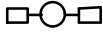
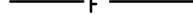
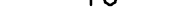


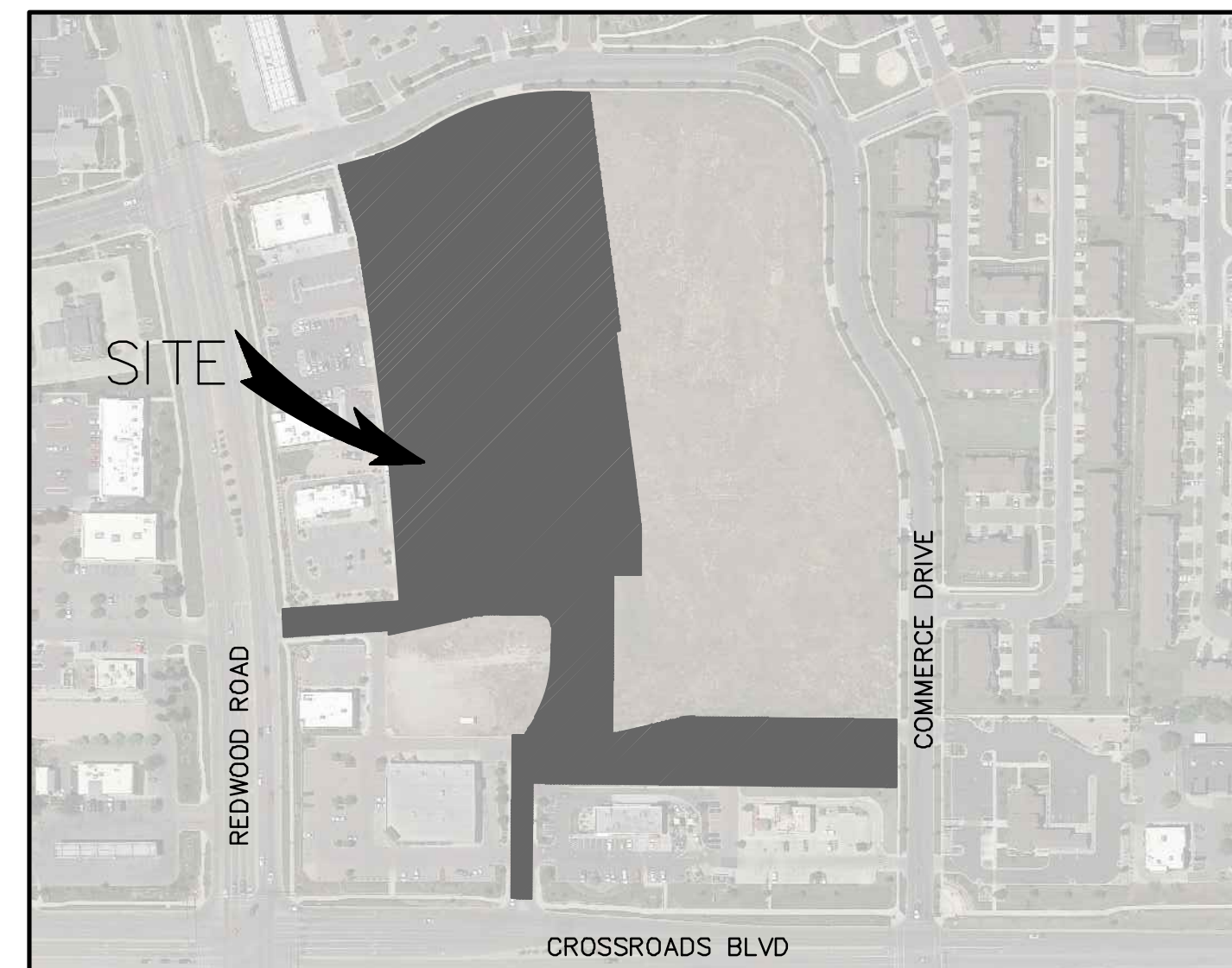
SARATOGA TOWN CENTER 306

LOT 306, SARATOGA TOWN CENTER NO. 3 SUBDIVISION
1508 NORTH REDWOOD ROAD
SARATOGA SPRINGS, UT 84045

APRIL 30, 2025

LEGEND

	PROPERTY LINE		EXISTING FIRE HYDRANT
	EASEMENT LINE		PROPOSED FIRE HYDRANT
	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
	EXISTING CURB		PROPOSED PARKING LOT LIGHT
	PROPOSED CURB AND GUTTER		EXISTING WATER METER
	PROPOSED CURB WALL		EXISTING WATER VALVE
	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
	PROPOSED SEWER	TBC	TOP BACK CONCRETE
	EXISTING WATER	FF	FINISHED FLOOR
	PROPOSED WATER	HW	HIGH WATER
	EXISTING FIRE LINE	TOG	TOP OF GRADE
	PROPOSED FIRE LINE	TOL	TOP OF LID
	EXISTING STORM DRAIN	IE	INVERT ELEVATION
	PROPOSED STORM DRAIN	EX	EXISTING
	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
	EXISTING GAS	TA	TOP OF ASPHALT
	PROPOSED GAS	TC	TOP OF CONCRETE
	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
	PROPOSED CONCRETE		TBC CALLOUT UNLESS OTHERWISE DESIGNATED
	PROPOSED ASPHALT		
	PROPOSED LANDSCAPING		



VICINITY MAP
NOT TO SCALE

SHEET INDEX

CV	COVER SHEET
	RECORD OF SURVEY
C0.1	EXISTING TOPOGRAPHY PLAN
C1.0	CONCEPT SITE PLAN
C2.0	CONCEPT GRADING & DRAINAGE PLAN
C3.0	CONCEPT UTILITY PLAN
C3.1	FUTURE UTILITY PLAN
C4.0	SCHEMATIC TRANSPORTATION CORRIDORS

CITY STANDARD NOTES:

- i. Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- ii. Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- iii. All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- iv. Existing Utilities have been noted to the best of Engineers knowledge, however it is owners and contractors responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- v. Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- vi. The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- vii. All exterior lighting shall meet IESNA full-cutoff criteria.

CIVIL ENGINEER:

CIR

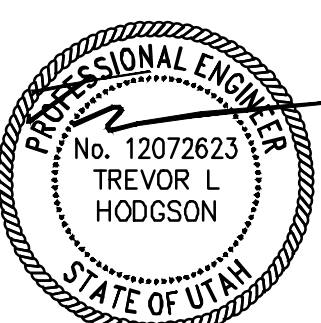
ENGINEERING, L.L.C.
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - PH: 801-949-6296

ARCHITECT:

AE URBIA

909 SOUTH JORDAN PKWY.
SOUTH JORDAN, UT 84095
CONTACT PERSON: SHAWN EATON
PH: (801) 746-0456

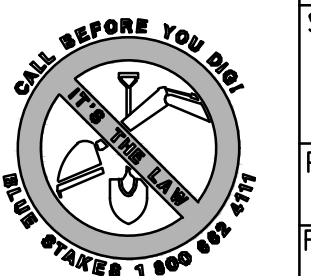
CONCEPT SUBMITTAL

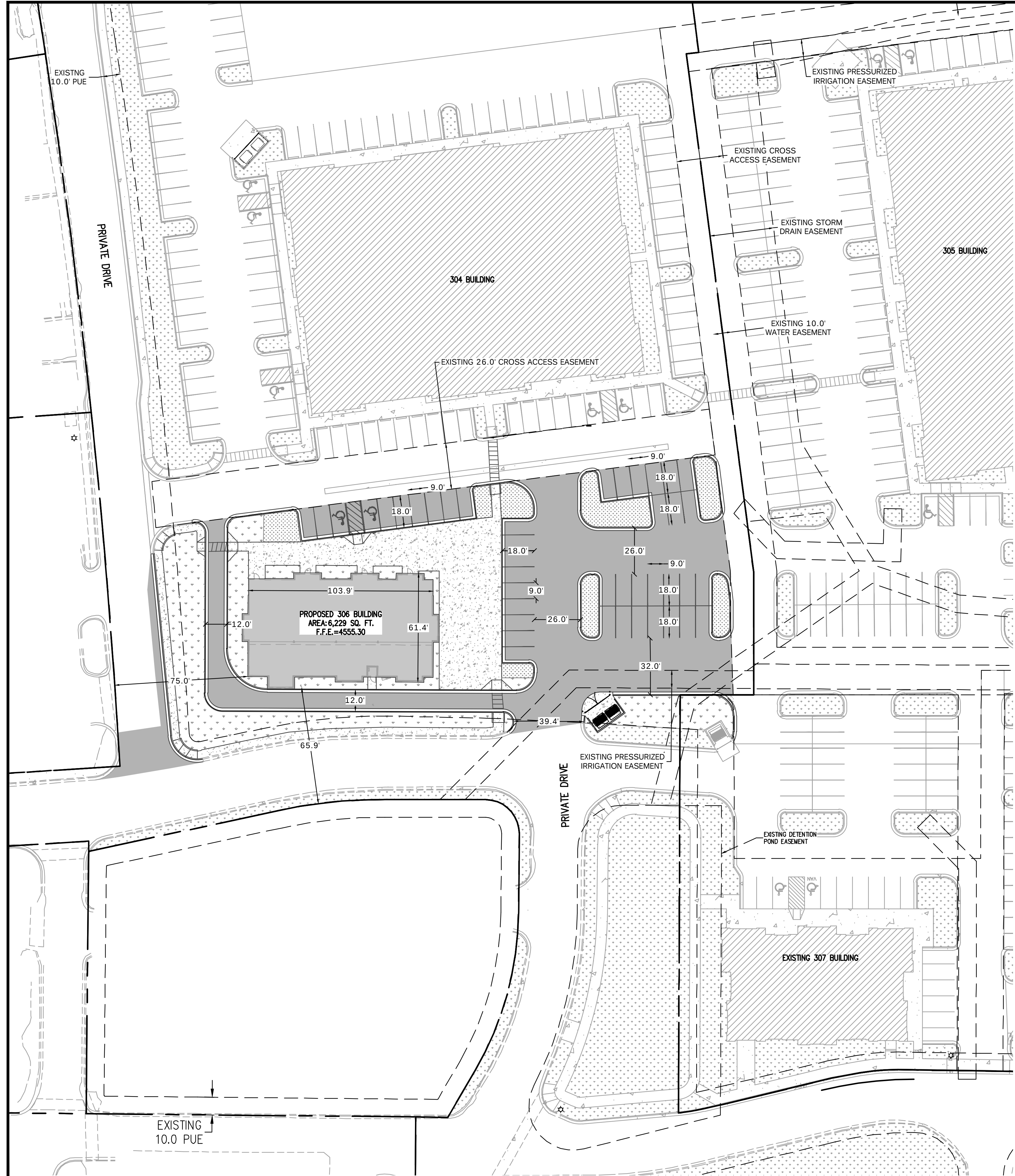


SHEET NO. _____

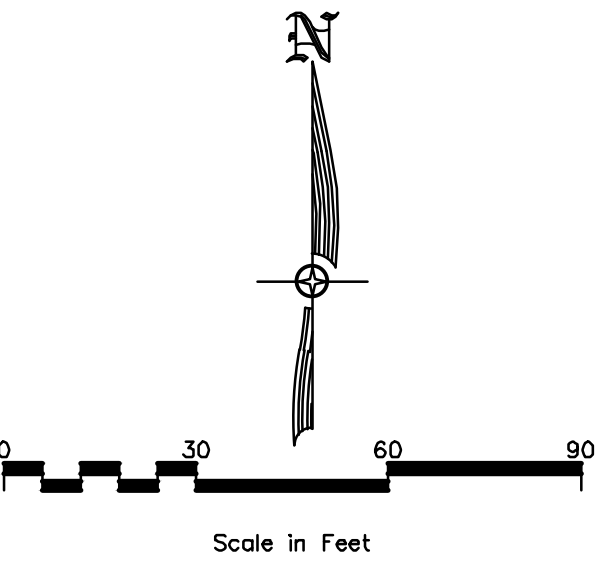
CV

PROJECT ID: E24-113	DATE: 04/30/25
FILE NAME: PRJ-ST6	SCALE:





PROJECT SUMMARY			
LOT AREA	349,531 SQ. FT.	8.02 ACRES	100.00 %
PROJECT AREA	45,038 SQ. FT.	1.03 ACRES	12.89 %
PROPOSED IMPERVIOUS AREA	34,432 SQ. FT.	0.79 ACRES	9.85 %
PROPOSED BUILDING AREA	6,229 SQ. FT.	0.14 ACRES	1.78 %
PROPOSED LANDSCAPE AREA	10,605 SQ. FT.	0.24 ACRES	3.03 %
PROPOSED R.O.W. DEDICATION AREA	0 SQ. FT.	0.00 ACRES	0.00 %
PROPOSED SENSITIVE LANDS AREA	0 SQ. FT.	0.00 ACRES	0.00 %
PROPOSED SENSITIVE LANDS % OF OPEN SPACE	0.00 %		
PROPOSED NUMBER OF BUILDINGS	1		
PROPOSED NUMBER OF SURFACE PARKING	39		
PROPOSED NUMBER OF GARAGE PARKING	0		
PROPOSED NET DENSITY OF DWELLINGS	0.25 BUILDINGS/ACRE		
% OF BUILDABLE LAND	100.00 %		
PROPOSED PAVEMENT	28,203 SQ. FT.		
PROPOSED UNTREATED BASE COURSE	28,203 SQ. FT.		
PROPOSED GRANULAR BORROW	0 SQ. FT.		
PROPOSED CURB & GUTTER	1,596 LF		
PROPOSED SIDEWALK	567 LF		
PROPOSED ADA RAMPS	7 EACH		



LEGAL DESCRIPTION:
LOT 1 OF THE SARATOGA TOWN
CENTER NO. 2 SUBDIVISION

LOT AREAS:		SQ. FT. / ACRES
TOTAL LOT		349,531 SQ. FT. / 8.02 ACRES
IMPROVEMENT AREA		45,038 SQ. FT. / 1.03 ACRES
BUILDING FOOTPRINT		6,229 SQ. FT. / 0.14 ACRES
PROPOSED ASPHALT		18,721 SQ. FT. / 0.43 ACRES
TOTAL LANDSCAPING		9,561 SQ. FT. / 0.22 ACRES
PARKING LANDSCAPING		2,710 SQ. FT. / 0.06 ACRES
REMAINING LANDSCAPING		6,851 SQ. FT. / 0.16 ACRES
PROPOSED CONCRETE		10,557 SQ. FT. / 0.24 ACRES

OFFSITE IMPROVEMENT AREAS:		SQ. FT. / ACRES
TOTAL IMPROVEMENT AREA		602 SQ. FT. / 0.01 ACRES
PROPOSED ASPHALT		11 SQ. FT. / 0.00 ACRES
PROPOSED CONCRETE		68 SQ. FT. / 0.00 ACRES
PROPOSED LANDSCAPING		523 SQ. FT. / 0.01 ACRES

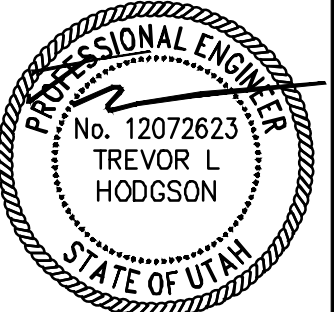
LOT LANDSCAPING AREAS:		SQ. FT.	CITY REQ'T
PROPOSED PARKING AREA		21,003 SQ. FT.	
PROPOSED PARKING AREA LANDSCAPING		2,710 SQ. FT.	(5% OF PARKING AREA: 1,050 SQ. FT. REQ'D)
TOTAL LOT LANDSCAPING		60,255 SQ. FT.	(20% OF LOT: 69,906 SQ. FT. REQ'D) *REMAINING LANDSCAPING TO BE PROVIDED IN FUTURE PHASE AREAS

LOT PARKING REQUIREMENTS:		SQ. FT.	CITY REQ'T
TAKEOUT RESTAURANT		6,229 SQ. FT.	32 (31.15)(5 STALLS/1000)
TOTAL REQUIRED:			32 (31.15)
TOTAL PROVIDED:			39
ACCESSIBLE SPACES			2 (2 REQ'D 26 TO 50)

REVISIONS		BY	DATE
NO.			
DESIGNER:	TLH		

CIVIL ENGINEERING + SURVEYING
C1R
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-0296

SARATOGA TOWN CENTER-306
87 EAST COMMERCE DRIVE, SARATOGA SPRINGS, UT 84045
CONCEPT SITE PLAN



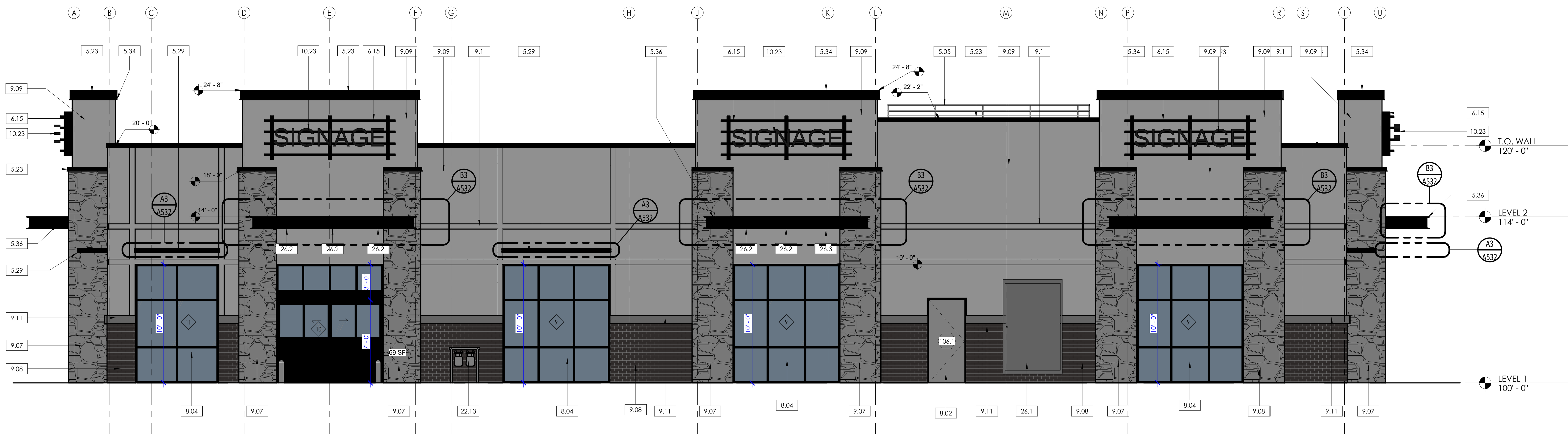
SHEET NO.	C1.0
PROJECT ID:	E24-113
DATE:	04/30/25
FILE NAME:	PRJ-ST6
SCALE:	1"=30'

CONCEPT SUBMITTAL





C4
A201 EAST ELEVATION
1/4" = 1'-0"



A5
A201 SOUTH ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH AREAS			
ELEVATION	MATERIAL	AREA	Percent
EAST ELEVATION	EIFS	722 SF	51%
EAST ELEVATION	STONE	310 SF	21%
EAST ELEVATION	BRICK	106 SF	8%
EAST ELEVATION	GLAZING	272 SF	20%
		1,410 SF	
NORTH ELEVATION	EIFS	1,173 SF	47%
NORTH ELEVATION	STONE	617 SF	25%
NORTH ELEVATION	BRICK	50 SF	2%
NORTH ELEVATION	GLAZING	657 SF	26%
		2,497 SF	

EXTERIOR FINISH AREAS			
ELEVATION	MATERIAL	AREA	Percent
SOUTH ELEVATION	EIFS	1,357 SF	55%
SOUTH ELEVATION	STONE	482 SF	20%
SOUTH ELEVATION	BRICK	191 SF	8%
SOUTH ELEVATION	GLAZING	332 SF	17%
		2,362 SF	
WEST ELEVATION	EIFS	722 SF	51%
WEST ELEVATION	STONE	310 SF	21%
WEST ELEVATION	BRICK	106 SF	8%
WEST ELEVATION	GLAZING	272 SF	20%
		1,410 SF	

GENERAL EXTERIOR FINISH NOTES:

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

MATERIALS LEGEND

	HARRISTONE MANUFACTURED STIRLING DRY STONE DIVINO LEDGE, OR APPROVED EQUAL COLOR: MED./LIGHT MIXED GRAY STONES (MATCH EXISTING BUILDING)
	PAREx EIFS SYSTEM, ACRYLIC FINISH 428-E-ELASTIC FLEX SWIRL FINE LIGHT BASE COLOR: MEDIUM GRAY (MATCH EXISTING BUILDING)
	BRICK VENEER SYSTEM DARK GRAY BRICK (MATCH EXISTING BUILDING)
	24 GA. BLACK
	GLAZING

KEYNOTE LEGEND

5.05	42" HIGH STEEL GUARDRAIL PAINTED - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
5.23	METAL PARAPET WALL CAP
5.29	METAL ALUMINUM SUNSHADE - BLACK
5.34	METAL WALL CAP FLASHING - BLACK
5.36	POWDER COATED METAL CANOPY
5.37	POWDER COATED SUN SHADE
6.15	WOOD TRELLIS CUSTOM MADE SIGNAGE HOLDER/DESIGN
8.02	HOLLOW METAL FRAME AND DOOR - SEE SCHEDULES
8.04	CLEAR ANODIZED STOREFRONT WINDOW/DOOR GLAZING SYSTEM - SEE GLAZING ELEVATIONS
9.1	EIFS WALL REVEAL - TO MATCH WITH WALL COLOR
9.07	EXTERIOR WALL - STONE VENEER - 18" HEIGHT - PROVIDE SUBMITTAL FOR APPROVAL
9.08	EXTERIOR WALL - BRICK VENEER - PROVIDE SUBMITTAL FOR APPROVAL
9.09	EIFS SYSTEM - MEDIUM GRAY - PROVIDE COLOR SUBMITTAL FOR APPROVAL
9.11	WALL SWEEP - COLOR TO MATCH EIFS SYSTEM
10.23	FUTURE SIGNAGE PROVIDED BY TENANT. SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT
22.13	GAS METERS, SEE MECHANICAL DRAWINGS - VERIFY LOCATION WITH CIVIL PLAN
26.1	ELECTRICAL GEAR BOX LOCATION
26.2	6" RECESSED EXTERIOR LIGHTING UNDERNEATH CANOPY - SEE ELECTRICAL PLANS E001, E601
26.3	6" RECESSED EXTERIOR LIGHTING W/ EM BATTERY UNDERNEATH CANOPY - SEE ELECTRICAL PLANS E001, E601



C4 WEST ELEVATION
A202
1/4" = 1'-0"



A5 NORTH ELEVATION
A202
1/4" = 1'-0"

EXTERIOR FINISH AREAS			
ELEVATION	MATERIAL	AREA	Percent
EAST ELEVATION			
EAST ELEVATION	EIFS	722 SF	51%
EAST ELEVATION	STONE	310 SF	21%
EAST ELEVATION	BRICK	106 SF	8%
EAST ELEVATION	GLAZING	272 SF	20%
		1,410 SF	
NORTH ELEVATION			
NORTH ELEVATION	EIFS	1,173 SF	47%
NORTH ELEVATION	STONE	617 SF	25%
NORTH ELEVATION	BRICK	50 SF	2%
NORTH ELEVATION	GLAZING	657 SF	26%
		2,497 SF	

EXTERIOR FINISH AREAS			
ELEVATION	MATERIAL	AREA	Percent
SOUTH ELEVATION			
SOUTH ELEVATION	EIFS	1,357 SF	55%
SOUTH ELEVATION	STONE	482 SF	20%
SOUTH ELEVATION	BRICK	191 SF	8%
SOUTH ELEVATION	GLAZING	332 SF	17%
		2,362 SF	
WEST ELEVATION			
WEST ELEVATION	EIFS	722 SF	51%
WEST ELEVATION	STONE	310 SF	21%
WEST ELEVATION	BRICK	106 SF	8%
WEST ELEVATION	GLAZING	272 SF	20%
		1,410 SF	

GENERAL EXTERIOR FINISH NOTES:

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

MATERIALS LEGEND

	HARRISTONE MANUFACTURED STIRLING DRY STONE VENEER LEDGE OR APPROVED EQUAL COLOR: MED./LIGHT MIXED GRAY STONES (MATCH EXISTING BUILDING)
	PARFX EIFS SYSTEM, ACRYLIC FINISH 428-E-ASTIC FLEX SWIRL FINE LIGHT BASE COLOR: MEDIUM GRAY (MATCH EXISTING BUILDING)
	BRICK VENEER SYSTEM DARK GRAY BRICK (MATCH EXISTING BUILDING)
	24 GA. BLACK
	GLAZING

KEYNOTE LEGEND

5.23	METAL PARAPET WALL CAP
5.29	METAL ALUMINIUM SUNSHADE - BLACK
5.34	METAL WALL CAP FLASHING - BLACK
5.36	POWDER COATED METAL CANOPY
5.37	POWDER COATED SUN SHADE
6.15	WOOD TRELLIS CUSTOM MADE SIGNAGE HOLDER/DESIGN
8.04	CLEAR ANODIZED STOREFRONT WINDOW/DOOR GLAZING SYSTEM - SEE GLAZING ELEVATIONS
9.1	EIFS WALL REVEAL - TO MATCH WITH WALL COLOR
9.07	EXTERIOR WALL - STONE VENEER - 18" HEIGHT - PROVIDE SUBMITTAL FOR APPROVAL
9.08	EXTERIOR WALL - BRICK VENEER - PROVIDE SUBMITTAL FOR APPROVAL
9.09	EIFS SYSTEM - MEDIUM GRAY - PROVIDE COLOR SUBMITTAL FOR APPROVAL
9.11	WALL SWEEP - COLOR TO MATCH EIFS SYSTEM
10.23	FUTURE SIGNAGE PROVIDED BY TENANT. SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT
26.2	6" RECESSED EXTERIOR LIGHTING UNDERNEATH CANOPY - SEE ELECTRICAL PLANS E001, E601
26.3	6" RECESSED EXTERIOR LIGHTING W/ EM BATTERY UNDERNEATH CANOPY - SEE ELECTRICAL PLANS E001, E601

GLAZING LEGEND

- DOUBLE PANE LOW-E U-VALUE: 0.30 SHGC: 0.40
- DOUBLE PANE LOW-E SAFETY GLAZING UFACTOR: 0.30 SHGC: 0.30

GLAZING NOTES

- ALL ALUMINIUM FRAMES TO BE DARK BRONZE.