20' 44" E
L6	9.91'	S12° 15' 13" E	L19	41.27'	S45° 03' 56" E
L7	9.19'	S32° 44' 47" W	L20	5.85'	S49° 39' 03" W
L8	156.56'	S73° 54' 56" W	L21	1.67'	S44° 30' 03" W
L9	104.64'	S11° 20' 44" E	L22	7.50'	S44° 30' 03" W
L10	15.02'	N78° 40' 16" E	L23	42.86'	N45° 03' 56" W
L11	10.00'	S11° 19' 44" E	L24	195.54'	N11° 20' 44" W
L12	15.02'	S78° 40' 16" W	L25	3.31'	N76° 39' 33" E
L13	36.10'	S11° 20' 44" E			

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	2.19'	208.00'	0° 36' 10"	S76° 57' 35" W
C2	10.00'	208.00'	2° 45' 18"	S78° 38' 19" W
C3	10.51'	208.00'	2° 53' 46"	S81° 27' 50" W
C4	3.42'	208.00'	0° 50' 35"	S83° 23' 01" W
C5	12.64'	100.00'	7° 14' 24"	N80° 14' 06" E
C6	26.12'	208.00'	7° 11' 45"	S80° 15' 25" W

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. \_\_\_\_" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHT OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY \_\_\_\_, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDED ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUND, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM THE CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. THE SUBJECT PROPERTY IS WITHIN "ZONE X" AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 49049C0145F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD; AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

CALCULATED LOCATION OF THE SOUTH QUARTER CORNER, SECTION 10, T5S, R1W, SLB&M

(N89°55'56"W 2647.26')

EAST 1942.11'

N89°38'42"E 2666.07'

N89°52'22"E 2660.34'

FOUND REBAR/CAP "LEI ENG"

630+00.00 77.99'

ENBRIDGE GAS UTAH  
QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH, APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING PUBLIC UTILITY EASEMENTS, ENBRIDGE GAS UTAH MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED ON THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OR PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT ENBRIDGE GAS UTAH'S RIGHT OF WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

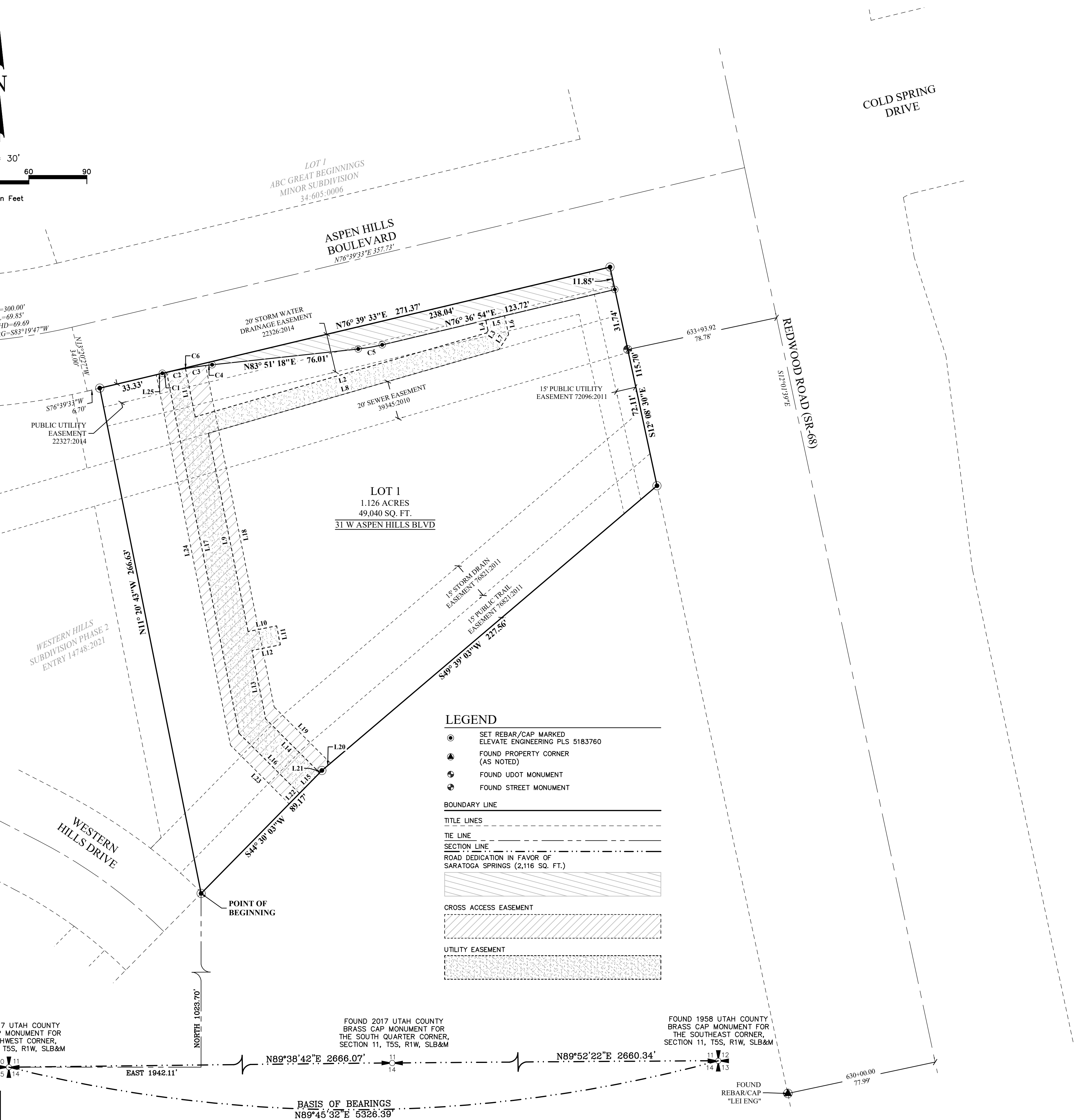
BY \_\_\_\_\_

TITLE  
QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH

ROCKY MOUNTAIN POWER  
1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.  
2. PURSUANT TO UTAH CODE ANN. 10-9a-601 SET SEQ. ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE FUEL AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:  
(1) A RECORDED EASEMENT OR RIGHT-OF-WAY  
(2) THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS  
(3) TITLE 54, CHAPTER 96, DAMAGE TO UNDERGROUND UTILITY FACILITIES  
(4) ANY OTHER PROVISION OF LAW

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

ROCKY MOUNTAIN POWER



LEGEND	
	SET REBAR/CAP MARKED
	ELEVATE ENGINEERING PLS 5183760
	FOUND PROPERTY CORNER (AS NOTED)
	FOUND UDOT MONUMENT
	FOUND STREET MONUMENT
BOUNDARY LINE	
TITLE LINES	
TIE LINE	
SECTION LINE	
ROAD DEDICATION IN FAVOR OF SARATOGA SPRINGS (2,116 SQ. FT.)	
CROSS ACCESS EASEMENT	
UTILITY EASEMENT	

#### SURVEYOR'S CERTIFICATE:

I, THE UNDERSIGNED SURVEYOR, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD A LICENCE (NUMBER SHOWN BELOW) IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-21-17 AND THE UTAH STATE CODE CONDOMINIUM ACT, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

#### BOUNDARY DESCRIPTION

BEGINNING AT A POINT EAST 1942.11 FEET AND NORTH 1023.70 FEET FROM THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN;  
THENCE N11° 20' 43" W 266.63 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ASPEN HILLS BLVD;  
THENCE N76° 39' 33" E 271.37 FEET ALONG THE ASPEN HILLS BLVD. RIGHT-OF-WAY LINE TO THE WESTERLY RIGHT-OF-WAY LINE OF REDWOOD ROAD;  
THENCE S12° 08' 30" E 115.70 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE;  
THENCE S49° 39' 03" W 227.56 FEET;  
THENCE S44° 30' 03" W 89.17 FEET TO THE POINT OF BEGINNING.

ACRES: 1.174 ACRES (51,156 SQUARE FEET, MORE OR LESS)  
# OF LOTS: 1

DATE: \_\_\_\_\_ SURVEYORS NAME: \_\_\_\_\_  
LICENSE NO.: \_\_\_\_\_

#### BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89° 45' 32" EAST BETWEEN THE SOUTHWEST CORNER AND THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

#### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO COMMON AREA, PRIVATE AREA, LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

#### PRECISION MEDICAL SUBDIVISION

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_.

ENTITY: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

#### L.L.C. ACKNOWLEDGEMENT

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ }  
ON THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_, PERSONALLY APPEARED BEFORE ME \_\_\_\_\_, A NOTARY PUBLIC, WHO DULY ACKNOWLEDGED TO ME THAT HE/SHE IS A MANAGING MEMBER OF \_\_\_\_\_, A UTAH LIMITED LIABILITY COMPANY, AND HE/SHE IS AUTHORIZED TO EXECUTE THE FOREGOING OWNERS DEDICATION IN ITS BEHALF AND THAT SHE EXECUTED IT IN SUCH CAPACITY.

COMMISSION NUMBER: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_ PRINT NAME: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

#### APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS CONDOMINIUM SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.  
THIS \_\_\_\_ DAY OF \_\_\_\_, A.D. 20\_\_.

CITY MAYOR: \_\_\_\_\_ ATTEST: CLERK/RECORDER  
(SEE SEAL BELOW)

## PRECISION MEDICAL SUBDIVISION

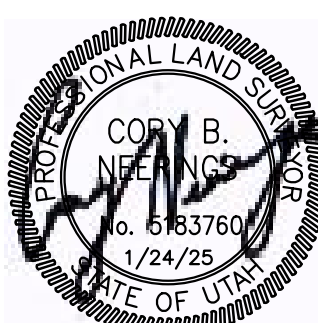
LOCATED IN THE THE SOUTHWEST QUARTER OF  
SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
SARATOGA SPRINGS, UTAH COUNTY, UTAH

DATE: 1/24/25 SCALE: 1"=30' PAGE: 1 OF 1 PROJECT: S24-086

SURVEYOR SEAL

CITY ENGINEER SEAL

CLERK/RECORDER SEAL



ELEVATE ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5993  
larin@elevateng.com

APPLICANT/DEVELOPER: \_\_\_\_\_  
CENTURY LINK  
APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
CENTURY LINK

PUBLIC WORKS DIRECTOR  
APPROVED BY THE PUBLIC WORKS DIRECTOR ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
PUBLIC WORKS DIRECTOR

COMCAST CABLE TELEVISION  
APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
COMCAST CABLE TELEVISION

PLANNING DIRECTOR  
APPROVED BY THE PLANNING DIRECTOR ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
PLANNING DIRECTOR

CITY ENGINEER  
APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
CITY ENGINEER

LAND USE AUTHORITY  
APPROVED BY THE LAND USE AUTHORITY ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
LAND USE AUTHORITY

FIRE CHIEF  
APPROVED BY THE FIRE CHIEF ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
CITY FIRE CHIEF

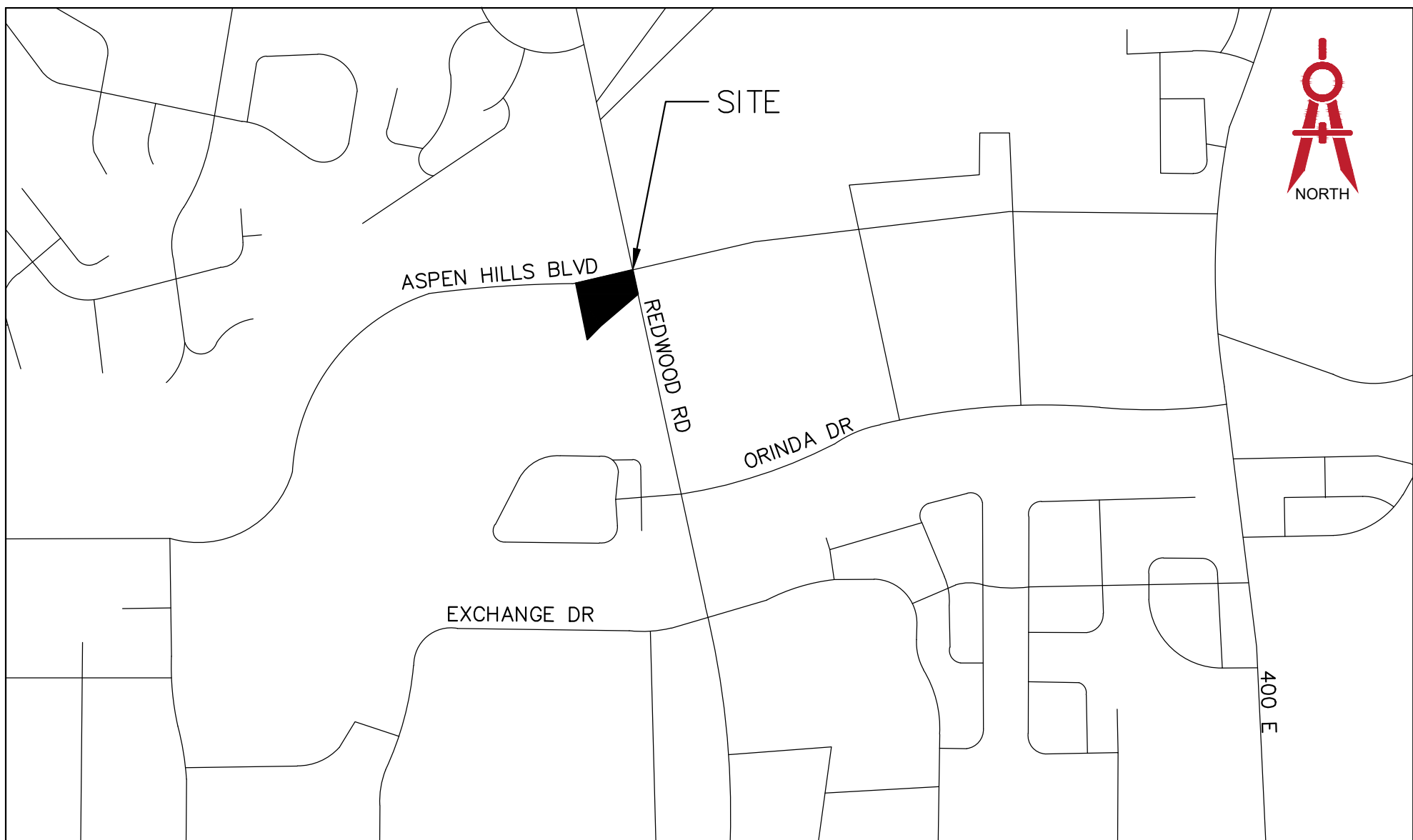
SARATOGA SPRINGS ATTORNEY  
APPROVED BY THE SARATOGA SPRINGS ATTORNEY THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
SARATOGA SPRINGS CITY ATTORNEY

LEHI CITY POST OFFICE  
APPROVED BY THE POST OFFICE REPRESENTATIVE ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.  
LEHI CITY POST OFFICE REPRESENTATIVE



SARATOGA SPRINGS MEDICAL OFFICE  
SARATOGA SPRINGS, UT

VICINITY MAP

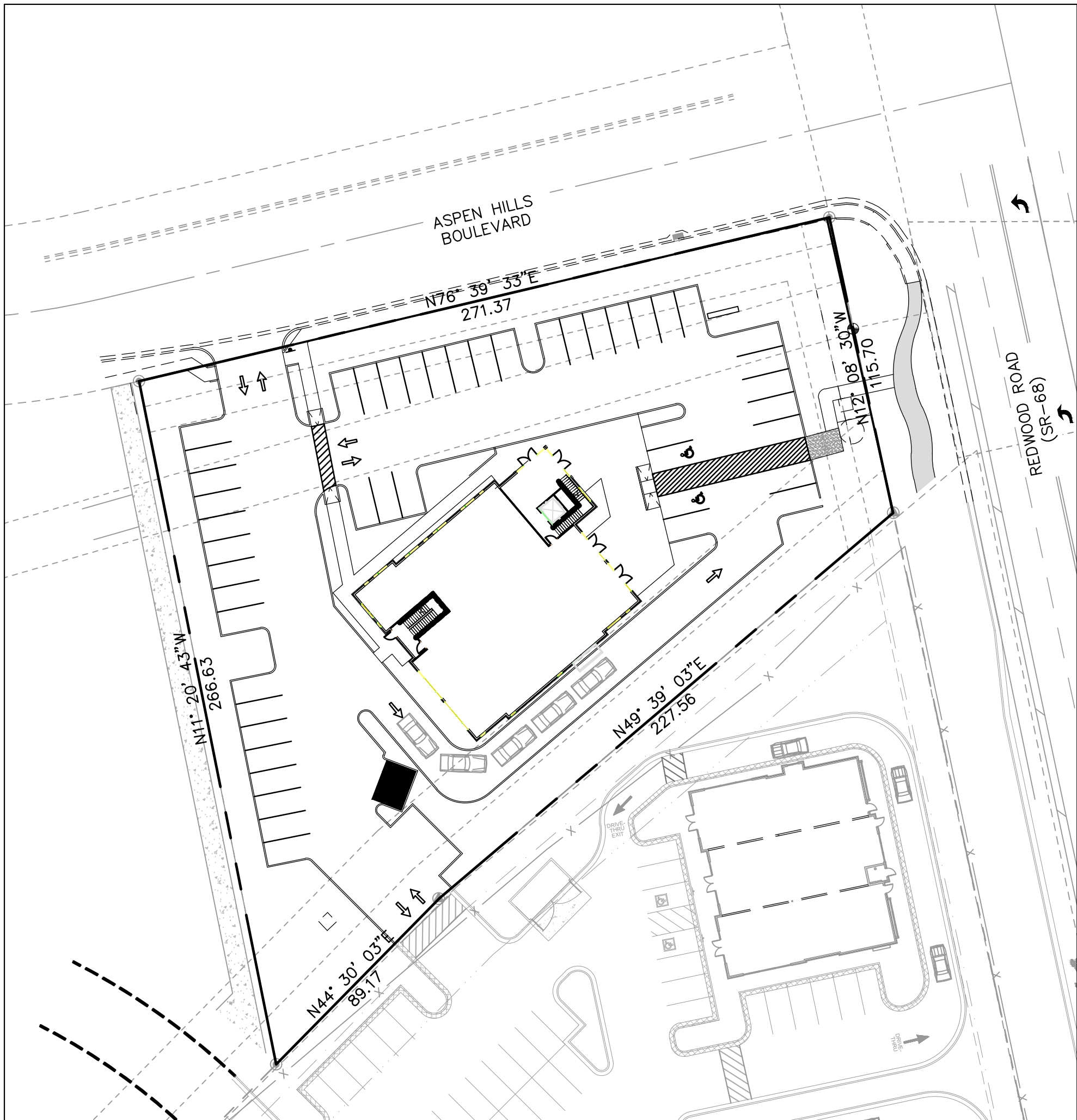


NOT TO SCALE

LEGEND & ABBREVIATION TABLE

R.O.W./PROPERTY LINE		EXISTING CURB AND GUTTER	
EASEMENT LINE		PROPOSED CURB AND GUTTER	
CENTER LINE		INVERT ELEVATION	I.E.
PROPOSED TRAIL		TOP BACK CURB	TBC
PROPOSED WATER LINE		TOP ASPHALT	TA
PROPOSED PRESSURIZED IRRIGATION		TOP OF GRATE	TOG
PROPOSED GROUND WATER DRAIN		FINISHED GRADE	FG
PROPOSED SEWER LINE		TOP OF CONCRETE	TC
PROPOSED STORM DRAIN LINE		HIGH WATER ELEVATION	HWE
EXISTING SEWER LINE		CATCH BASIN	
EXISTING WATER LINE		SURFACE FLOW DIRECTION	
EXISTING STORM DRAIN LINE		PROPOSED STREET LIGHT	
EXISTING CONTOUR		STORM DRAIN MANHOLE	
FINISHED CONTOUR		SANITARY SEWER MANHOLE	
		PROPOSED WATER VALVE	

PROJECT ENGINEER:  
LARVIN POLLOCK  
ELEVATE ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
(801) 718-5993  
LARVIN@ELEVATENG.COM



SITE MAP

1"=40'

INDEX

- C-0 Cover Sheet
- C-1 Existing Topography
- C-2 Site Plan
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- C-7 Utility Details
- L-1 Landscape Plan
- L-2 Irrigation Plan
- L-3 Irrigation Details
- ES001 Photometric Plan
- ES002 Photometric Details

SITE DATA

LOT AREA:	51,156	SF (1.17 ACRES)
BUILDING AREA:	6,338	SF± 12.4%
PAVEMENT AREA:	24,509	SF± 47.9%
SIDEWALK AREA:	3,113	SF± 6.1%
LANDSCAPE AREA:	17,196	SF± 33.6%

TOTAL IMPERVIOUS AREA: 33,960 SF± 66.4%

ZONING: RC (REGIONAL COMMERCIAL)

CITY STANDARD NOTES:

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.  
CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.  
ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.  
EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF THE ENGINEERS KNOWLEDGE, HOWEVER IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.  
POST-ACCEPTANCE ALTERATION TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR ACCEPTED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE.  
THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND ACCEPTED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.  
ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.

NO.

REVISIONS

BY

DATE

PROJECT ENGINEER: LP

DESIGNER: GB

ELEVATE ENGINEERING

2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5993  
larvin@elevateng.com

ENGINEERING

SARATOGA SPRINGS MEDICAL OFFICE

COVER SHEET

31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT

PROFESSIONAL ENGINEER

02/2025

10664737

LARVIN POLLOCK

STATE OF UTAH

SHEET:

C-0

DATE:

Apr 02, 2025



PROJECT ENGINEER:  
LARVIN POLLOCK  
ELEVATE ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
(801) 718-5993  
LARVIN@ELEVATEENG.COM

44' X 280' CLEAR VIEW TRIANGLE  
NO OBSTRUCTIONS TALLER THAN 3.5'  
WITHIN TRIANGLE

EXISTING FIRE  
HYDRANT

ASPEN HILLS  
BOULEVARD

36' PAVEMENT

PROPOSED 3:1  
LANDSCAPE BERM  
ALONG FRONTAGE

INSTALL MONUMENT  
SIGN PER CITY  
STANDARDS.

NEW INSTALLED RIGHT TURN  
LANE AND IMPROVEMENTS

PROPOSED 3:1  
LANDSCAPE BERM  
ALONG FRONTAGE

PROPOSED LANDSCAPE  
BERM TO BE MODIFIED FOR  
PEDESTRIAN ACCESS

REDWOOD ROAD  
(SR-68)

INSTALL DRIVEWAY PER  
CITY STANDARDS. SEE  
SHEET C-6 FOR DETAIL.

INSTALL STOP  
SIGN PER CITY  
STANDARDS.

PROPOSED 10.00  
UTILITY EASEMENT

31' X 280' CLEAR VIEW TRIANGLE  
NO OBSTRUCTIONS TALLER THAN 3.5'  
WITHIN TRIANGLE

20' SEWER EASEMENT  
39345:2010

INSTALL 6" OPAQUE FENCE  
COORDINATE W/ WESTERN HILLS  
DEVELOPER FOR FENCE DESIGN

PROPOSED PEDESTRIAN ACCESS  
  
PROPOSED BUILDING  
6,338 SQ FT

INSTALL COMMERCIAL DRIVE APPROACH  
FOR CLEANING & MAINTENANCE OF  
STORM DRAIN MANHOLES CAPABLE OF  
SUPPORTING H-20 VEHICLE  
SEE SHEET C-5 FOR DETAILS

15' PUBLIC UTILITY  
EASEMENT 22096:2011

20' STORM DRAIN  
EASEMENT 78621:2011

GENERAL NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
3. ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
7. ALL WORK TO BE ACCORDING TO CITY STANDARDS.

# LEGEND

LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
STRIPING	
BUILDING SETBACK	
LANDSCAPE SETBACK	
EXISTING BUILDING	
EXISTING FENCE	
TOP BACK OF CURB	TBC
FINISHED FLOOR ELEVATION	FFE
LANDSCAPE AREA	
CONCRETE AREA	

SITE DATA

LOT AREA:	51,156	SF (1.17 ACRES)
BUILDING AREA:	6,338	SF± 12.4%
PAVEMENT AREA:	24,509	SF± 47.9%
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ZONING: RC (REGIONAL COMMERCIAL) W/ BP APPROVED USES  
PERMITTED USE  
PARCEL ID#: 580230197

BUILDING DATA

SETBACKS:  
FRONT AND STREET SIDE=10 FEET  
REAR=30 FEET  
SIDE=10 FEET OR BUILDING HEIGHT, WHICHEVER IS GREATER

PARKING TABULATION

REQUIRED:  
OFFICE, MEDICAL & HEALTHCARE: 5 STALLS PER 1000 SQ FT  
(4,465/1000 = 4.65) 4.65 X 5 STALLS = 23.25 STALLS

RETAIL SALES: 4 STALLS PER 1000 SF  
(5,001/1000 = 5) 5 X 4 = 20 STALLS

TOTAL REQUIRED: 44 STALLS  
3 STACKING STALLS

PROVIDED: 46 STALLS  
2 ADA STALLS  
5 STACKING STALLS

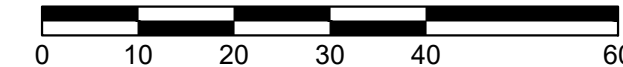
NOTES:

1. PROPOSED 5' SIDEWALK PER CITY STANDARD DWG ST-1. SEE SHEET C-4 FOR DETAILS.
2. ALL HANDICAP STALLS AND RAMPS TO BE INSTALLED PER CITY STANDARD DWG ST-5B. SEE SHEET C-4 FOR DETAILS.
3. PROPOSED 24" HIGH BACK CURB & GUTTER TYPE PER CITY STANDARD DWG ST-2B. SEE SHEET C-4 FOR DETAILS.
4. PROPOSED 6" CURB WALL PER CITY STANDARD DWG ST-2C. SEE SHEET C-4 FOR DETAILS.
5. PAINT 4" SOLID YELLOW PAINT STRIPE AS SHOWN (TYPICAL).
6. PROPOSED DUMPSTER LOCATION. SEE ARCHITECTURAL PLAN SHEETS FOR DETAILS.

NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)



SCALE: 1" = 20'



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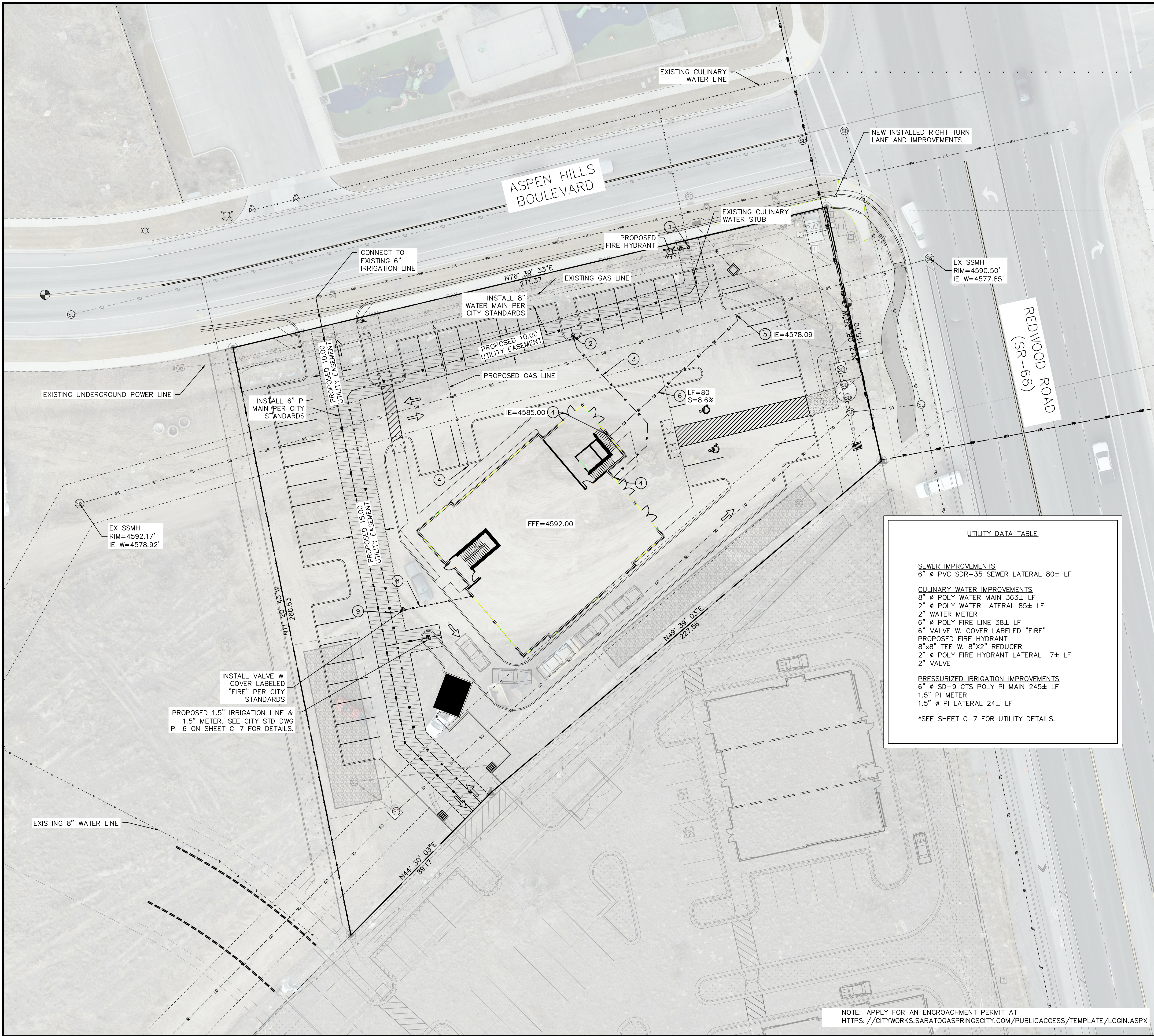
SARATOGA SPRINGS MEDICAL OFFICE  
SITE PLAN  
31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT



SHEET:  
C-2

DATE:  
Apr 02, 2025





# LEGEND

PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN LINE	SD SD SD
EXISTING STORM DRAIN LINE	SD SD SD
PROPOSED SEWER LINE	SS SS SS
EXISTING SEWER LINE	SS SS SS
PROPOSED WATER LINE	W W W
EXISTING WATER LINE	W W W
INVERT ELEVATION	IE
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
TOP OF FOUNDATION	TOF

## DESIGN NOTES:

- CONNECT TO PROPOSED 8" WATER STUB WITH 8X8 TEE & 8X2 REDUCER PER CITY STD DWG DW-2. SEE SHEET C-7 FOR DETAILS.
- INSTALL 2" WATER METER PER CITY STANDARD DRAWING. SEE SHEET C-7 FOR DETAILS.
- INSTALL 2" POLY WATER LINE PER CITY STANDARDS.
- END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION.
- CONNECT TO EXISTING SEWER MAIN PER CITY STD DWG SS-3. SEE SHEET C-7 FOR DETAILS. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.
- INSTALL 6" PVC SDR-35 SEWER PIPE AT 2% MIN. SLOPE.
- CONNECT TO EXISTING PI LINE WITH HOT TAP PER CITY STANDARDS.
- INSTALL 6" FIRE LINE PER CITY STANDARDS.
- CONNECT TO PROPOSED 8" WATER LINE W/ FLANGE & GATE VALVE PER CITY STANDARDS.

## UTILITY DATA TABLE

**SEWER IMPROVEMENTS**  
6" Ø PVC SDR-35 SEWER LATERAL 80± LF

**CULINARY WATER IMPROVEMENTS**  
8" Ø POLY WATER MAIN 363± LF  
2" Ø POLY WATER LATERAL 85± LF  
2" WATER METER  
6" Ø POLY FIRE LINE 38± LF  
6" VALVE W. COVER LABELED "FIRE"  
PROPOSED FIRE HYDRANT  
8"x8" TEE W. 8"x2" REDUCER  
2" Ø POLY FIRE HYDRANT LATERAL 7± LF  
2" VALVE

**PRESSURIZED IRRIGATION IMPROVEMENTS**  
6" Ø SD-9 CTS POLY PI MAIN 245± LF  
1.5" PI METER  
1.5" Ø PI LATERAL 24± LF

\*SEE SHEET C-7 FOR UTILITY DETAILS.

- GENERAL NOTES:
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION
  - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION
  - ALL PROPOSED WATER LINES TO HAVE A MINIMUM OF 5' OF COVER
  - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
  - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
  - SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
  - ALL WORK TO BE ACCORDING TO CITY STANDARDS.



SCALE: 1" = 20'



NOTE: APPLY FOR AN ENCROACHMENT PERMIT AT  
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SARATOGA SPRINGS MEDICAL OFFICE  
UTILITY PLAN

31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT

PROFESSIONAL ENGINEER  
02/2025  
10864737  
LARVIN POLLOCK  
STATE OF UTAH

SHEET:  
C-5

DATE:  
Apr 02, 2025

REVISIONS

NO.

BY

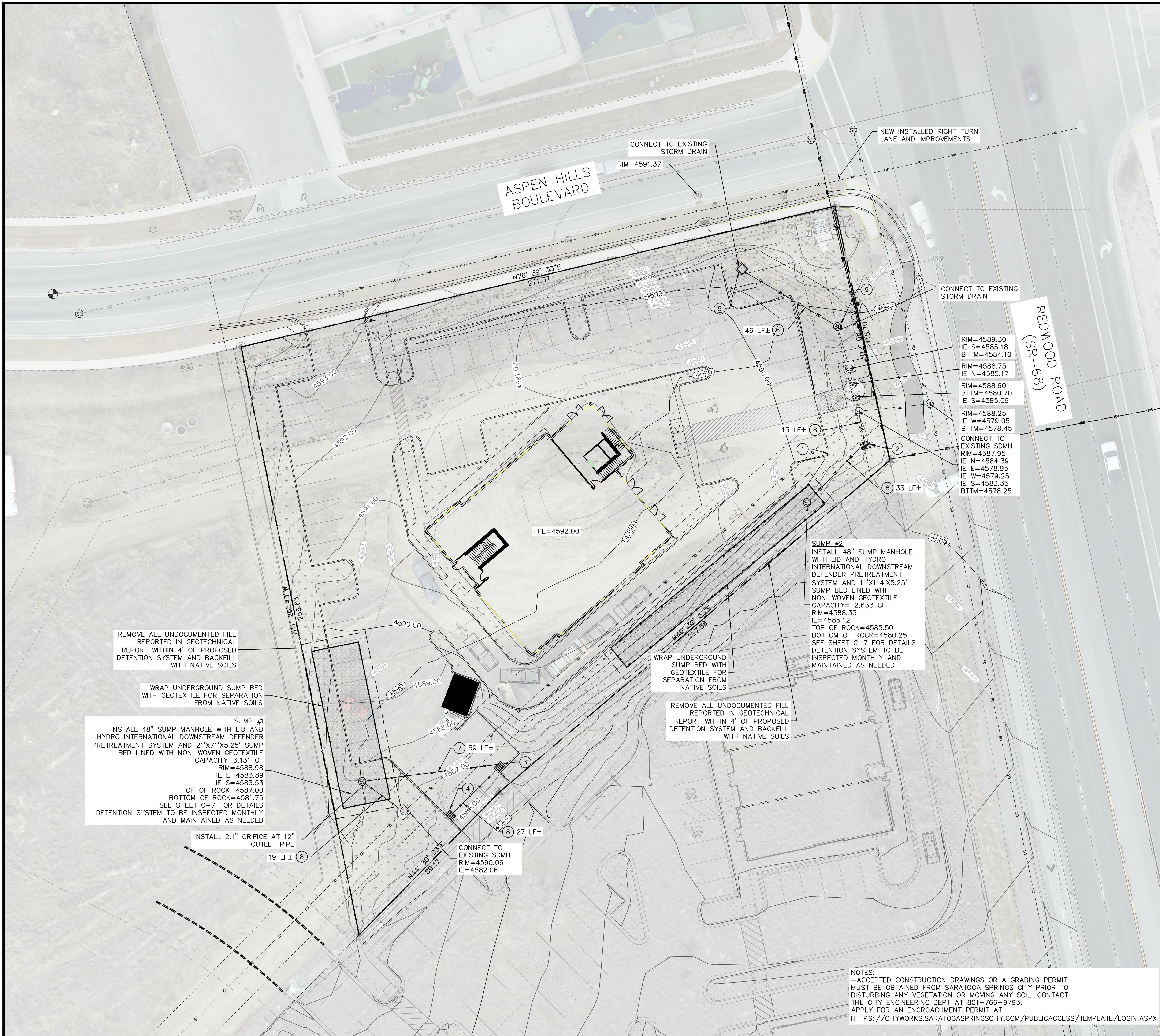
DATE

DESIGNER: GB









# LEGEND

LOT LINES (PROPERTY)	---
EXISTING CURB AND GUTTER	==
PROPOSED CATCH CURB AND GUTTER	==
PROPOSED CURB WITHOUT GUTTER	---
PROPOSED STORM DRAIN LINE	SD
EXISTING STORM DRAIN LINE	SD
GRADE BREAK	GB
FINISH GRADE CONTOUR LINES	4960
EXISTING GRADE CONTOUR LINES	4960
FINISH GRADE SLOPE	SLOPE
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW
BOTTOM OF WALL	B WALL
EDGE OF ASPHALT	EOA
TOP OF FOUNDATION	TOF

## DESIGN NOTES:

1. INSTALL 3' WIDE CURB CUT.  
FL=4589.39
2. INSTALL 3'X3' STORM BOX WITH 2.0" ORIFICE WITH SNOOT.  
RIM=4588.01  
IE=4583.41
3. INSTALL CURB INLET BOX PER CITY STANDARD DWG SD-2  
W/ SNOOT. SEE SHEET C-7 FOR DETAILS.  
TBC=4586.60  
IE=4584.08
4. INSTALL CURB INLET BOX PER CITY STANDARD DWG SD-2  
W/ SNOOT. SEE SHEET C-7 FOR DETAILS.  
TBC=4586.70  
IE=4584.20
5. INSTALL 4'X4' STORM BOX W/ LID  
RIM=4590.48  
IE=4586.95
6. INSTALL 18" RCP PIPE @ 0.26% MINIMUM SLOPE
7. INSTALL 15" ADS PIPE @ 0.32% MINIMUM SLOPE
8. INSTALL 12" ADS PIPE @ 0.44% MINIMUM SLOPE
9. INSTALL 4' MANHOLE PER APWA STANDARD DWG 431.2.  
RIM=4589.40  
IE=4585.16

\*\*LID - ROOF DRAINS TO DRAIN INTO LANDSCAPING.

ENGINEERING CERTIFICATION:  
I HEREBY CERTIFY THAT THIS DESIGN FOR THE ONSITE DRAINAGE OF THIS DEVELOPMENT WAS PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF SARATOGA SPRINGS' STANDARD SPECIFICATIONS AND DRAWINGS, AND WAS DESIGNED TO COMPLY WITH THE PROVISIONS THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO RESPONSIBILITY OR LIABILITY WHATSOEVER FOR THIS DESIGN.

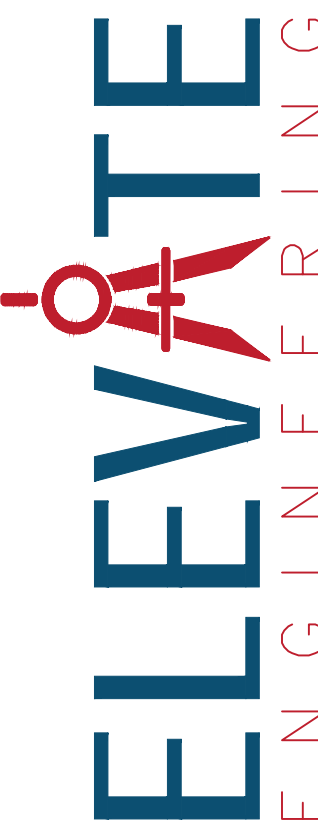


SCALE: 1" = 20'

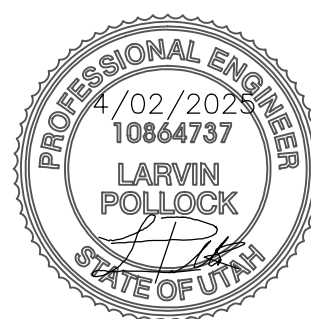


NOTES:  
-ACCEPTED CONSTRUCTION DRAWINGS OR A GRADING PERMIT MUST BE OBTAINED FROM SARATOGA SPRINGS CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEERING DEPT AT 801-766-9793.  
APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

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PHONE: (801) 718-6993  
[info@elevateeng.com](mailto:info@elevateeng.com)



SARATOGA SPRINGS MEDICAL OFFICE  
DRAINAGE PLAN  
31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT

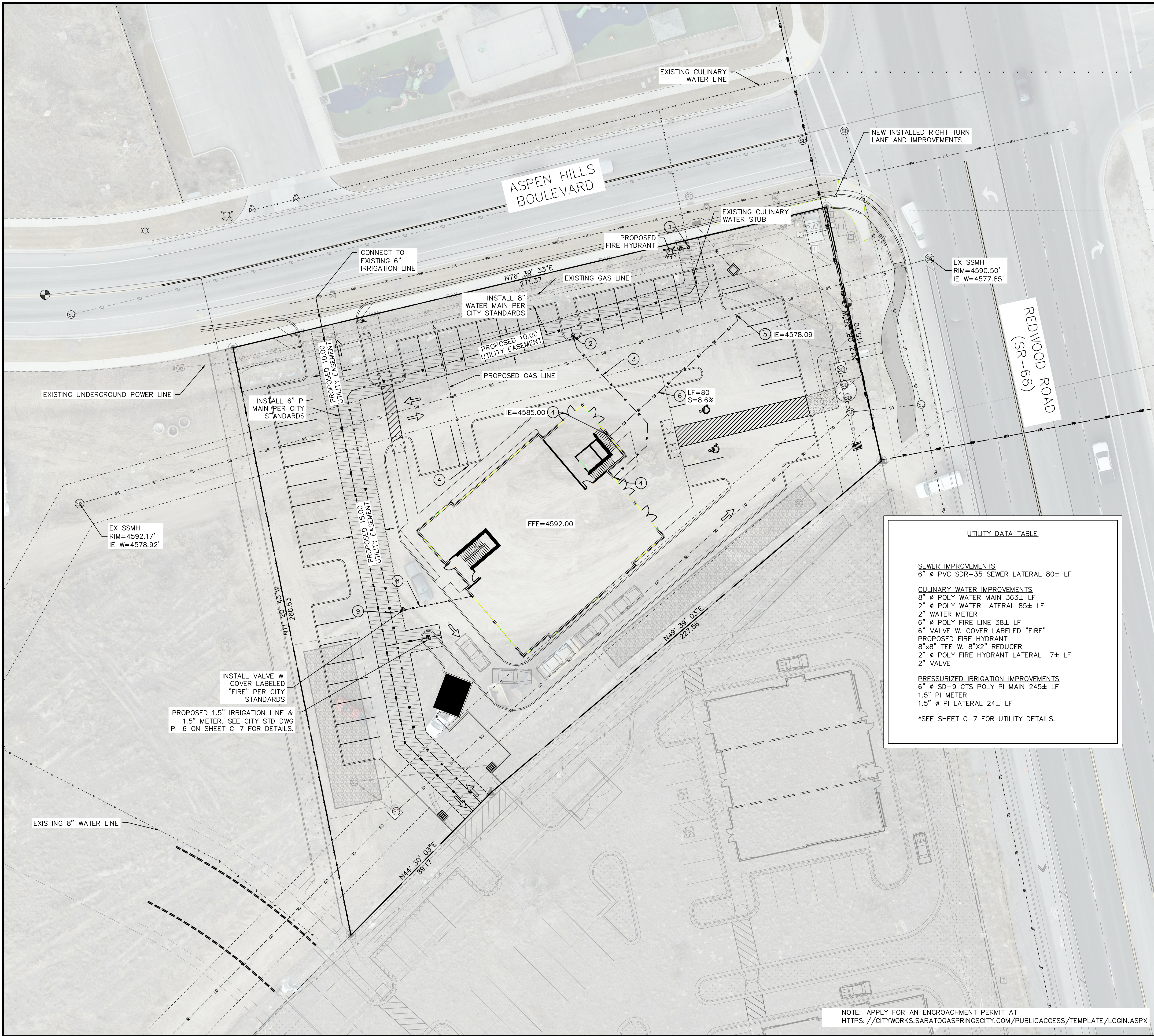


SHEET:

C-4

DATE: Apr 02, 2025





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# LEGEND

PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	=====
PROPOSED CURB AND GUTTER	=====
PROPOSED STORM DRAIN LINE	---SD---SD---SD---
EXISTING STORM DRAIN LINE	---SD---SD---SD---
PROPOSED SEWER LINE	---SS---SS---SS---
EXISTING SEWER LINE	---SS---SS---SS---
PROPOSED WATER LINE	---W---W---W---
EXISTING WATER LINE	---W---W---W---
INVERT ELEVATION	IE
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
TOP OF FOUNDATION	TOF

## DESIGN NOTES:

- CONNECT TO PROPOSED 8" WATER STUB WITH 8X8 TEE & 8X2 REDUCER PER CITY STD DWG DW-2. SEE SHEET C-7 FOR DETAILS.
- INSTALL 2" WATER METER PER CITY STANDARD DRAWING. SEE SHEET C-7 FOR DETAILS.
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- CONNECT TO EXISTING SEWER MAIN PER CITY STD DWG SS-3. SEE SHEET C-7 FOR DETAILS. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION.
- INSTALL 6" PVC SDR-35 SEWER PIPE AT 2% MIN. SLOPE.
- CONNECT TO EXISTING PI LINE WITH HOT TAP PER CITY STANDARDS.
- INSTALL 6" FIRE LINE PER CITY STANDARDS.
- CONNECT TO PROPOSED 8" WATER LINE W/ FLANGE & GATE VALVE PER CITY STANDARDS.

## UTILITY DATA TABLE

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**CULINARY WATER IMPROVEMENTS**  
8" Ø POLY WATER MAIN 363± LF  
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6" VALVE W. COVER LABELED "FIRE"  
PROPOSED FIRE HYDRANT  
8"x8" TEE W. 8"x2" REDUCER  
2" Ø POLY FIRE HYDRANT LATERAL 7± LF  
2" VALVE

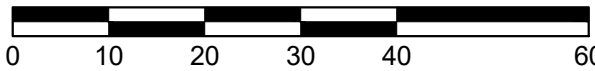
**PRESSURIZED IRRIGATION IMPROVEMENTS**  
6" Ø SD-9 CTS POLY PI MAIN 245± LF  
1.5" PI METER  
1.5" Ø PI LATERAL 24± LF

\*SEE SHEET C-7 FOR UTILITY DETAILS.

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SCALE: 1" = 20'



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SPRINGVILLE, UT 84663  
PHONE: (801) 748-5993  
larvin@elevateeng.com

PROJECT ENGINEER: LP

DESIGNER: GB

SARATOGA SPRINGS MEDICAL OFFICE  
UTILITY PLAN

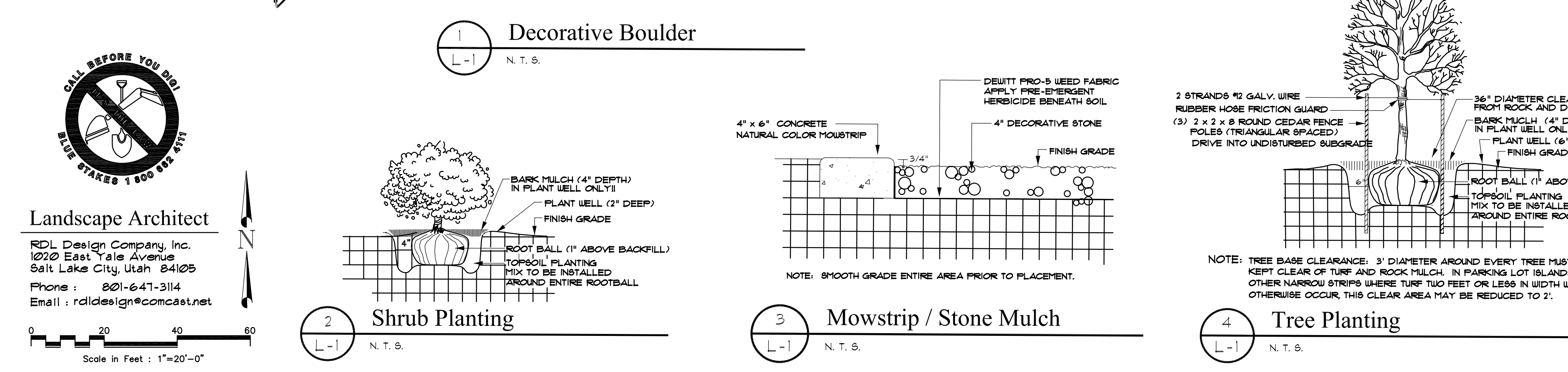
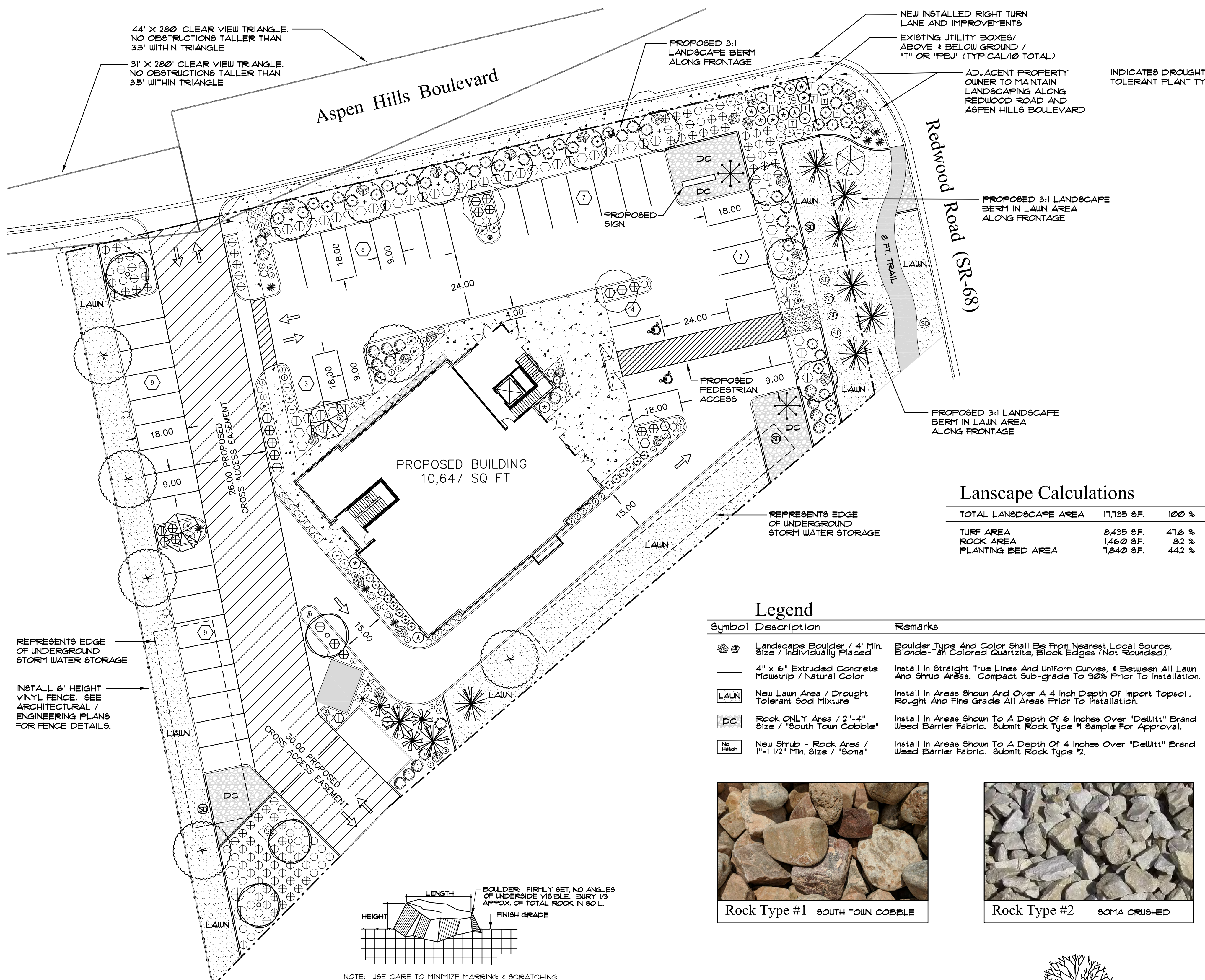
31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT

PROFESSIONAL ENGINEER  
02/2025  
10864737  
LARVIN POLLOCK  
STATE OF UTAH

SHEET:  
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DATE:  
Apr 02, 2025





**CALL BEFORE YOU DIG!**  
800 662-5771

**Landscape Architect**  
RDL Design Company, Inc.  
1020 East Yale Avenue  
Salt Lake City, Utah 84105  
Phone: 801-641-3114  
Email: rdl.design@comcast.net

Scale in Feet: 1"=20'-0"

Plant List (TREES)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2		Cercis canadensis 'Merlot'	Merlot Redbud	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
9		Crataegus crue-galli	Cockspur Hawthorn	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
1		Malus sp. 'Spring Snow'	Spring Snow Crab	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
9		Pinus flexilis 'Vanderwolfae'	Vanderwolfae Limber Pine	6'-8" Height B & B	Full Throughout Specimen
2		Pinus leucodermis heidreichii	Dwarf Bosnian Pine	6'-8" Height B & B	Full Throughout Specimen
2		Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
4		Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
5		Zeicola serrata 'Village Green'	Village Green Zeicola	2" Caliper 10'-12' Height	Full Head Crown Straight Trunk

Plant List (SHRUBS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1		Berberis thunb. 'Crimson Pygmy'	Crimson Pygmy Barberry	5 Gallon	15"-18" Height
17		Buxus japonica 'Julia Jane'	Julia Jane Boxwood	5 Gallon	18"-24" Height
14		Juniperus chinensis 'Spartan'	Spartan Upright Juniper	5 Gallon	36"-48" Height
2		Physocarpus o. 'Summer Wine'	Summer Wine Ninebark	5 Gallon	24"-30" Height
50		Rhus aromatica 'Low Grow'	Low Grow Sumac	5 Gallon	18"-24" Spread
3		Rhus typhina 'Baltiger'	Tiger Eyes Sumac	5 Gallon	30"-36" Height
16		Rosa 'Knock Out Red'	Knock Out Red Rose	5 Gallon	18"-24" Height
19		Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	18"-24" Height
7		Yucca filam. 'Golden Sword'	Golden Sword Yucca	5 Gallon	15"-18" Height

Plant List (ORNAMENTAL GRASSES)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
24		Calamagrostis a. 'Avalanche'	Avalanche Feather Grass	5 Gallon	24"-30" Height
55		Calamagrostis a. 'Foerster'	Foerster Feather Grass	5 Gallon	24"-30" Height
120		Helictotrichon sempervirens	Blue Oat Grass	2 Gallon	15"-18" Height
3		Fanlum virgatum 'Shenandoah'	Shenandoah Switch Grass	5 Gallon	18"-24" Height
3		Fernisetum alopec. 'Hansel'	Hansel Fountain Grass	2 Gallon	12"-15" Height

Plant List (PERENNIALS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
48		Hemerocallis 'Stella d'Oro'	Stella d'Oro Day Lily	1 Gallon	Full Can
12		Lavandula 'Hidcote Blue'	Blue Lavender	1 Gallon	Full Can
14		Salvia 'East Friesland'	East Friesland Sage	1 Gallon	Full Can

- ### Planting Notes
- All lawn areas shall receive a 4" depth of topsoil, all plantings areas an 8 inch depth of topsoil. If topsoil is not available at the site, it must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. Provide a chemical analysis of all topsoil for approval.
  - Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
  - All plant material beds shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
  - Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive (Soil Pep or equal), and shall be rotary mixed on-site prior to installation.
  - Plant fertilizer shall be "Agriform" brand 21 gram tablets used as per manufacturers recommendations.
  - Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of shredded bark mulch mixture as a cover. The overall shrub beds themselves (beyond plant wells) shall receive a 4" depth of decorative rock as specified, and over "DeWitt" Pro-5 weed barrier fabric.
  - In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stone.
  - Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days minimum) and shall include weeding, pruning and one fertilization.
  - The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than two years following the date of completion and final acceptance.
  - Final project certification to be completed by Owner/Contractor.

- ### General Notes
- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
  - The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
  - The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
  - The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
  - The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
  - All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
  - The contractor shall plant all plants per the planting details, stakes/guy as shown. The top of the rootballs shall be planted flush with the finish grade.
- ### Sub-Grade Requirements
- LAWN AREAS: Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas. Grading tolerances to be +/- 1" of ultimate acceptable grade.
  - PLANTING AREAS: Twelve (12) inches below finish grade. This will allow for the installation of an eight inch depth of topsoil along with a four inch depth of bark mulch or decorative stone, leaving it slightly below finish grade and concrete areas.
  - ROCK-ONLY AREAS: Six (6) inches below finish grade. This will allow for the installation of a 5"-6" depth of decorative cobble, leaving it slightly below finish grade and concrete areas. Grading tolerances to be +/- 1" of ultimate acceptable grade.
  - SUB-GRADE COORDINATION: The Landscapes contractor shall meet early on in the construction process with the site grading contractor, in order to ensure that all sub-grades, prior to final topsoil placement, are provided. Any discrepancies or questions shall be discussed and resolved at that time. Landscapes operations shall not begin until the specified sub-grade elevations have been provided.

- ### Submittal Requirements
- The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
  - All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.