

MARKET STREET VILLAGE at Saratoga Springs

Table of Contents

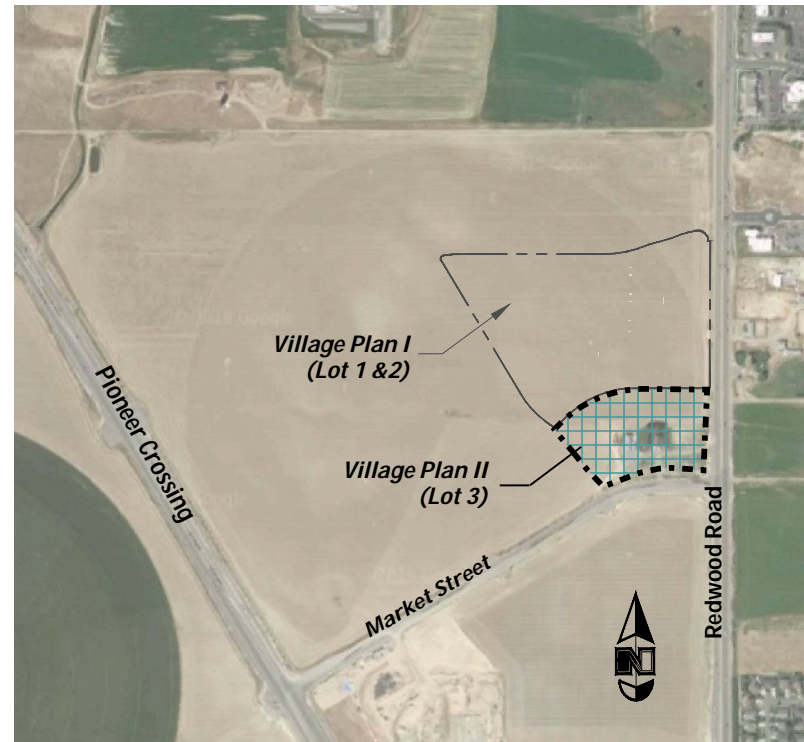
Exhibit 1 <i>Property Description</i>	1	Exhibit 11 <i>Fire Lane Plan</i>	23
Exhibit 2 <i>Detailed Use Map</i>	2	Exhibit 12 <i>Grading and Drainage Plan</i>	24
Exhibit 3 <i>Detailed Buildout Allocation</i>	3	Exhibit 13 <i>Signage Plan</i>	25
Exhibit 4 <i>Development Standards</i>	4	<i>Large Monument Sign</i>	26
<i>Development Standards</i>	5	<i>Small Monument Sign with Costco</i>	27
<i>Development Standards</i>	6	<i>Small Monument Sign with Tenant</i>	28
<i>Street Sections - Redwood Road</i>	7	<i>Corner Feature Sign with Tenants</i>	29
<i>Street Sections - Market Street</i>	8	Exhibit 14 <i>Site Characteristics, Findings and Mitigation Plan</i>	30
<i>Street Sections - Exchange Drive</i>	9	Exhibit 15 <i>Conceptual Olive Garden Building Elevation</i>	31
Exhibit 5 <i>Phasing Plan</i>	10	<i>Conceptual Olive Garden Building Elevation</i>	32
Exhibit 6 <i>Lotting Plan</i>	11	<i>Conceptual Olive Garden Building Elevation</i>	33
Exhibit 7 <i>Landscape Guiding Principles</i>	12	<i>Conceptual Olive Garden Building Elevation</i>	34
<i>Landscape Guiding Principles</i>	13	<i>Conceptual Dutch Bros Coffee Building Renderings</i>	35
<i>Landscape Plan</i>	14	<i>Conceptual Dutch Bros Coffee Building Renderings</i>	36
<i>Landscape Legend</i>	15	<i>Conceptual Dutch Bros Coffee Building Elevation</i>	37
<i>Project Street Corner Landscaping</i>	16	<i>Conceptual Dutch Bros Coffee Building Elevation</i>	38
<i>Street Corner & Entry Landscaping</i>	17	<i>Conceptual Dutch Bros Coffee Building Elevation</i>	39
<i>Street Corner & Entry Landscaping</i>	18	<i>Conceptual Dutch Bros Coffee Building Elevation</i>	40
<i>Street Corner & Entry Landscaping</i>	19	<i>Conceptual Dutch Bros Coffee Material Board</i>	41
Exhibit 8 <i>Utility Plan</i>	20	<i>Conceptual Apollo Burger Building Elevation</i>	42
Exhibit 9 <i>Vehicular Plan</i>	21	<i>Conceptual Apollo Burger Building Elevation</i>	43
Exhibit 10 <i>Pedestrian Plan</i>	22	<i>Conceptual Apollo Burger Building Elevation</i>	44



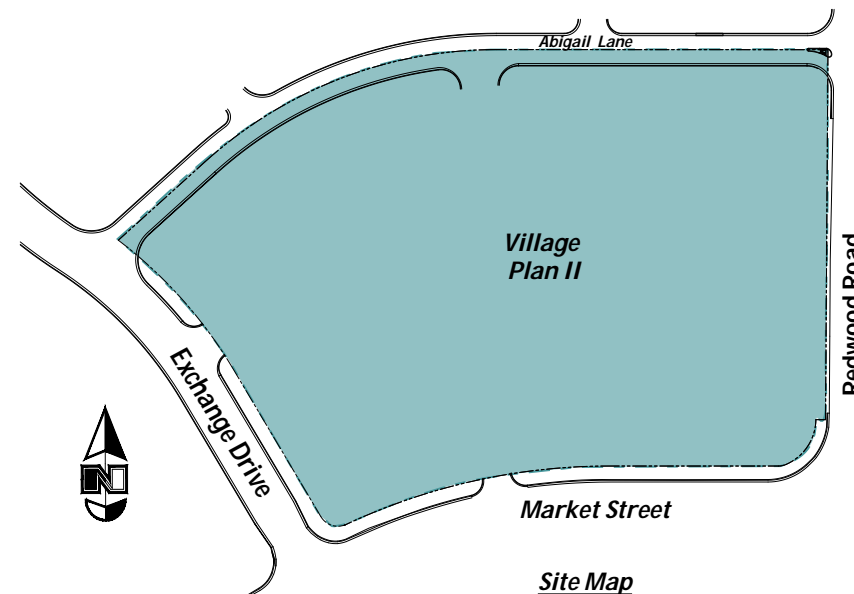
Exhibit 1

Property Description

Market Street Village - Village Plan II



Vicinity Map



Site Map

Owner:

Saratoga Market Redwood Devco, LLC
c/o CCA Acquisition Company, LLC
5670 Wilshire Blvd. Suite 1250
Los Angeles, CA 90036
Contact: Steven Usdan
E-mail: stevenu@kornwasser.net

Civil Engineer:

Anderson Wahlen and Associates
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
E-mail: jaket@awaeng.com

Legal Description

Lot 3: A portion of the Southwest quarter of Section 14, Township 5 South, Range 1 West, Salt Lake Meridian, more particularly described as follows:

Commencing at the Southwest corner of said Section 14; thence North 00°20'44" East 892.71 feet along section line; thence South 90°00'00" East 2016.07 feet to the POINT OF BEGINNING;

thence North 30°42'02" West 174.71 feet to a curve to the left having a radius of 392.50 feet, a central angle of 26°21'18" and a chord that bears North 43°52'41" West, a distance of 178.96 feet;

thence North 59°17'58" East 77.00 feet to a curve to the left having a radius of 469.50 feet, a central angle of 180.44 feet and a chord that bears North 41°42'40" West, a distance of 179.33 feet;

thence North 47°52'06" East 121.61 feet to a curve to the right having a radius of 450.03 feet, a central angle of 42°08'58" and a chord that bears North 68°56'35" East 323.65 feet;

thence along said curve easterly an arc distance of 331.06 feet;

thence South 89°58'51" East 344.32 feet to a point on the westerly right of way line of Redwood Road;

thence South 00°22'37" West 384.07 feet along said right of way line;

thence North 89°36'11" West 10.00 feet to a point on the northerly right of way line of Market Street and a non-tangent curve to the right having a radius of 51.51 feet, a central angle of 65°34'03" and a chord that bears South 33°34'46" West 55.78 feet;

thence along said right of way through the following five (5) calls, to-wit:

1-said curve southwesterly an arc distance of 58.95 feet to a compound curve to the right having a radius of 20.00 feet, a central angle of 23°38'20" and a chord that bears South 78°10'58" West 8.19 feet;

2-thence along said curve westerly an arc distance of 8.25 feet;

3-thence West 175.84 feet to a curve to the left having a radius of 644.51 feet, a central angle of 25°02'36" and a chord that bears South 77°28'42" West 279.47 feet;

4-thence along said curve westerly an arc distance of 281.71 feet to a reverse curve to the right having a radius of 20.50 feet, a central angle of 84°20'34" and a chord that bears North 71°51'19" West 27.53 feet;

5-thence along said curve westerly an arc distance of 30.18 feet;

thence North 30°42'02" West 177.94 feet to a curve to the left having a radius of 469.50 feet, a central angle of 22°01'17" and a chord that bears North 41°42'40" West 179.34 feet;

thence along said curve northwesterly an arc distance of 180.45 feet to the POINT OF BEGINNING.

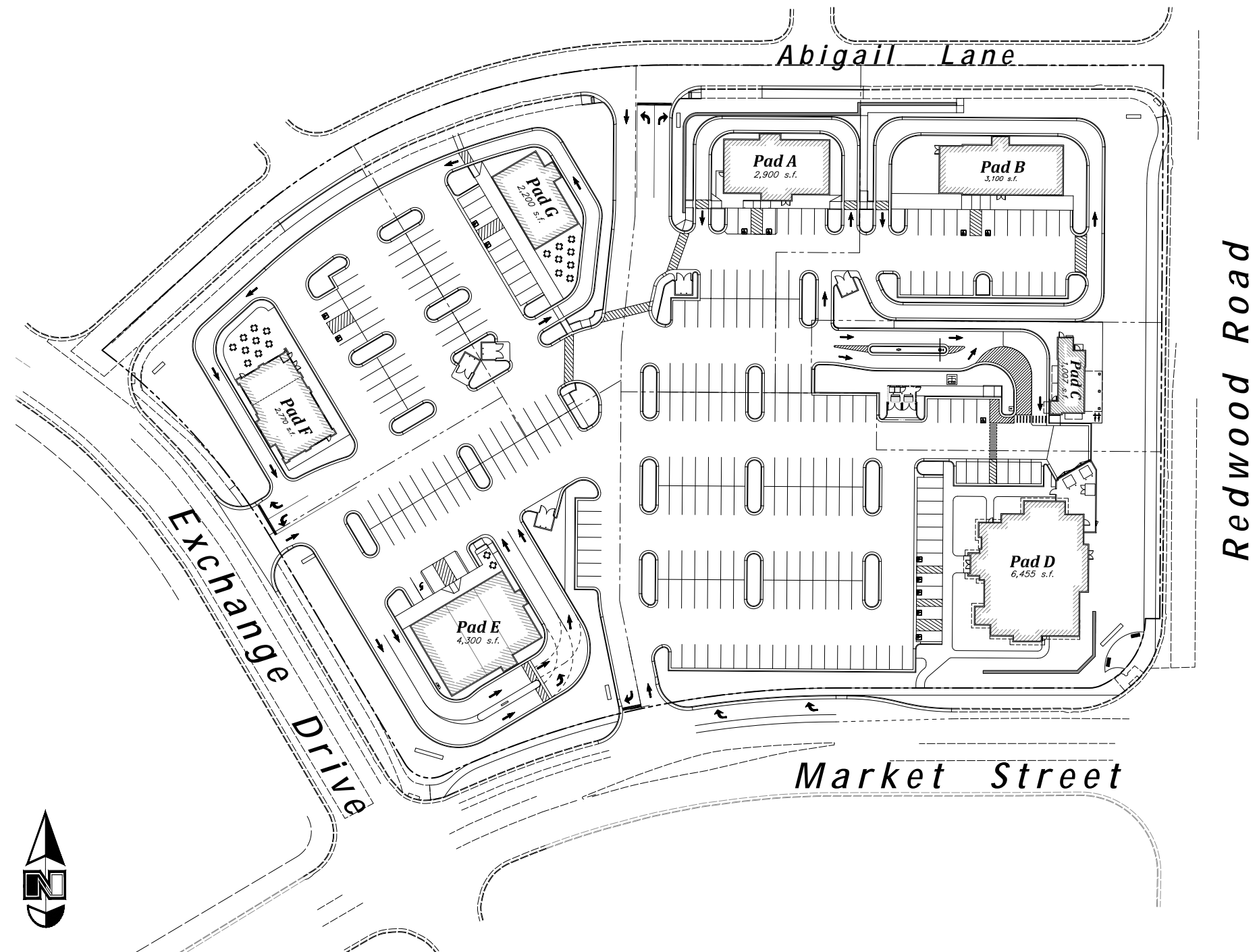
Contains 275,410 square feet or 6.323 acres, more or less.



Regional Retail Uses

Per the Community Plan, the Village Plan II is allowed to contain Regional Retail uses as defined in the District Area Plan.

Specific uses shall comply with the Regional Commercial (RC) uses as permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Codes with the exception that Automobile Repair Major/Minor and Car Washes are prohibited.



Lot Breakdown

Lot #	Area (Acres)	Open Space %*	Maximum Bldg. (s.f)**	ERU Allocation
1	0.88	11-14 Min.	18,017	8.32
2	0.73	11-14 Min.	14,945	6.90
3	0.70	11-14 Min.	14,331	6.62
4	0.95	11-14 Min.	19,450	8.99
5	0.46	11-14 Min.	9,418	4.35
6	1.57	11-14 Min.	32,143	14.85
7	1.03	11-14 Min.	21,087	9.74
Total	6.32	11-14 Min.	129,391	59.8

* Per Community Plan, Including Landscape Buffers
** Based on a 0.47 FAR
*** Undeveloped ERU's shall be reserved for future development within the project.

Equivalent Residential Units

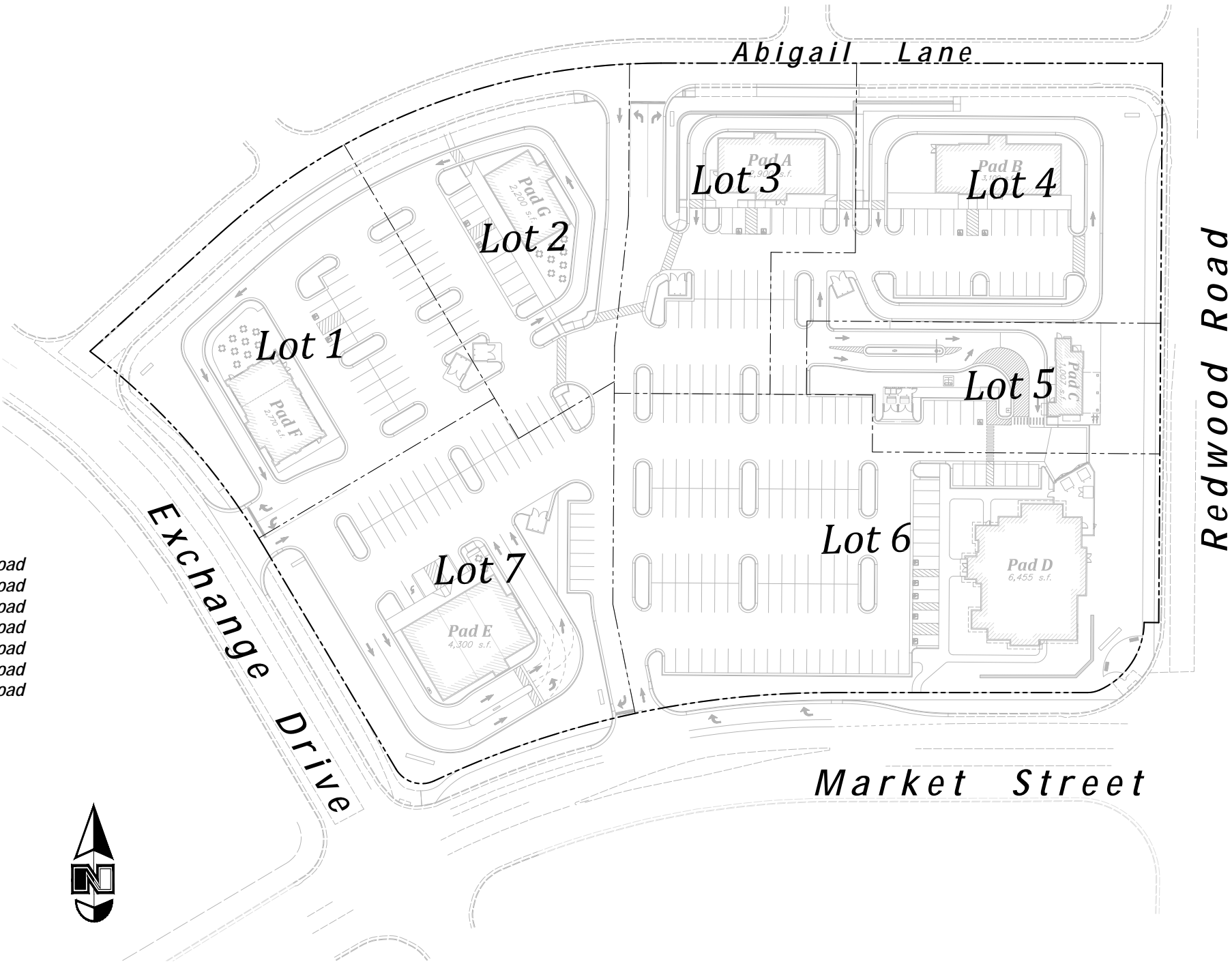
District Area Plan
Per the District Area Plan, 4,620 ERU's are allowed for every 10 Million square feet of commercial building area which is the equivalent of 2,164.5 square feet per ERU.

Community Plan
A maximum of 504,869 square feet of building area is anticipated at the completion of all phases. The 24.66 acres included in this Community Plan translates to a total of 233.2 ERU's for the Community Plan

Village Plan II
A maximum of 129,391 square feet of building area is anticipated at the completion of all phases of the Village Plan II. Per the table above, the 6.32 acres included in this Village Plan II translates to a total of 59.8 ERU's.

Lot Addresses

- Lot 1 - 951 North Redwood Road
- Lot 2 - 953 North Redwood Road
- Lot 3 - 955 North Redwood Road
- Lot 4 - 957 North Redwood Road
- Lot 5 - 949 North Redwood Road
- Lot 6 - 947 North Redwood Road
- Lot 7 - 943 North Redwood Road



Height Restrictions:

No structure in the Village Plan II shall be taller than fifty feet.

Setback and Yard Requirements:

Front (Redwood Road): 30 feet
Sides: 10 feet
Rear: 10 feet

Off-street Parking Requirements:

Off-street parking per Section 19.09 with the following exception that pedestrian walkways will be approved as shown in Village Plan II.

Maximum parking allowed for Village Plan II is per Section 19.09.

Open Space & Landscaping:

The total open space within the Village Plan II shall constitute a minimum of 11% of the total site area as required by the Community Plan. See pages 12-19 for landscape requirements.

Outdoor Seating/Dining Areas:

Outdoor seating and dining areas are permitted on the sidewalks along building frontages with the following restrictions:

1. Such areas shall be clearly defined during site plan review per Section 19.14 of the Saratoga Springs Municipal Code.
2. Such areas shall not interfere with required pedestrian access and vehicular circulation.
3. The minimum sidewalk width when adjacent to an outdoor seating/dining area shall be 4 feet.

Signage:

Pylon, Monument and Project Identification signs are permitted as shown on pages 25-29.

Lighting:

Section 19.11 lighting shall govern with the exception that parking lot light poles may include fixtures of the type and design shown in Figure 1.

Parking light poles of 36 feet 6 inches in height are permitted provided such light poles are champagne in color or a close color match. Light poles shall be designed to blend into the existing background – See Figure 2.

Additional building accent and security lighting may be provided on the building not to exceed 20' in height. Wall mount fixtures shall be similar to Figure 1.

Lighting along public roads that will be maintained by the city, such as Redwood Road, shall be per city standard details and specifications.

All exterior lighting shall comply with the City of Saratoga Springs Dark Sky Ordinance/Requirements.



Figure 1

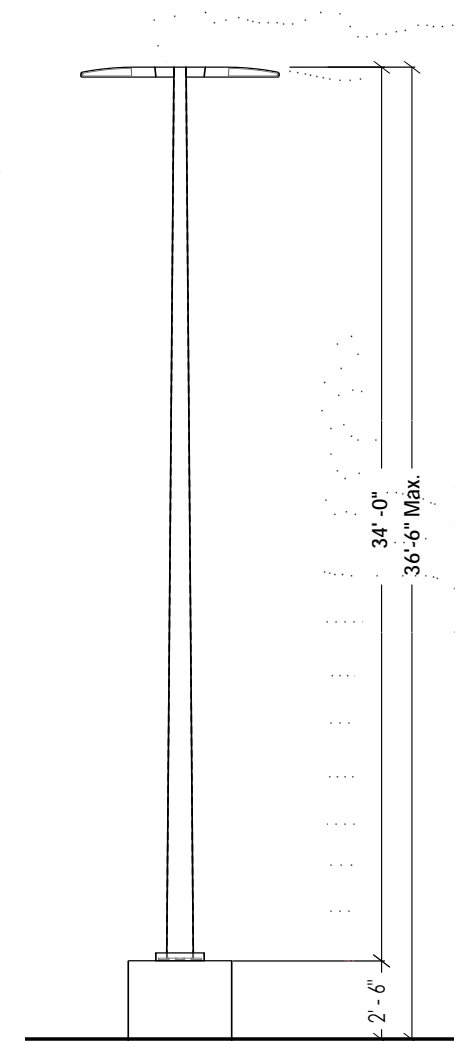


Figure 2

Architectural Standards

Building Forms

1. Mix of uses and building forms must be provided:

- Complimentary building materials and color schemes are required.
- Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety through the project area.
- Large and monotonous wall and roof planes shall be avoided. Large expanses of a single material not to exceed 5,000 of contiguous square feet shall be allowed on sides and rear of big box structures. Smaller buildings shall comply with design guidelines.
- Roof mounted equipment must be screened from view from adjacent public and private streets as well as from adjacent properties per the City of Saratoga Springs Site and Architectural Design Standards.

Architectural Colors

- In general, natural/earthy material finishes are preferred with materials with natural finishes being used where possible such as weathered steel, masonry, etc. Accent colors matching tenant standards may be used, however, dominant surface colors shall be in line with Community and Village standards as shown on the subsequent exhibits. Aluminum storefront shall typically be bronze colored unless another color is consistent with a proposed coordinated color scheme.

Architectural Materials

- Acceptable building exterior finish materials include: EIFS, integral-color CMU, brick, stone, precast concrete, flat or ribbed metal panels, aluminum, steel and fiber-cement siding as shown on proposed color board. No more than six types of materials are permitted per building (Excluding windows and doors).
- Buildings are encouraged to use a variety of materials with the suggested composition of one or two Preferred Primary Materials (70%-80% of exterior surface excluding windows) and one or two Preferred Accent Materials (20%-30% of exterior surfaces excluding windows.) Refer to the material table for a list of acceptable materials. Excluding glazing, each building elevation shall have a minimum of 25% non-EIFS materials. No fewer than 3 materials (combined between primary and accent materials) may be used on each building.

All trash storage (other than individual garbage cans) shall comply with Section 19.18.

Preferred Primary Materials:	Preferred Accent Materials:
Colored CMU (Split-face or honed)	Brick
EIFS	Stone
Brick	Pre-cast Concrete
Stone	Metal
Flat or Ribbed Metal Panels	Tile
Fiber-cement siding	Fiber-cement siding
Wood	

Primary Facades

- Primary facades are those sides of a building where the primary entrance(s) are located. It is possible for a building to have more than one primary facade.
- Primary facades shall incorporate a building canopy, awning, or similar weather protection along the building's principal public entrance, projecting at least four feet from the facade. In addition, primary facades shall incorporate visually prominent building entrances through the use of at least one of the following features:
 - Secondary roof structures, or a parapet roof used to accent the principal public entrance, or
 - Outdoor pedestrian features such as seat walls and landscaping, or permanent landscaped planters with integrated benches, or
 - Architectural detailing such as tile, metal, stone, or cementitious fiber board integrated into the building structure.

Secondary Facades

- Secondary facades are those sides of a building in which the primary building entrances not located. Secondary facades shall incorporate the following:
 - Secondary facade walls shall include either a window, a functional doorway, or another architectural feature to match the architectural articulation of the primary facade.
 - Secondary facades that face the public right-of-way shall include a similar level of architectural detail and treatment consistent with the primary facade.
 - All secondary facades facing other access roads may include a reduced level of architectural detail and treatment consistent with the primary facade.



12. Architectural Standards

Roofs

1. Parapet walls shall feature transitions and articulation to match the architectural articulation of the primary facade. Pitched or other roof forms are allowed for decorative roofs and for roof profiles that are required to be consistent with tenant branding. All rooftop equipment shall be screened from view from all adjacent public and private streets, parking areas, and drive approaches. A site line study shall be provided as necessary to graphically illustrate compliance or other site specific restrictions, limitations, etc. No roof access is permitted on the exterior of a building and is to be provided by an internal roof hatch or by other means not permanently attached to the building.

a. Side and Rear Loading and Service Areas:

i. Loading, service, and equipment areas shall be located in a manner that minimizes their visibility from drive approaches and streets. Loading, service, and equipment areas shall be screened through the use of landscaping, grading and architectural elements and materials that reduce their visibility.

b. Drive-Thru Facilities:

i. Drive-thru facilities shall include a canopy or roof that is architecturally integrated with the building and that is similar to or mirrors the roof form of the primary structure (Does not include fueling facilities).

c. Site Furnishings:

i. Consistent site furnishings shall be provided to unify the pedestrian spaces. Acceptable furnishings include: benches, bollards, trash receptacles, planters, bike racks, etc. See this sheet for examples.

Site Amenities



Bench Example



Trash Receptacle Example



Bike Rack Example



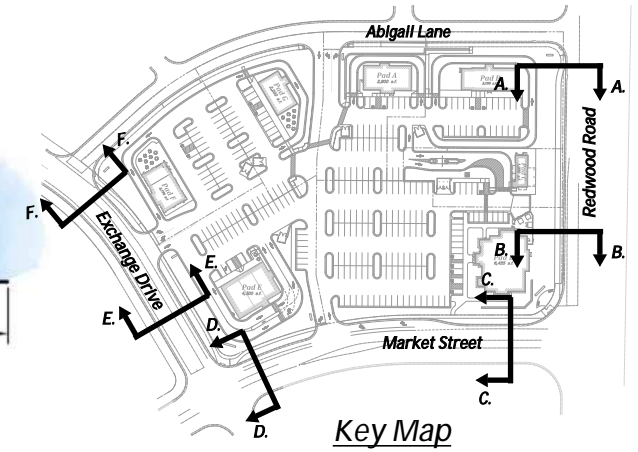
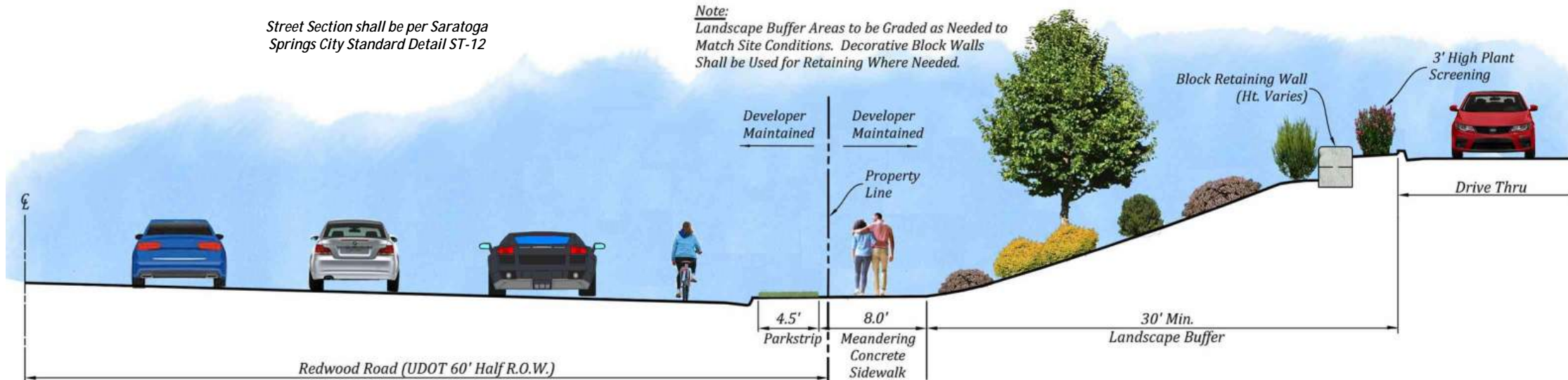
Exhibit 4

Street Sections - Redwood Road

Market Street Village - Village Plan II

Street Section shall be per Saratoga Springs City Standard Detail ST-12

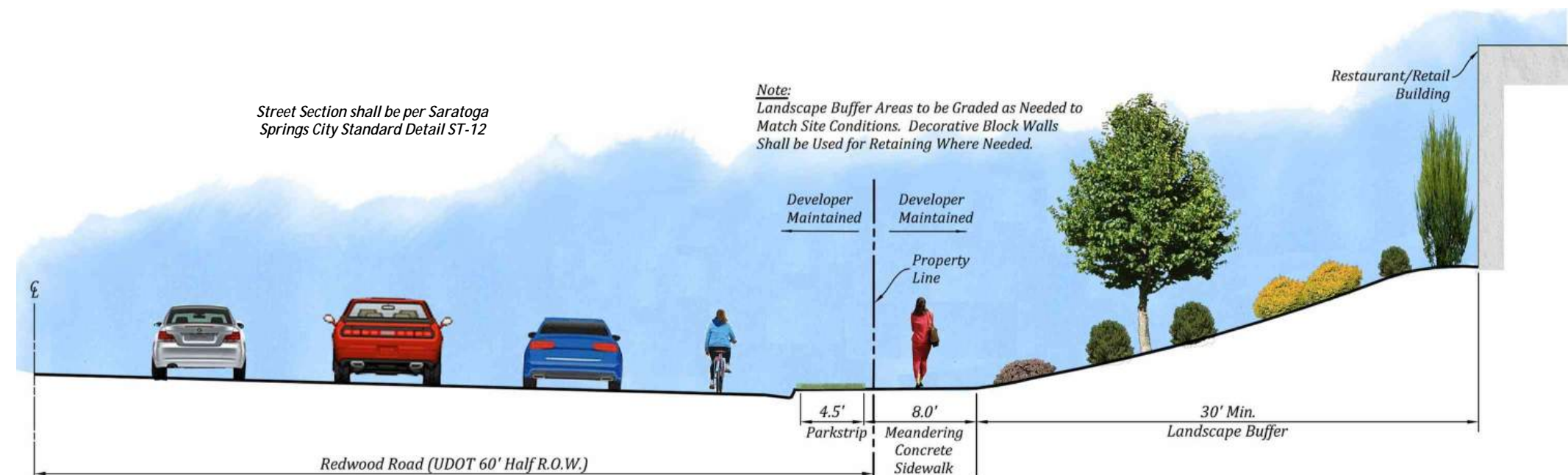
Note:
Landscape Buffer Areas to be Graded as Needed to Match Site Conditions. Decorative Block Walls Shall be Used for Retaining Where Needed.



A

Street Section shall be per Saratoga Springs City Standard Detail ST-12

Note:
Landscape Buffer Areas to be Graded as Needed to Match Site Conditions. Decorative Block Walls Shall be Used for Retaining Where Needed.



B



Saratoga Springs, Utah

CCA-Acquisition Company, LLC



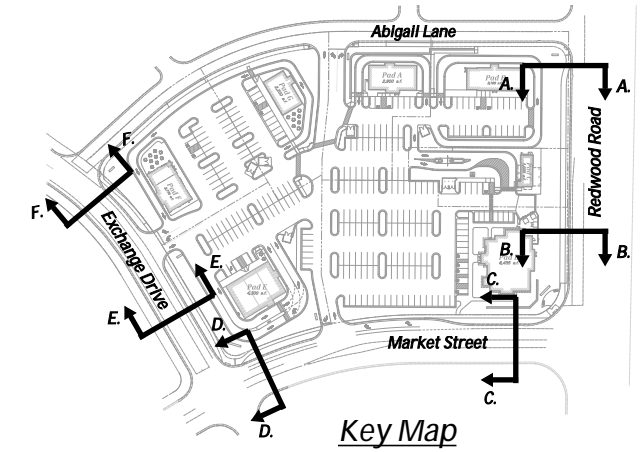
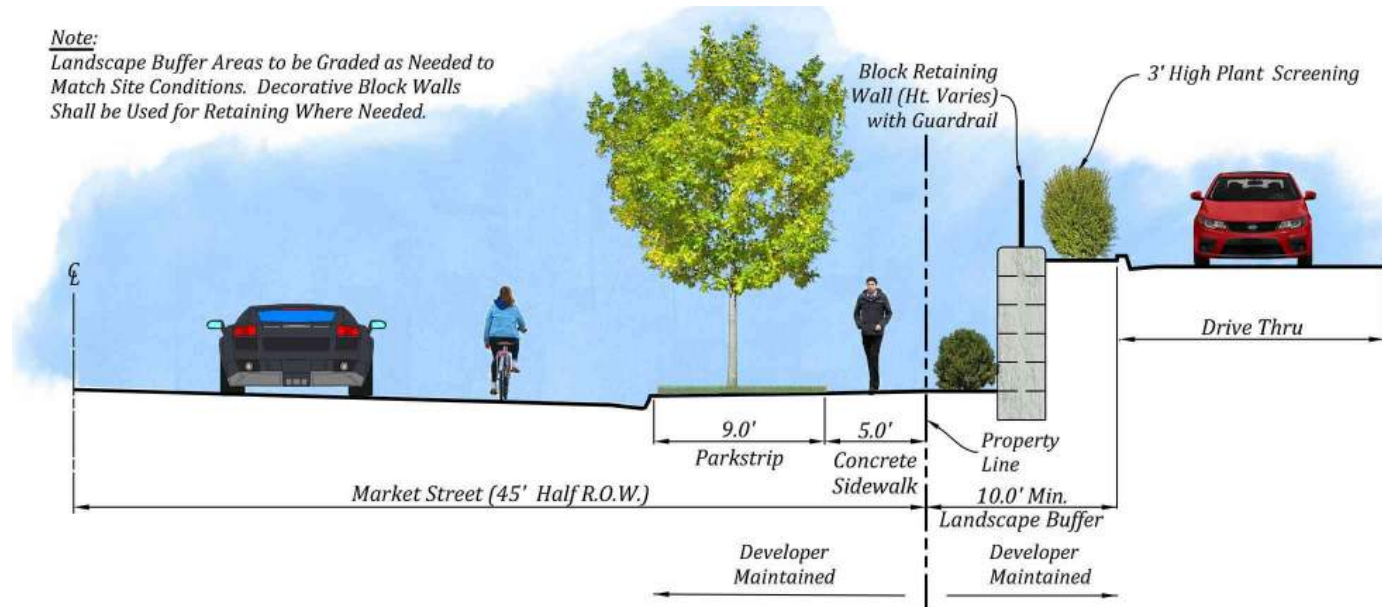
ANNA
ANDERSON WAHLEN & ASSOCIATES

Exhibit 4

Street Sections - Market Street

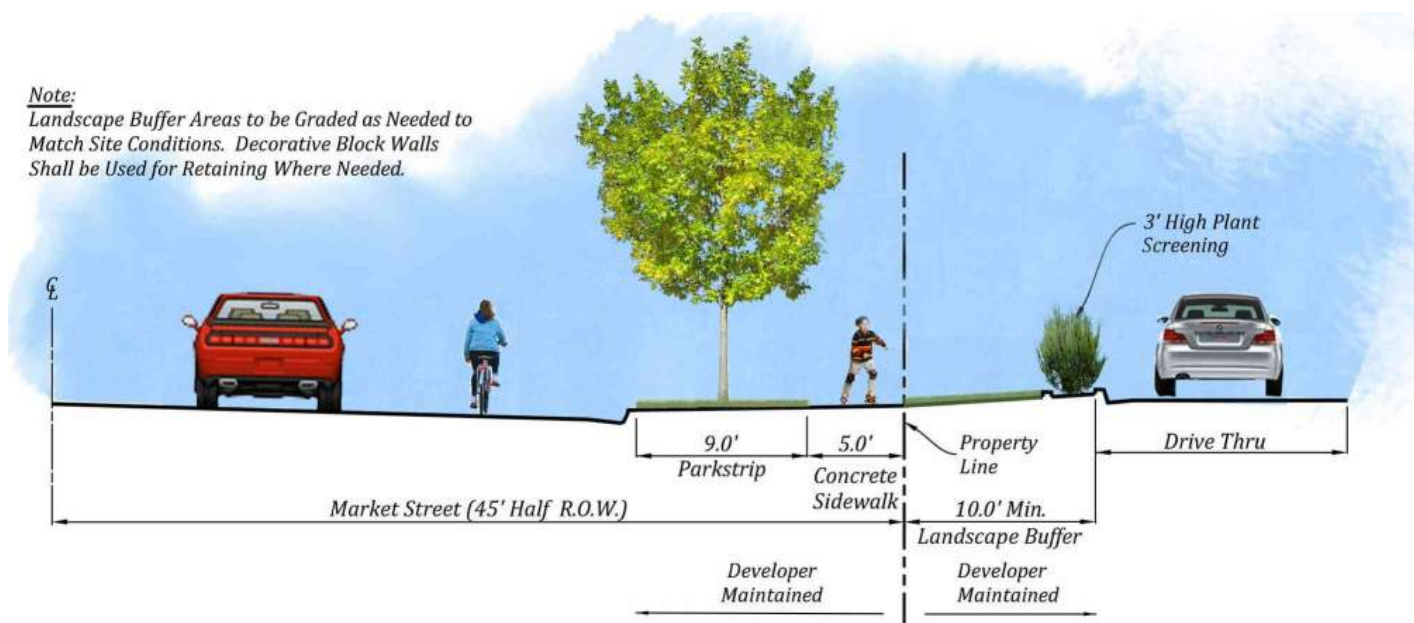
Market Street Village - Village Plan II

Note:
Landscape Buffer Areas to be Graded as Needed to Match Site Conditions. Decorative Block Walls Shall be Used for Retaining Where Needed.



C

Note:
Landscape Buffer Areas to be Graded as Needed to Match Site Conditions. Decorative Block Walls Shall be Used for Retaining Where Needed.



D



Saratoga Springs, Utah

CCA-Acquisition Company, LLC

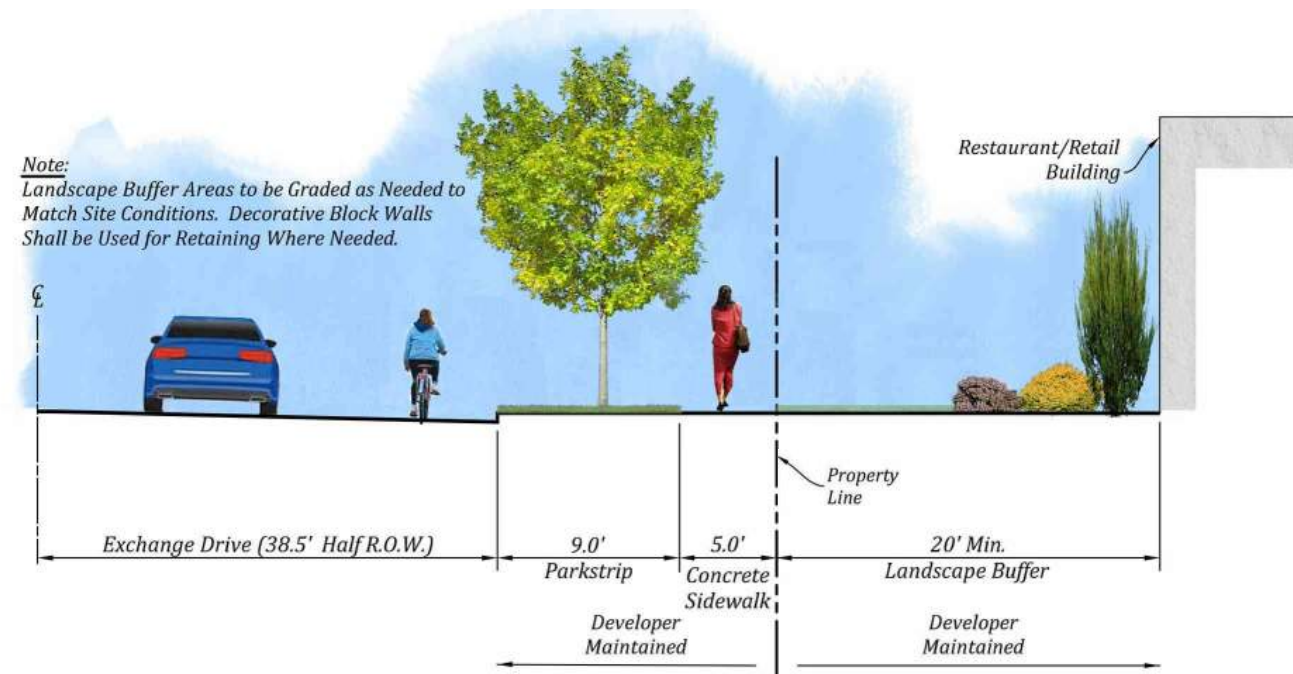


ANNA
ANDERSON WAHLEN & ASSOCIATES

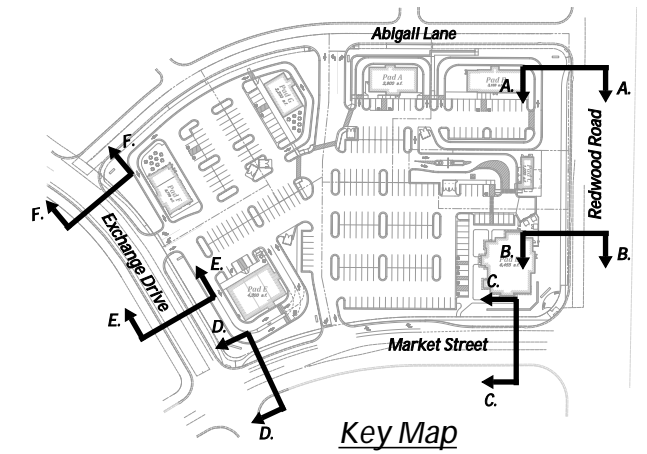
Exhibit 4

Street Sections - Exchange Drive

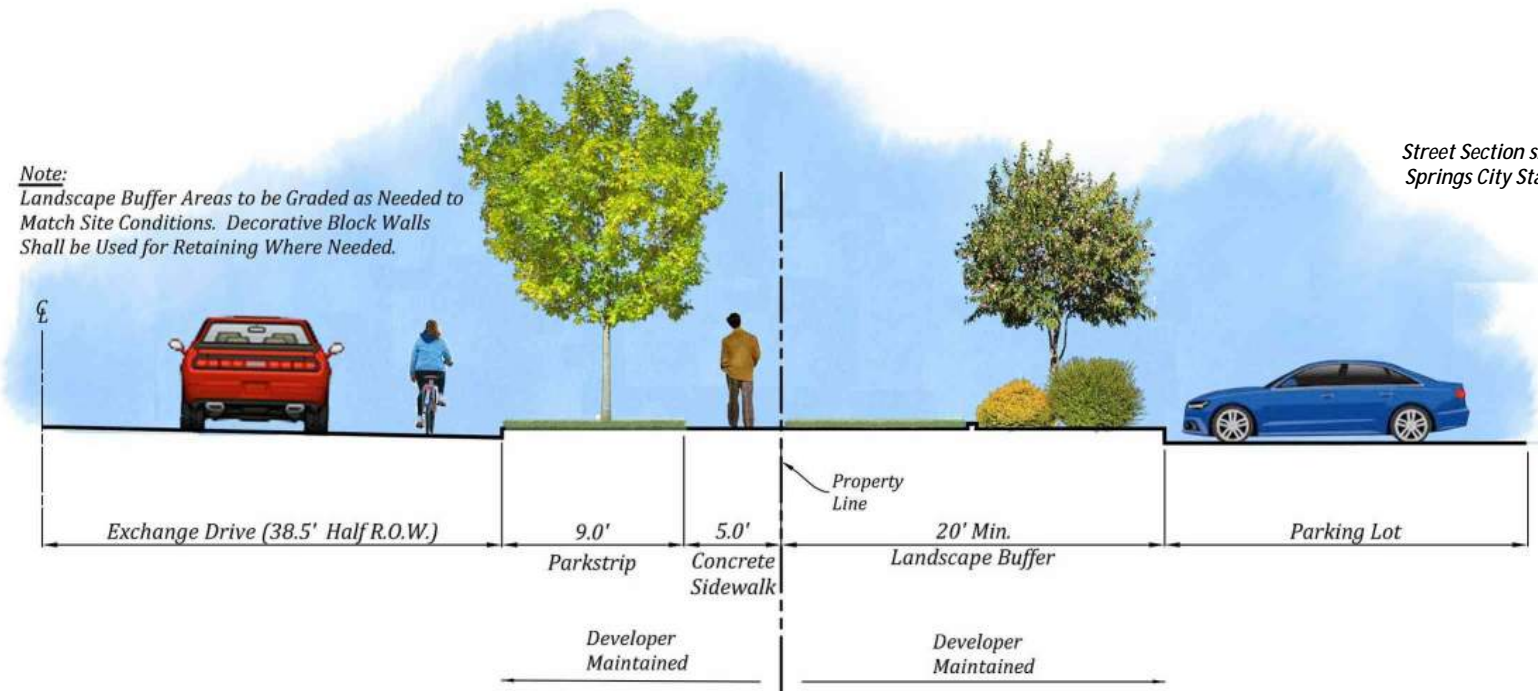
Market Street Village - Village Plan II



Street Section shall be per Saratoga Springs City Standard Detail ST-9A



E



Street Section shall be per Saratoga Springs City Standard Detail ST-9A

F



Saratoga Springs, Utah

CCA-Acquisition Company, LLC

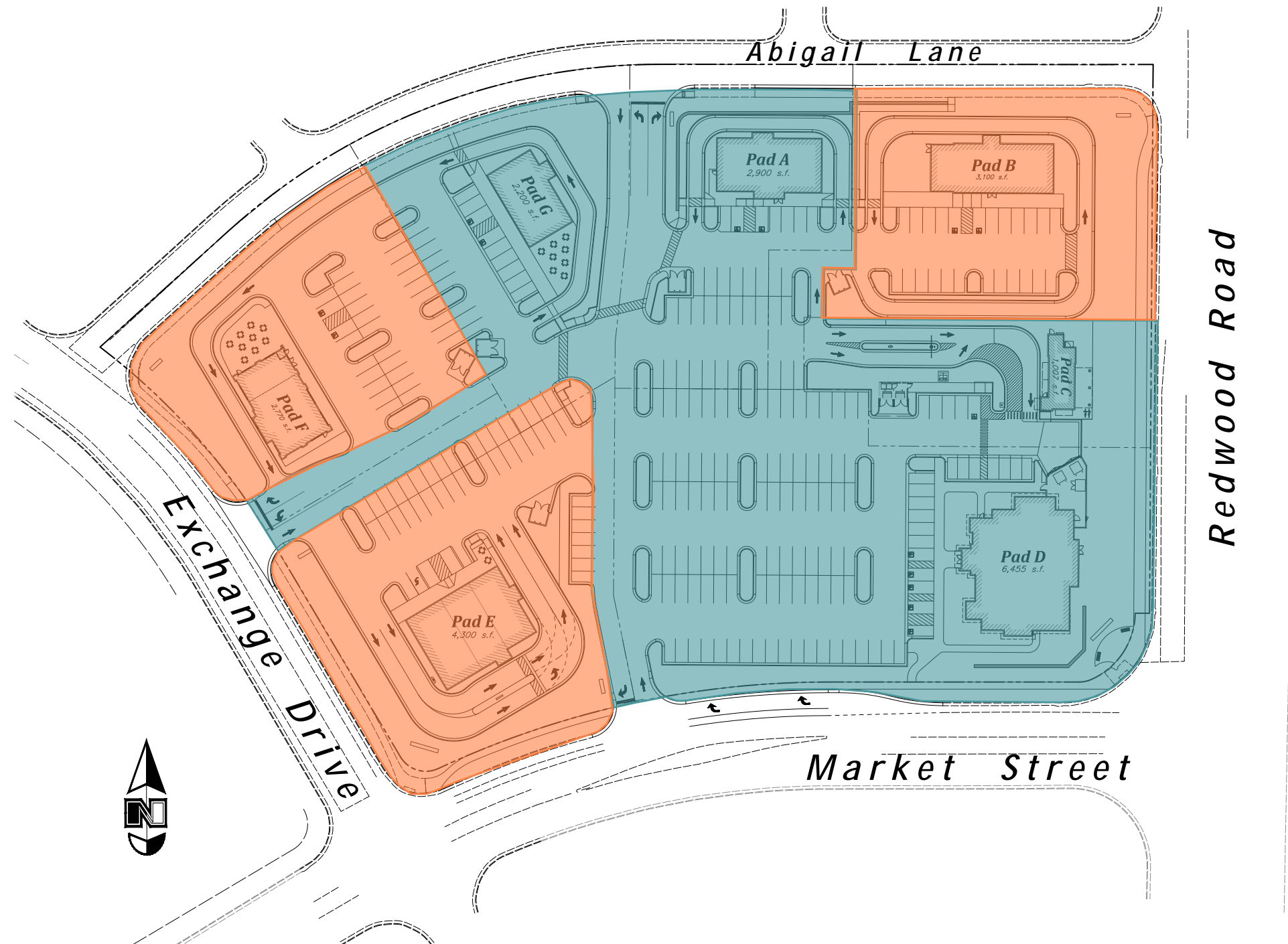


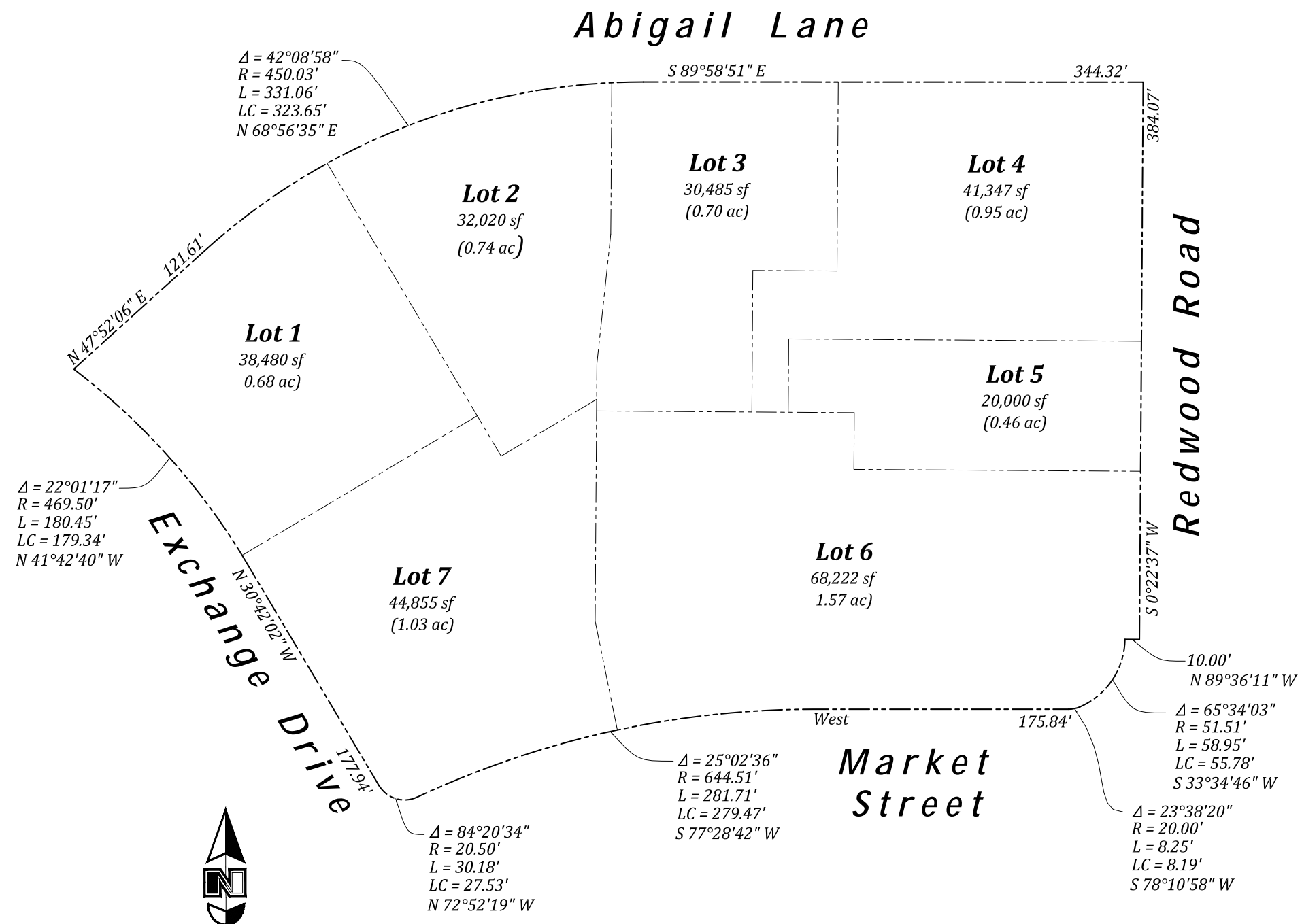
ANNA
ANDERSON WAHLEN & ASSOCIATES

Phases

- Phase I of Village Plan II
- Future Phase of Village Plan II

Phasing may occur in any order



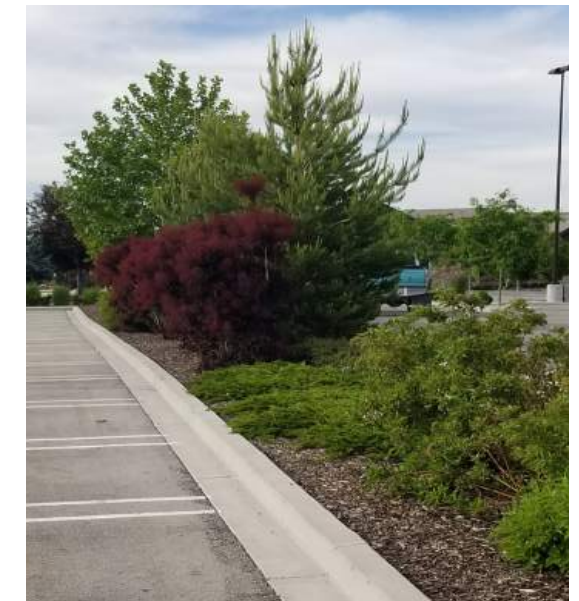


General Landscape Guideline:

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Chapter 19.06 and 19.09 landscape and off-street parking requirements.
2. All proposed plant material shall be selected from the plant list on page 15.
3. Trees and shrubs in park strips and parking islands shall be consistent with Saratoga Springs City Code.

Decorative Stone, Accent Boulders and Edging

1. All landscape areas shall have decorative stone. Stone color and type shall be consistent throughout Village Plans.
2. Wood mulch shall be provided around all plant material.
3. Accent boulders shall be incorporated into landscape areas. Boulders shall match neighboring decorative stone. Accent boulders shall be placed in high visibility areas and shall not interfere with access to utilities and block signs. Boulders shall not be placed in lawn areas.
4. Lawn areas and shrub planters shall be separated by concrete, aluminum, or steel edging.



General Landscape Guidelines:

Parking Island Landscaping

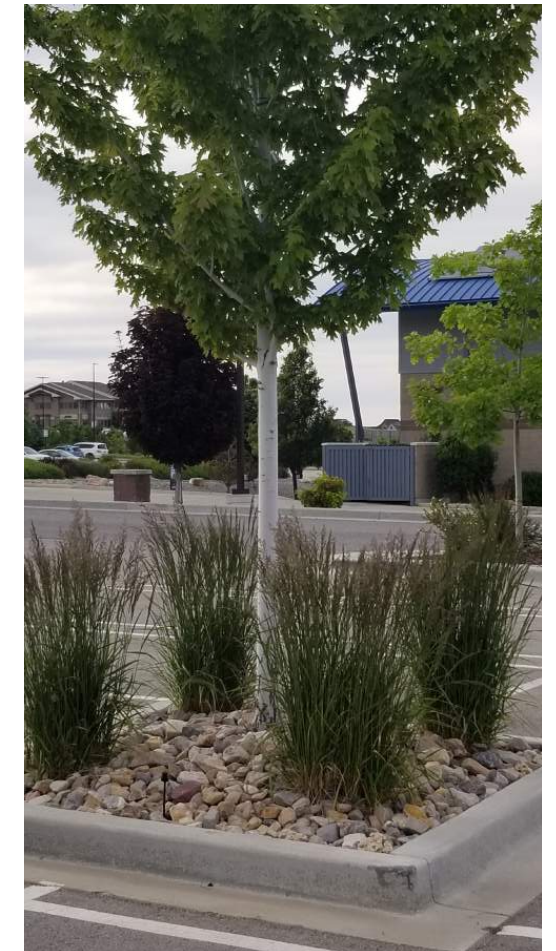
1. All parking islands shall receive plant material with decorative stone. Hardy plant material shall be used in parking lot areas.
2. Single parking islands shall be planted with one deciduous tree and double islands two trees. Parking islands shall not be used for utility boxes. Plant material shall not obstruct views for cars and pedestrians entering and leaving the parking lot.

Landscape Retaining Walls

1. If retaining is needed, landscape boulders, decorative concrete, and keystone style walls shall be used. Landscape shall be used to soften walls.

Landscape Adjacent to Buildings


1. Intermittent landscape shall be placed along long building walls as approved with each Village Plan.



Note: Building and parking layouts are conceptual and are subject to all development requirements and approvals. Open space areas shown here are conceptual and the total open space for all lots within the Phase II Village Plan shall constitute a minimum of 11% of the total site area and are subject to all development requirements and approvals.

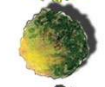
All landscaping shall be maintained by the property owner(s) within the Village Plan.

Legend

 Landscape Area with Trees, Shrubs, Ornamental Grasses, Perennials, Boulders and Decorative Stone



Proposed Site Tree



Proposed Street Tree



Proposed Accent Tree



Proposed Evergreen Tree

Location of trees and quantities shall be adjusted per each site layout

Detailed landscape plans will be reviewed at site plan approval



The following District Area Open Space types shall be incorporated into the Phase II Village Plan landscape:

1. Parkway (Boulevard): This open space shall include comfortable, safe pedestrian and cyclist connections into and out of the development. This space shall also include a project street corner plaza with colored concrete, seating, a development sign and enhanced landscape. Street trees shall be provided along the street parkway with understory landscape.
2. Other Open Space Elements:
 - a. That portion of a sidewalk in excess of 8 feet in width that is located immediately in front of a primary building facade that includes sidewalk furnishings, outdoor seating and/or dining areas and not used for display or merchandise.
 - c. General landscape areas shall be in compliance with the Community Plan and blend with the neighboring Costco Development.

Conceptual Landscape Plan: Adjust planting as needed for site plan. Adhere to required landscape and open space percentage specified in the Community Plan. Adhere to the City of Saratoga Springs minimum landscape standards for RC Zone for quantity of trees, shrubs, and lawn.



Landscape Legend

Market Street Village - Village Plan II

All Plant and Landscape Material Have Been Adopted From the Costco Wholesale Village Plan I

Botanical Name	Common Name	Mature Ht. / Spr.
<u>Deciduous Trees (Minimum 2" Caliper ; 10-12' Ht.; B&B)</u>		
Acer rubrum 'Northwood'	Northwood Maple	50' Ht. / 30' Spr.
Gleditsia t. i. 'Shademaster'	Shademaster Honeylocus	35' Ht. / 35' Spr.
Quercus r. 'Crimson Spire'	Redmond American Linden	45' Ht. / 15' Spr.
Tilia cordata	Littleleaf Linden	50' Ht. / 35' Spr.
Ulmus x 'Morton'	Accolade Elm	50' Ht. / 35' Spr.
Acer r. 'Armstrong'	Armstrong Maple	45' Ht. / 15' Spr.
<u>Ornamental Trees (2" Caliper ; 8-10 Ht; B&B)</u>		
Cercis c. 'Forest Pansy'	Forest Pansy Redbud	15' Ht. / 15' Spr.
Malus x 'Spring Snow'	Spring Snow Crabapple	25' Ht. / 20' Spr.
Prunus v. 'Canada Red'	Canada Red Chokecherry	25' Ht. / 20' Spr.
Syringa reticulata	Japanese Tree Lilac	25' Ht. / 15' Spr.
<u>Evergreen Trees (8-10 Ht.; B&B)</u>		
Abies concolor	White Fir	40' Ht. / 20' Spr.
Picea pungens	Colorado Spruce	40' Ht. / 15' Spr.
Pinus f. 'Vanderwolf's Pyramid'	Vanderwolf Limber Pine	25' Ht. / 15' Spr.
Pinus nigra	Austrian Pine	50' Ht. / 20' Spr.
<u>Large Shrubs (5 Gal. Cont.; 24-30" Ht. & Spr.)</u>		
Cornus sericea	Red Osier Dogwood	8' Ht. / 10' Spr.
Cotinus coggygria	Smoke Tree	12' Ht. / 12' Spr.
Juniperus c. 'Sea Green'	Sea Green Juniper	5' Ht. / 7' Spr.
Rhus g. 'Cismontana'	Smooth Sumac	12' Ht. / 12' Spr.
Ribes aureum	Golden Currant	5' Ht. / 5' Spr.
Physocarpus a. 'Summer Wine'	Summer Wine Ninebark	4' Ht. / 4' Spr.
Perovskia atriplicifolia	Russian Sage	4' Ht. / 4' Spr.
Prunus x cisterna	Purple Leaf Sand Cherry	8' Ht. / 6' Spr.
<u>Medium Shrubs (5 Gal. Cont.; 18-21" Ht. & Spr.)</u>		
Mahonia a. 'Compact'	Compact Oregon Grape	3' Ht. / 3' Spr.
Juniperus c. 'Mint Julep'	Mint Julep	4' Ht. / 6' Spr.
Viburnum o. 'Compactum'	Cranberry Bush Viburnum	4' Ht. / 4' Spr.
Yucca baccata	Banana Yucca	3' Ht. / 8' Spr.
<u>Small Shrubs (2 Gal. Cont.; 15-21" Ht. & Spr.)</u>		
Berberis t. 'Crimson Pygmy'	Crimson Pygmy Barberry	2' Ht. / 2' Spr.
Potentilla f. 'Goldstar'	Gold Star Potentilla	3' Ht. / 3' Spr.
Pachistima myrsinites	Mountain Lover	2' Ht. / 2' Spr.
Pinus m. 'Pumilio'	Dwarf Mugo Pine	2' Ht. / 5' Spr.
Prunus b. 'Pawnee Buttes'	Western Sand Cherry	2' Ht. / 5' Spr.
Ribes a. 'Green Mound'	Dwarf Alpine Currant	3' Ht. / 3' Spr.

Botanical Name	Common Name	Mature Ht. / Spr.
<u>Groundcovers, Grasses, & Perennials (1 & 2 Gal. Cont.; 15-21" Ht.)</u>		
Euonymus f. 'Coloratus'	Purple Wintercreeper	9" Ht. / 36" Spr.
Rhus t. 'Autumn Amber'	Autumn Amber Sumac	18" Ht. / 72" Spr.
Juniperus s. 'Buffalo'	Creeping Juniper	9" Ht. / 72" Spr.
Schizachyrium s. 'The Blues'	Little Bluestem	36" Ht. / 24" Spr.
Deschampsia cespitosa	Tufted Hair Grass	36" Ht. / 24" Spr.
Panicum v. 'Heavy Metal'	Switch Grass	60" Ht. / 36" Spr.
Bouteloua g. 'Blonde Ambition'	Blue Grama Grass	36" Ht. / 24" Spr.
Gaillardia a. 'Oranges & Lemons'	Blanket Flower	24" Ht. / 18" Spr.
Penstemon strictus	Rocky Mountain Penstemon	36" Ht. / 24" Spr.
Rudbeckia h. 'Goldstrum'	Black-Eyed Susan	24" Ht. / 24" Spr.
Nepta x. f. 'Dropmore'	Catmint	24" Ht. / 24" Spr.
<u>Native Shrub Areas (5 Gal. Cont.; 15-21" Ht.)</u>		
Cercocarpus ledifolia	Mountain Mahogany	30' Ht. / 20' Spr.
Forsteria neomexicana	Desert Olive	15' Ht. / 12' Spr.
Chamaebatia millefolium	Fern Bush	6' Ht. / 6' Spr.
Chrysothamnus nauseosus	Rubber Rabbitbrush	3' Ht. / 3' Spr.
Cowania mexicana	Mexican Cliff Rose	6' Ht. / 6' Spr.
Fallugia paradoxa	Apache Plume	5' Ht. / 4' Spr.
Ephedra viridis	Mormon Tea	5' Ht. / 5' Spr.
Agave parryi	Parry's Agave	2' Ht. / 3' Spr.
Artemisia filifolia	Sand Sage	3' Ht. / 3' Spr.
Eriogonum umbellatum	Sulphur Flower	1' Ht. / 2' Spr.
Penstemon eatonii	Firecracker Penstemon	3' Ht. / 2' Spr.
Sphaeralcea ambigua	Desert Mallow	4' Ht. / 3' Spr.
Yucca baccata	Banana Yucca	3' Ht. / 8' Spr.
<u>Rough Seed</u>		Local native seed blend
<u>Sod Lawn</u>		Locally grown drought tolerant Kentucky Blue Grass Blend
<u>Crushed Rock Surfacing</u>		See civil
<u>Decorative Rock & Edging:</u>		
Decorative Rock	Blended locally sourced round river rock color warm tan and grays. 50% 2-4" size and 50% 4-8" size. 7" depth with weed barrier. Secure fabric with soil staples at 6' o.c. and overlap seams by minimum 6".	
Rock Mulch in Planting Areas	1" size landscape rock color earth tones. 3" depth with weed barrier. Secure fabric with soil staples at 6' o.c. and overlap seams by minimum 6".	
Bark Mulch at Plants	3" depth, high quality hardwood bark mulch. In rock mulch areas, surround All plant materials with bark mulch ring. Diameter to be twice the rootball size	
Edging	4" Aluminum edging at all edges between rock and mulch	
Boulders	(4'x4'x3') average size. Locally sourced. Rounded edges. No flaking or sharp edges	

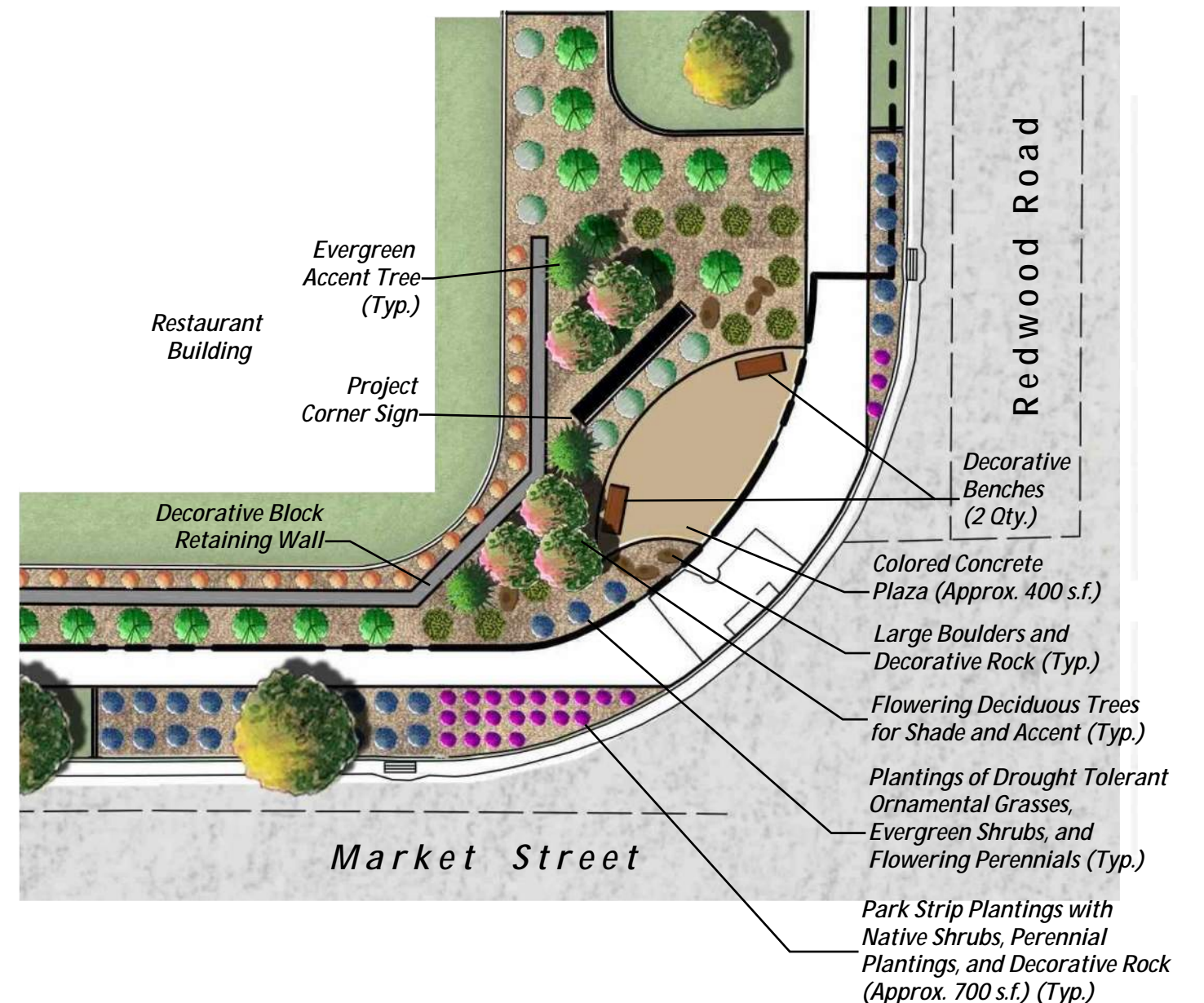


Project Street Corner Landscaping Requirements:

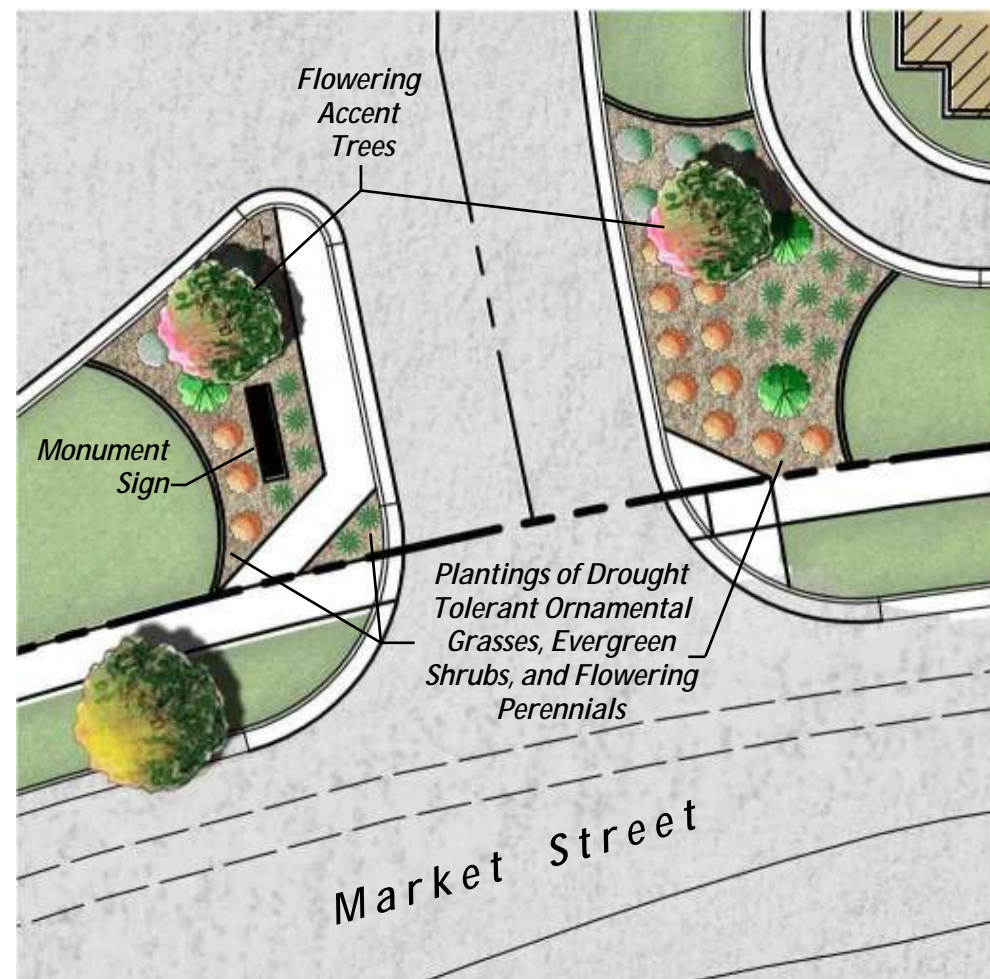
Minimum street corner enhancements shall include the following:

- 1) A colored concrete plaza (approx. 400 s.f.).
- 2) 2 benches.
- 3) Large boulders and decorative rock as landscape features.
- 4) Canopy deciduous trees for shade. Flowering or evergreen trees for accent.
- 5) Native shrub and perennial plantings with decorative rock within park strip (approx. 700 s.f.).
- 6) Massed plantings of drought-tolerant ornamental grasses, evergreen shrubs, and flowering perennials.

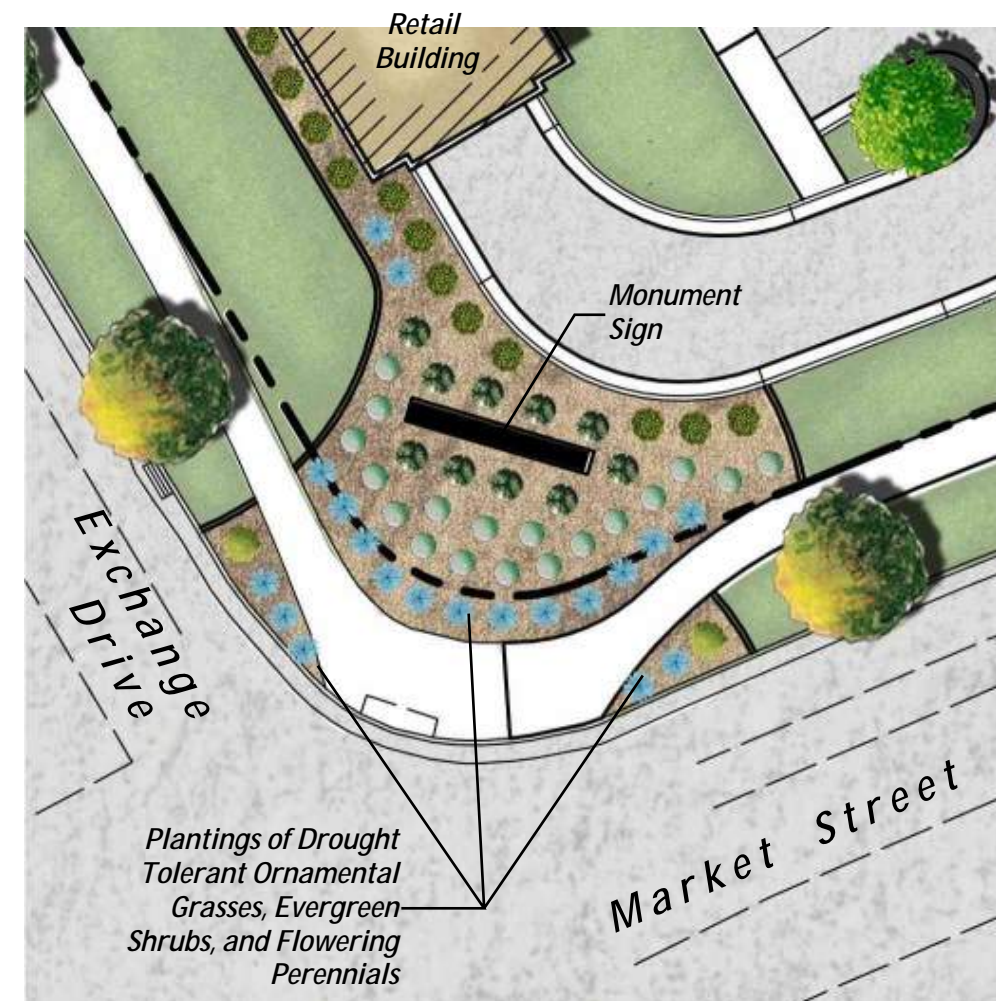
A. Project Street Corner Landscaping



B. Entry Landscaping (Market Street)



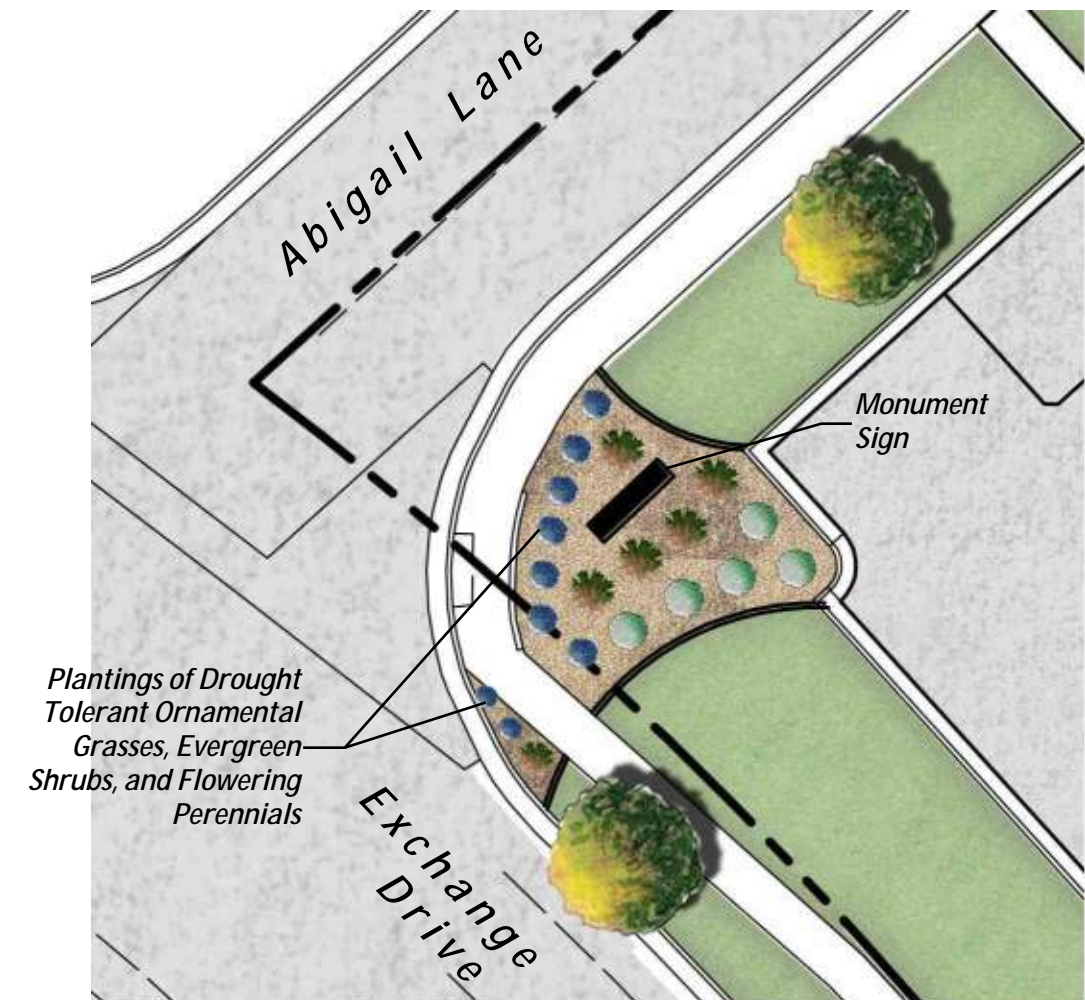
C. Corner Landscaping (Market Street & Exchange Drive)



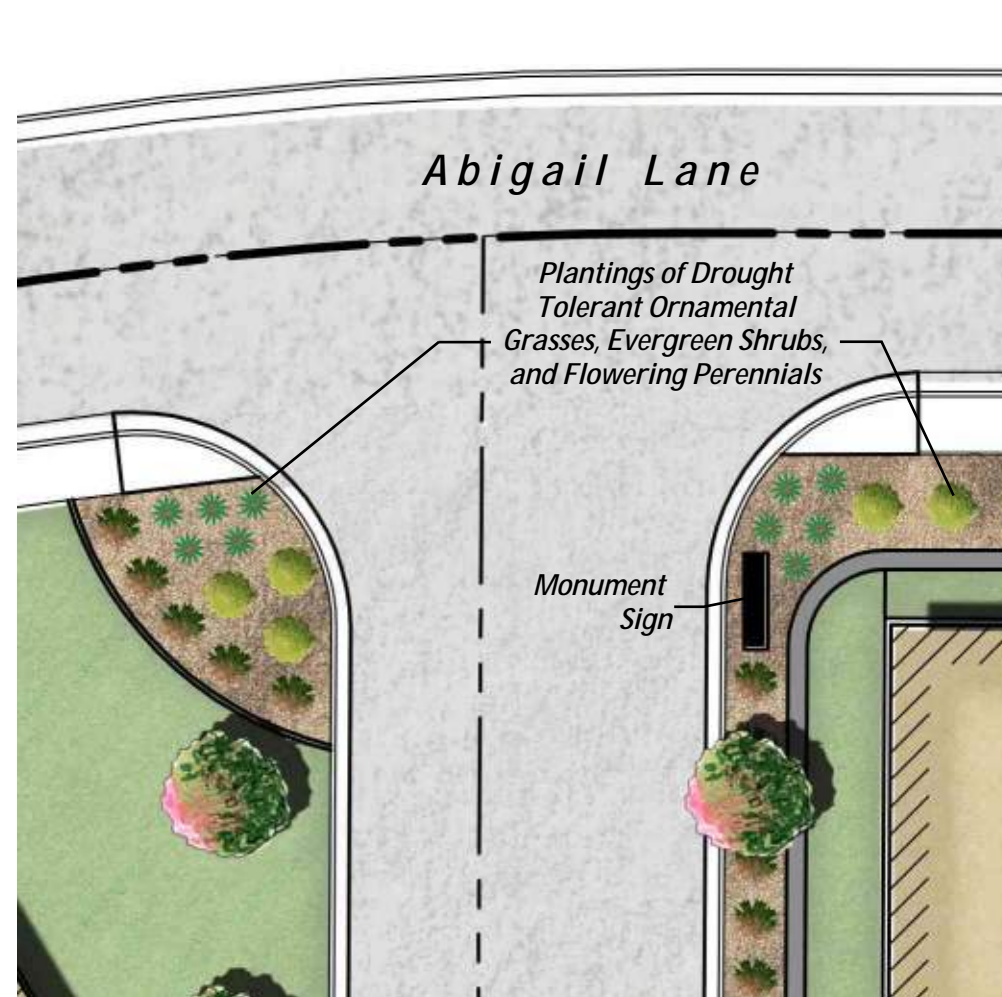
D. Entry Landscaping (Exchange Drive)



E. Street Corner (Exchange Drive & Interior Road)



F. Entry Landscaping (Interior Road)



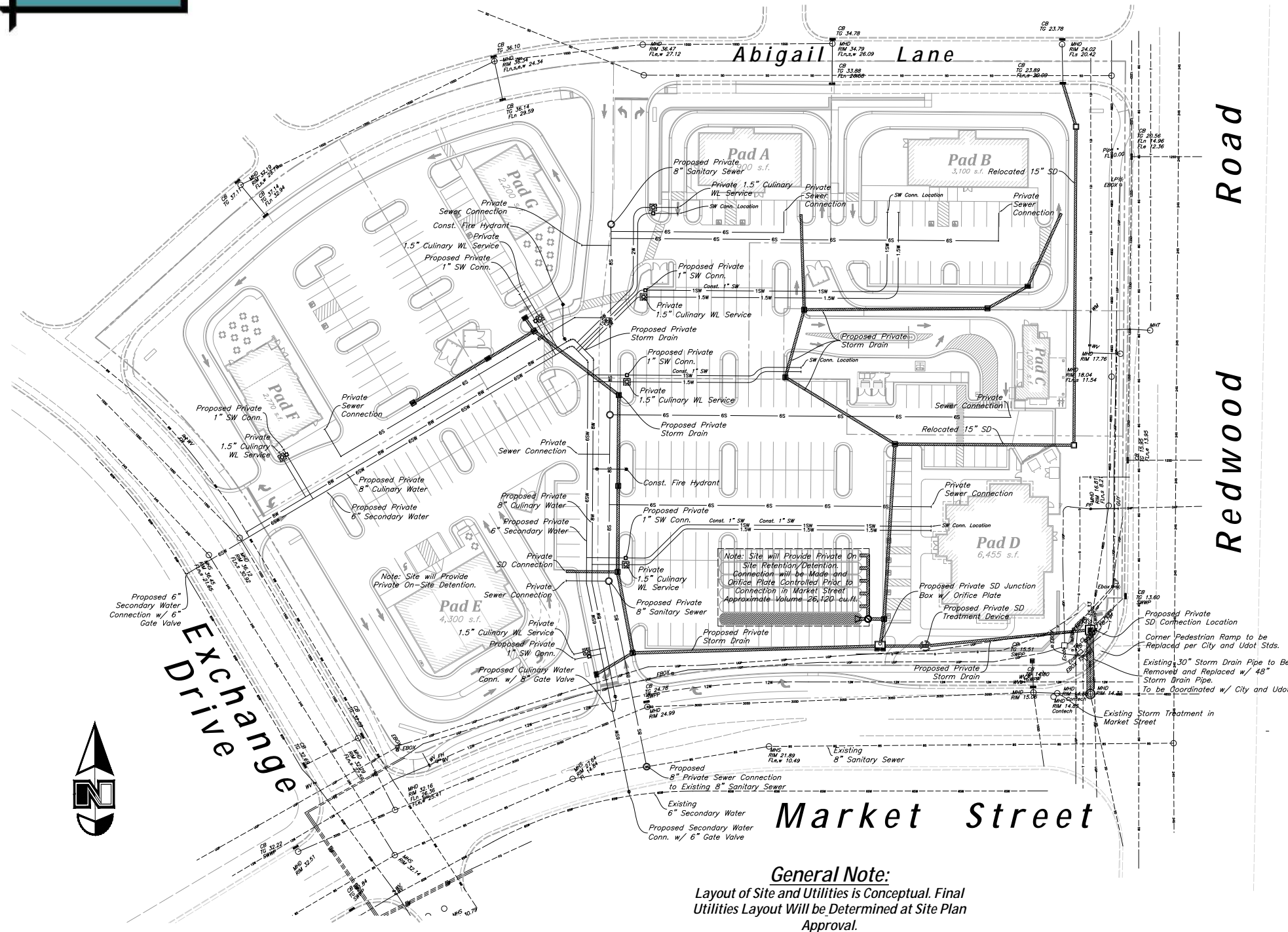
G. Street Corner (Redwood Road & Interior Road)



Exhibit 8

Utility Plan

Market Street Village - Village Plan II



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K"

Water Main Lines and Fire Lines

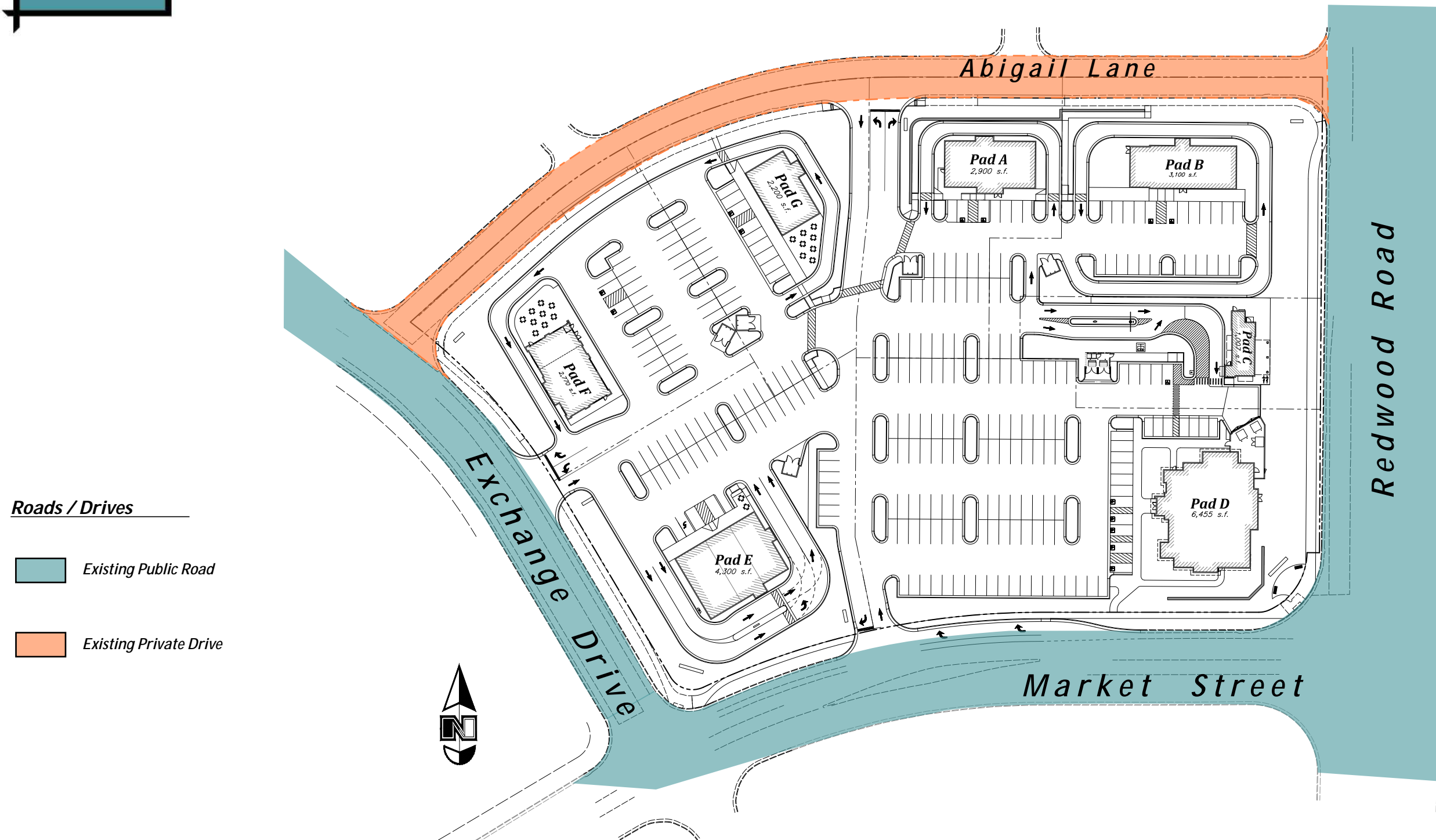
1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines


1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines


1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

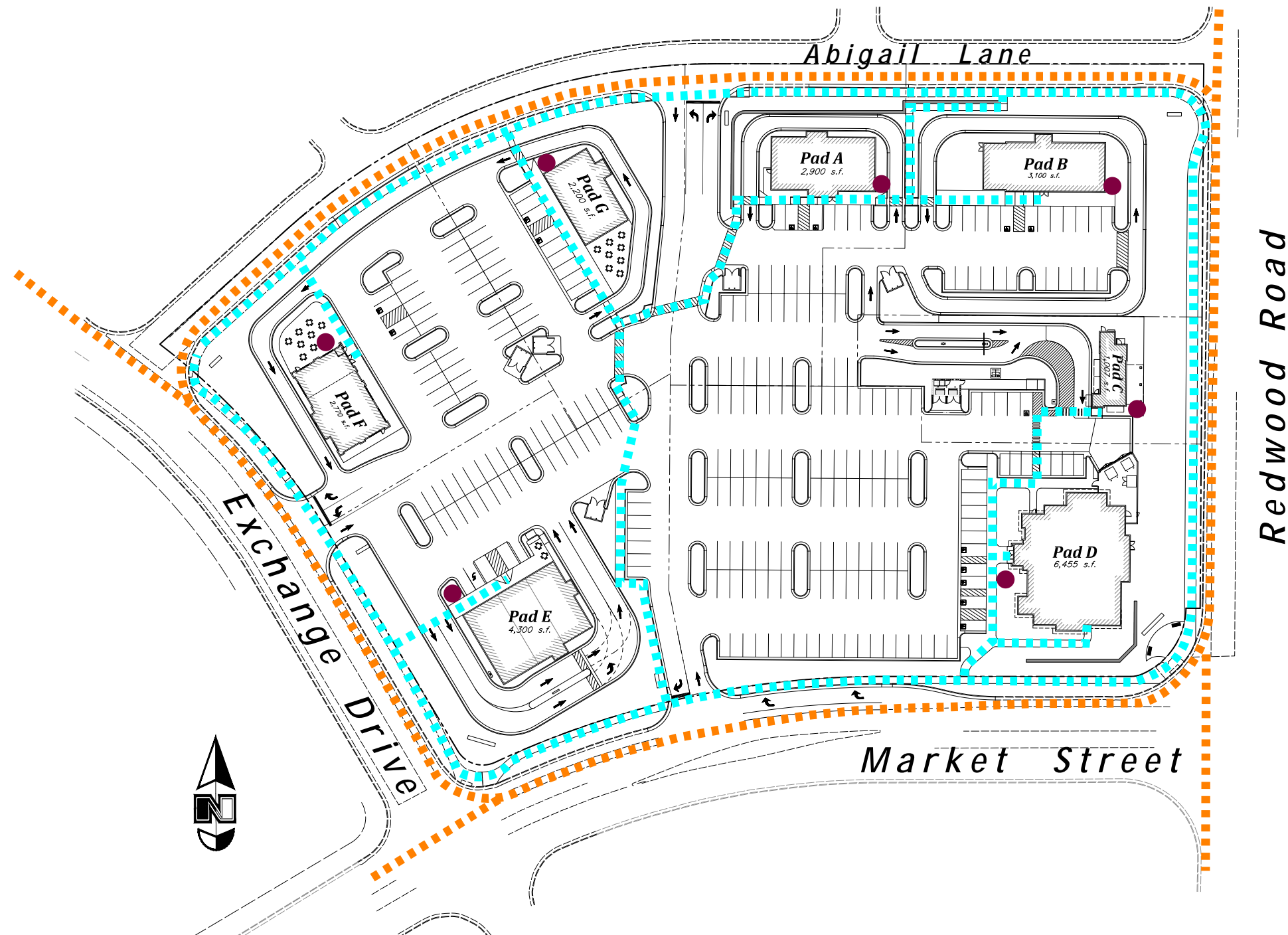


Legend

 Pedestrian Route

 Bicycle Route






 Bicycle Rack

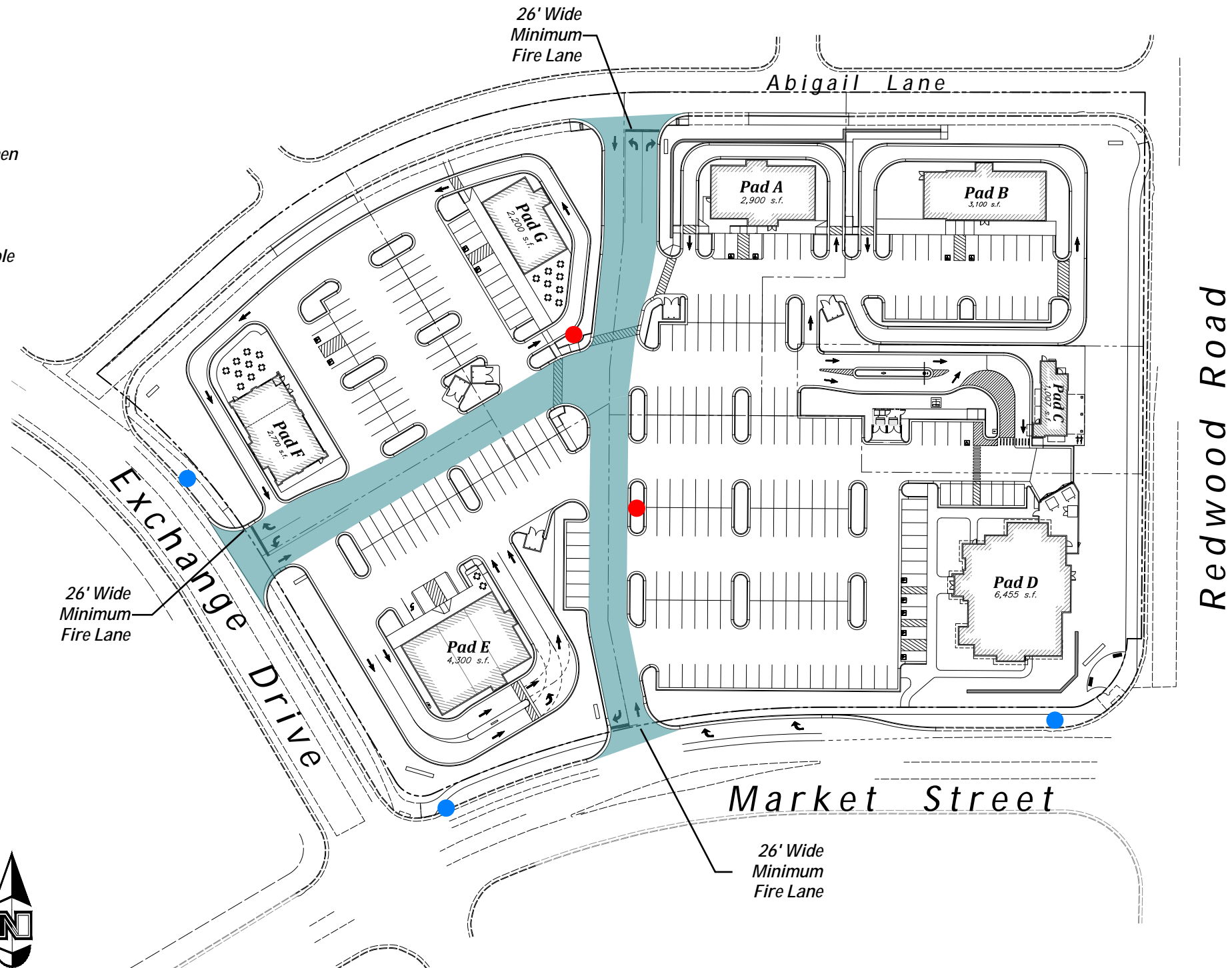


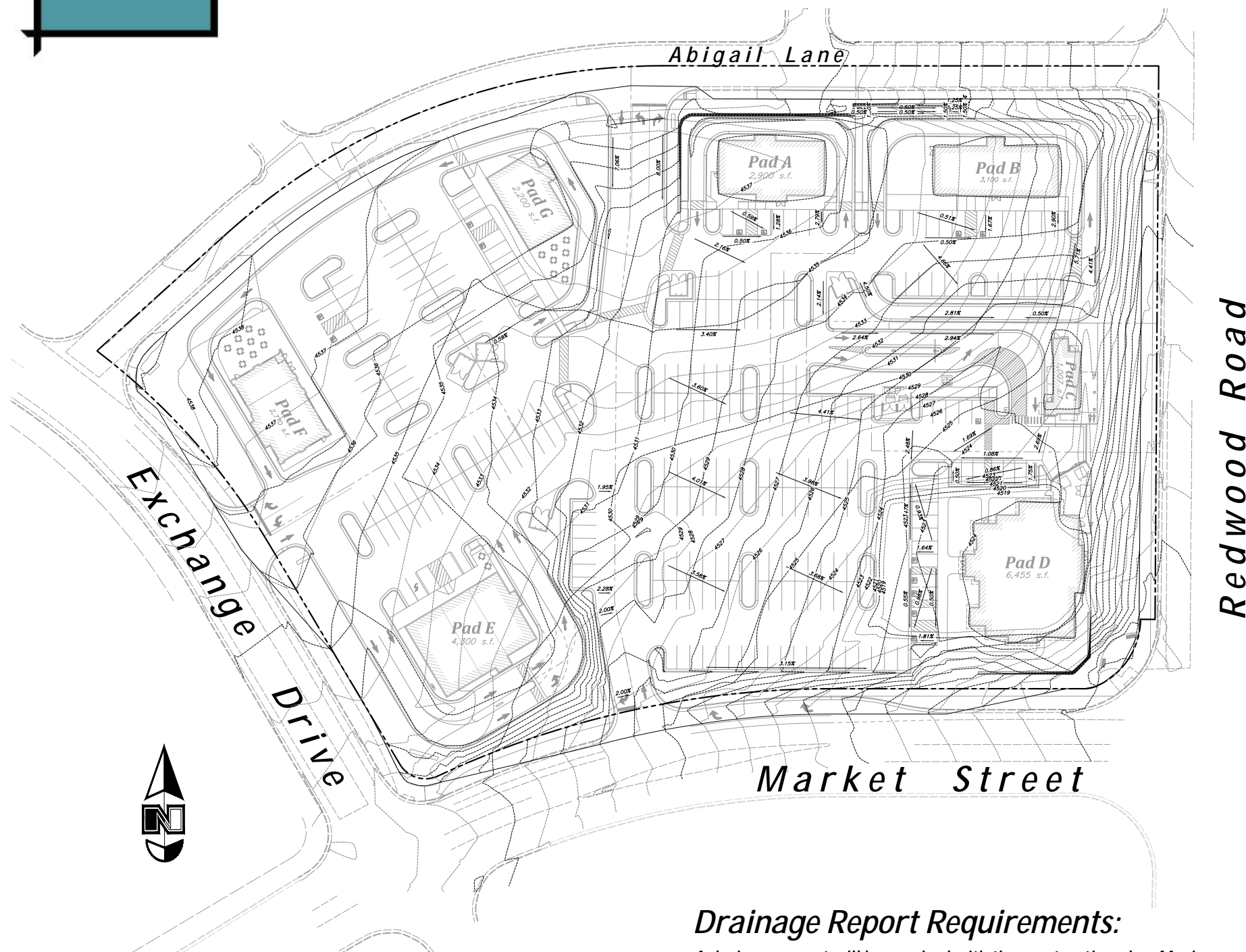
Fire Lane Notes:

1. Minimum fire lane width shall be 20 feet when signed for no parking.
2. Fire lane width shall be 26 feet at hydrants.
3. Fire lane shall be asphalt or concrete, capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
4. Maximum slope for fire lane shall be 10%

Legend

-  Fire Lane Limits (26' Minimum at Hydrants)
-  Typical Turning Radius R=52'
-  Typical Turning Radius R=28'
-  Proposed Fire Hydrant
-  Existing Fire Hydrant





Drainage Report Requirements:

A drainage report will be required with the construction plan. Maximum discharge rate is 0.12 cfs/acre. All areas of site development to be detained.

Grading/Drainage Notes:

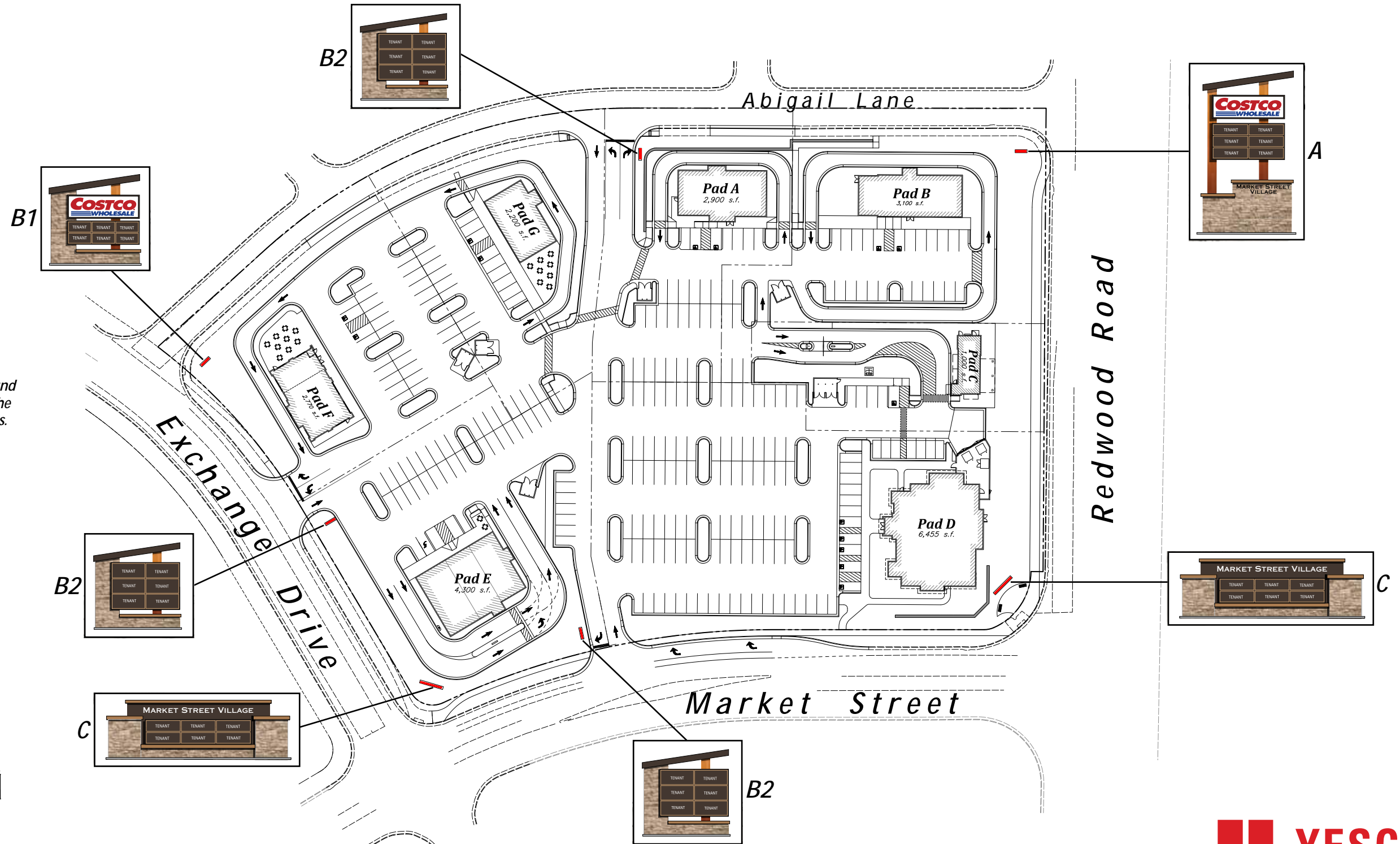
Storm drainage for Lot 3 shall be collected and detained in one underground detention chamber system. All pads shall have storm drain inlets and shall be piped to the underground detention chamber system.

Storm Water Treatment Systems shall be constructed as listed above and at all new points of connection to the City's Storm Drain System and prior to any discharge to a drainage, river, or lake. Treatment systems shall meet the following criteria:

Detention Systems:

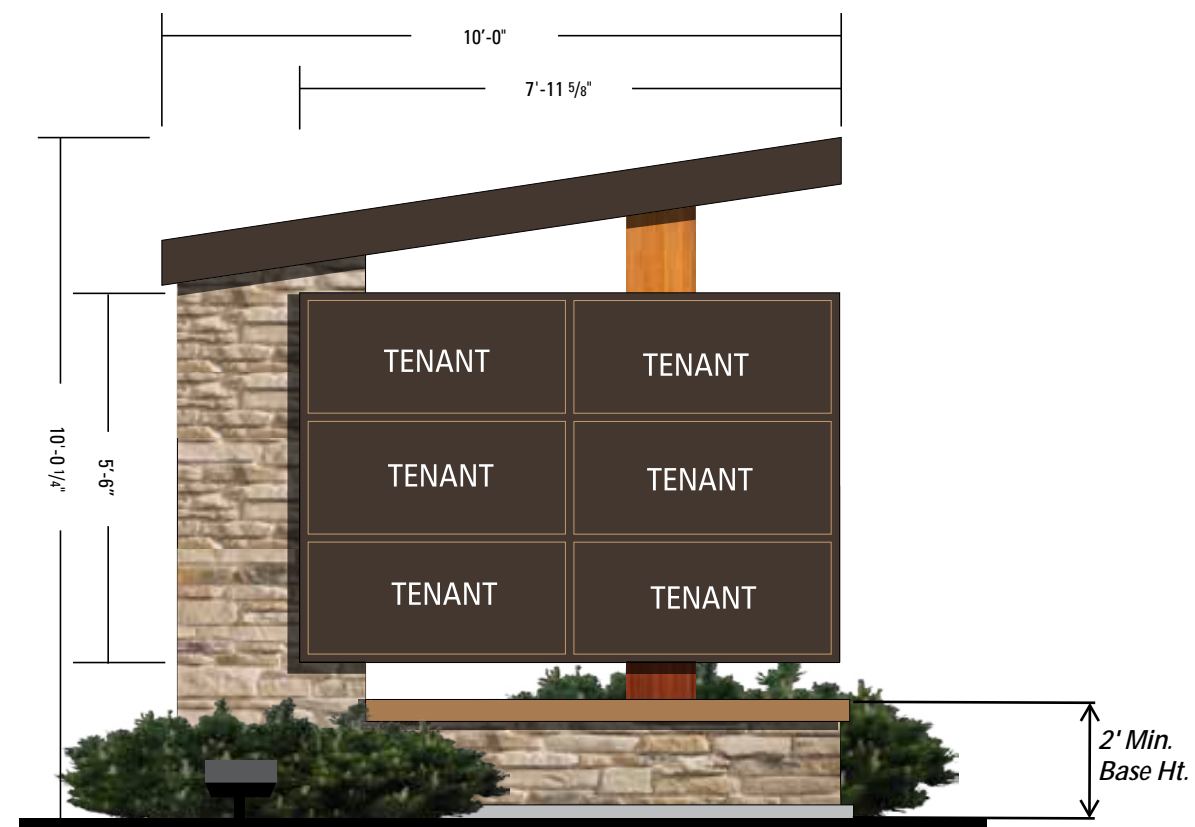
- The capacity of all detention systems shall be sufficient to contain the anticipated runoff volume from a 100-year 24-hour storm event over those portions of the gross aggregate area under design; with a maximum release of 0.12 cfs/acre.
- Systems shall be constructed as described and as shown in the City's Standards.
- Low flows, where applicable, shall be piped through the detention system.
- Detention system capacity may not be reduced for infiltration or evaporation rates.
- Retention systems are not permitted. All systems must have both an outfall and overflow system.
- Ponds are to be landscaped per Saratoga City's Standards.
- Provide access roads to all inlet/outlet structures.
- All ponds shall have a minimum of 1' of free board above the 100 year high water elevation.
- Maximum interior and exterior slopes shall be 3:1.
- Detention areas may not be located within residential lots.
- Detention areas shall be a minimum of 10' from property lines.
- Underground systems shall have impermeable liners and shall not be permitted to infiltrate.

The sign plan for ground signs is the extent of the approved ground signs.









B2 SMALL MONUMENT W/ TENANT



C | CORNER FEATURE SIGN W/ TENANTS

Waterways

There are no existing waterways within the boundaries of the site.

Fault Lines and geological Information

The site is in an area known to have fine grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site.

The subsurface soils correspond with site Class D - Stiff Soil Profile.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Utah Lake Faults located approximately 2.1 miles southeast.

General Soil Data

A geotechnical investigation was performed by GSH Geotechnical, Inc.. The report indicates that if the recommendations in the report are followed the project is geotechnically feasible. The site consists of topsoil, clay and varying silt, sand and gravel content. Groundwater was not encountered within 30.7 feet of the surface.

Slopes

The site currently slopes from the southeast-east at approximately 2-2.2%. No slopes exist on the site that are greater than 30%.

Wetlands

There are no existing wetlands within the project boundaries.

Historical Sites

There are no historical sites within the project boundaries.

Findings for Village Plan II per Section 19.26

- a. This Village Plan as presented is consistent with the adopted Community Plan. This Village Plan is situated on the corner of Redwood Road and Market Street with access from Market Street and Exchange Drive. Taking the vocabulary of the Community Plan we have carried through the Village Plan the critical design elements.
- b. This Village Plan anticipates a maximum square footage of 129,391 square feet at full build out.
- c. The Equivalent Residential Units of 59.8 units is consistent with the Community Plan. This Village Plan does not exceed the total number of equivalent residential units dictated in the adopted Community Plan and does not anticipate a need for a transfer of density per the provisions of the Community Plan. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures and Floor Area Ratio expands.
- d. This Village Plan is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. Also, future capacity for secondary water lines and future phases are addressed.
- e. This Village Plan properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26; and meets the minimum required open space of 11% in the adopted Community Plan, and adopted District Area Plan.

Endangered Plants

The site is currently being farmed. There are no endangered plants within the project boundaries.

Wildlife

The site is currently being farmed. There is no wildlife within the project boundaries.

Exhibit 15

Conceptual Olive Garden Elevation

Market Street Village - Village Plan II

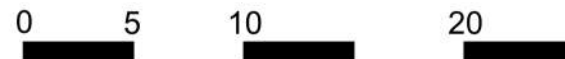
NOTE:

Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



Custom Wall Sign
Utilized Square Footage: 36

ITALIAN RESTAURANT SARATOGA SPRINGS, UT



Landlord approved signage.
Measurements are based on architectural plans provided.
Measurements to be field verified

MATERIAL LEGEND

- 106 PAINT @ WOOD TRELLIS, WOOD TRIM, WOOD FACIA, AND DOORS
Benjamin Moore 2112-10 "Mink"
- 107 STONE VENEER (#139 Brick Clinkers) - Coronado Stone
"Appalachian Fieldstone" w/ matching chiseled corner stones
Color: "Mountain Sunset" Grout: Natural Gray
- 108 STONE PLANK CLADDING
Coronado Woodstone "Rustic Cedar" 6 X 36
- 110 CONCRETE ROOF TILE
Eagle Roof Tile - Capistrano "Olive Garden Blend"
- 112 PRE-FINISH PAINT @ STOREFRONT AND WINDOWS
"Dark Bronze Finish"
- 113 STANDING SEAM METAL ROOF
"Dark Bronze Finish"
- 127 BRICK VENEER - Coronado Stone
Sicilian Brick - 2 1/2" x 8" Color: "Saltillo" 90%, "Ferrara Blend" 10%
- 139 BRICK CLINKERS - Coronado Stone
2-1/8" x 8" Thin Brick Tumbled w/ 3/8" Mortar Joint

crho
architects
1833 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.832.1834



Saratoga Springs, Utah

CCA-Acquisition Company, LLC



ANNA
ANDERSON WAHLEN & ASSOCIATES

NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



ITALIAN RESTAURANT SARATOGA SPRINGS, UT



Signage Not Required on this Elevation

MATERIAL LEGEND

- 106 PAINT @ WOOD TRELLIS, WOOD TRIM, WOOD FACIA, AND DOORS
Benjamin Moore #2112-10 "Mink"
- 107 STONE VENEER (#139 Brick Clinkers) - Coronado Stone
"Appalachian Fieldstone" w/ matching chiseled corner stones
Color: "Mountain Sunset" Grout: Natural Gray
- 108 STONE PLANK CLADDING
Coronado Woodstone "Rustic Cedar" 6 X 36
- 110 CONCRETE ROOF TILE
Eagle Roof Tile - Capistrano "Olive Garden Blend"
- 112 PRE-FINISH PAINT @ STOREFRONT AND WINDOWS
"Dark Bronze Finish"
- 113 STANDING SEAM METAL ROOF
"Dark Bronze Finish"
- 127 BRICK VENEER - Coronado Stone
Sicilian Brick - 2 1/2" x 8" Color: "Saltillo" 90%, "Ferrara Blend" 10%
- 139 BRICK CLINKERS - Coronado Stone
2-1/8" x 8" Thin Brick Tumbled w/ 3/8" Mortar Joint



NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



ITALIAN RESTAURANT
SARATOGA SPRINGS, UT



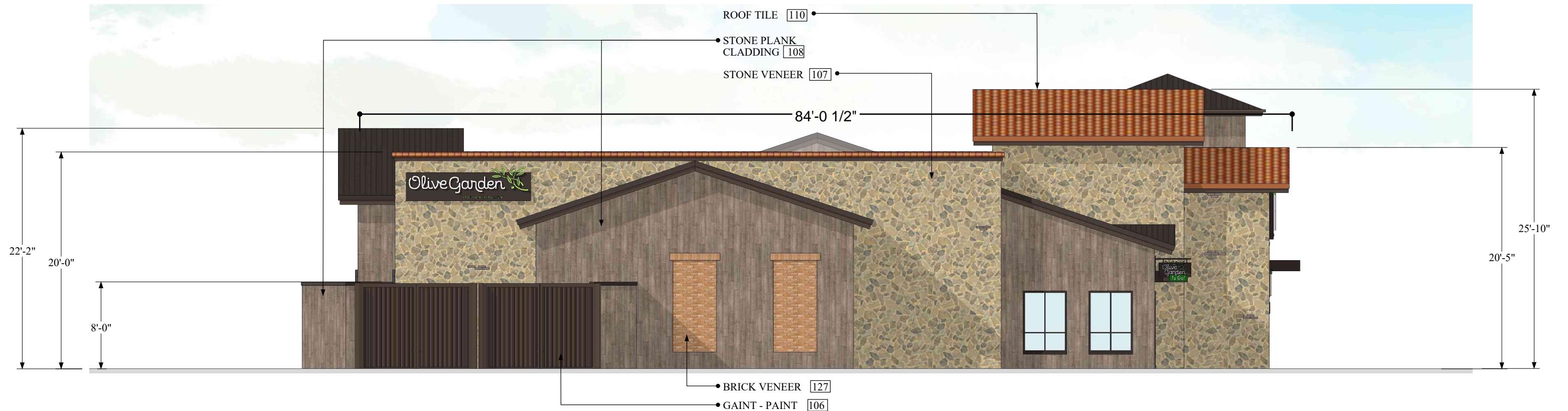
Landlord approved signage.
Measurements are based on architectural plans provided.
Measurements to be field verified

- MATERIAL LEGEND
- 106 PAINT @ WOOD TRELLIS, WOOD TRIM, WOOD FACIA, AND DOORS Benjamin Moore 2112-10 "Mink"
 - 107 STONE VENEER (#139 Brick Clinkers) - Coronado Stone "Appalachian Fieldstone" w/ matching chiseled corner stones Color: "Mountain Sunset" Grout: Natural Gray
 - 108 STONE PLANK CLADDING Coronado Woodstone "Rustic Cedar" 6 X 36
 - 110 CONCRETE ROOF TILE Eagle Roof Tile - Capistrano "Olive Garden Blend"
 - 112 PRE-FINISH PAINT @ STOREFRONT AND WINDOWS "Dark Bronze Finish"
 - 113 STANDING SEAM METAL ROOF "Dark Bronze Finish"
 - 127 BRICK VENEER - Coronado Stone Sicilian Brick - 2 1/2"x 8" Color: "Saltillo" 90%, "Ferrara Blend" 10%
 - 139 BRICK CLINKERS - Coronado Stone 2-1/8" x 8" Thin Brick Tumbled w/ 3/8" Mortar Joint

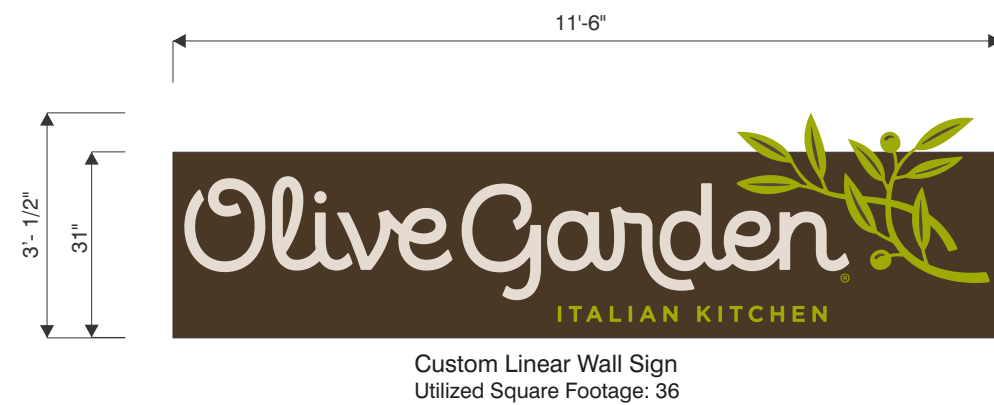
crho
architects
1833 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.832.1834

NOTE:

Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



LEFT ELEVATION



**ITALIAN RESTAURANT
SARATOGA SPRINGS, UT**



Landlord approved signage.
Measurements are based on architectural plans provided.
Measurements to be field verified





LOOKING NORTH-EAST



LOOKING SOUTH-EAST



NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.





LOOKING SOUTH-WEST



LOOKING NORTH-WEST

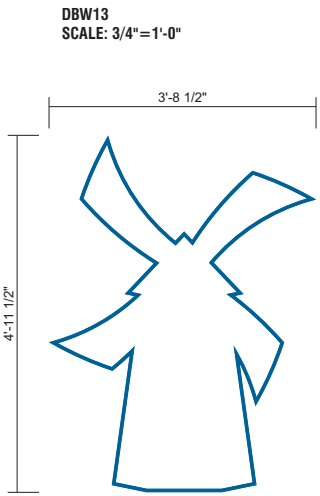
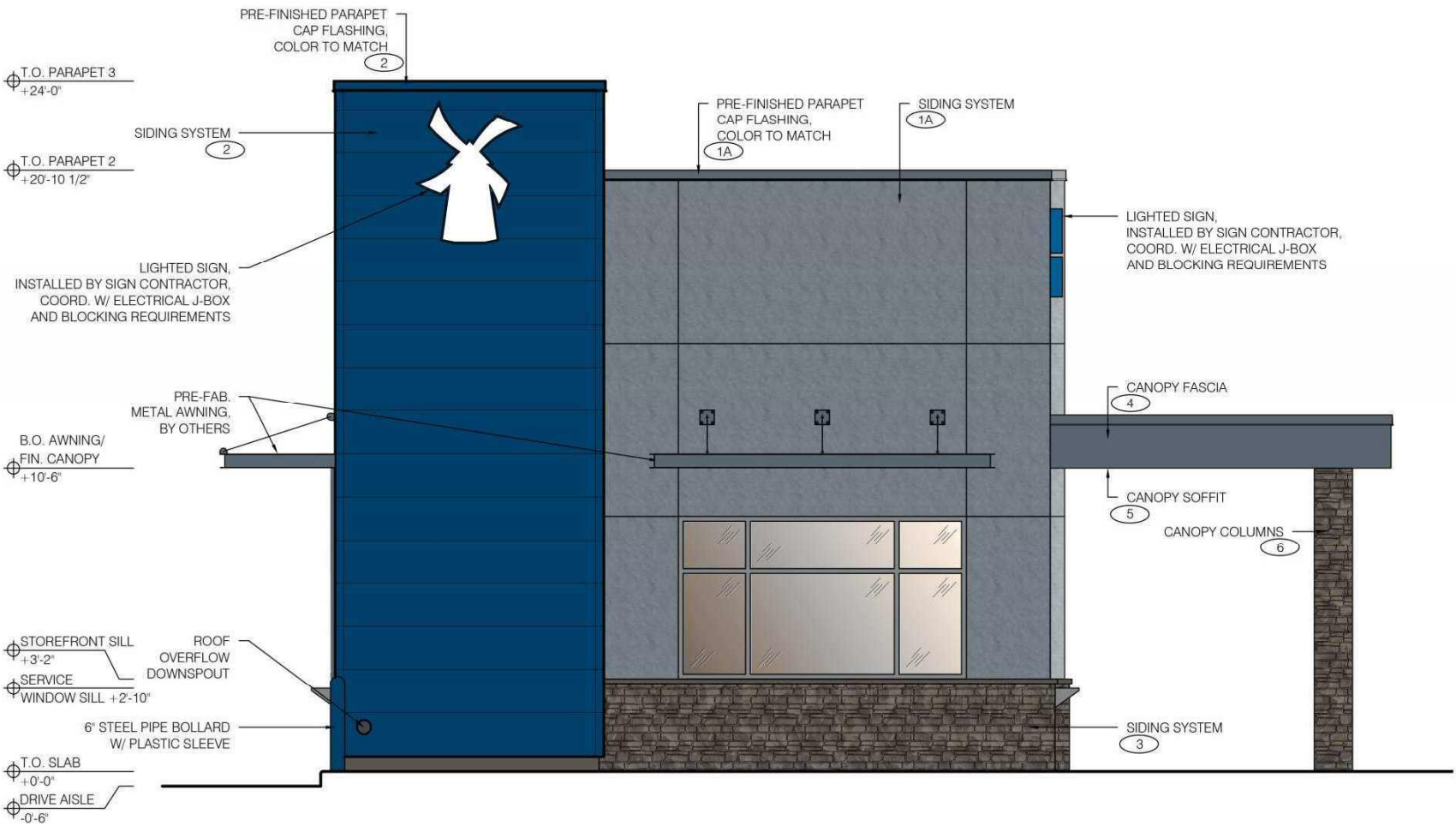


NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



South Elevation

SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				

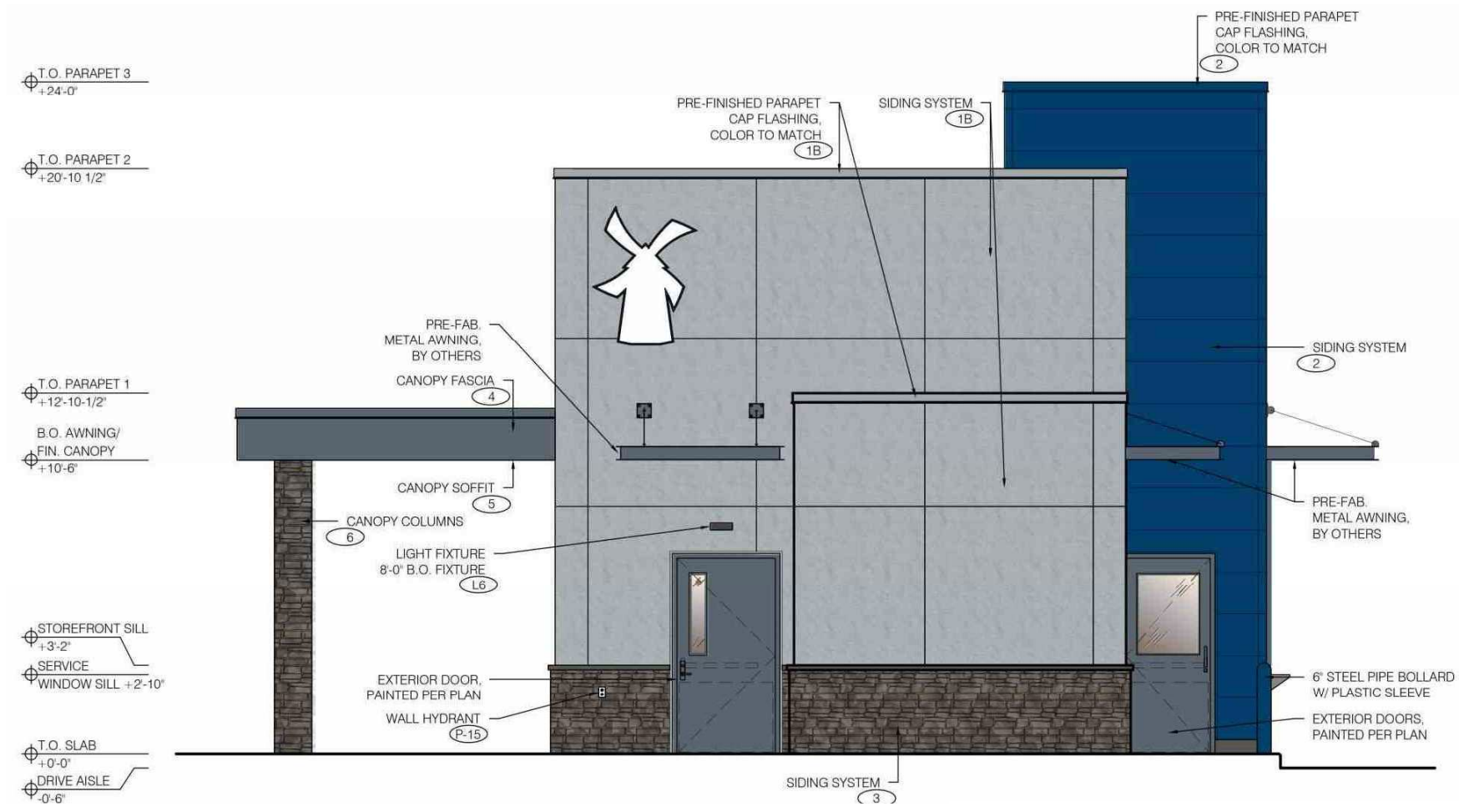


DUTCH BROS
Coffee

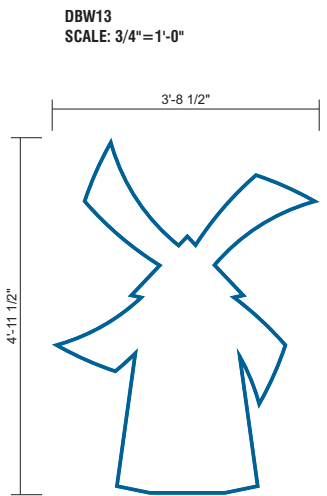
NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



North Elevation



SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



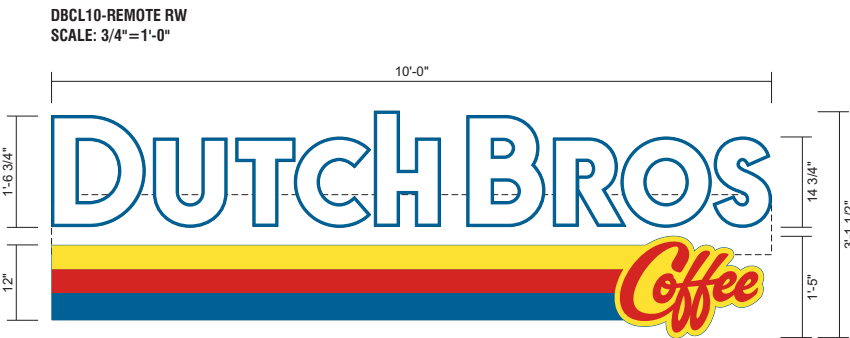
East Elevation



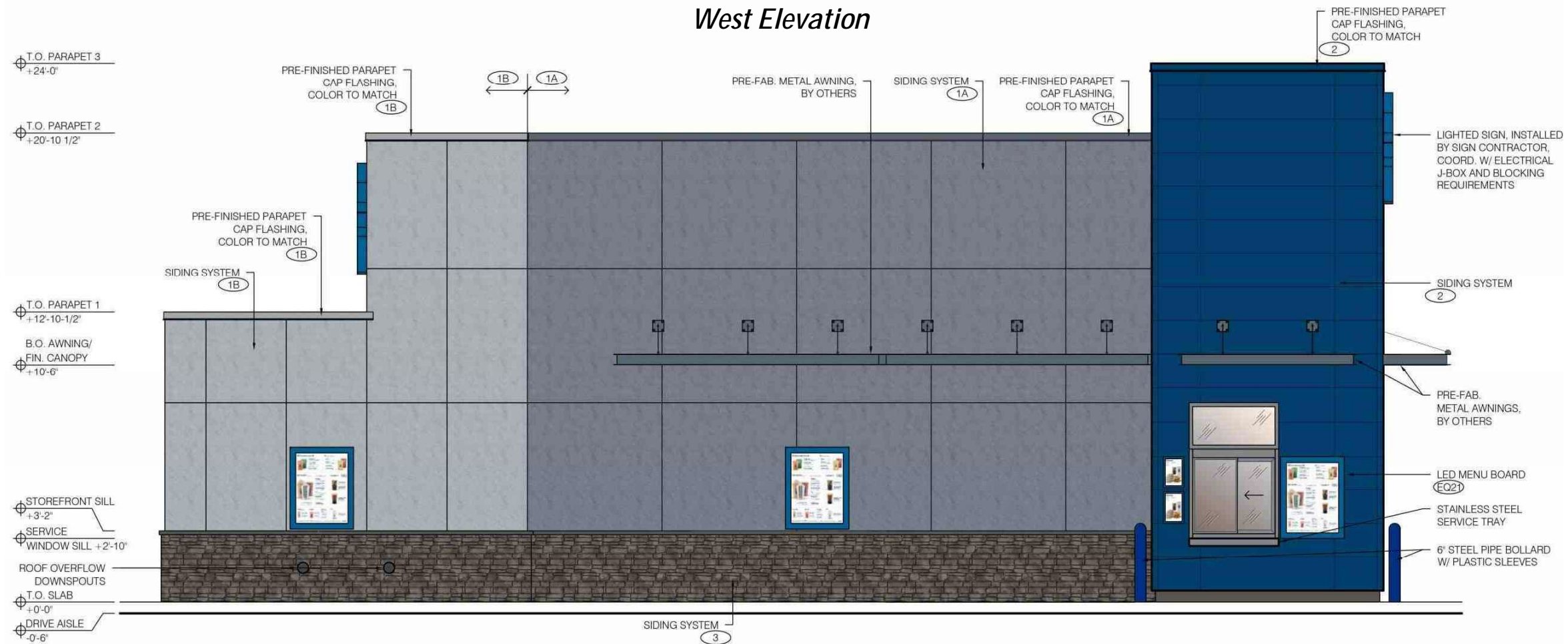
NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ FACTORY OUTSIDE CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



West Elevation




NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				

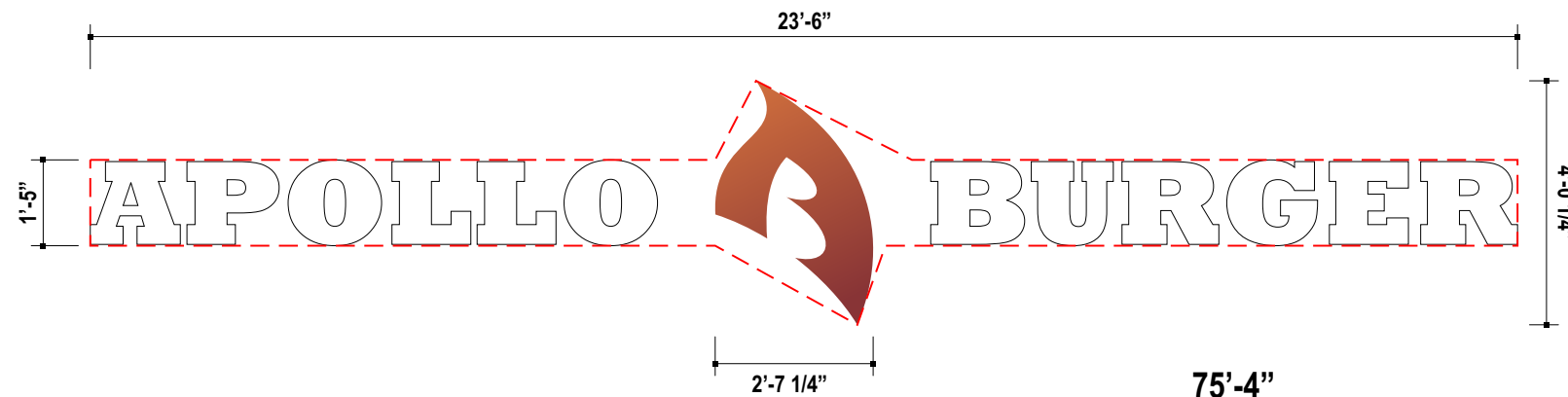


			
FIBER CEMENT BOARD MANUFACTURER: NICHHA PROFILE: ILLUMINATION COLOR: BLDG DB BLUE	3-COAT STUCCO SYSTEM MANUFACTURER: - PROFILE: ACRYLIC MEDIUM SAND FINISH COLOR: BLDG DB GRAY DARK	3-COAT STUCCO SYSTEM MANUFACTURER: - PROFILE: ACRYLIC MEDIUM SAND FINISH COLOR: BLDG DB GRAY LIGHT	CULTURED STONE MANUFACTURER: ELDORADO STONE PROFILE: CLIFFSTONE - BANFF SPRINGS COLOR: PER MFR.
			
CANOPY SOFFIT MANUFACTURER: HEWN PROFILE: NW SPRUCE NATURAL, SEALED COLOR: PER MFR.	WINDOW SYSTEM MANUFACTURER: KAWNEER OR SIMILAR PROFILE: CLEAR ANODIZED ALUMINUM FINISH: CLEAR NO 14 / 17	AWNINGS & DOORS - PAINT MANUFACTURER: SCHERWIN-WILLIAMS COLOR: BLDG DB GRAY DARK	ROOFING MATERIAL MANUFACTURER: FIRESTONE TPO - 60 MIL COLOR: WHITE



NOTE:
 Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.





WALL FACE IS 21.67' TALL X 75.33' WIDE = 1,632.4 SQ FT
 ALLOWED 8% = 130.59 SQ FT
 PROPOSED = 37.15 SQ FT



LAYOUT
 SCALE: 3/16" = 1'-0"

PRIMARY ELEVATION
SOUTH ELEVATION

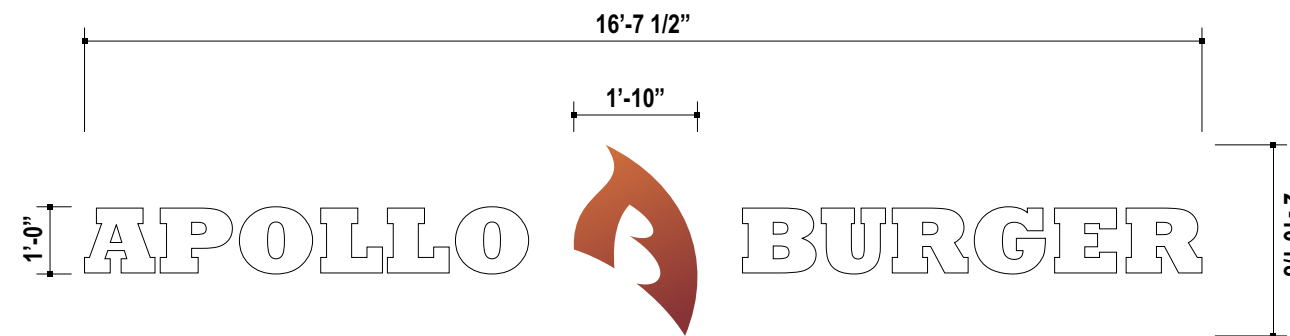
NOTE:
 Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.

TRACY STOCKING
 ARCHITECT
 2243 S 2100 E SALT LAKE CITY, UTAH 84109 801-541-7538

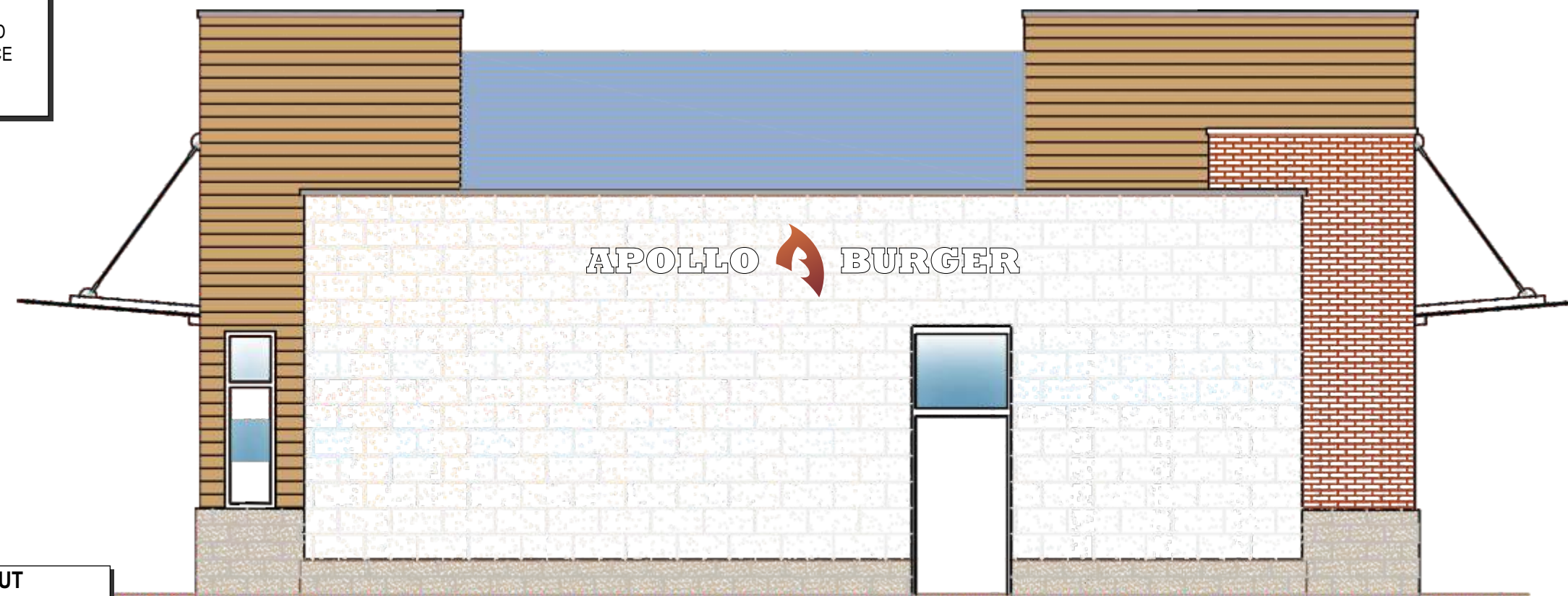
CHANNEL LETTERS

MANUFACTURE & INSTALL
(1) SET OF ILLUMINATED CHANNEL
LETTERS & LOGO

1'-0" LETTERS AND LOGO 1" BLACK TRIMCAP
AND 3" RETURNS PAINTED BLACK
WITH WHITE ACRYLIC FACES
LOGO CABINETS WILL HAVE WHITE
ACRYLIC FACES WITH DIGITALLY PRINTED
VINYL AND UV LAMINATE APPLIED TO FACE
ILLUMINATED WITH WHITE LEDS



PRIMARY SIGN = 37.15 SQ FT
ALLOWED 50% OF PRIMARY SIGN = 18.58 SQ FT
PROPOSED = 18.59 SQ FT



**KITCHEN ELEVATION
WEST ELEVATION**

NOTE:

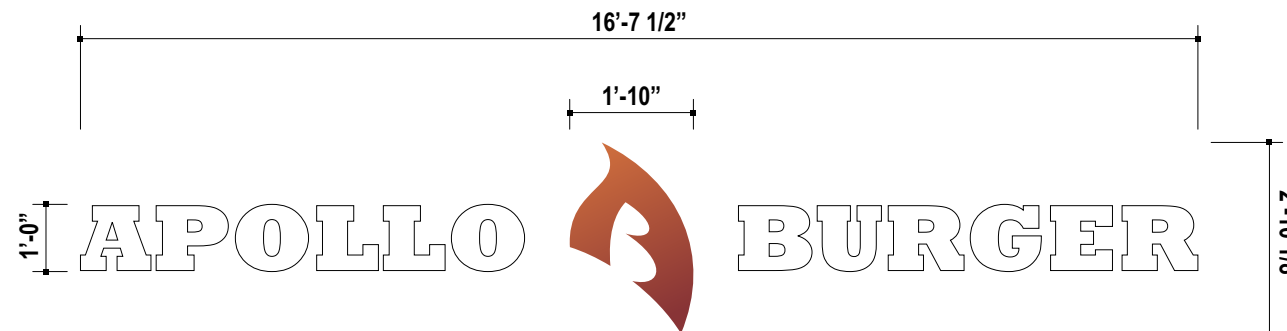
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



CHANNEL LETTERS

MANUFACTURE & INSTALL
(1) SET OF ILLUMINATED CHANNEL
LETTERS & LOGO

1'-0" LETTERS AND LOGO 1" BLACK TRIMCAP
AND 3" RETURNS PAINTED BLACK
WITH WHITE ACRYLIC FACES
LOGO CABINETS WILL HAVE WHITE
ACRYLIC FACES WITH DIGITALLY PRINTED
VINYL AND UV LAMINATE APPLIED TO FACE
ILLUMINATED WITH WHITE LEDS



PRIMARY SIGN = 37.15 SQ FT
ALLOWED 50% OF PRIMARY SIGN = 18.58 SQ FT
PROPOSED = 18.59 SQ FT

LAYOUT
SCALE: 3/16" = 1'-0"



**DRIVE THRU ELEVATION
NORTH ELEVATION**

NOTE:

Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.

