

DATA TABLE					
INFORMATION	ACRES	SQUARE FEET	%	#	NOTES
TOTAL PROJECT AREA	1.174	51,156	100		
SENSITIVE LANDS	0.0	0.0	0.0		
OPEN SPACE	0.0	0.0	0.0		
BUILDABLE LAND	0.048	2,116	4.14		
ROW AREA					
LANDSCAPING AREA					
LOTS				1	
BUILDING UNITS	0	0			
COMMON AREA	0	0			
PRIVATE AREA	0	0			

LINE TABLE					
LINE #	LENGTH	BEARING	LINE #	LENGTH	BEARING
L1	25.85'	S11° 20' 44"E	L14	39.47'	S45° 03' 56"E
L2	156.99'	N73° 54' 56"E	L15	15.00'	S44° 30' 03"W
L3	1.29'	N32° 44' 47"E	L16	44.13'	N45° 03' 56"E
L4	5.57'	N11° 15' 13"W	L17	190.45'	N11° 20' 44"W
L5	10.00'	N76° 36' 54"E	L18	180.12'	S11° 20' 44"E
L6	9.91'	S12° 15' 13"E	L19	41.27'	S45° 03' 56"E
L7	9.19'	S32° 44' 47"W	L20	5.85'	S49° 39' 03"W
L8	156.56'	S73° 54' 56"W	L21	1.67'	S44° 30' 03"W
L9	104.64'	S11° 20' 44"E	L22	7.50'	S44° 30' 03"W
L10	15.02'	N78° 40' 16"E	L23	42.86'	N45° 03' 56"E
L11	10.00'	S11° 19' 44"E	L24	195.54'	N11° 20' 44"W
L12	15.02'	S78° 40' 16"E	L25	3.31'	N76° 39' 33"E
L13	36.10'	S11° 20' 44"E			

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	2.19'	208.00'	0° 36' 10"	2.19'	S76° 57' 35"W
C2	10.00'	208.00'	2° 45' 18"	10.00'	S78° 38' 19"W
C3	10.51'	208.00'	2° 53' 46"	10.51'	S81° 27' 50"W
C4	3.42'	208.00'	0° 56' 35"	3.42'	S83° 23' 01"W
C5	12.64'	100.00'	7° 14' 24"	12.63'	N80° 14' 06"E
C6	26.12'	208.00'	7° 11' 45"	26.11'	S80° 15' 25"W

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENT, WITHIN 24 MONTHS OF APPROVAL OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE DAY OF 01/24/25.

2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT, AS DETERMINED BY THE CITY BUILDING OFFICIAL.

3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.

4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF THE PLAT. THE BOND IS ALSO SUBJECT TO THE CONDITIONS OF THIS AGREEMENT.

5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.

6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.

7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.

8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY [REDACTED], WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDED ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.

9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUND, ODORES, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE FOR DAMAGE AND ASSUMES NO LIABILITY. THIS PLAT DOES NOT RESTRICT ANY GRASS, GATHERED, OR CULTIVATED USE FROM INDIVIDUALS TO OCCUR.

10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCUSE THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE PROPERTY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

11. THE SUBJECT PROPERTY IS WITHIN "ZONE X" AS SHOWN BY FLOOD INSURANCE RATE MAP NUMBER 49049C0145P WITH AN EFFECTIVE DATE OF JUNE 19, 2020.

BY SIGNING THIS PLAT, THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD, (B) LOCATION EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN UTAH CODE SECTION 10-9A-603(4)(c)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

CALCULATED LOCATION OF THE SOUTH QUARTER CORNER, 10° 11' 15" N 104° 21' 15" E (N89° 55' 56"W 2647.26').

QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH, APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE AN AGREEMENT OR WAIVER OF ANY RIGHTS OR DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 10-9a-601 SET FORTH, ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS PROVIDED IN THE CONTRACTS AND AGREEMENTS COVERED BY THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT AFFECT ANY OTHER EASEMENT TO WHICH THE PUE IS SUBJECT.

3. APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS TO WHICH THE PUE IS SUBJECT.

4. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER (1) A RECORDED EASEMENT OR RIGHT-OF-WAY.

5. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS.

6. ANY OTHER PROVISION OF LAW.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

BY \_\_\_\_\_

TITLE: QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH

FOUNDED 2017 UTAH COUNTY BRASS CAP MONUMENT FOR THE SOUTHWEST CORNER, SECTION 11, TSS, R1W, SLB&M

FOUNDED 2017 UTAH COUNTY BRASS CAP MONUMENT FOR THE SOUTHWEST CORNER, SECTION 11, TSS, R1W, SLB&M

FOUNDED 1958 UTAH COUNTY BRASS CAP MONUMENT FOR THE SOUTHEAST CORNER, SECTION 11, TSS, R1W, SLB&M

FOUNDED REBAR/CAP "LEI ENG"

ROCKY MOUNTAIN POWER APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE AN AGREEMENT OR WAIVER OF ANY RIGHTS OR DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 10-9a-601 SET FORTH, ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS PROVIDED IN THE CONTRACTS AND AGREEMENTS COVERED BY THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT AFFECT ANY OTHER EASEMENT TO WHICH THE PUE IS SUBJECT.

3. APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS TO WHICH THE PUE IS SUBJECT.

4. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER (1) A RECORDED EASEMENT OR RIGHT-OF-WAY.

5. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS.

6. ANY OTHER PROVISION OF LAW.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

BY \_\_\_\_\_

TITLE: ROCKY MOUNTAIN POWER



ELEVATE  
ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5983  
tarvin@elevateng.com

PUBLIC WORKS DIRECTOR  
APPROVED BY THE PUBLIC WORKS DIRECTOR ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

PUBLIC WORKS DIRECTOR

PLANNING DIRECTOR  
APPROVED BY THE PLANNING DIRECTOR ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

PLANNING DIRECTOR

LAND USE AUTHORITY  
APPROVED BY THE LAND USE AUTHORITY ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

LAND USE AUTHORITY

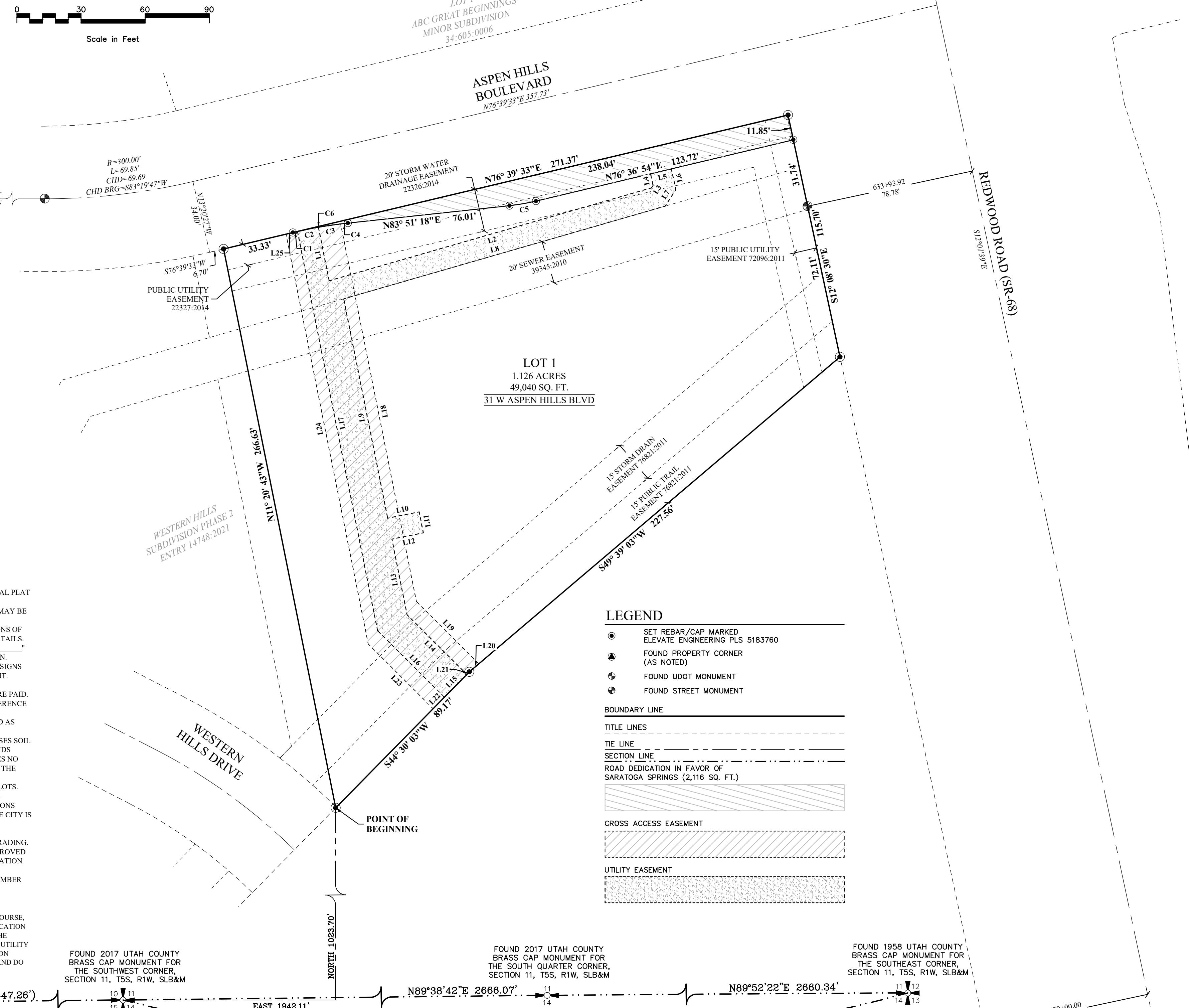
SARATOGA SPRINGS ATTORNEY  
APPROVED BY THE SARATOGA SPRINGS ATTORNEY ON THIS \_\_\_\_ DAY OF \_\_\_\_ 20\_\_\_\_.

SARATOGA SPRINGS CITY ATTORNEY

SURVEYOR SEAL  
CORY B. INGENIERE  
No. 533760  
1/24/25



CITY ENGINEER SEAL  
CLERK/RECODER SEAL



SURVEYOR'S CERTIFICATE:  
I, THE UNDERSIGNED SURVEYOR, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD A LICENSE NUMBER SHOWN BELOW IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-2-17 AND THE UTAH STATE CODE CONDOMINIUM ACT, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVER EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER EASEMENTS AS DEFINED IN THE PLAT, ACCORDING TO THE RECORDS ON FILE, AND AS CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS OF THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION:  
BEGINNING AT A POINT EAST 1042.1 FEET AND NORTH 1023.70 FEET FROM THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE N11°20'43"W 260.63 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF ASPEN HILLS BLVD; THENCE N76°39'33"E 271.37 FEET ALONG THE ASPEN HILLS BLVD. RIGHT-OF-WAY LINE TO THE WESTERLY RIGHT-OF-WAY LINE OF REDWOOD ROAD; THENCE S12°08'30"E 115.70 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE; THENCE S49°39'03"W 227.56 FEET; THENCE S44°30'03"W 89.17 FEET TO THE POINT OF BEGINNING.

ACRES: 1.174 ACRES (51,156 SQUARE FEET, MORE OR LESS)  
# OF LOTS: 1  
DATE: \_\_\_\_\_ SURVEYORS NAME: \_\_\_\_\_  
LICENSE NO. \_\_\_\_\_

BASIS OF BEARINGS:  
THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS NORTH 89°45'32" EAST BETWEEN THE SOUTHWEST CORNER AND THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN

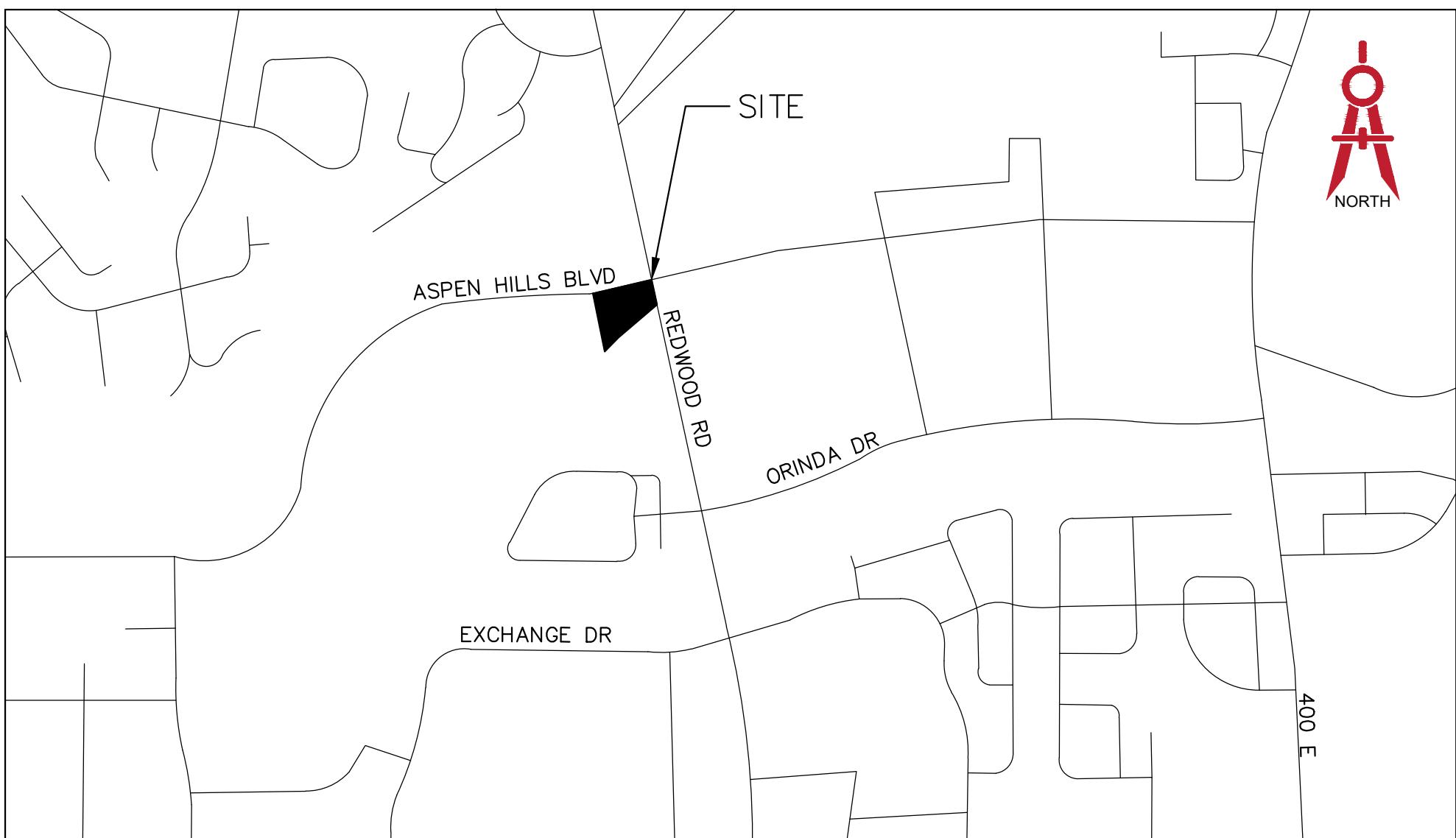
OWNER'S DEDICATION:  
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO COMMON AREA, PRIVATE AREA, LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

PRECISION MEDICAL SUBDIVISION  
AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

# SARATOGA SPRINGS MEDICAL OFFICE

## SARATOGA SPRINGS, UT

VICINITY MAP



NOT TO SCALE

## LEGEND & ABBREVIATION TABLE

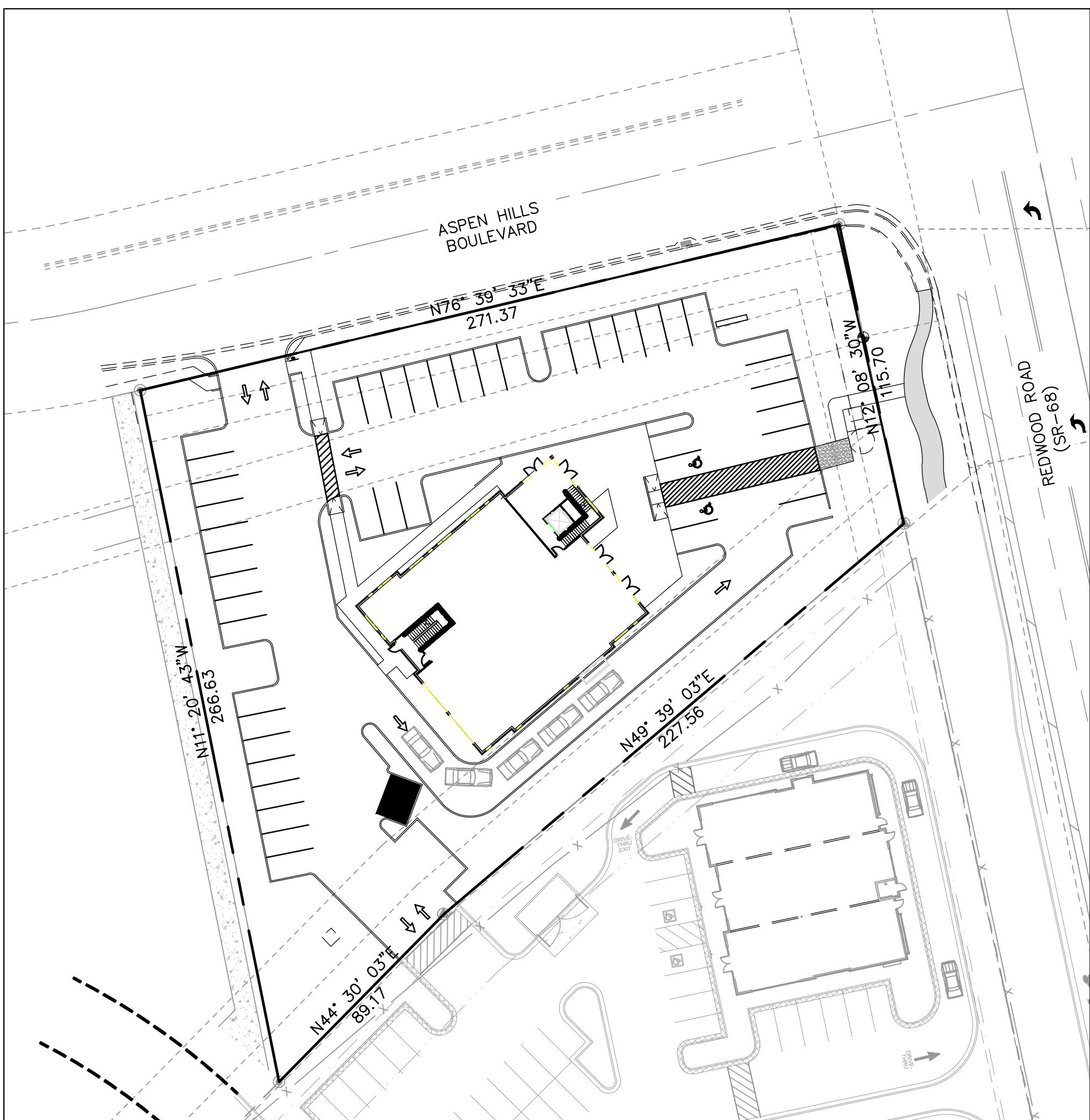
R.O.W./PROPERTY LINE		EXISTING CURB AND GUTTER	
EASEMENT LINE		PROPOSED CURB AND GUTTER	
CENTER LINE		INVERT ELEVATION	I.E.
PROPOSED TRAIL		TOP BACK CURB	TBC
PROPOSED WATER LINE		TOP ASPHALT	TA
PROPOSED PRESSURIZED IRRIGATION		TOP OF GRATE	TOG
PROPOSED GROUND WATER DRAIN		FINISHED GRADE	FG
PROPOSED SEWER LINE		TOP OF CONCRETE	TC
PROPOSED STORM DRAIN LINE		HIGH WATER ELEVATION	HWE
EXISTING SEWER LINE		CATCH BASIN	
EXISTING WATER LINE		SURFACE FLOW DIRECTION	
EXISTING STORM DRAIN LINE		PROPOSED STREET LIGHT	
EXISTING CONTOUR		STORM DRAIN MANHOLE	
FINISHED CONTOUR		SANITARY SEWER MANHOLE	
		PROPOSED WATER VALVE	

PROJECT ENGINEER:  
LARVIN POLLOCK  
ELEVATE ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
(801) 718-5993  
LARVIN@ELEVATENG.COM

ELEVATE  
ENGINEERING  
2208 WEST 700 SOUTH  
SPRINGVILLE, UT 84663  
PHONE: (801) 718-5993  
larvin@elevateng.com

ELEVATE  
ENGINEERING

SARATOGA SPRINGS MEDICAL OFFICE  
COVER SHEET  
31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT



SITE MAP

1"=40'

## INDEX

- C-0 Cover Sheet
- C-1 Existing Topography
- C-2 Site Plan
- C-3 Grading Plan
- C-4 Drainage Plan
- C-5 Utility Plan
- C-6 Details
- C-7 Utility Details
- L-1 Landscape Plan
- L-2 Irrigation Plan
- L-3 Irrigation Details
- ES001 Photometric Plan
- ES002 Photometric Details

## SITE DATA

LOT AREA:	51,156	SF (1.17 ACRES)
BUILDING AREA:	6,338	SF ± 12.4%
PAVEMENT AREA:	24,509	SF ± 47.9%
SIDEWALK AREA:	3,113	SF ± 6.1%
LANDSCAPE AREA:	17,196	SF ± 33.6%
TOTAL IMPERVIOUS AREA:	33,960	SF ± 66.4%
ZONING:	RC (REGIONAL COMMERCIAL)	

## CITY STANDARD NOTES:

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.

CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.

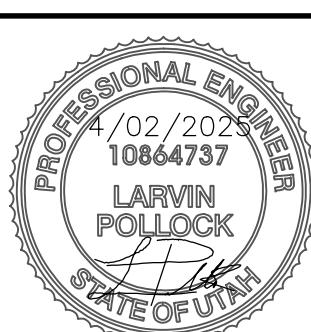
ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.

EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF THE ENGINEERS KNOWLEDGE, HOWEVER IT IS THE OWNER'S AND CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY CITY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.

POST-ACCEPTANCE ALTERATION TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR ACCEPTED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE.

THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND ACCEPTED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.

ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.

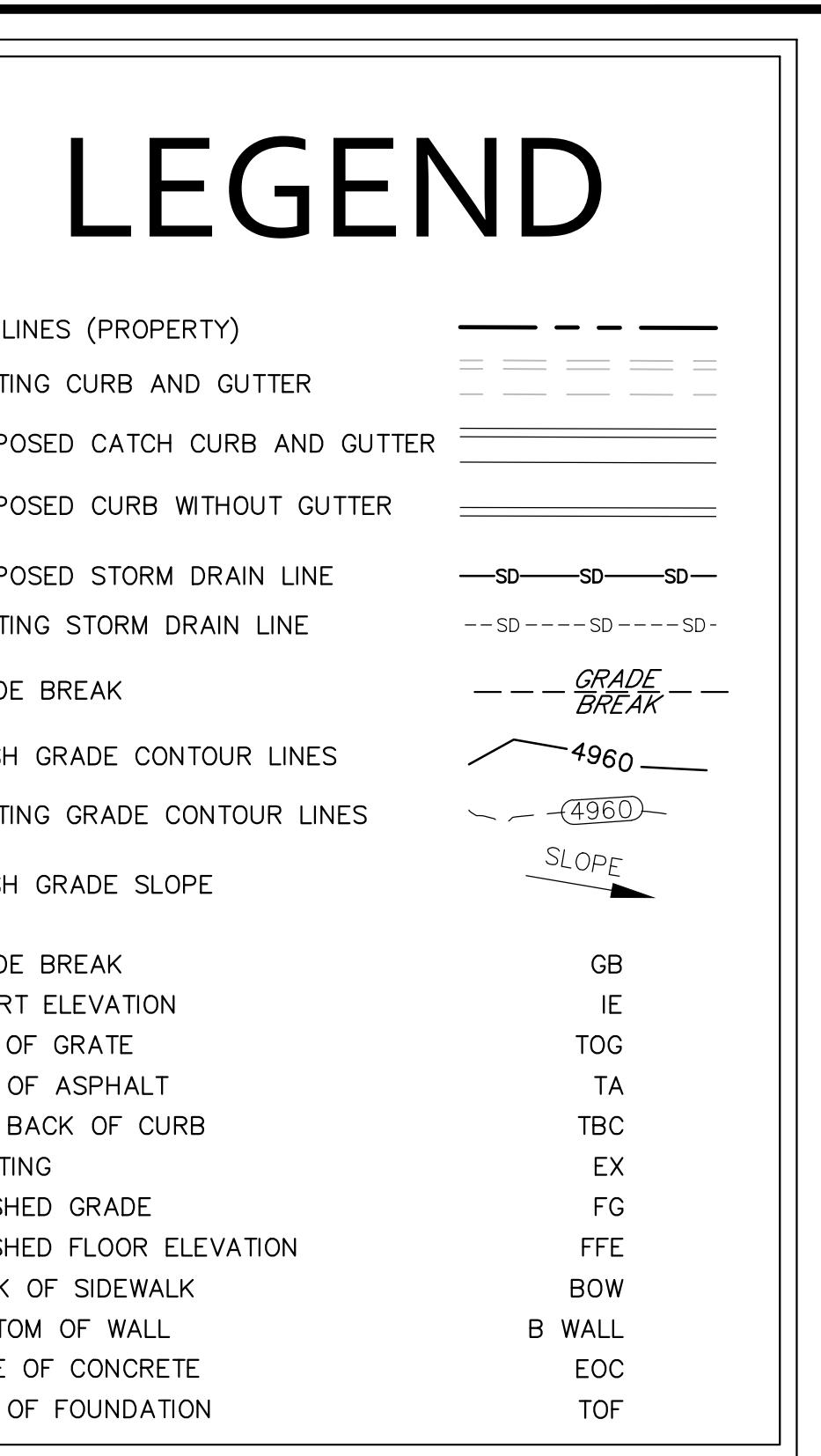
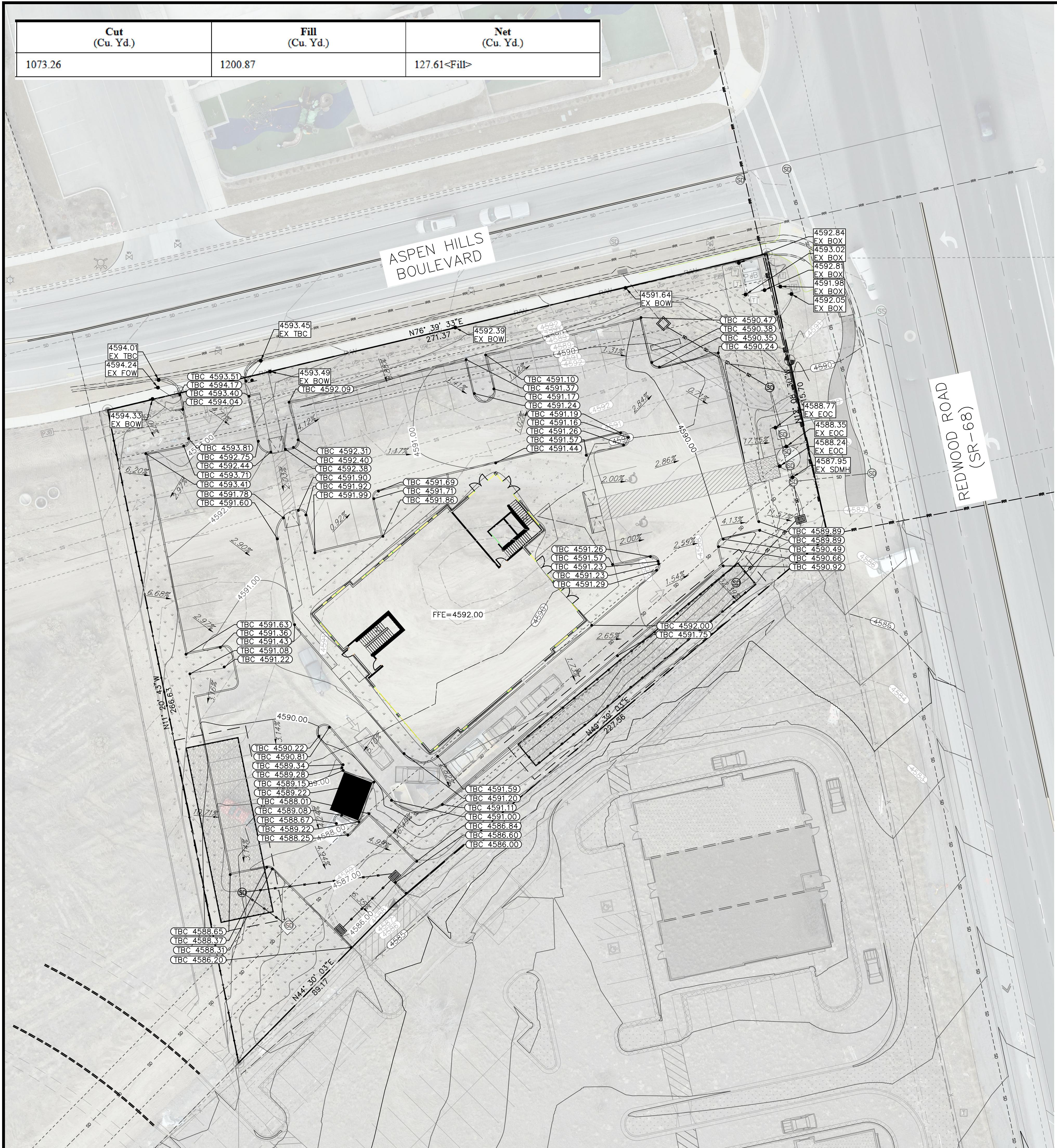


SHEET:  
C-0

DATE:  
Apr 02, 2025

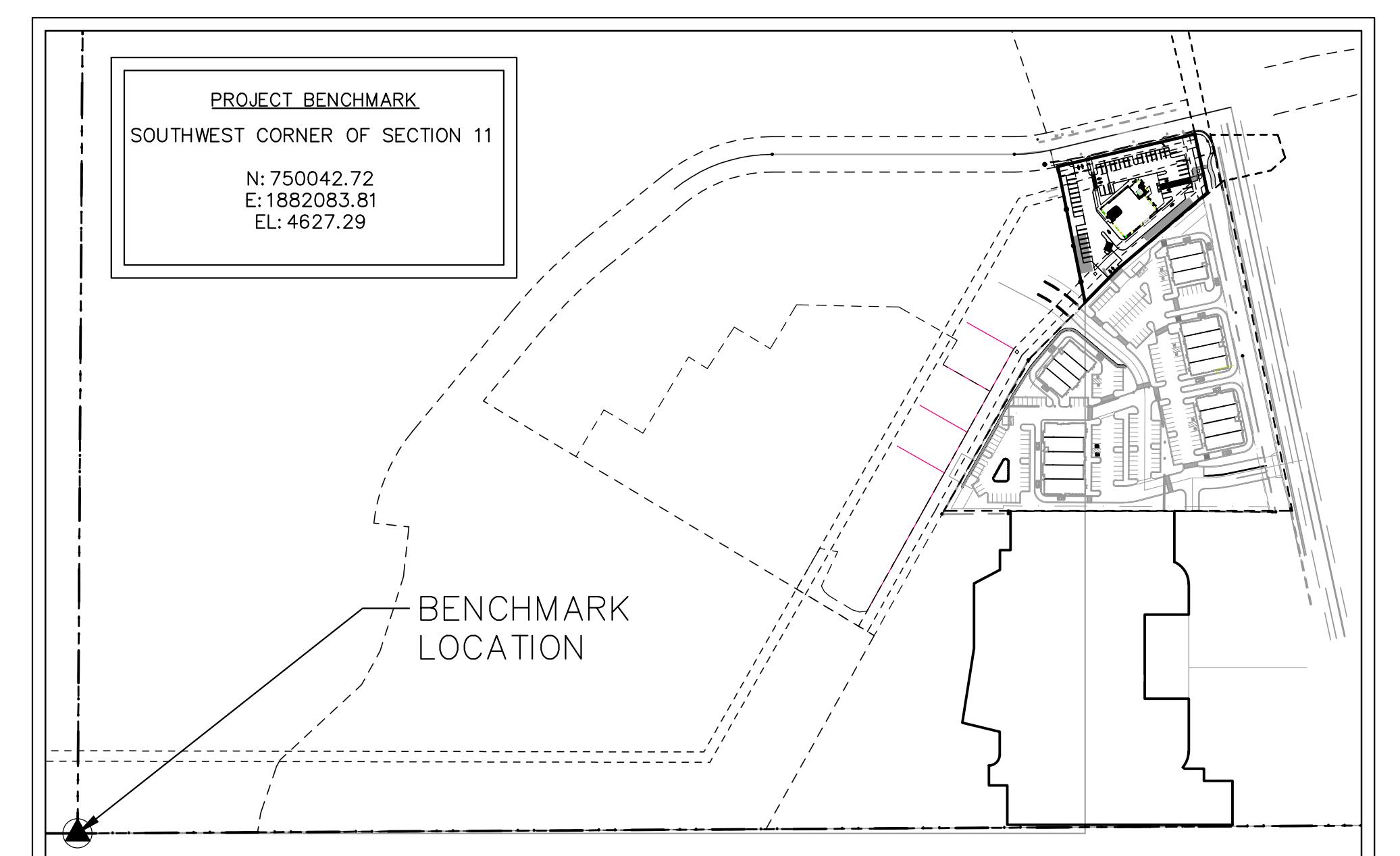




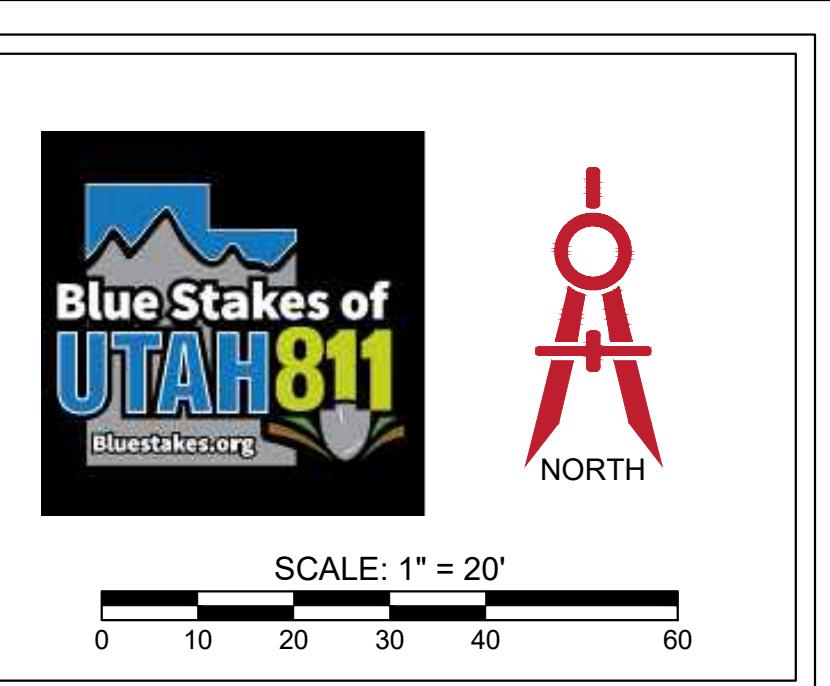


NOTES:  
 - ACCEPTED CONSTRUCTION DRAWINGS OR A GRADING PERMIT MUST BE OBTAINED FROM SARATOGA SPRINGS CITY PRIOR TO DISTURBING ANY VEGETATION OR MOVING ANY SOIL. CONTACT THE CITY ENGINEERING DEPT AT 801-766-9793.  
 - APPLY FOR AN ENCROACHMENT PERMIT AT <https://CITYWORKS.SARATOGASPRINGS.CITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX>

## VICINITY MAP



ENGINEERING CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS DESIGN FOR THE ONSITE  
 DRAINAGE OF THIS DEVELOPMENT WAS PREPARED BY ME  
 (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE  
 WITH THE PROVISIONS OF THE CITY OF SARATOGA  
 SPRINGS' STANDARD SPECIFICATIONS AND DRAWINGS, AND  
 WAS DESIGNED TO COMPLY WITH THE PROVISIONS  
 THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO  
 RESPONSIBILITY OR LIABILITY WHATSOEVER FOR THIS  
 DESIGN.



DATE: Apr 02, 2025

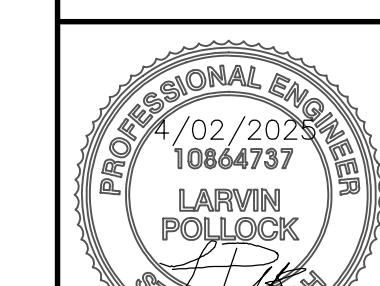
NO.	REVISIONS	BY DATE

PROJECT ENGINEER: LP  
 DESIGNER: GB

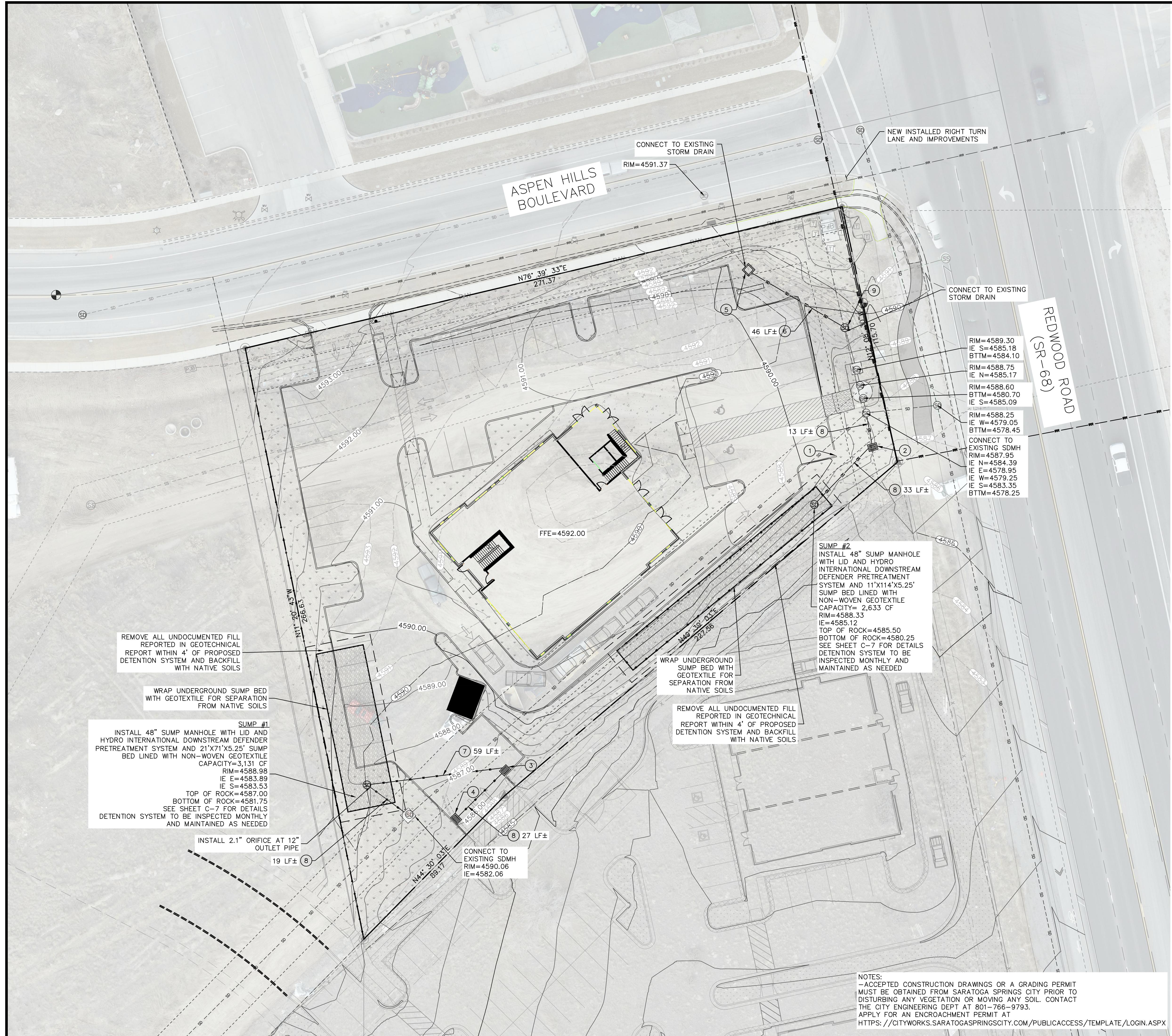
ELEVATE  
 ENGINEERING  
 2208 WEST 700 SOUTH  
 SPRINGVILLE, UT 84463  
 PHONE: (801) 718-5993  
 elev@elevateeng.com

ELEVATE  
 ENGINEERING

SARATOGA SPRINGS MEDICAL OFFICE  
 GRADING PLAN  
 31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT



SHEET:  
 C-3



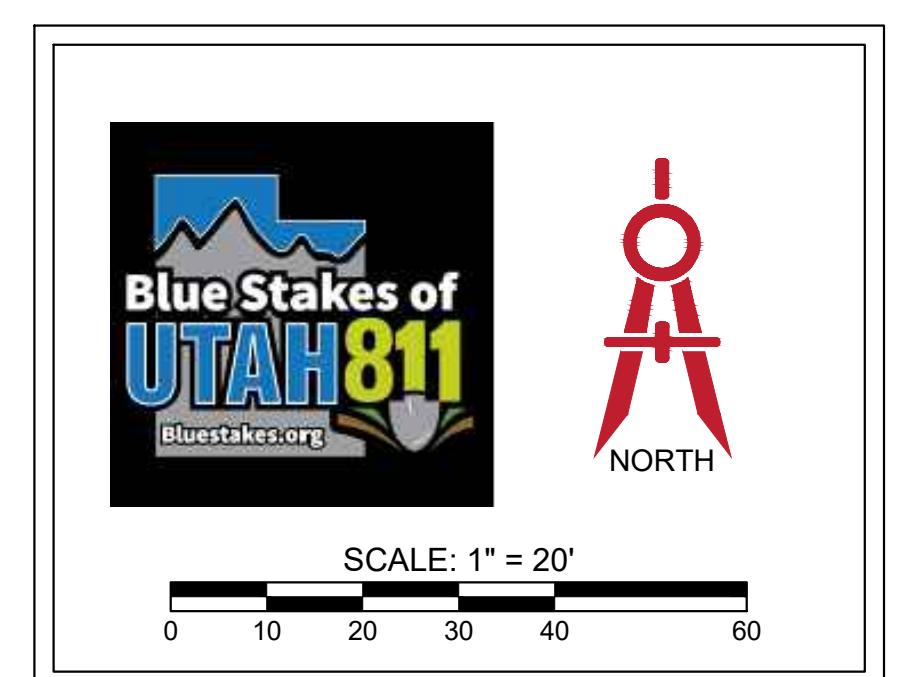
# LEGEND

LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CATCH CURB AND GUTTER	
PROPOSED CURB WITHOUT GUTTER	
PROPOSED STORM DRAIN LINE	
EXISTING STORM DRAIN LINE	
GRADE BREAK	
FINISH GRADE CONTOUR LINES	
EXISTING GRADE CONTOUR LINES	
FINISH GRADE SLOPE	
GRADE BREAK	GB
INVERT ELEVATION	IE
TOP OF GRATE	TOG
TOP OF ASPHALT	TA
TOP BACK OF CURB	TBC
EXISTING	EX
FINISHED GRADE	FG
FINISHED FLOOR ELEVATION	FFE
BACK OF SIDEWALK	BOW
BOTTOM OF WALL	B WALL
EDGE OF ASPHALT	EOA
TOP OF FOUNDATION	TOF

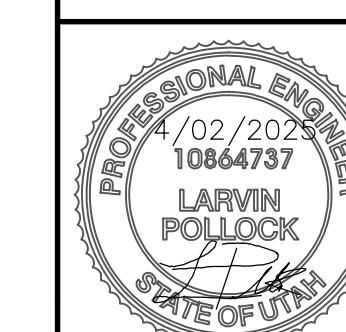
DESIGN NOTES:

- ① INSTALL 3' WIDE CURB CUT.  
FL=4589.39
- ② INSTALL 3'X3' STORM BOX WITH 2.0" ORIFICE WITH SNOUT.  
RIM=4588.01  
IE=4583.41
- ③ INSTALL CURB INLET BOX PER CITY STANDARD DWG SD-2  
W/ SNOUT. SEE SHEET C-7 FOR DETAILS.  
TBC=4586.60  
IE=4584.08
- ④ INSTALL CURB INLET BOX PER CITY STANDARD DWG SD-2  
W/ SNOUT. SEE SHEET C-7 FOR DETAILS.  
TBC=4586.70  
IE=4584.20
- ⑤ INSTALL 4'X4' STORM BOX W/ LID  
RIM=4590.48  
IE=4586.95
- ⑥ INSTALL 18" RCP PIPE @ 0.26% MINIMUM SLOPE
- ⑦ INSTALL 15" ADS PIPE @ 0.32% MINIMUM SLOPE
- ⑧ INSTALL 12" ADS PIPE @ 0.44% MINIMUM SLOPE
- ⑨ INSTALL 4'Ø MANHOLE PER APWA STANDARD DWG 431.2.  
RIM=4589.40  
IE=4585.16

ENGINEERING CERTIFICATION:  
I HEREBY CERTIFY THAT THIS DESIGN FOR THE ONSITE  
DRAINAGE OF THIS DEVELOPMENT WAS PREPARED BY ME  
(OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE  
WITH THE PROVISIONS OF THE CITY OF SARATOGA  
SPRINGS' STANDARD SPECIFICATIONS AND DRAWINGS, AND  
WAS DESIGNED TO COMPLY WITH THE PROVISIONS  
THEREOF. I UNDERSTAND THAT THE CITY ASSUMES NO  
RESPONSIBILITY OR LIABILITY WHATSOEVER FOR THIS  
DESIGN.



SARATOGA SPRINGS MEDICAL OFFICE  
DRAINAGE PLAN  
31 WEST ASPEN HILLS BLVD SARATOGA SPRINGS, UT



SHEET:  
C-4

DATE:



