

MARKET STREET VILLAGE

at Saratoga Springs

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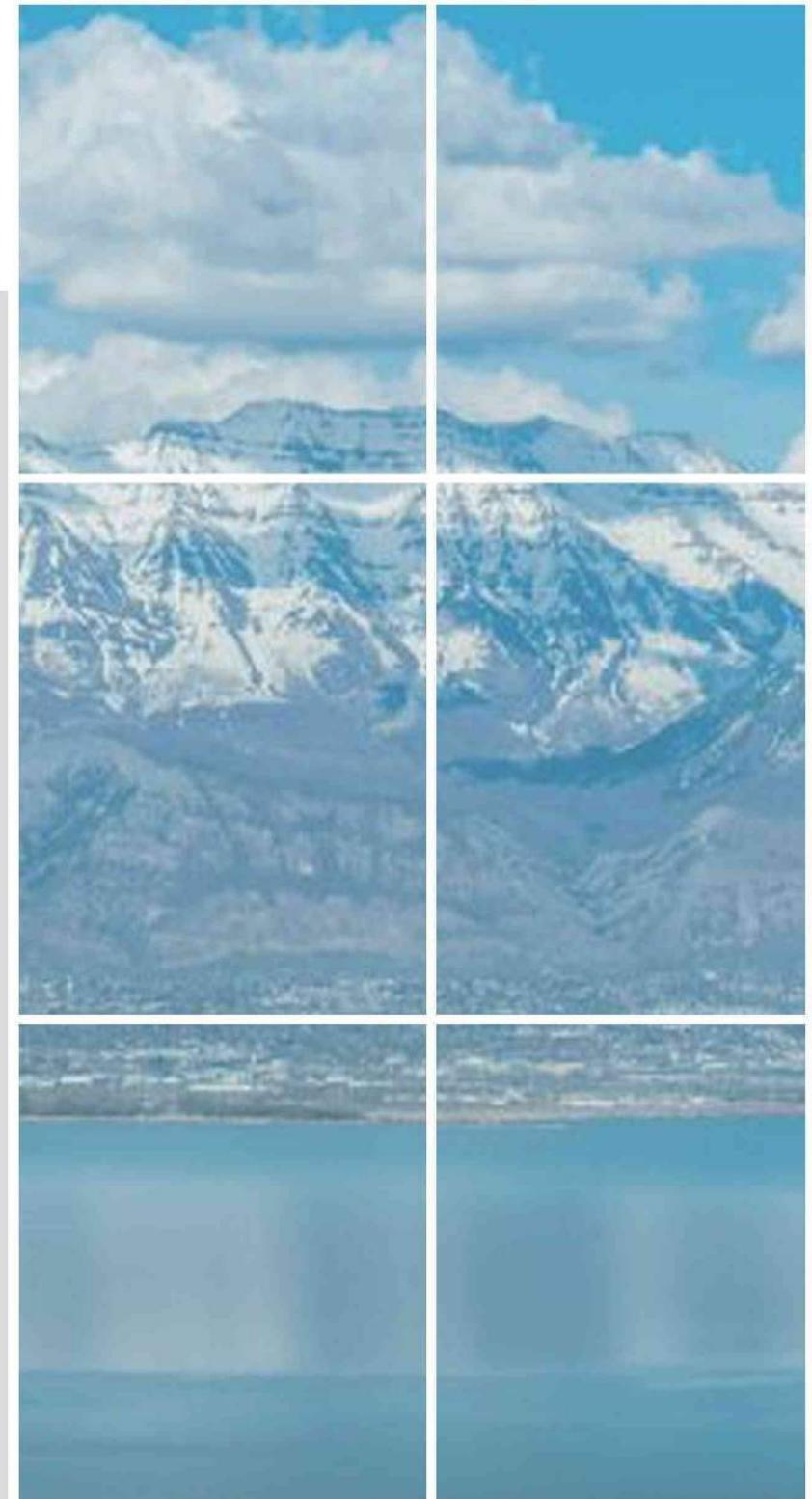


Exhibit 1

Property Description

Market Street Village - Village Plan II

Legal Description

Lot 3: A portion of the Southwest quarter of Section 14, Township 5 South, Range 1 West, Salt Lake Meridian, more particularly described as follows:

Commencing at the Southwest corner of said Section 14; thence North 00°20'44" East 892.71 feet along section line; thence South 90°00'00" East 2016.07 feet to the POINT OF BEGINNING;

thence North 30°42'02" West 174.71 feet to a curve to the left having a radius of 392.50 feet, a central angle of 26°21'18" feet and a chord that bears North 43°52'41" West, a distance of 178.96 feet;

thence North 59°17'58" East 77.00 feet to a curve to the left having a radius of 469.50 feet, a central angle of 180.44 feet and a chord that bears North 41°42'40" West, a distance of 179.33 feet;

thence North 47°52'06" East 121.61 feet to a curve to the right having a radius of 450.03 feet, a central angle of 42°08'58" and a chord that bears North 68°56'35" East 323.65 feet;

thence along said curve easterly an arc distance of 331.06 feet;

thence South 89°58'51" East 344.32 feet to a point on the westerly right of way line of Redwood Road;

thence South 00°22'37" West 384.07 feet along said right of way line;

thence North 89°36'11" West 10.00 feet to a point on the northerly right of way line of Market Street and a non-tangent curve to the right having a radius of 51.51 feet, a central angle of 65°34'03" and a chord that bears South 33°34'46" West 55.78 feet;

thence along said right of way through the following five (5) calls, to-wit:

1-said curve southwesterly an arc distance of 58.95 feet to a compound curve to the right having a radius of 20.00 feet, a central angle of 23°38'20" and a chord that bears South 78°10'58" West 8.19 feet;

2-thence along said curve westerly an arc distance of 8.25 feet;

3-thence West 175.84 feet to a curve to the left having a radius of 644.51 feet, a central angle of 25°02'36" and a chord that bears South 77°28'42" West 279.47 feet;

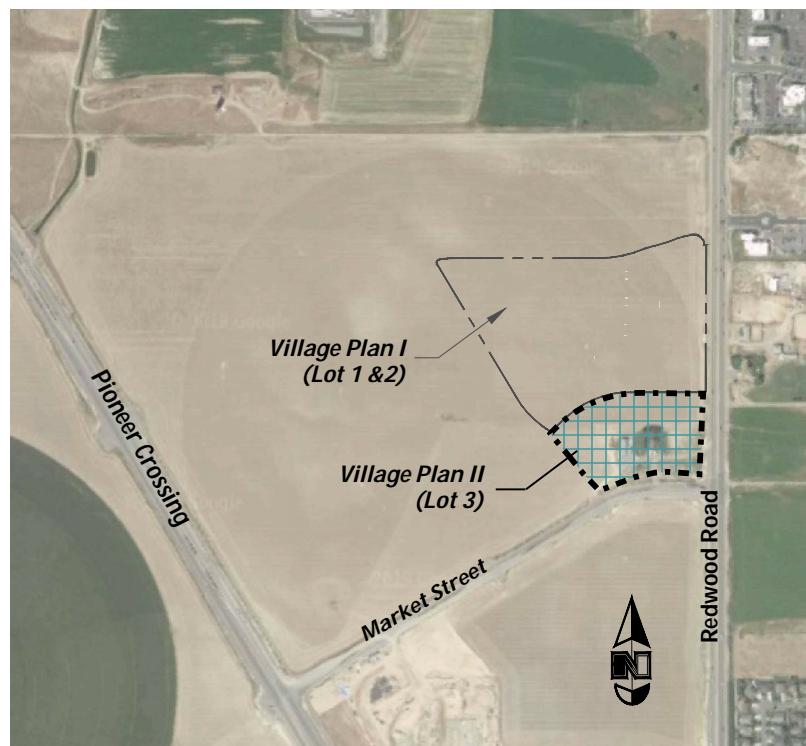
4-thence along said curve westerly an arc distance of 281.71 feet to a reverse curve to the right having a radius of 20.50 feet, a central angle of 84°20'34" and a chord that bears North 71°51'19" West 27.53 feet;

5-thence along said curve westerly an arc distance of 30.18 feet;

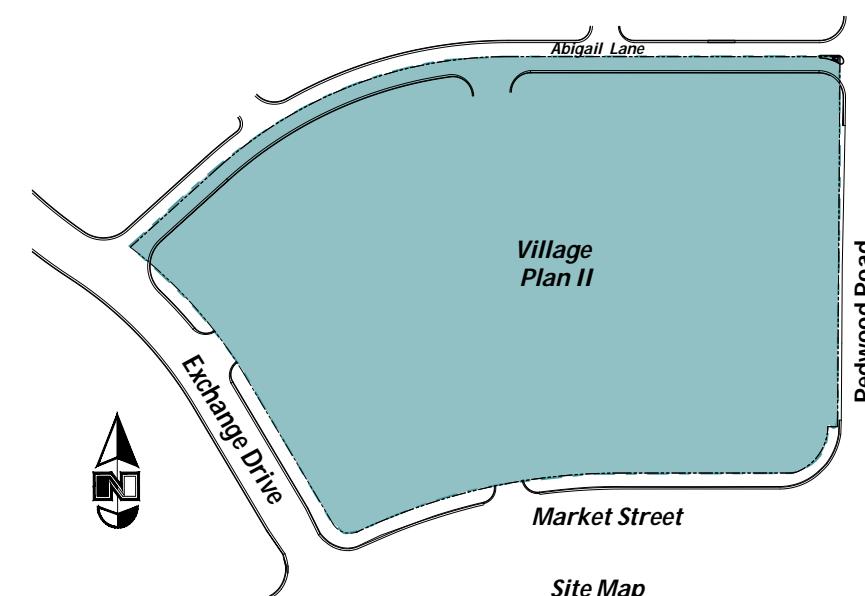
thence North 30°42'02" West 177.94 feet to a curve to the left having a radius of 469.50 feet, a central angle of 22°01'17" and a chord that bears North 41°42'40" West 179.34 feet;

thence along said curve northwesterly an arc distance of 180.45 feet to the POINT OF BEGINNING.

Contains 275,410 square feet or 6.323 acres, more or less.



Vicinity Map



Site Map

Owner:
Saratoga Market Redwood Devco, LLC
c/o CCA Acquisition Company, LLC
5670 Wilshire Blvd. Suite 1250
Los Angeles, CA 90036
Contact: Steven Usdan
E-mail: stevenu@kornwasser.net

Civil Engineer:
Anderson Wahlen and Associates
2010 North Redwood Road
Salt Lake City, UT 84116
Contact: Jake Tate
E-mail: jaket@awaeng.com



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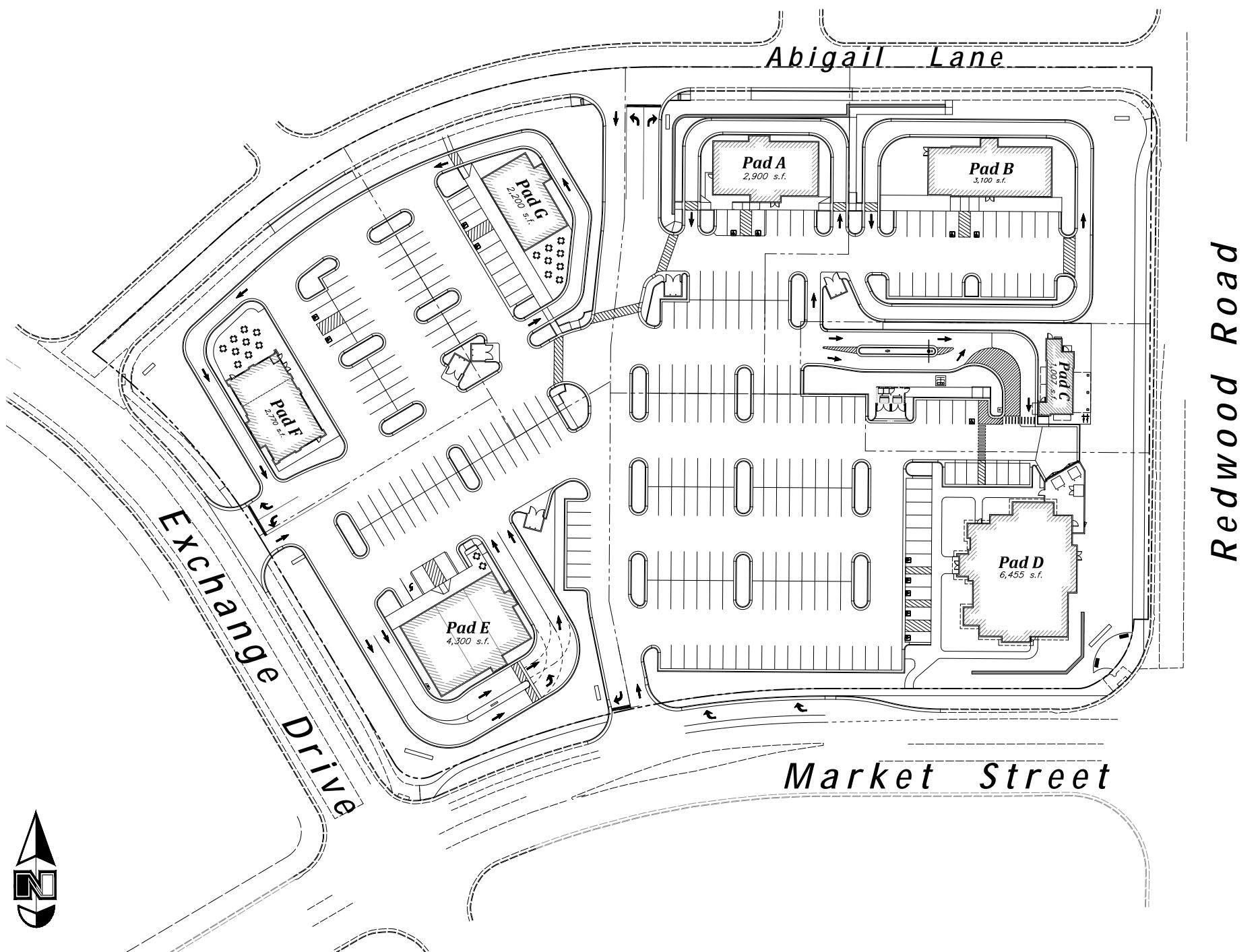


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Regional Retail Uses

Per the Community Plan, the Village Plan II is allowed to contain Regional Retail uses as defined in the District Area Plan.

Specific uses shall comply with the Regional Commercial (RC) uses as permitted as outlined in Section 19.04 of the Saratoga Springs Municipal Codes with the exception that Automobile Repair Major/Minor and Car Washes are prohibited.



Redwood Road



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Exhibit 3

Detailed Buildout Allocation

Market Street Village - Village Plan II

Lot Breakdown

Lot #	Area (Acres)	Open Space %*	Maximum Bldg. (s.f.)**	ERU Allocation
1	0.88	11-14 Min.	18,017	8.32
2	0.73	11-14 Min.	14,945	6.90
3	0.70	11-14 Min.	14,331	6.62
4	0.95	11-14 Min.	19,450	8.99
5	0.46	11-14 Min.	9,418	4.35
6	1.57	11-14 Min.	32,143	14.85
7	1.03	11-14 Min.	21,087	9.74
Total	6.32	11-14 Min.	129,391	59.8

* Per Community Plan, Including Landscape Buffers

** Based on a 0.47 FAR

*** Undeveloped ERU's shall be reserved for future development within the project.

Equivalent Residential Units

District Area Plan

Per the District Area Plan, 4,620 ERU's are allowed for every 10 Million square feet of commercial building area which is the equivalent of 2,164.5 square feet per ERU.

Community Plan

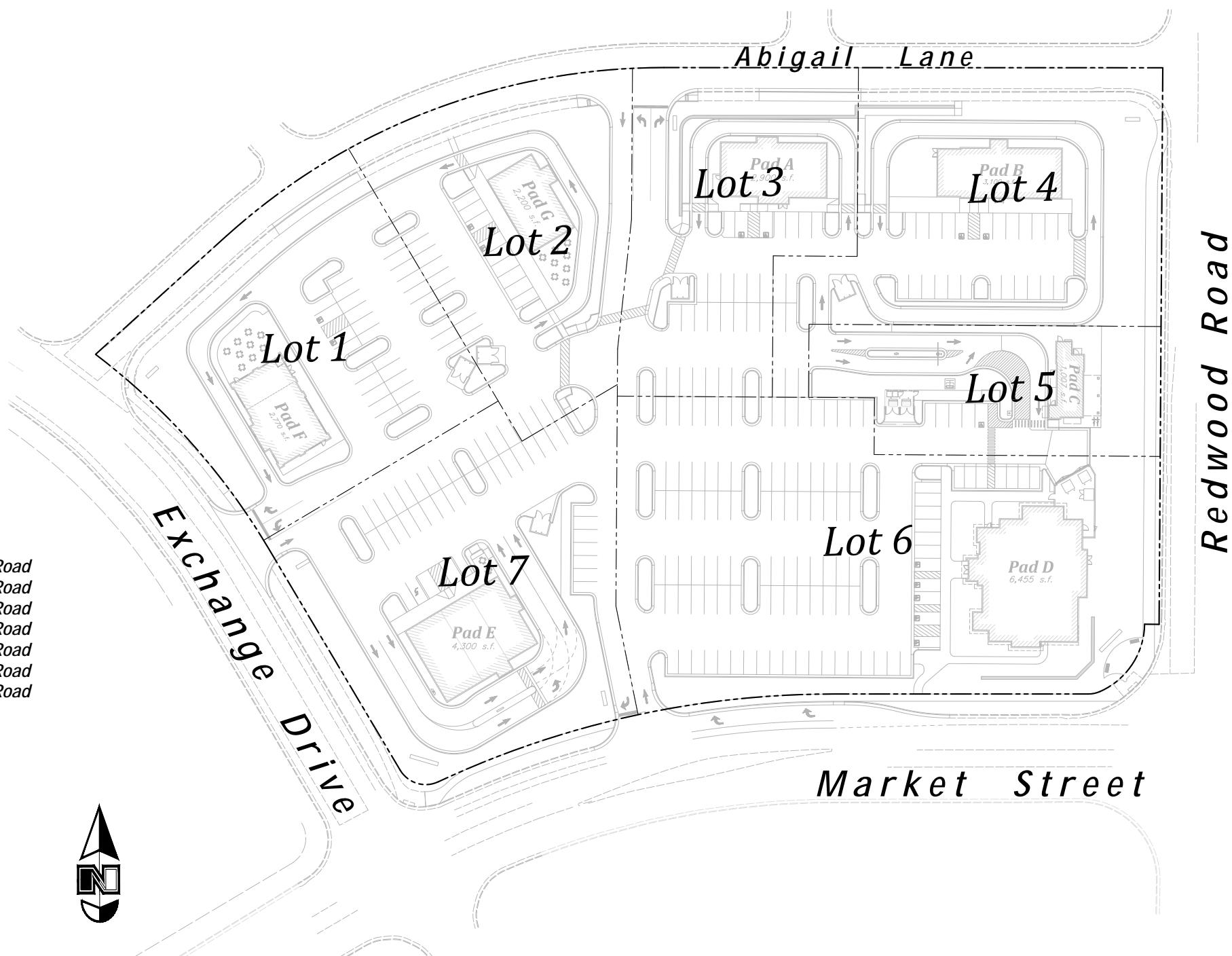
A maximum of 504,869 square feet of building area is anticipated at the completion of all phases. The 24.66 acres included in this Community Plan translates to a total of 233.2 ERU's for the Community Plan

Village Plan II

A maximum of 129,391 square feet of building area is anticipated at the completion of all phases of the Village Plan II. Per the table above, the 6.32 acres included in this Village Plan II translates to a total of 59.8 ERU's.

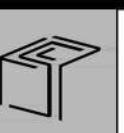
Lot Addresses

Lot 1 - 951 North Redwood Road
Lot 2 - 953 North Redwood Road
Lot 3 - 955 North Redwood Road
Lot 4 - 957 North Redwood Road
Lot 5 - 949 North Redwood Road
Lot 6 - 947 North Redwood Road
Lot 7 - 943 North Redwood Road



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Height Restrictions:

No structure in the Village Plan II shall be taller than fifty feet.

Setback and Yard Requirements:

Front (Redwood Road): 30 feet
Sides: 10 feet
Rear: 10 feet

Off-street Parking Requirements:

Off-street parking per Section 19.09 with the following exception that pedestrian walkways will be approved as shown in Village Plan II.

Maximum parking allowed for Village Plan II is per Section 19.09.

Open Space & Landscaping:

The total open space within the Village Plan II shall constitute a minimum of 11% of the total site area as required by the Community Plan. See pages 12-19 for landscape requirements.

Outdoor Seating/Dining Areas:

Outdoor seating and dining areas are permitted on the sidewalks along building frontages with the following restrictions:

1. Such areas shall be clearly defined during site plan review per Section 19.14 of the Saratoga Springs Municipal Code.
2. Such areas shall not interfere with required pedestrian access and vehicular circulation.
3. The minimum sidewalk width when adjacent to an outdoor seating/dining area shall be 4 feet.

Signage:

Pylon, Monument and Project Identification signs are permitted as shown on pages 25-29.

Lighting:

Section 19.11 lighting shall govern with the exception that parking lot light poles may include fixtures of the type and design shown in Figure 1.

Parking light poles of 36 feet 6 inches in height are permitted provided such light poles are champagne in color or a close color match. Light poles shall be designed to blend into the existing background – See Figure 2.

Additional building accent and security lighting may be provided on the building not to exceed 20' in height. Wall mount fixtures shall be similar to Figure 1.

Lighting along public roads that will be maintained by the city, such as Redwood Road, shall be per city standard details and specifications.

All exterior lighting shall comply with the City of Saratoga Springs Dark Sky Ordinance/Requirements.



Figure 1

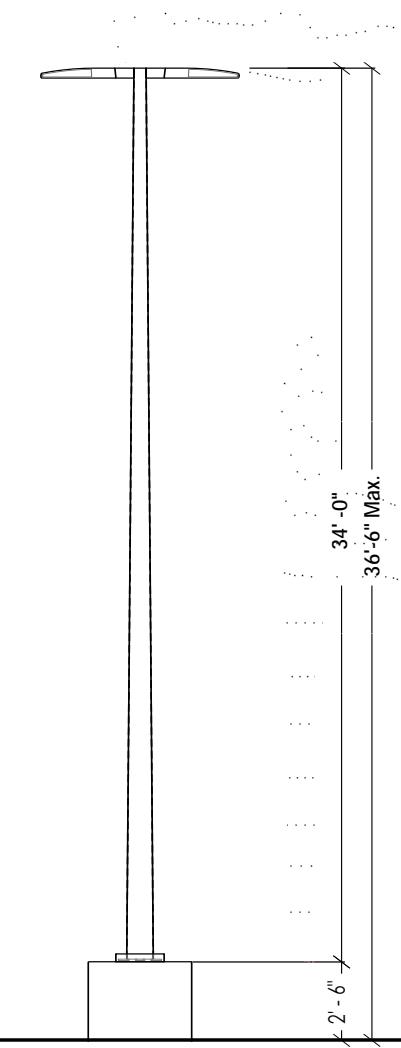


Figure 2



Exhibit 4

Development Standards

Market Street Village - Village Plan II

Architectural Standards

Building Forms

1. Mix of uses and building forms must be provided:
 - a. Complimentary building materials and color schemes are required.
 - b. Design latitude in building types, sizes, styles and massing will be permitted to ensure interest and variety through the project area.
 - c. Large and monotonous wall and roof planes shall be avoided. Large expanses of a single material not to exceed 5,000 of contiguous square feet shall be allowed on sides and rear of big box structures. Smaller buildings shall comply with design guidelines.
 - d. Roof mounted equipment must be screened from view from adjacent public and private streets as well as from adjacent properties per the City of Saratoga Springs Site and Architectural Design Standards.

Architectural Colors

1. In general, natural/earthy material finishes are preferred with materials with natural finishes being used where possible such as weathered steel, masonry, etc. Accent colors matching tenant standards may be used, however, dominant surface colors shall be in line with Community and Village standards as shown on the subsequent exhibits. Aluminum storefront shall typically be bronze colored unless another color is consistent with a proposed coordinated color scheme.

Architectural Materials

1. Acceptable building exterior finish materials include: EIFS, integral-color CMU, brick, stone, precast concrete, flat or ribbed metal panels, aluminum, steel and fiber-cement siding as shown on proposed color board. No more than six types of materials are permitted per building (Excluding windows and doors).
2. Buildings are encouraged to use a variety of materials with the suggested composition of one or two Preferred Primary Materials (70%-80% of exterior surface excluding windows) and one or two Preferred Accent Materials (20%-30% of exterior surfaces excluding windows.) Refer to the material table for a list of acceptable materials. Excluding glazing, each building elevation shall have a minimum of 25% non-EIFS materials. No fewer than 3 materials (combined between primary and accent materials) may be used on each building.

All trash storage (other than individual garbage cans) shall comply with Section 19.18.

Preferred Primary Materials:	Preferred Accent Materials:
Colored CMU (Split-face or honed)	Brick
EIFS	Stone
Brick	Pre-cast Concrete
Stone	Metal
Flat or Ribbed Metal Panels	Tile
Fiber-cement siding	Fiber-cement siding
Wood	

Primary Facades

1. Primary facades are those sides of a building where the primary entrance(s) are located. It is possible for a building to have more than one primary facade.
2. Primary facades shall incorporate a building canopy, awning, or similar weather protection along the building's principal public entrance, projecting at least four feet from the facade. In addition, primary facades shall incorporate visually prominent building entrances through the use of at least one of the following features:
 - a. Secondary roof structures, or a parapet roof used to accent the principal public entrance, or
 - b. Outdoor pedestrian features such as seat walls and landscaping, or permanent landscaped planters with integrated benches, or
 - c. Architectural detailing such as tile, metal, stone, or cementitious fiber board integrated into the building structure.

Secondary Facades

1. Secondary facades are those sides of a building in which the primary building entrances not located. Secondary facades shall incorporate the following:
 - a. Secondary facade walls shall include either a window, a functional doorway, or another architectural feature to match the architectural articulation of the primary facade.
 - b. Secondary facades that face the public right-of-way shall include a similar level of architectural detail and treatment consistent with the primary facade.
 - c. All secondary facades facing other access roads may include a reduced level of architectural detail and treatment consistent with the primary facade.



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12. Architectural Standards**Roofs**

1. Parapet walls shall feature transitions and articulation to match the architectural articulation of the primary facade. Pitched or other roof forms are allowed for decorative roofs and for roof profiles that are required to be consistent with tenant branding. All rooftop equipment shall be screened from view from all adjacent public and private streets, parking areas, and drive approaches. A site line study shall be provided as necessary to graphically illustrate compliance or other site specific restrictions, limitations, etc. No roof access is permitted on the exterior of a building and is to be provided by an internal roof hatch or by other means not permanently attached to the building.

a. Side and Rear Loading and Service Areas:

i. Loading, service, and equipment areas shall be located in a manner that minimizes their visibility from drive approaches and streets. Loading, service, and equipment areas shall be screened through the use of landscaping, grading and architectural elements and materials that reduce their visibility.

b. Drive-Thru Facilities:

i. Drive-thru facilities shall include a canopy or roof that is architecturally integrated with the building and that is similar to or mirrors the roof form of the primary structure (Does not include fueling facilities).

c. Site Furnishings:

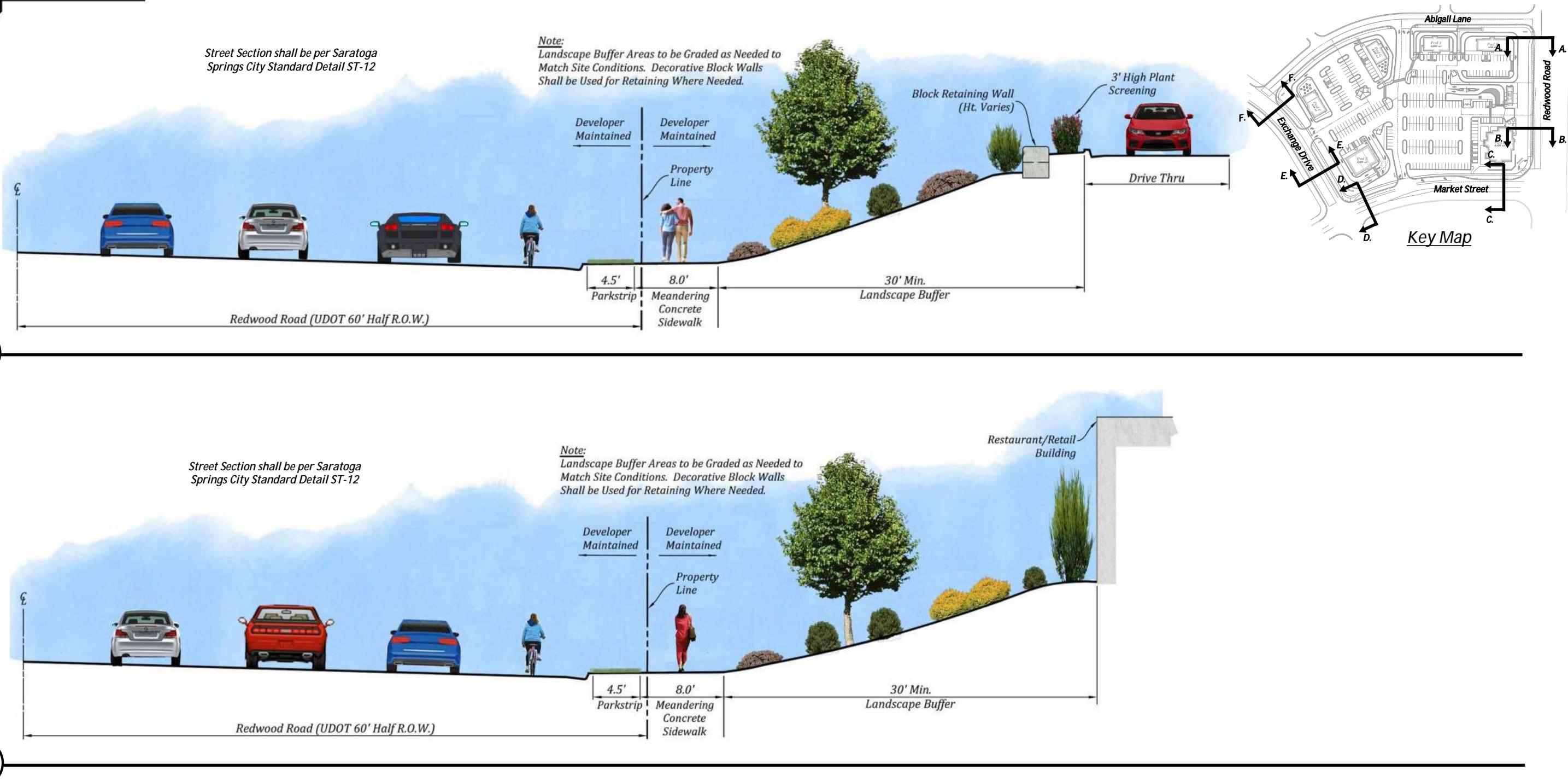
i. Consistent site furnishings shall be provided to unify the pedestrian spaces. Acceptable furnishings include: benches, bollards, trash receptacles, planters, bike racks, etc. See this sheet for examples.

Site Amenities*Bench Example**Trash Receptacle Example**Bike Rack Example*

Exhibit 4

Street Sections - Redwood Road

Market Street Village - Village Plan II



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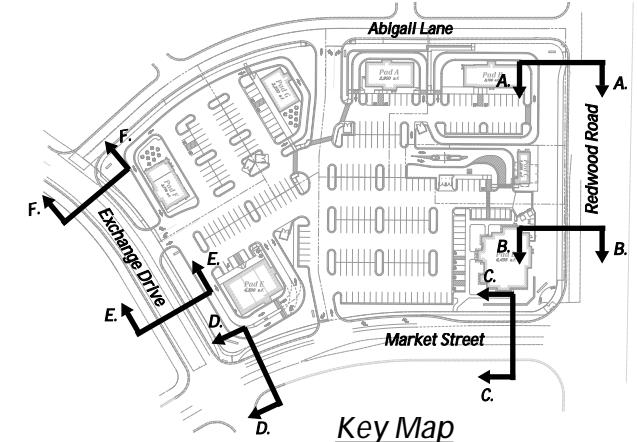
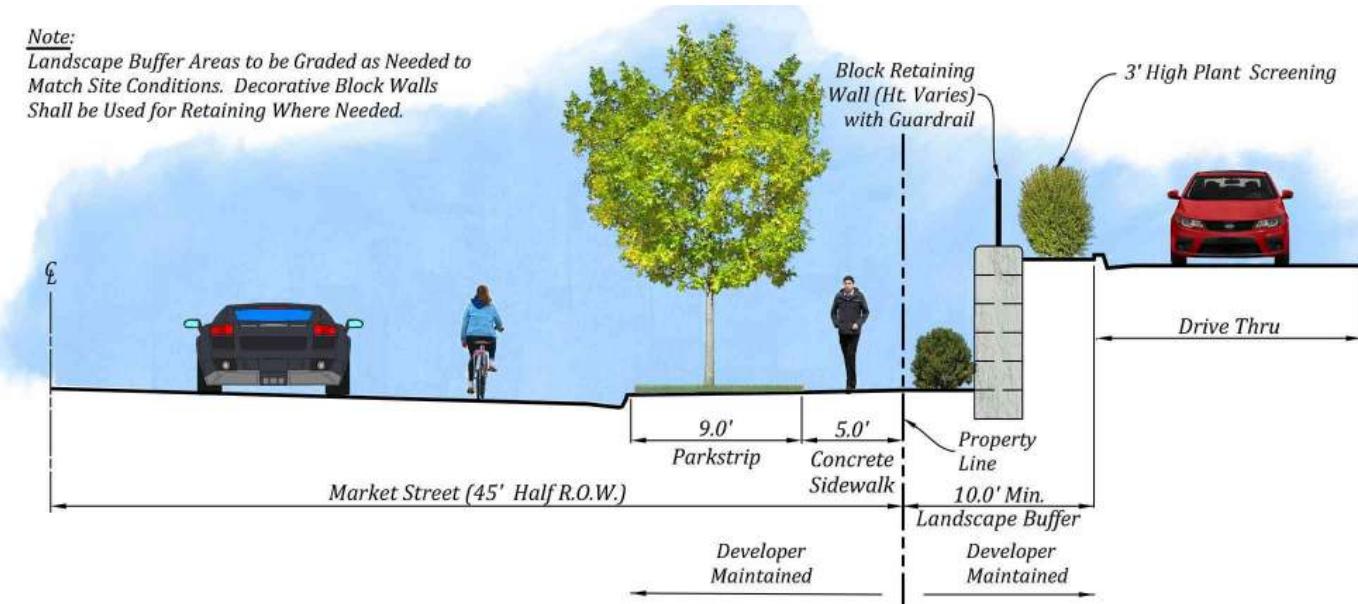


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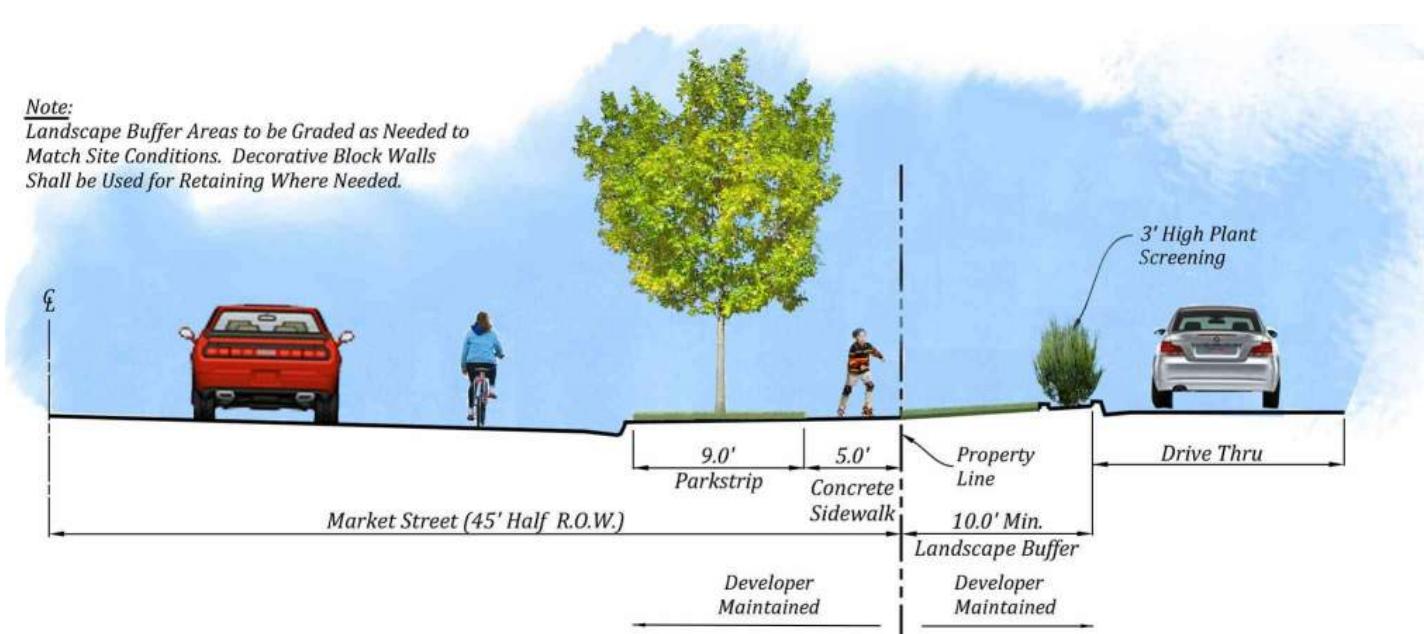
Exhibit 4

Street Sections - Market Street

Market Street Village - Village Plan II



(C)



(D)



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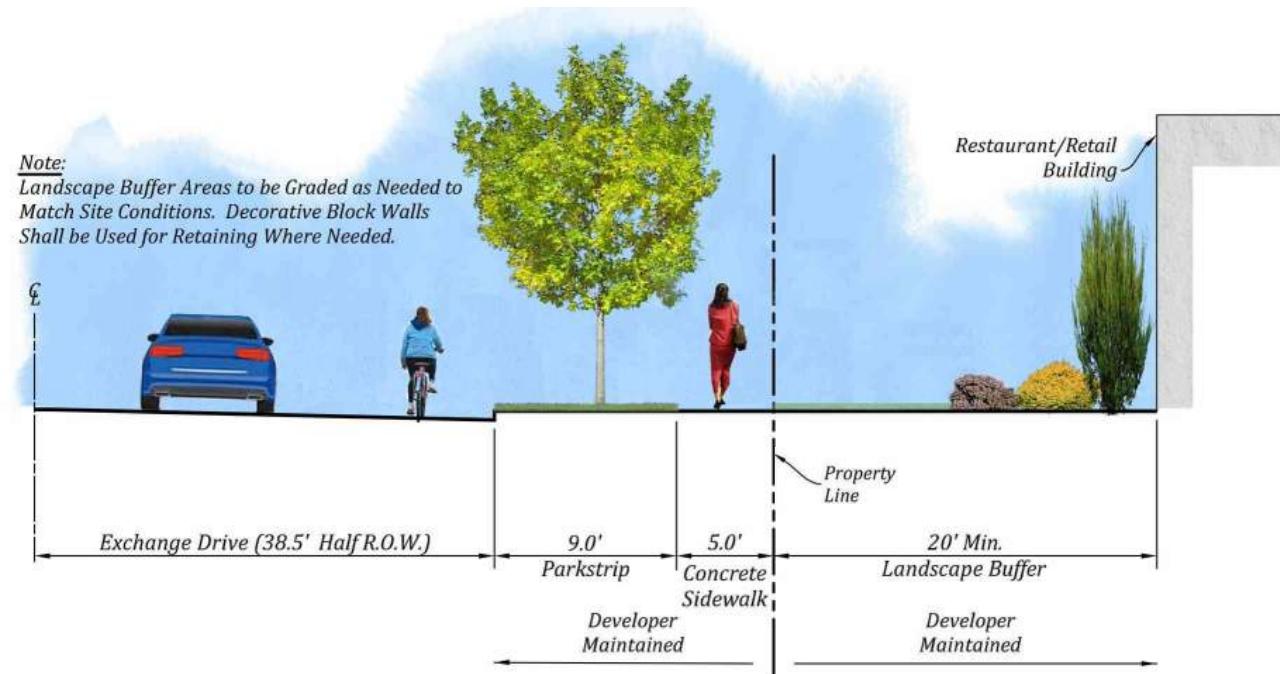


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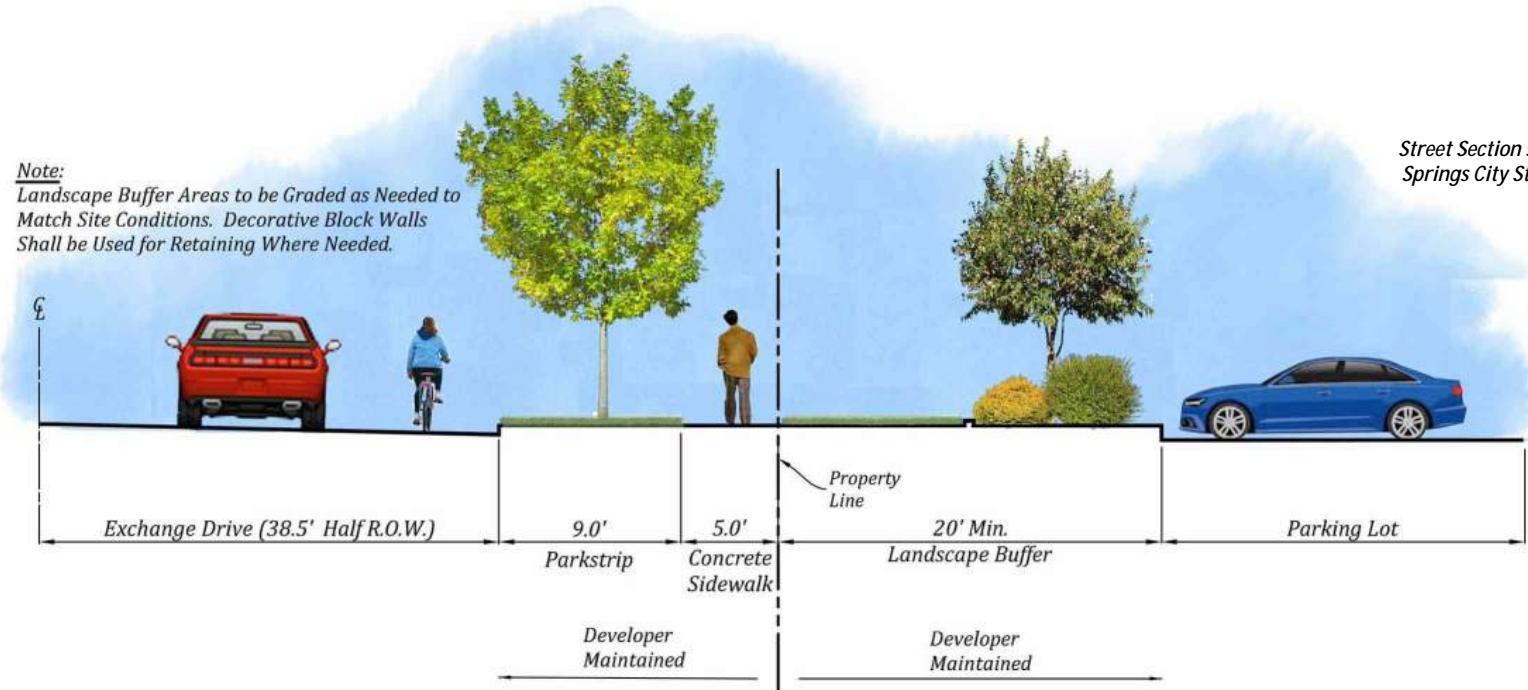
Exhibit 4

Street Sections - Exchange Drive

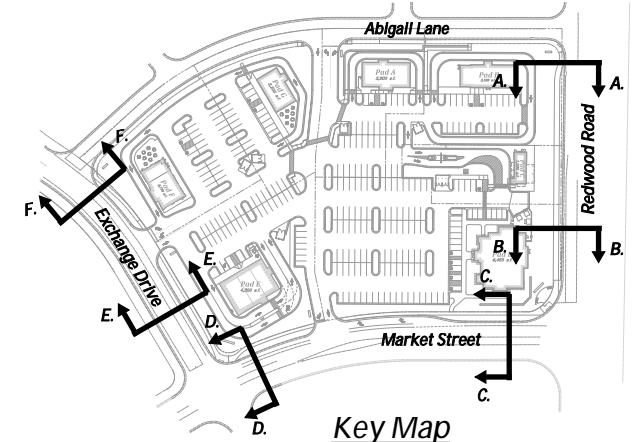
Market Street Village - Village Plan II



(E)



(F)



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Exhibit 5

Phasing Plan

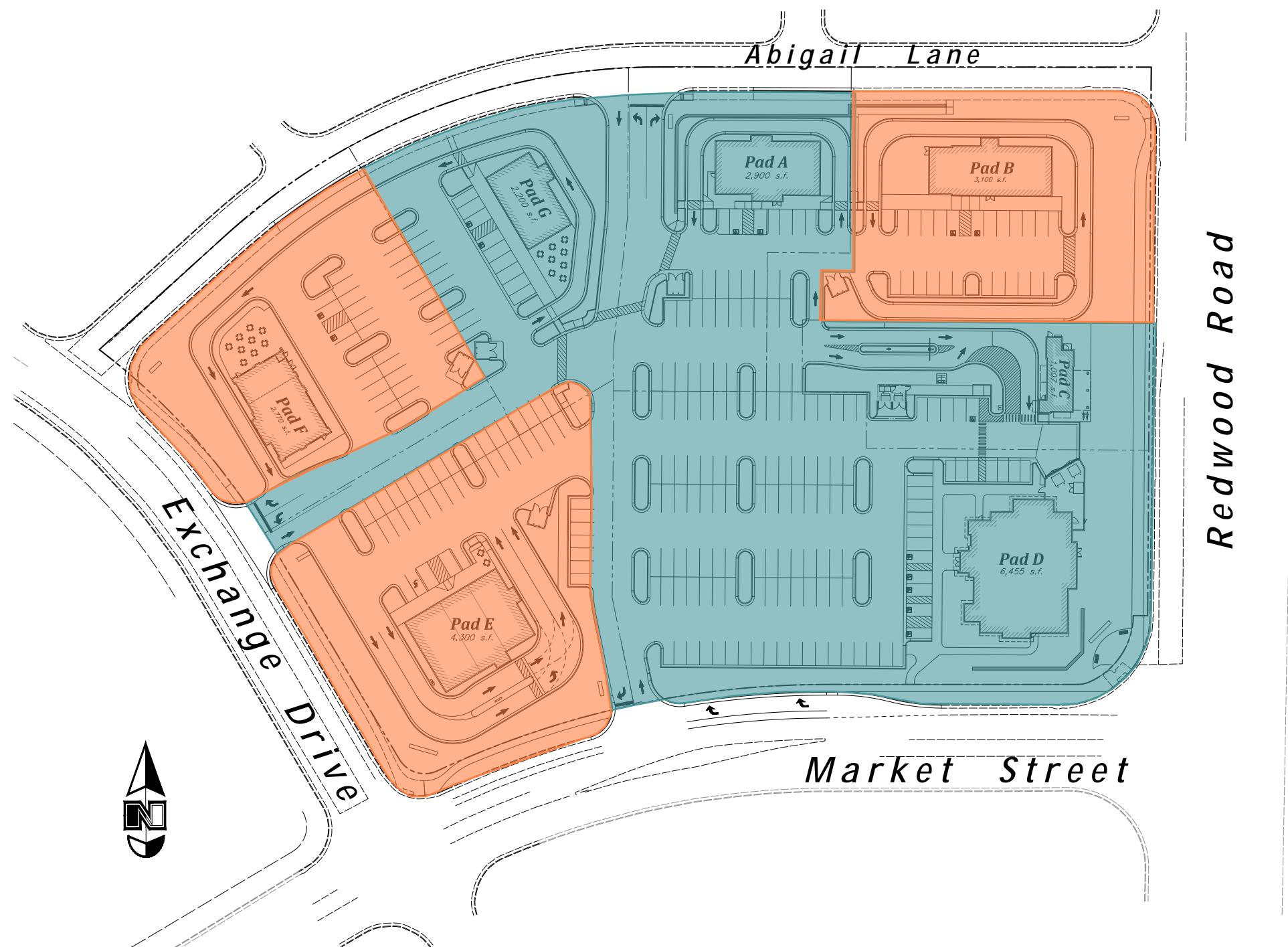
Market Street Village - Village Plan II

Phases

Phase I of Village Plan II

Future Phase of Village Plan II

Phasing may occur in any order

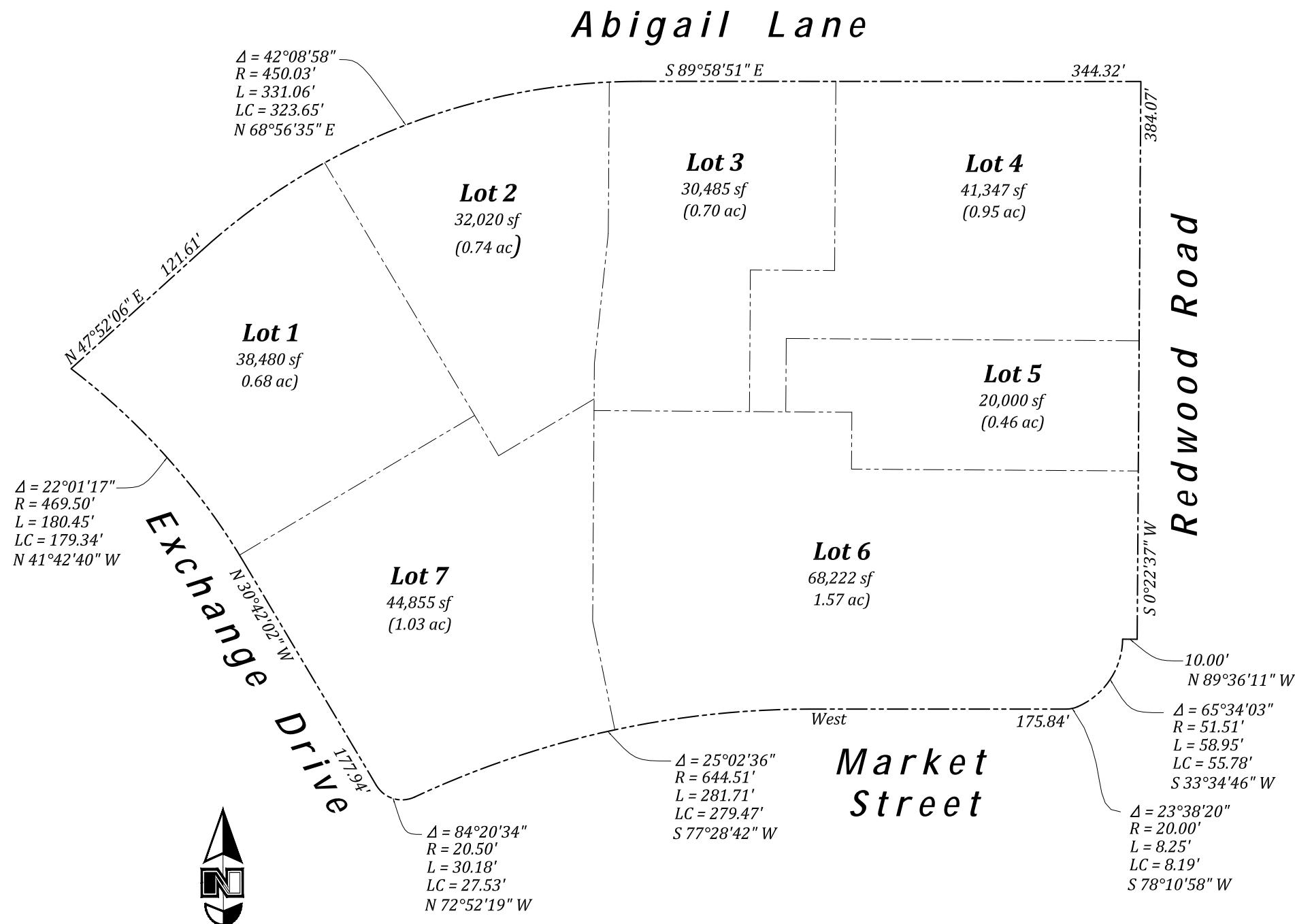


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General Landscape Guideline:

1. These landscape standards shall be used in conjunction with the Saratoga Springs City Chapter 19.06 and 19.09 landscape and off-street parking requirements.
2. All proposed plant material shall be selected from the plant list on page 15.
3. Trees and shrubs in park strips and parking islands shall be consistent with Saratoga Springs City Code.

Decorative Stone, Accent Boulders and Edging

1. All landscape areas shall have decorative stone. Stone color and type shall be consistent throughout Village Plans.
2. Wood mulch shall be provided around all plant material.
3. Accent boulders shall be incorporated into landscape areas. Boulders shall match neighboring decorative stone. Accent boulders shall be placed in high visibility areas and shall not interfere with access to utilities and block signs. Boulders shall not be placed in lawn areas.
4. Lawn areas and shrub planters shall be separated by concrete, aluminum, or steel edging.



General Landscape Guidelines:**Parking Island Landscaping**

1. All parking islands shall receive plant material with decorative stone. Hardy plant material shall be used in parking lot areas.
2. Single parking islands shall be planted with one deciduous tree and double islands two trees. Parking islands shall not be used for utility boxes. Plant material shall not obstruct views for cars and pedestrians entering and leaving the parking lot.

Landscape Retaining Walls

1. If retaining is needed, landscape boulders, decorative concrete, and keystonestyle walls shall be used. Landscape shall be used to soften walls.

Landscape Adjacent to Buildings

1. Intermittent landscape shall be placed along long building walls as approved with each Village Plan.

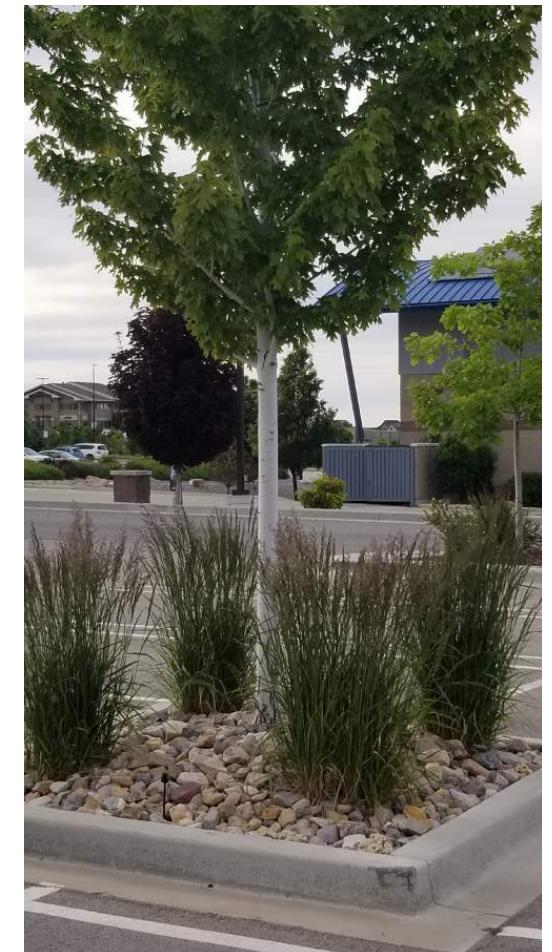


Exhibit 7

Landscape Plan

Market Street Village - Village Plan II

Legend

 Landscape Area with Trees, Shrubs, Ornamental Grasses, Perennials, Boulders and Decorative Stone

 Proposed Site Tree

Detailed landscape plans will be reviewed at site plan approval

 Proposed Street Tree

 Proposed Accent Tree

 Proposed Evergreen Tree

Location of trees and quantities shall be adjusted per each site layout

The following District Area Open Space types shall be incorporated into the Phase II Village Plan landscape:
1. Parkway (Boulevard): This open space shall include comfortable, safe pedestrian and cyclist connections into and out of the development. This space shall also include a project street corner plaza with colored concrete, seating, a development sign and enhanced landscape. Street trees shall be provided along the street parkway with understory landscape.

2. Other Open Space Elements:

- That portion of a sidewalk in excess of 8 feet in width that is located immediately in front of a primary building facade that includes sidewalk furnishings, outdoor seating and/or dining areas and not used for display or merchandise.
- General landscape areas shall be in compliance with the Community Plan and blend with the neighboring Costco Development.

Note: Building and parking layouts are conceptual and are subject to all development requirements and approvals. Open space areas shown here are conceptual and the total open space for all lots within the Phase II Village Plan shall constitute a minimum of 11% of the total site area and are subject to all development requirements and approvals.

All landscaping shall be maintained by the property owner(s) within the Village Plan.



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Exhibit 7

Landscape Legend

Market Street Village - Village Plan II

All Plant and Landscape Material Have Been Adopted From the Costco Wholesale Village Plan I

Botanical Name	Common Name	Mature Ht. / Spr.	Botanical Name	Common Name	Mature Ht. / Spr.				
<u>Deciduous Trees (Minimum 2" Caliper; 10-12' Ht; B&B)</u>									
<i>Acer rubrum 'Northwood'</i>	Northwood Maple	50' Ht. / 30' Spr.	<i>Euonymus f. 'Coloratus'</i>	Purple Wintercreeper	9" Ht. / 36" Spr.				
<i>Gleditsia t. i. 'Shademaster'</i>	Shademaster Honeylocus	35' Ht. / 35' Spr.	<i>Rhus t. 'Autumn Amber'</i>	Autumn Amber Sumac	18" Ht. / 72" Spr.				
<i>Quercus r. 'Crimson Spire'</i>	Redmond American Linden	45' Ht. / 15' Spr.	<i>Juniperus s. 'Buffalo'</i>	Creeping Juniper	9" Ht. / 72" Spr.				
<i>Tilia cordata</i>	Littleleaf Linden	50' Ht. / 35' Spr.	<i>Schizachyrium s. 'The Blues'</i>	Little Bluestem	36" Ht. / 24" Spr.				
<i>Ulmus x 'Morton'</i>	Accolade Elm	50' Ht. / 35' Spr.	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	36" Ht. / 24" Spr.				
<i>Acer r. 'Armstrong'</i>	Armstrong Maple	45' Ht. / 15' Spr.	<i>Panicum v. 'Heavy Metal'</i>	Switch Grass	60" Ht. / 36" Spr.				
<u>Ornamental Trees (2" Caliper; 8-10 Ht; B&B)</u>									
<i>Cercis c. 'Forest Pansy'</i>	Forest Pansy Redbud	15' Ht. / 15' Spr.	<i>Bouteloua g. 'Blonde Ambition'</i>	Blue Grama Grass	36" Ht. / 24" Spr.				
<i>Malus x 'Spring Snow'</i>	Spring Snow Crabapple	25' Ht. / 20' Spr.	<i>Gaillardia a. 'Oranges & Lemons'</i>	Blanket Flower	24" Ht. / 18" Spr.				
<i>Prunus v. 'Canada Red'</i>	Canada Red Chokecherry	25' Ht. / 20' Spr.	<i>Penstemon strictus</i>	Rocky Mountain Penstemon	36" Ht. / 24" Spr.				
<i>Syringa reticulata</i>	Japanese Tree Lilac	25' Ht. / 15' Spr.	<i>Rudbeckia h. 'Goldstrum'</i>	Black-Eyed Susan	24" Ht. / 24" Spr.				
<u>Evergreen Trees (8-10 Ht; B&B)</u>									
<i>Abies concolor</i>	White Fir	40' Ht. / 20' Spr.	<i>Ceratopetalum ledifolia</i>	Mountain Mahogany	30' Ht. / 20' Spr.				
<i>Picea pungens</i>	Colorado Spruce	40' Ht. / 15' Spr.	<i>Foresteria neomexicana</i>	Desert Olive	15' Ht. / 12' Spr.				
<i>Pinus f. 'Vanderwolf's Pyramid'</i>	Vanderwolf Limber Pine	25' Ht. / 15' Spr.	<i>Chamaebatisia millefolium</i>	Fern Bush	6' Ht. / 6' Spr.				
<i>Pinus nigra</i>	Austrian Pine	50' Ht. / 20' Spr.	<i>Chrysothamnus nauseosus</i>	Rubber Rabbitbrush	3' Ht. / 3' Spr.				
<u>Large Shrubs (5 Gal. Cont.; 24-30" Ht. & Spr.)</u>									
<i>Cornus sericea</i>	Red Osier Dogwood	8' Ht. / 10' Spr.	<i>Cowania mexicana</i>	Mexican Cliff Rose	6' Ht. / 6' Spr.				
<i>Cotinus coggygria</i>	Smoke Tree	12' Ht. / 12' Spr.	<i>Fallugia paradoxa</i>	Apache Plume	5' Ht. / 4' Spr.				
<i>Juniperus c. 'Sea Green'</i>	Sea Green Juniper	5' Ht. / 7' Spr.	<i>Ephedra viridis</i>	Mormon Tea	5' Ht. / 5' Spr.				
<i>Rhus g. 'Cismontana'</i>	Smooth Sumac	12' Ht. / 12' Spr.	<i>Agave parryi</i>	Parry's Agave	2' Ht. / 3' Spr.				
<i>Ribes aureum</i>	Golden Currant	5' Ht. / 5' Spr.	<i>Artemesia filifolia</i>	Sand Sage	3' Ht. / 3' Spr.				
<i>Physocarpus a. 'Summer Wine'</i>	Summer Wine Ninebark	4' Ht. / 4' Spr.	<i>Eriogonum umbellatum</i>	Sulphur Flower	1' Ht. / 2' Spr.				
<i>Perovskia atriplicifolia</i>	Russian Sage	4' Ht. / 4' Spr.	<i>Penstemon eatonii</i>	Firecracker Penstemon	3' Ht. / 2' Spr.				
<i>Prunus x cisterna</i>	Purple Leaf Sand Cherry	8' Ht. / 6' Spr.	<i>Sphaeralcea ambigua</i>	Desert Mallow	4' Ht. / 3' Spr.				
<u>Medium Shrubs (5 Gal. Cont.; 18-21" Ht. & Spr.)</u>									
<i>Mahonia a. 'Compact'</i>	Compact Oregon Grape	3' Ht. / 3' Spr.	<i>Yucca baccata</i>	Banana Yucca	3' Ht. / 8' Spr.				
<i>Juniperus c. 'Mint Julep'</i>	Mint Julep	4' Ht. / 6' Spr.	<u>Rough Seed</u>						
<i>Viburnum o. 'Compactum'</i>	Cranberry Bush Viburnum	4' Ht. / 4' Spr.	<u>Sod Lawn</u>						
<i>Yucca baccata</i>	Banana Yucca	3' Ht. / 8' Spr.	<u>Crushed Rock Surfacing</u>						
<u>Small Shrubs (2 Gal. Cont.; 15-21" Ht. & Spr.)</u>									
<i>Berberis t. 'Crimson Pygmy'</i>	Crimson Pygmy Barberry	2' Ht. / 2' Spr.	<u>Decorative Rock & Edging:</u>						
<i>Potentilla f. 'Goldstar'</i>	Gold Star Potentilla	3' Ht. / 3' Spr.	<i>Decorative Rock</i>	Blended locally sourced round river rock color warm tan and grays. 50% 2-4" size and 50% 4-8" size. 7" depth with weed barrier. Secure fabric with soil staples at 6' o.c. and overlap seams by minimum 6".					
<i>Pachistima myrsinifolia</i>	Mountain Lover	2' Ht. / 2' Spr.	<i>Rock Mulch in Planting Areas</i>	1" size landscape rock color earth tones. 3" depth with weed barrier. Secure fabric with soil staples at 6' o.c. and overlap seams by minimum 6".					
<i>Pinus m. 'Pumilio'</i>	Dwarf Mugo Pine	2' Ht. / 5' Spr.	<i>Bark Mulch at Plants</i>	3" depth, high quality hardwood bark mulch. In rock mulch areas, surround All plant materials with bark mulch ring. Diameter to be twice the rootball size					
<i>Prunus b. 'Pawnee Buttes'</i>	Western Sand Cherry	2' Ht. / 5' Spr.	<i>Edging</i>	4" Aluminum edging at all edges between rock and mulch					
<i>Ribes a. 'Green Mound'</i>	Dwarf Alpine Currant	3' Ht. / 3' Spr.	<i>Boulders</i>	(4'x4'x3') average size. Locally sourced. Rounded edges. No flaking or sharp edges					



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Exhibit 7

Project Street Corner Landscaping



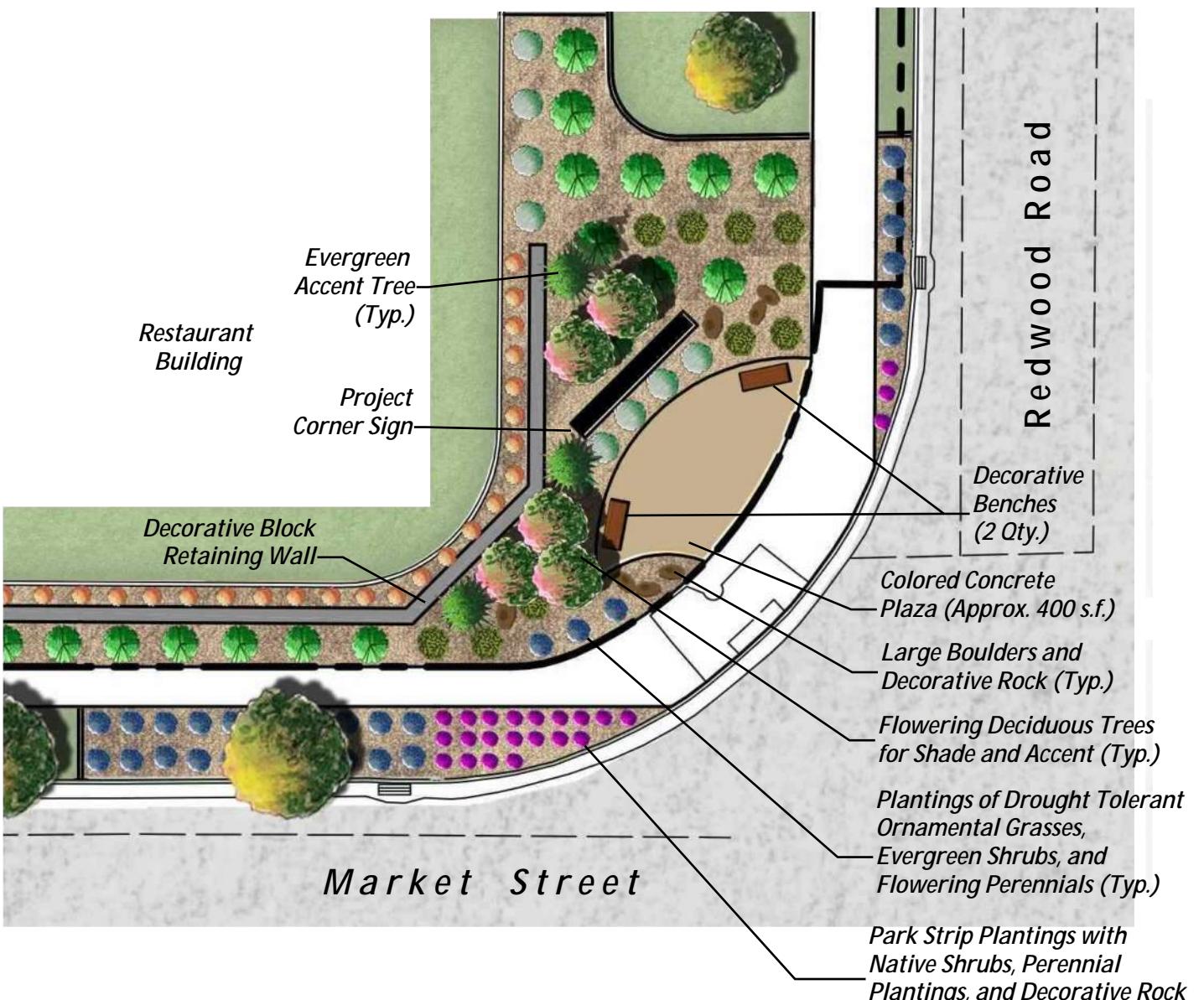
Project Street Corner Landscaping Requirements:

Minimum street corner enhancements shall include the following:

- 1) A colored concrete plaza (approx. 400 s.f.).
- 2) 2 benches.
- 3) Large boulders and decorative rock as landscape features.
- 4) Canopy deciduous trees for shade. Flowering or evergreen trees for accent.
- 5) Native shrub and perennial plantings with decorative rock within park strip (approx. 700 s.f.).
- 6) Massed plantings of drought-tolerant ornamental grasses, evergreen shrubs, and flowering perennials.

Market Street Village - Village Plan II

A. Project Street Corner Landscaping

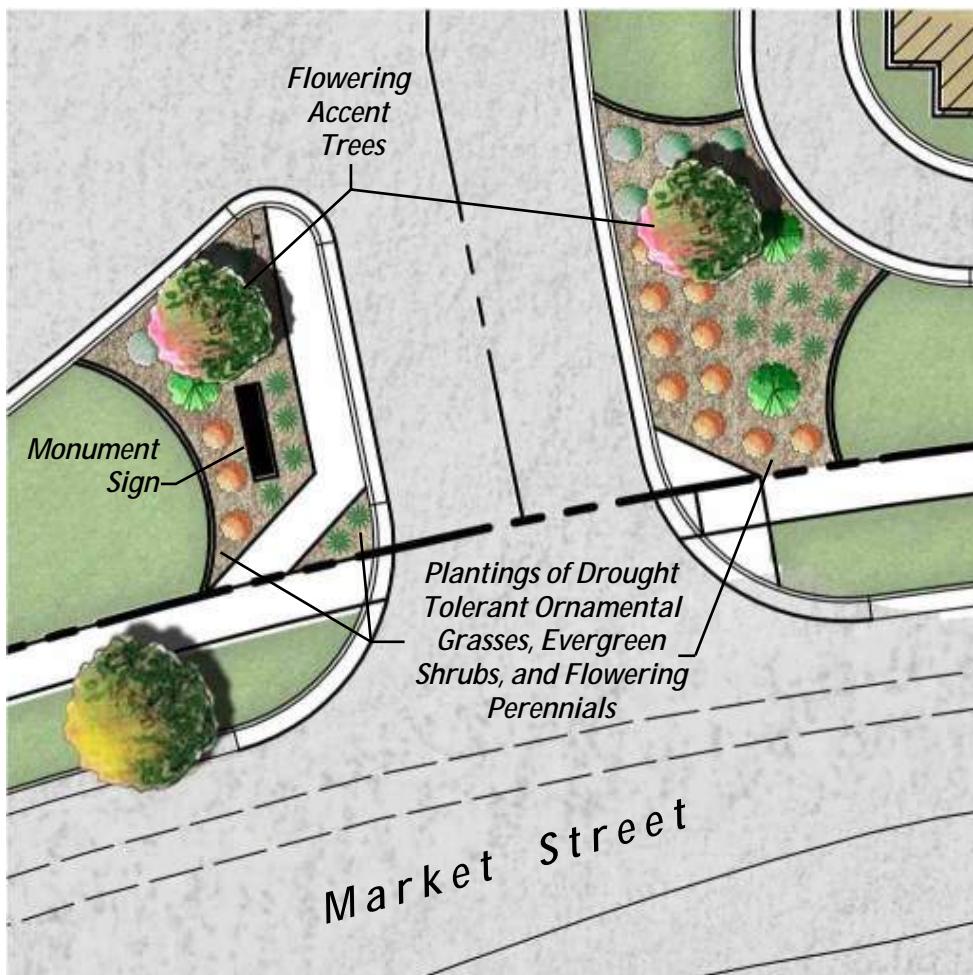


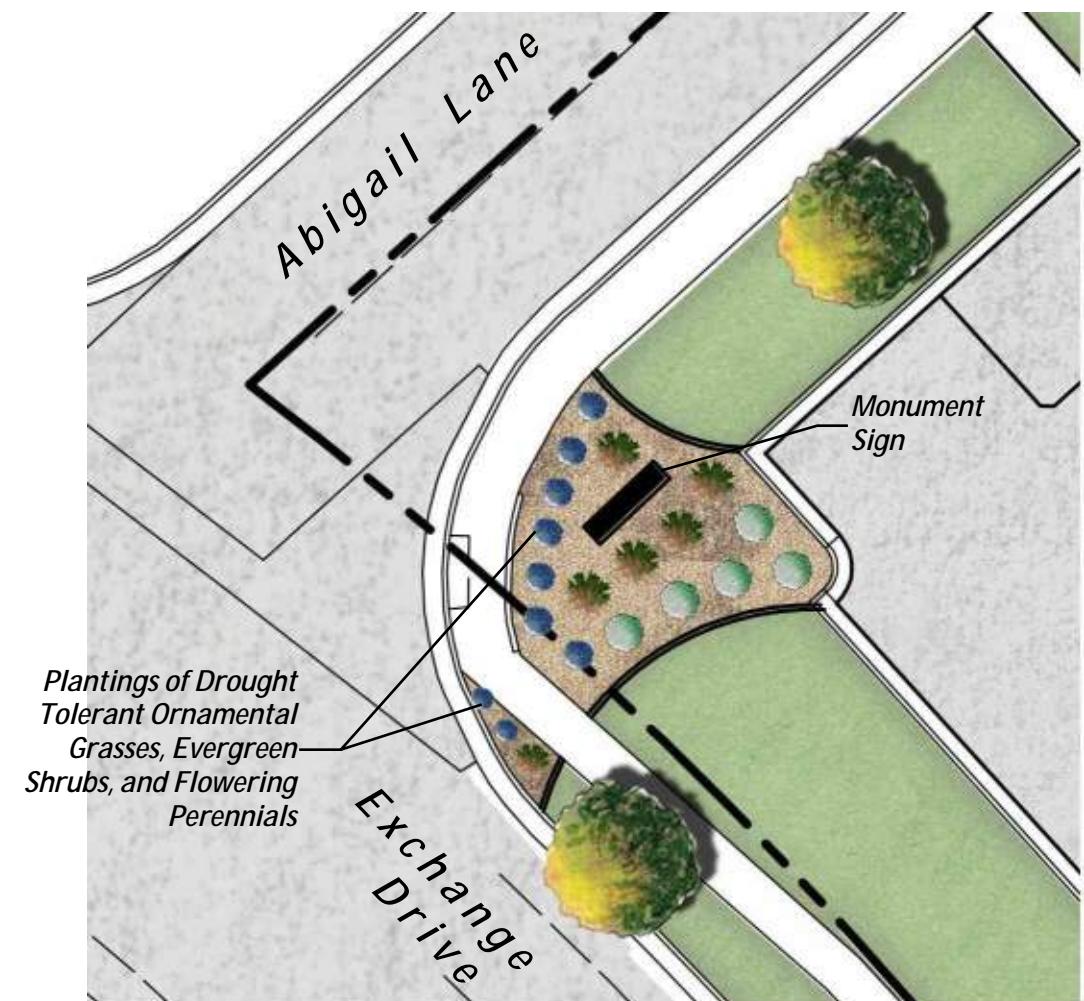
Saratoga Springs, Utah

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B. *Entry Landscaping (Market Street)***C.** *Corner Landscaping (Market Street & Exchange Drive)*

D. *Entry Landscaping (Exchange Drive)***E.** *Street Corner (Exchange Drive & Interior Road)*

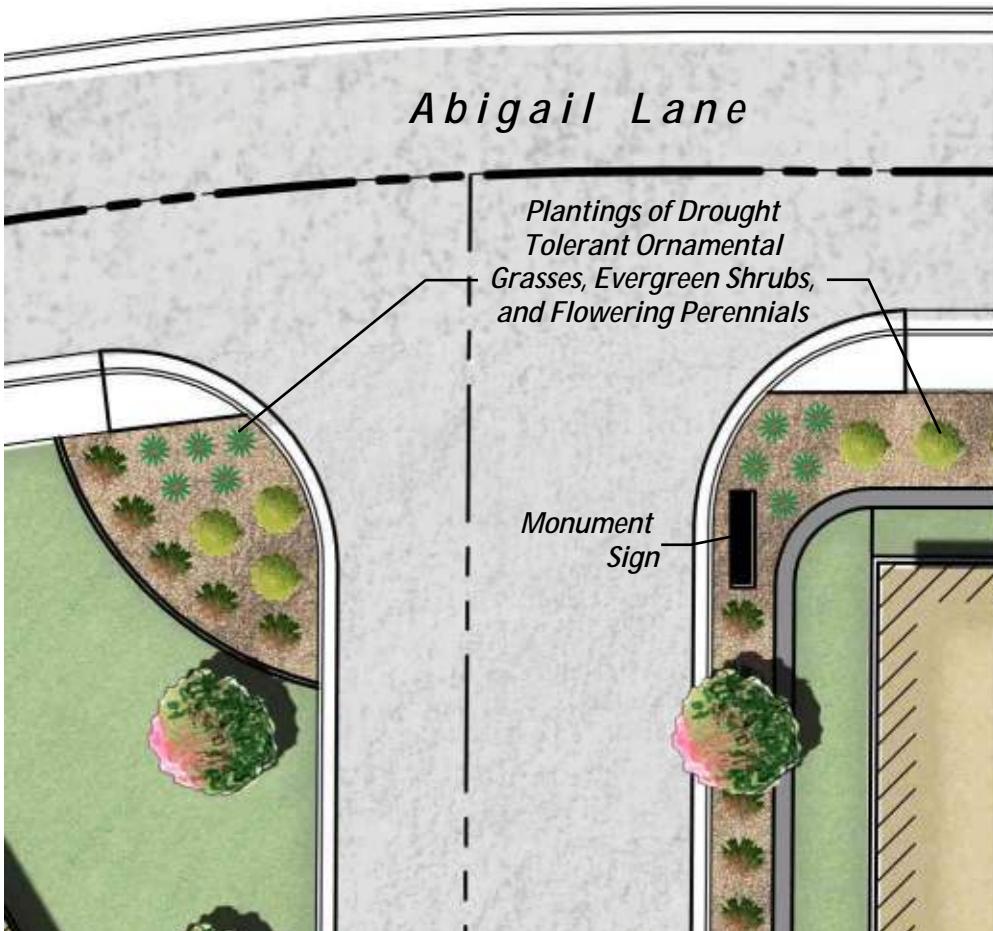
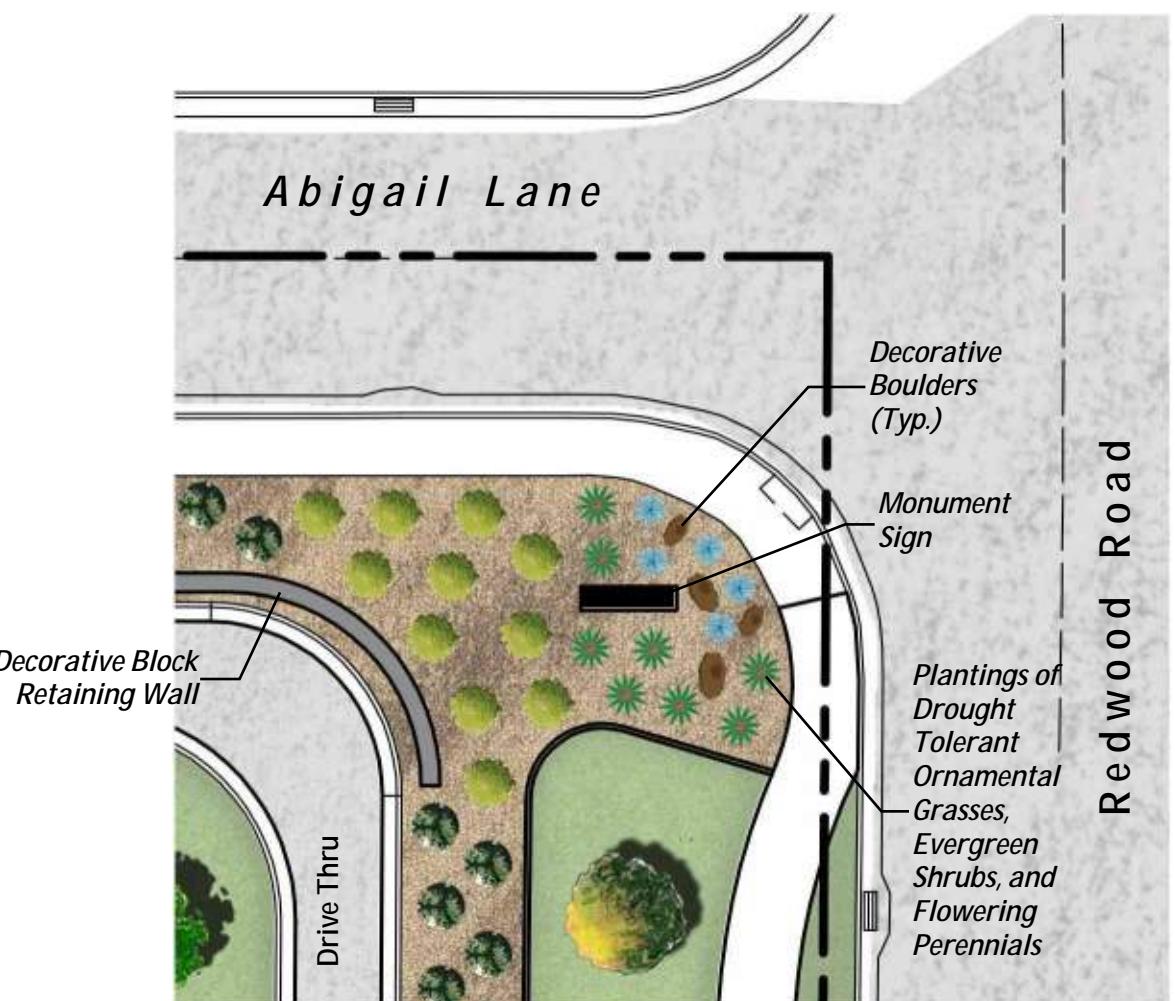
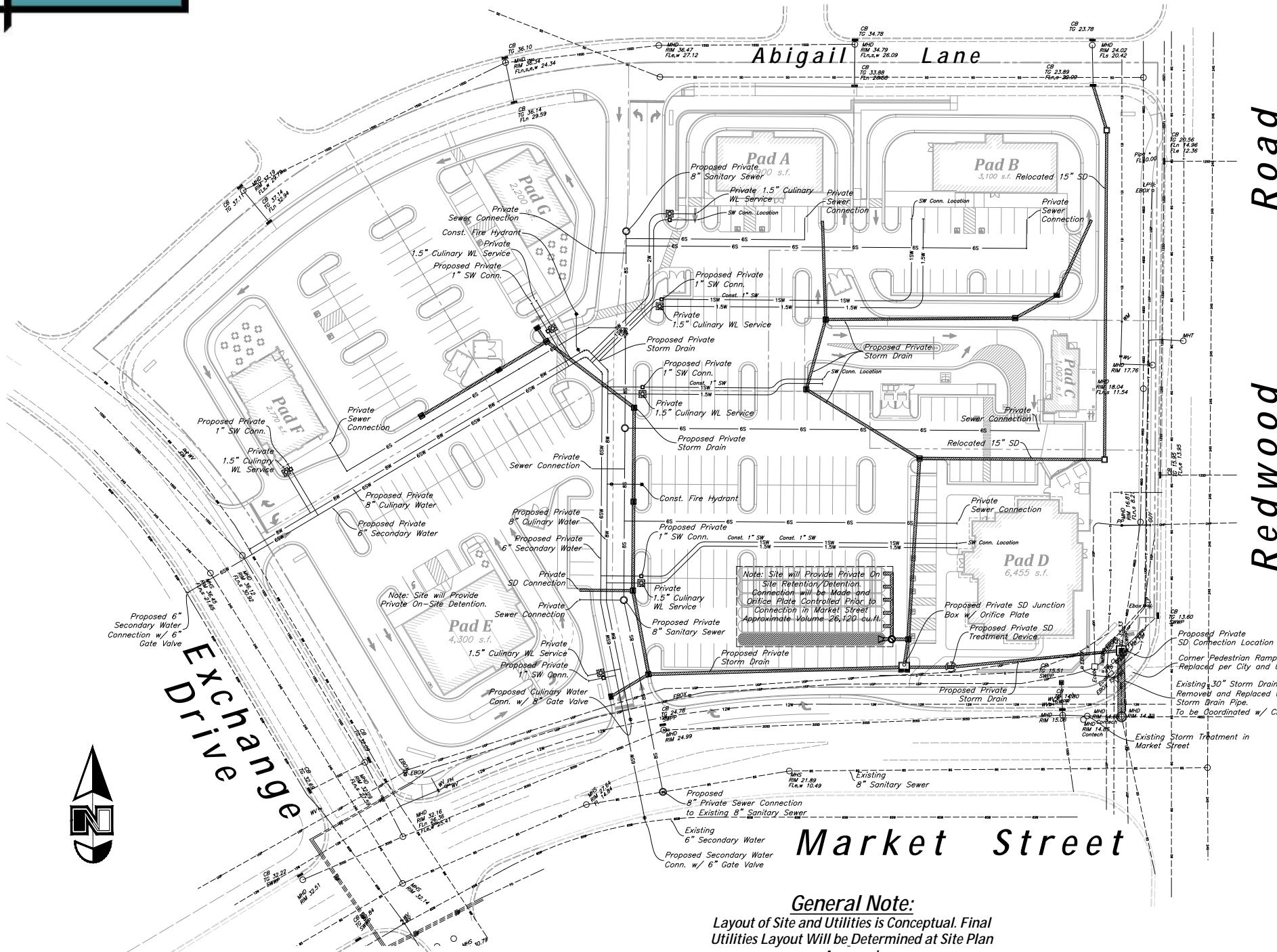
F. *Entry Landscaping (Interior Road)***G.** *Street Corner (Redwood Road & Interior Road)*

Exhibit 8

Utility Plan

Market Street Village - Village Plan II



General Note:

Utilities Layout
Layout of Site and Utilities is Conceptual. Final Utilities Layout Will be Determined at Site Plan Approval.

Legend

*Proposed Inlet Box
Proposed Catch Basin
Proposed Manhole
Proposed Meter Box
Proposed Fire Hydrant
Proposed Water Valve
Proposed Water Line
Proposed Sanitary Sewer
Proposed Storm Drain
Proposed Conduit Line
Proposed Power Line
Proposed Gas Line
Proposed Secondary Water Line
Proposed Roof Drain
Existing Fire Hydrant
Existing Water Valve
Existing Overhead Power Line
Existing Water
Existing Secondary Water
Existing Sewer
Existing Storm Drain
Existing Gas
Existing Power
Existing Telephone*

Possey Lift Station Note
The capacity of the existing Possey Lift Station is limited until the final reach of the city's gravity sewer project is constructed. The remaining conveyance capacity in the Possey Lift Station will be provided on a first-come-first-serve basis.

Market Place Sewer Note
The capacity of the temporary 8" sanitary sewer pipe is limited until the Market Street sanitary sewer pipe is replaced with the future 24" pipe. The remaining conveyance capacity in the 8" sanitary sewer in Market Street will be provided on a first-come-first-serve basis.

Storm Water Note
Site will provide Retention/Retention. Storm Water Retention will be provided per the IS4 requirements of the 80th percentile storm (about 0.41 inches). Detention will be release at rate or 0.12 cfs/acre. Drainage analysis and report will be provided w/ site development.

General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Lateral

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

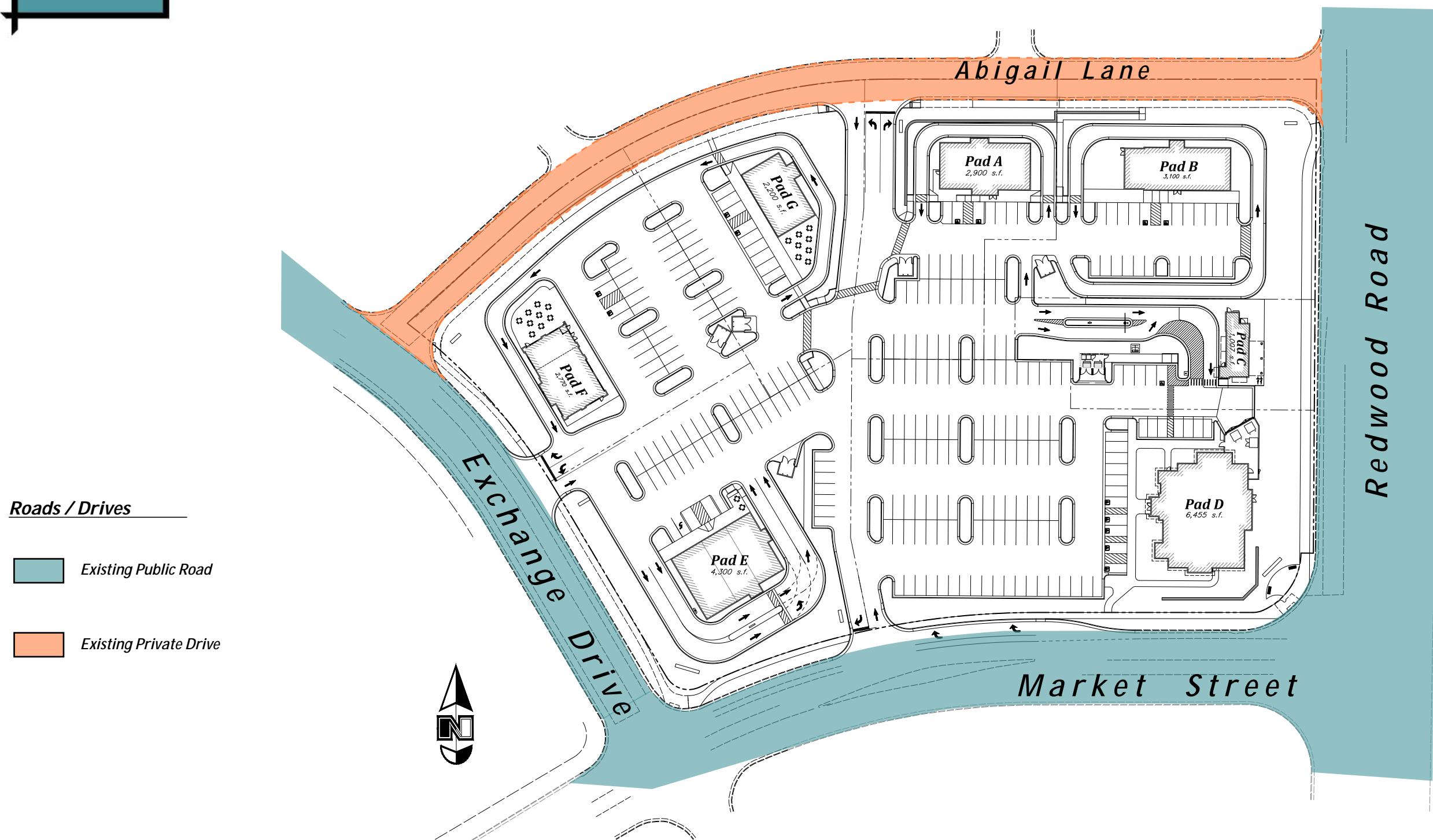
1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III



Exhibit 9

Vehicular Plan

Market Street Village - Village Plan II



Saratoga Springs, Utah

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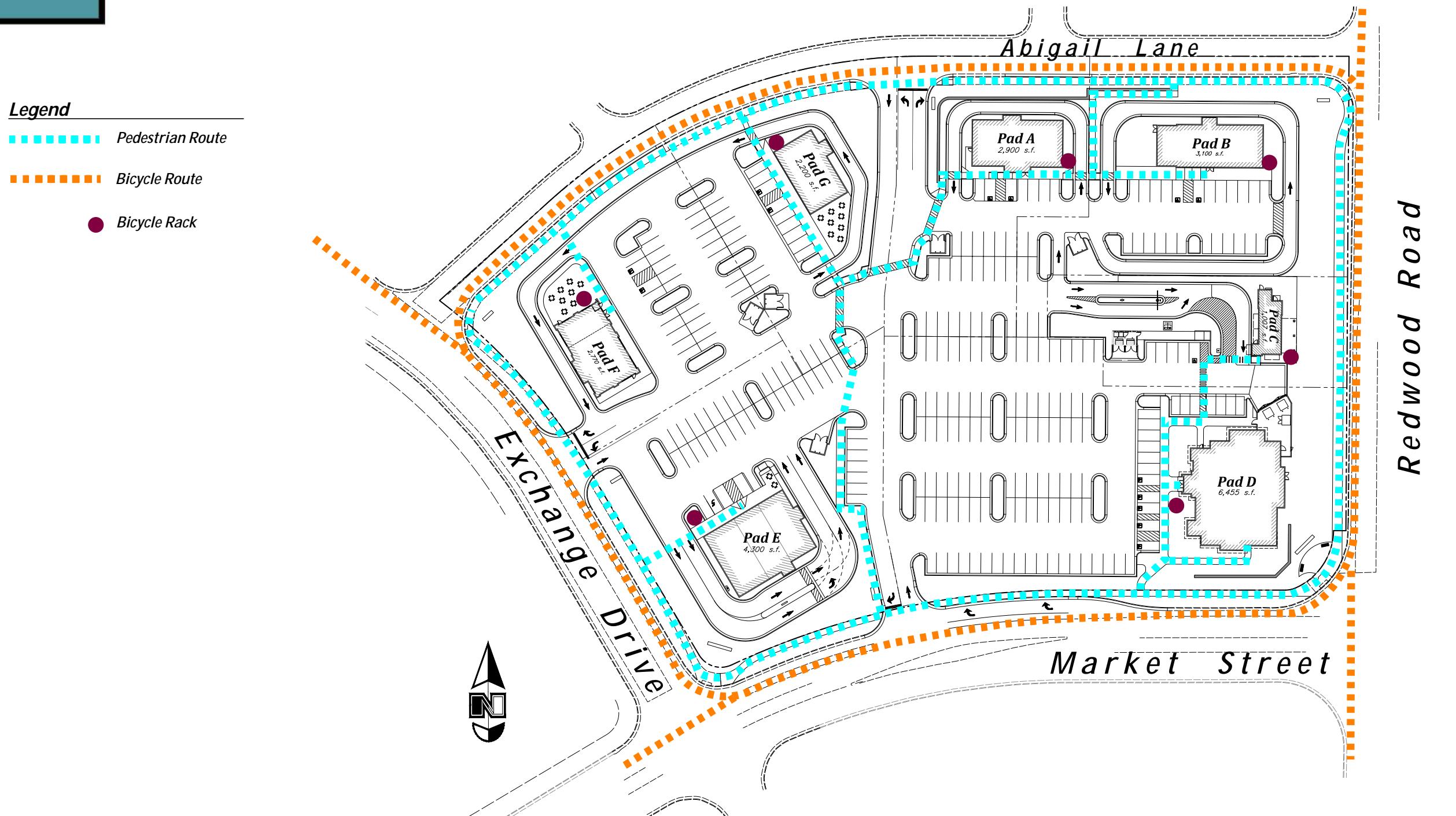


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Exhibit 10

Pedestrian Plan

Market Street Village - Village Plan II



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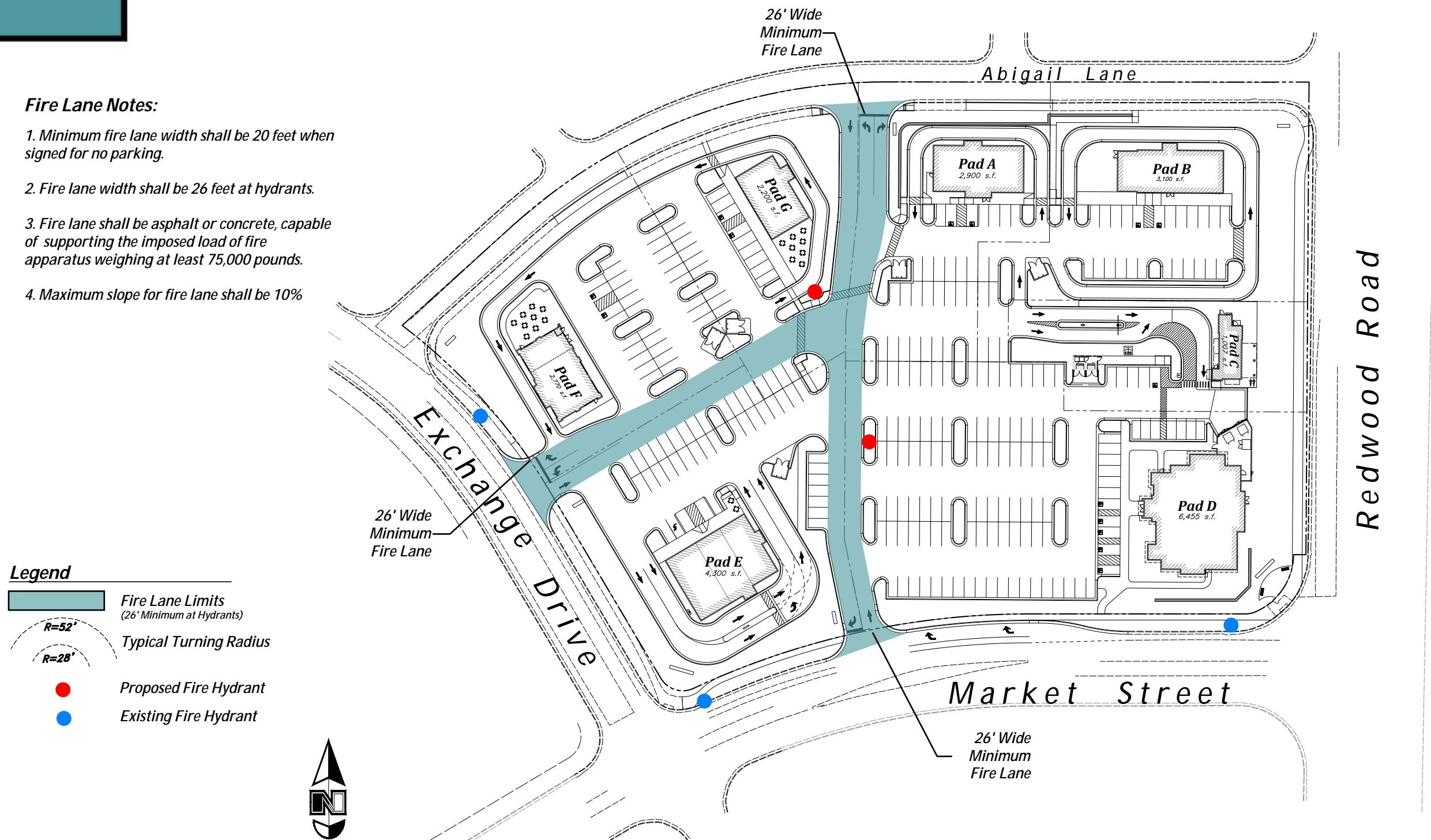
Exhibit 11

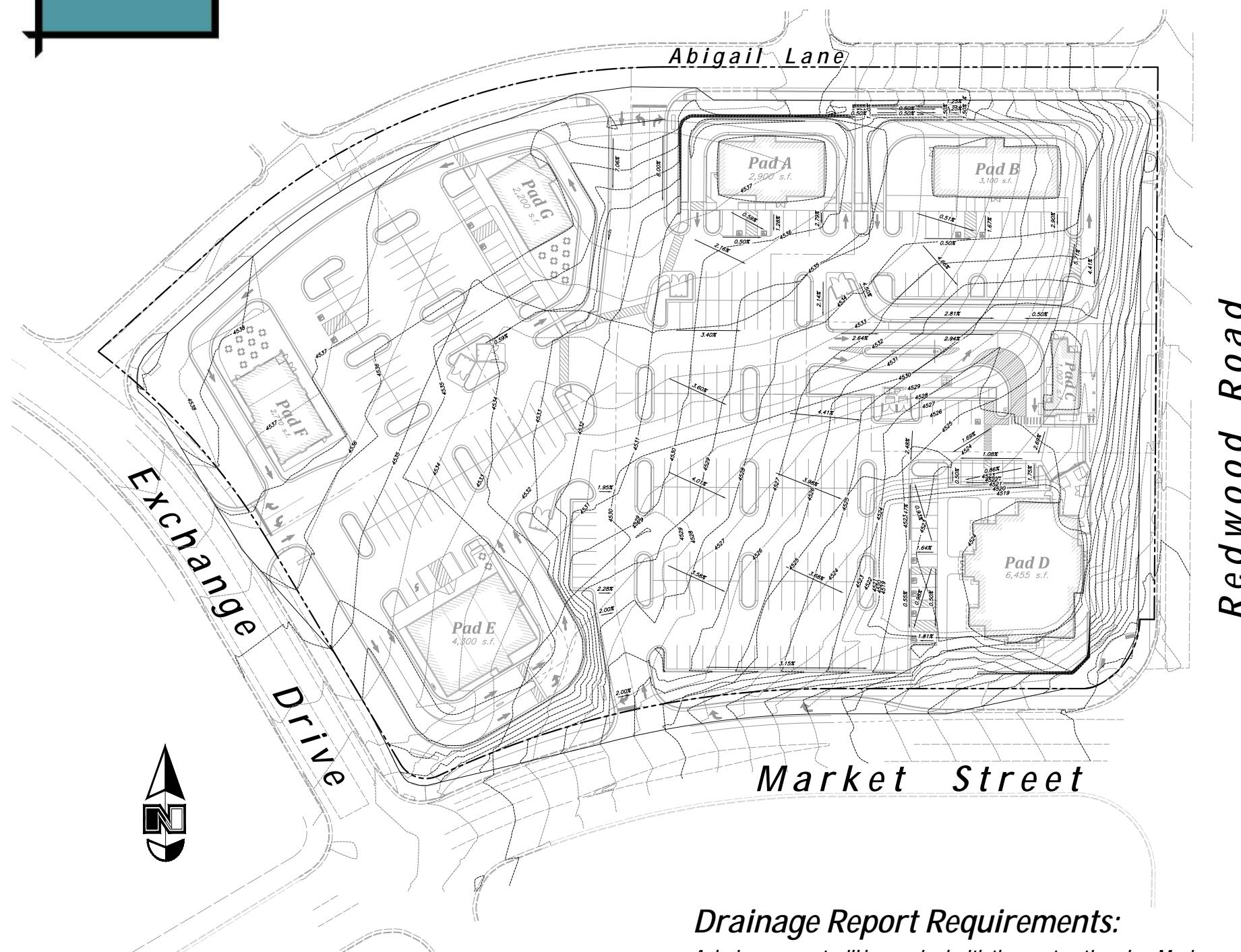
Fire Lane Plan

Market Street Village - Village Plan II

Fire Lane Notes:

1. *Minimum fire lane width shall be 20 feet when signed for no parking.*
2. *Fire lane width shall be 26 feet at hydrants.*
3. *Fire lane shall be asphalt or concrete, capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.*
4. *Maximum slope for fire lane shall be 10%*





Drainage Report Requirements:

A drainage report will be required with the construction plan. Maximum discharge rate is 0.12 cfs/acre. All areas of site development to be detained.

Grading/Drainage Notes:

Storm drainage for Lot 3 shall be collected and detained in one underground detention chamber system. All pads shall have storm drain inlets and shall be piped to the underground detention chamber system.

Storm Water Treatment Systems shall be constructed as listed above and at all new points of connection to the City's Storm Drain System and prior to any discharge to a drainage, river, or lake. Treatment systems shall meet the following criteria:

Detention Systems:

- a. The capacity of all detention systems shall be sufficient to contain the anticipated runoff volume from a 100-year 24-hour storm event over those portions of the gross aggregate area under design; with a maximum release of 0.12 cfs/acre.
- b. Systems shall be constructed as described and as shown in the City's Standards.
- c. Low flows, where applicable, shall be piped through the detention system.
- d. Detention system capacity may not be reduced for infiltration or evaporation rates.
- e. Retention systems are not permitted. All systems must have both an outfall and overflow system.
- f. Ponds are to be landscaped per Saratoga City's Standards.
- g. Provide access roads to all inlet/outlet structures.
- h. All ponds shall have a minimum of 1' of free board above the 100 year high water elevation.
- i. Maximum interior and exterior slopes shall be 3:1.
- j. Detention areas may not be located within residential lots.
- k. Detention areas shall be a minimum of 10' from property lines.
- l. Underground systems shall have impermeable liners and shall not be permitted to infiltrate.



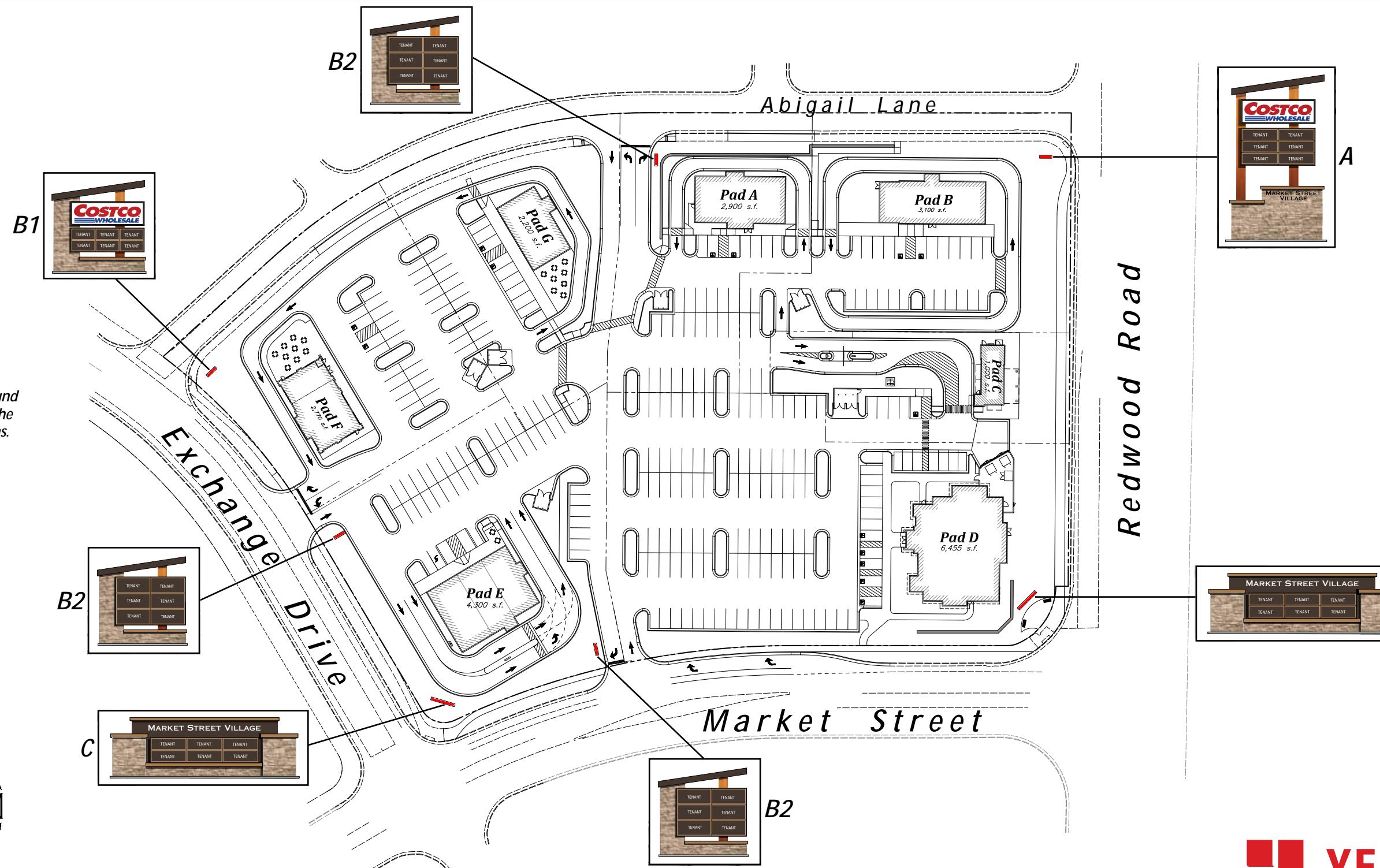
Exhibit 13**Signage Plan****Market Street Village - Village Plan II****YESCO****Saratoga Springs, Utah****CCA-Acquisition Company, LLC****ANWA**
ANDERSON WAHLEN & ASSOCIATES

Exhibit 13

Large Monument Sign

Market Street Village - Village Plan II

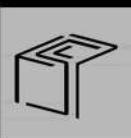


 YESCO®



Saratoga Springs, Utah

CCA-Acquisition Company, LLC



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Exhibit 13

Small Monument Sign with Costco

Market Street Village - Village Plan II



Saratoga Springs, Utah

CCA-Acquisition Company, LLC



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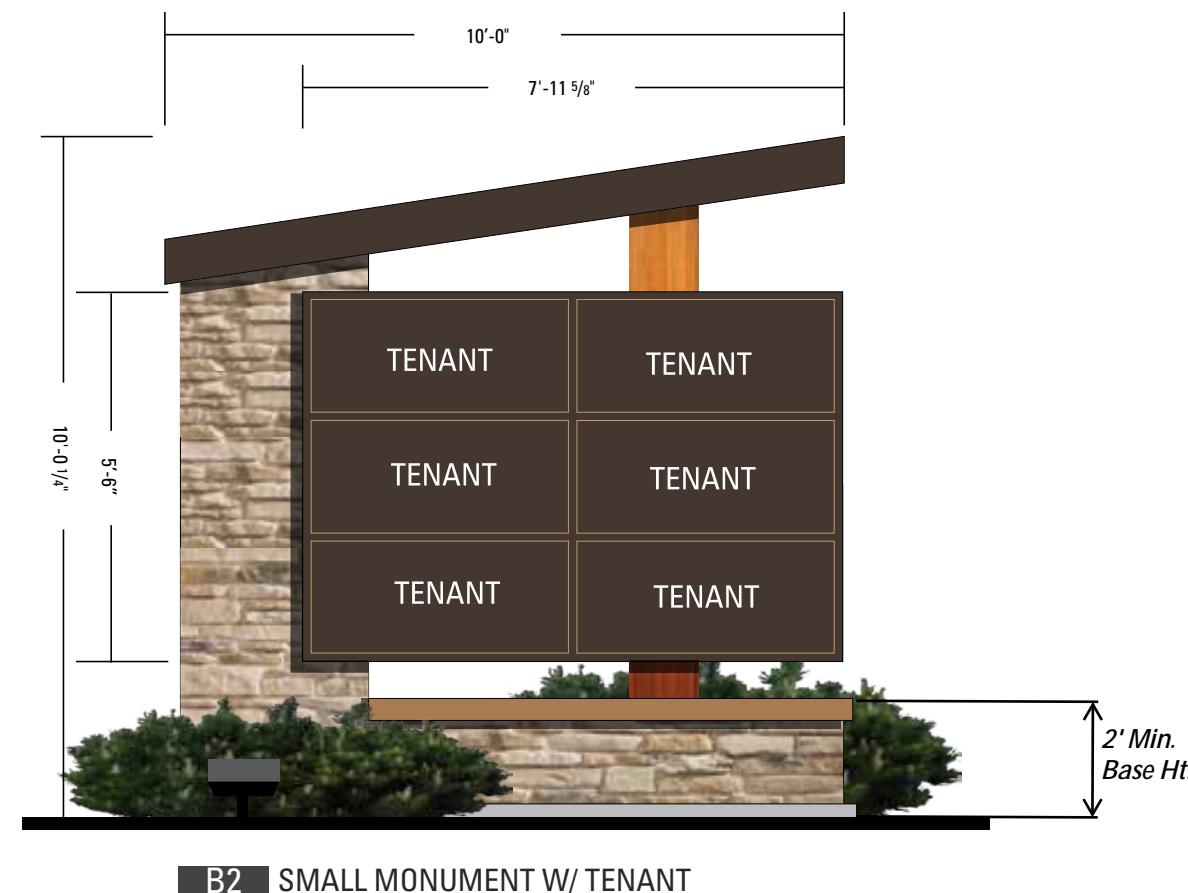
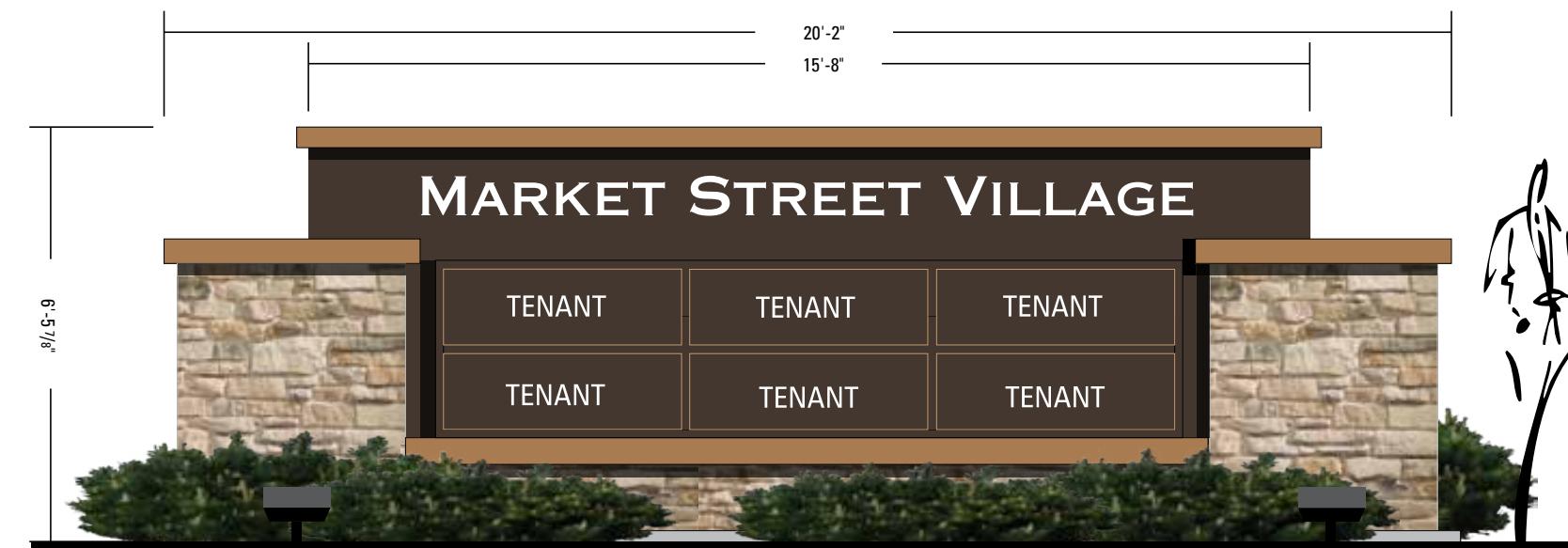


Exhibit 13

Corner Feature Sign with Tenants

Market Street Village - Village Plan II



C CORNER FEATURE SIGN W/ TENANTS



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CCA-Acquisition Company, LLC



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Waterways

There are no existing waterways within the boundaries of the site.

Fault Lines and geological Information

The site is in an area known to have fine grained soils susceptible to frost heave, wetting-induced collapse and expansive soils. Specific recommendations are made to address these conditions in the geotechnical report.

Liquefaction is not considered a hazard at the site given the depth to ground water, soil type and consistency of soils encountered at the site.

The subsurface soils correspond with site Class D - Stiff Soil Profile.

There are no mapped active faults extending through the site. The closest mapped active fault to the site is the Utah Lake Faults located approximately 2.1 miles southeast.

General Soil Data

A geotechnical investigation was performed by GSH Geotechnical, Inc.. The report indicates that if the recommendations in the report are followed the project is geotechnically feasible. The site consists of topsoil, clay and varying silt, sand and gravel content. Groundwater was not encountered within 30.7 feet of the surface.

Slopes

The site currently slopes from the southeast-east at approximately 2-2.2%. No slopes exist on the site that are greater than 30%.

Wetlands

There are no existing wetlands within the project boundaries.

Historical Sites

There are no historical sites within the project boundaries.

Findings for Village Plan II per Section 19.26

- a. This Village Plan as presented is consistent with the adopted Community Plan. This Village Plan is situated on the corner of Redwood Road and Market Street with access from Market Street and Exchange Drive. Taking the vocabulary of the Community Plan we have carried through the Village Plan the critical design elements.
- b. This Village Plan anticipates a maximum square footage of 129,391 square feet at full build out.
- c. The Equivalent Residential Units of 59.8 units is consistent with the Community Plan. This Village Plan does not exceed the total number of equivalent residential units dictated in the adopted Community Plan and does not anticipate a need for a transfer of density per the provisions of the Community Plan. Consistent with finding b above, the realization of all of the allowable residential units will be absorbed over time as the project matures and Floor Area Ratio expands.
- d. This Village Plan is consistent with the utility, infrastructure, and circulation plans of the Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts. Also, future capacity for secondary water lines and future phases are addressed.
- e. This Village Plan properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties; and contains the required elements as dictated in Section 19.26; and meets the minimum required open space of 11% in the adopted Community Plan, and adopted District Area Plan.

Endangered Plants

The site is currently being farmed. There are no endangered plants within the project boundaries.

Wildlife

The site is currently being farmed. There is no wildlife within the project boundaries.



Exhibit 15

Conceptual Olive Garden Elevation

Market Street Village - Village Plan II

NOTE:
Elevations are conceptual only and illustrate potential ways of incorporating the design guidelines outlined in Section 5c of the Costco Community Plan. Actual elevations will vary per lot and must be submitted and approved per the Development Approval Process defined on page 11 of the Community Plan.



ITALIAN RESTAURANT SARATOGA SPRINGS, UT

0 5 10 20

*Landlord approved signage.
Measurements are based on architectural plans provided.
Measurements to be field verified*

MATERIAL LEGEND

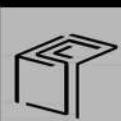
- 106 PAINT @ WOOD TRELLIS, WOOD TRIM, WOOD FACIA, AND DOORS
Benjamin Moore 2112-10 "Mink"
- 107 STONE VENEER (#139 Brick Clinkers) - Coronado Stone "Appalachian Fieldstone" w/ matching chiseled corner stones
Color: "Mountain Sunset" Grout: Natural Gray
- 108 STONE PLANK CLADDING
Coronado Woodstone "Rustic Cedar" 6 X 36
- 110 CONCRETE ROOF TILE
Eagle Roof Tile - Capistrano "Olive Garden Blend"
- 112 PRE-FINISH PAINT @ STOREFRONT AND WINDOWS
"Dark Bronze Finish"
- 113 STANDING SEAM METAL ROOF
"Dark Bronze Finish"
- 127 BRICK VENEER - Coronado Stone
Sicilian Brick - 2 1/2" x 8" Color: "Saltillo" 90%, "Ferrara Blend" 10%
- 139 BRICK CLINKERS - Coronado Stone
2-1/8" x 8" Thin Brick Tumbled w/ 3/8" Mortar Joint

crho
architects
1833 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.832.1834

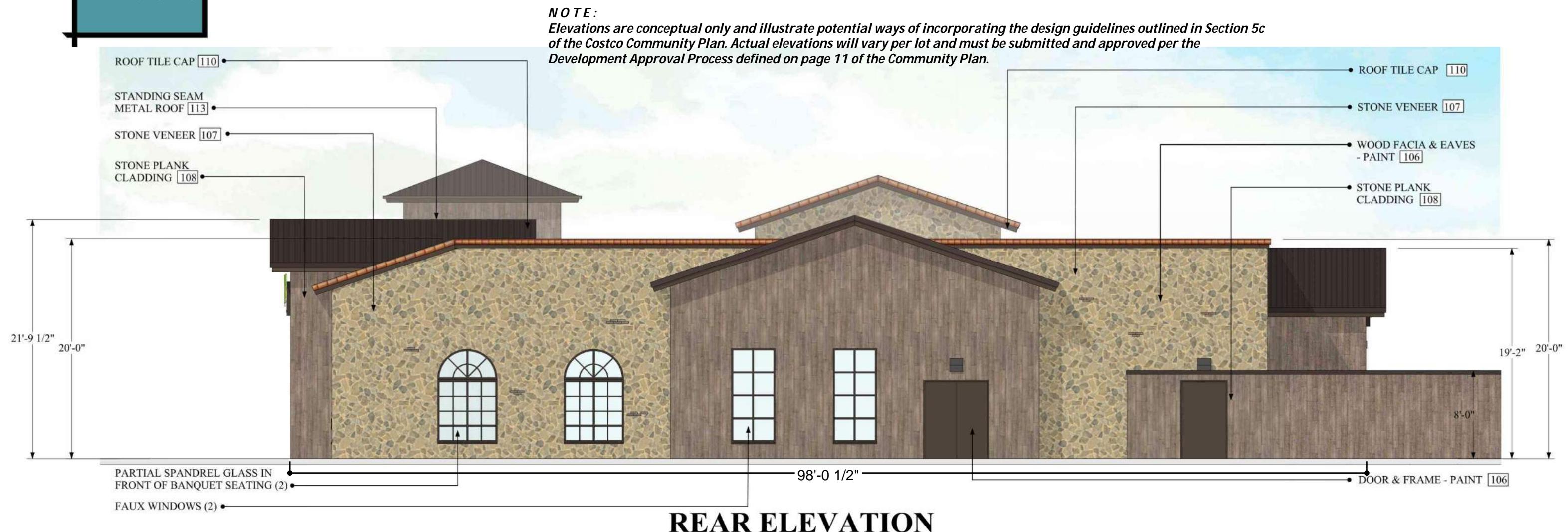


Saratoga Springs, Utah

CCA-Acquisition Company, LLC



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Exhibit 15*Conceptual Olive Garden Elevation**Market Street Village - Village Plan II*

ITALIAN RESTAURANT

SARATOGA SPRINGS, UT

0 5 10 20

Signage Not Required on this Elevation

MATERIAL LEGEND

- 106 PAINT @ WOOD TRELLIS, WOOD TRIM, WOOD FACIA, AND DOORS
Benjamin Moore 2112-10 "Mink"
- 107 STONE VENEER (#139 Brick Clinkers) - Coronado Stone "Appalachian Fieldstone" w/ matching chiseled corner stones Color: "Mountain Sunset" Grout: Natural Gray
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- 113 STANDING SEAM METAL ROOF "Dark Bronze Finish"
- 127 BRICK VENEER - Coronado Stone Sicilian Brick - 2 1/2" x 8" Color: "Saltillo" 90%, "Ferrara Blend" 10%
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crhc
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Exhibit 15*Conceptual Olive Garden Elevation**Market Street Village - Village Plan II*

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ITALIAN RESTAURANT SARATOGA SPRINGS, UT

0 5 10 20

Landlord approved signage.

*Measurements are based on architectural plans provided.
Measurements to be field verified*

MATERIAL LEGEND

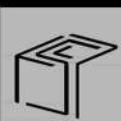
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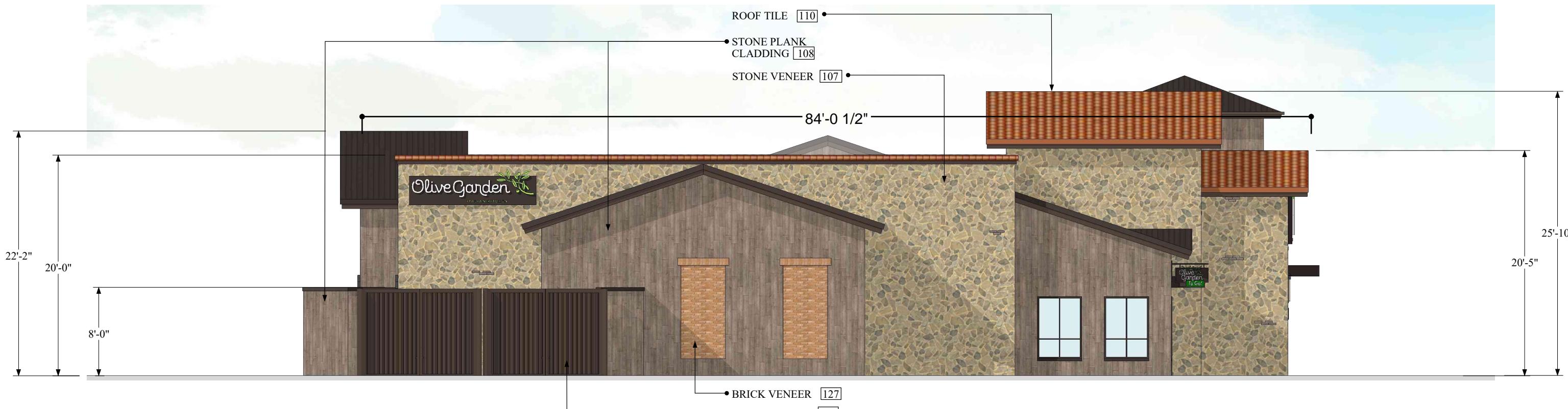
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ITALIAN RESTAURANT SARATOGA SPRINGS, UT

0 5 10 20

Landlord approved signage.
Measurements are based on architectural plans provided.
Measurements to be field verified



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Exhibit 15*Conceptual Dutch Bros Coffee Renderings**Market Street Village - Village Plan II*

LOOKING NORTH-EAST



LOOKING SOUTH-EAST

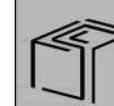
**DUTCH BROS**
Coffee**NOTE:**

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**ANWA**
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LOOKING SOUTH-WEST



LOOKING NORTH-WEST

**NOTE:**

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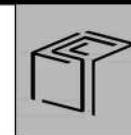
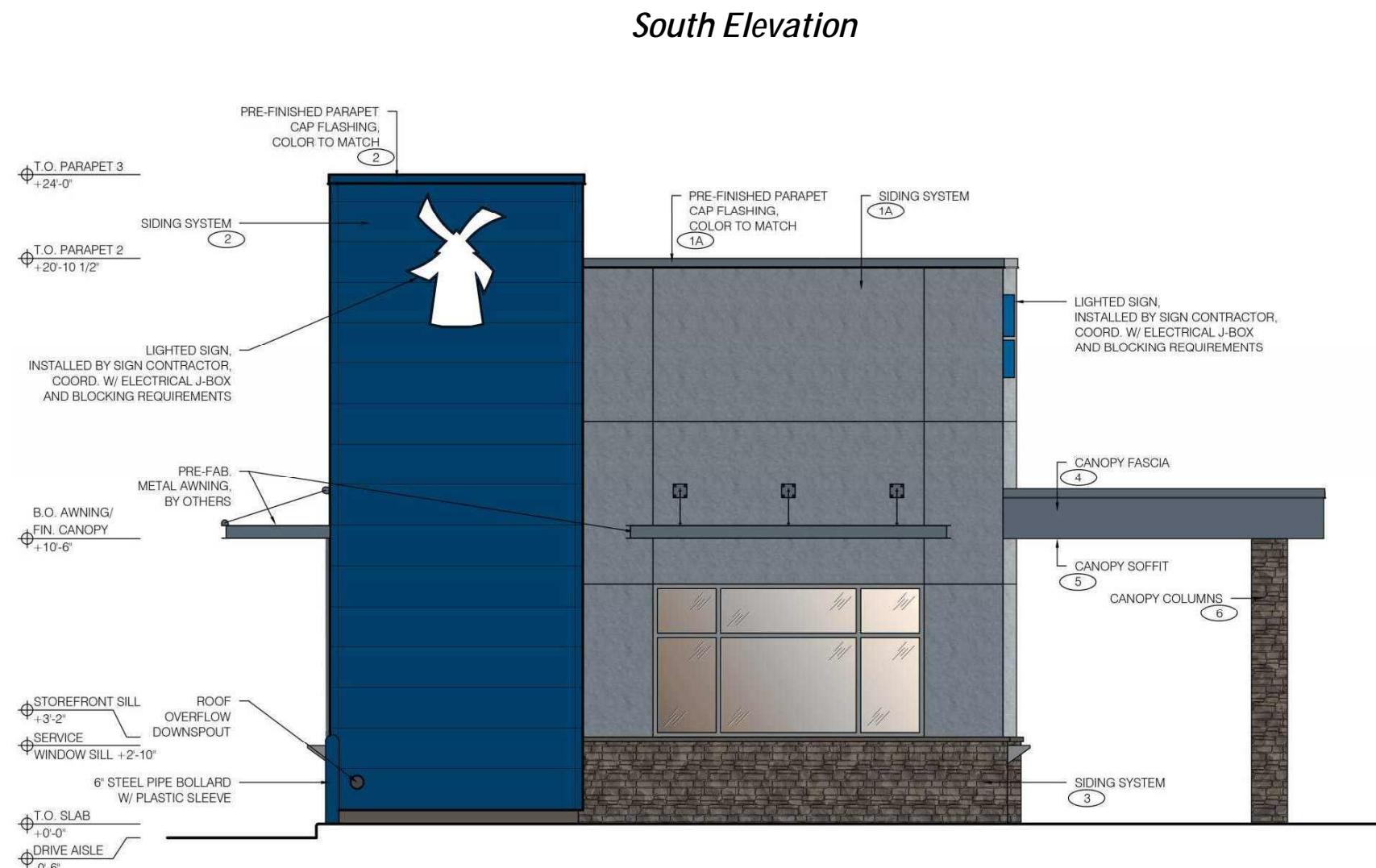
**ANWA**
ANDERSON WAHLEN & ASSOCIATES

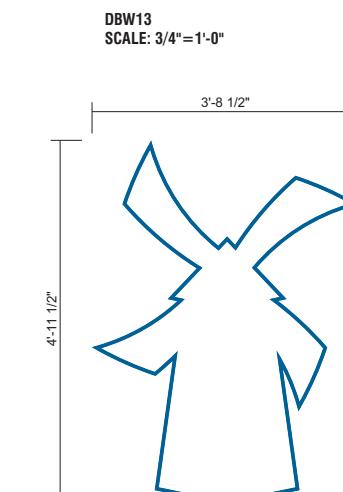
Exhibit 15

Conceptual Dutch Bros Coffee Elevation

Market Street Village - Village Plan II



SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"X2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



DUTCH BROS
Coffee

NOTE:

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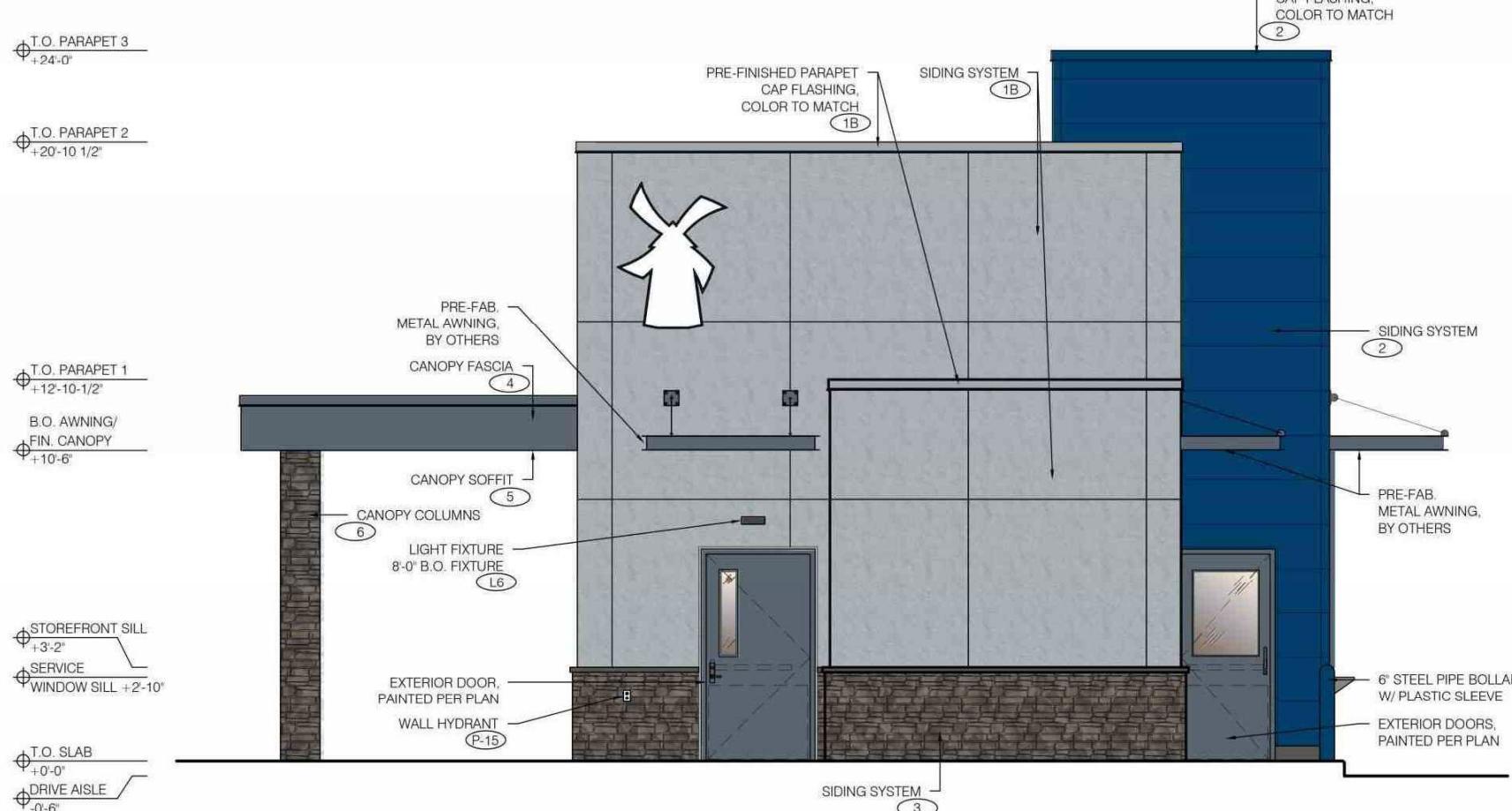
ANWA
ANDERSON WAHLEN & ASSOCIATES

Exhibit 15

Conceptual Dutch Bros Coffee Elevation

Market Street Village - Village Plan II

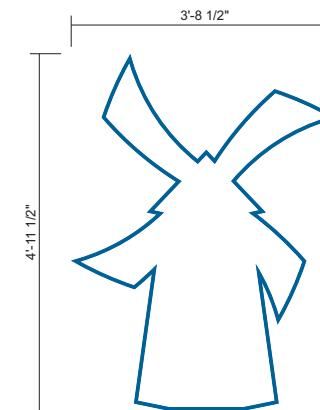
North Elevation



SIDING SCHEDULE - ALTERNATE w/ CANOPY

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 1818 & 3030 w/ MATCHING PANEL CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
NOTE: PROVIDE 3"x2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				

DBW13
SCALE: 3/4"=1'-0"



NOTE:

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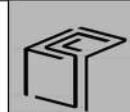


Exhibit 15

Conceptual Dutch Bros Coffee Elevation

Market Street Village - Village Plan II



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DUTCH BROS
Coffee

SIDING SCHEDULE - ALTERNATE w/ CANOPY				
ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
1A	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN	COLOR: BLDG DB DARK GRAY
1B	STUCCO	-	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN	COLOR: BLDG DB LIGHT GRAY
ZONE 2 (TOWER)				
2	FIBER CEMENT SIDING	NICHIA	ILLUMINATION, AWP 1818 & 3030 w/ FACTORY OUTSIDE CORNERS	COLOR: BLDG DB BLUE
ZONE 3 (BASE)				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	COLOR: PER MFR.
	STONE SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL	COLOR: PEWTER
ZONE 4 (FRAMED CANOPY)				
4	FASCIA	-	METAL FASCIA; FLAT	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G, 1/8" REVEAL
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NOTE: PROVIDE 3"X2" SMOOTH DOWNSPOUTS, AND ALL NECESSARY ADAPTORS, AT AWNING AND CANOPY LOCATIONS; COLOR: BLDG DB DARK GRAY				



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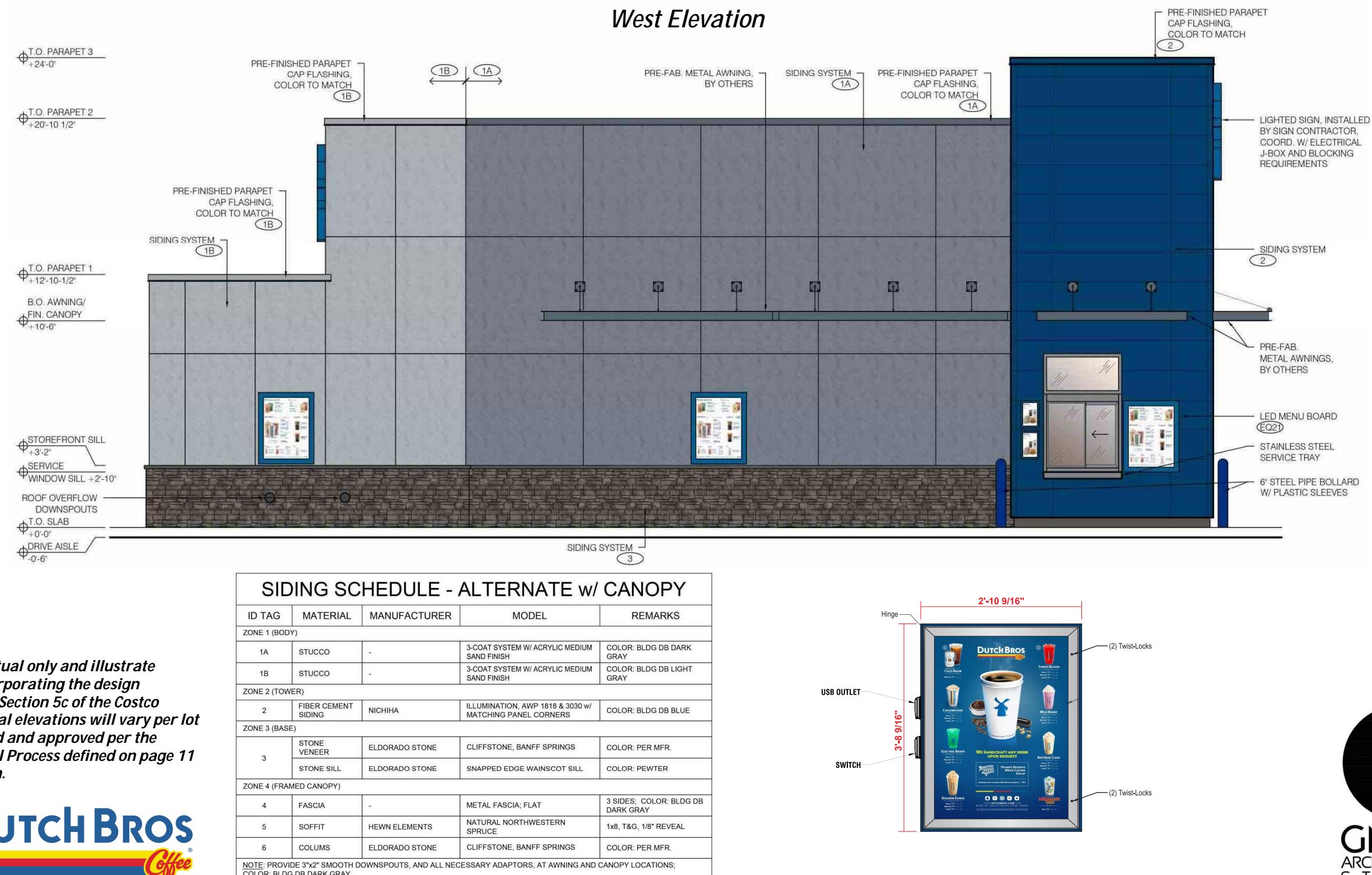


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Exhibit 15

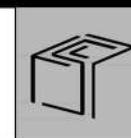
Conceptual Dutch Bros Coffee Elevation

Market Street Village - Village Plan II



Saratoga Springs, Utah

CCA-Acquisition Company, LLC



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ANDERSON WAHLEN & ASSOCIATES

Exhibit 15

Conceptual Dutch Bros Coffee Material Board

Market Street Village - Village Plan II



FIBER CEMENT BOARD
MANUFACTURER: NICHIA
PROFILE: ILLUMINATION
COLOR: BLDG DB BLUE



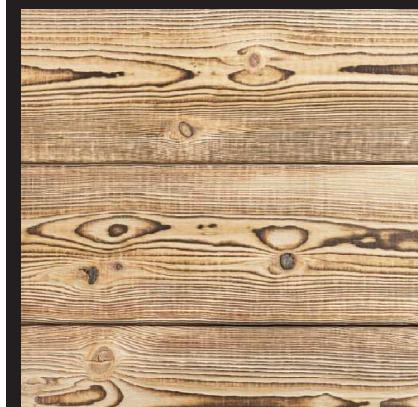
3-COAT STUCCO SYSTEM
MANUFACTURER: -
PROFILE: ACRYLIC MEDIUM SAND FINISH
COLOR: BLDG DB GRAY DARK



3-COAT STUCCO SYSTEM
MANUFACTURER: -
PROFILE: ACRYLIC MEDIUM SAND FINISH
COLOR: BLDG DB GRAY LIGHT



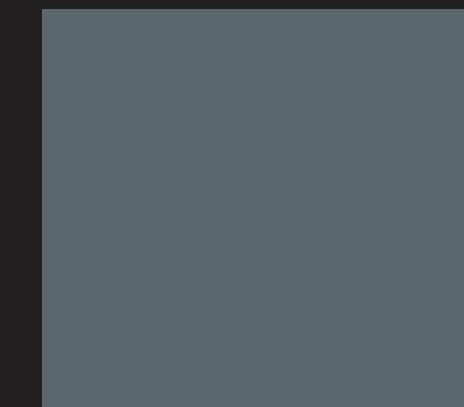
CULTURED STONE
MANUFACTURER: ELDORADO STONE
PROFILE: CLIFFSTONE - BANFF SPRINGS
COLOR: PER MFR.



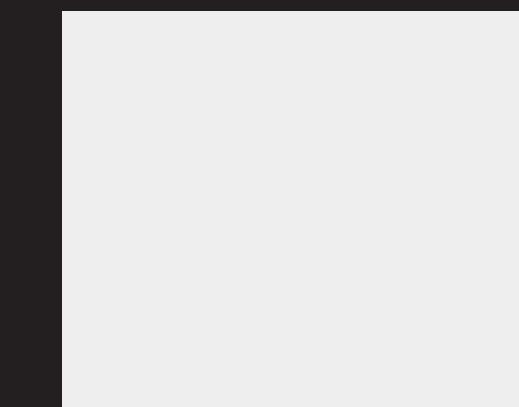
CANOPY SOFFIT
MANUFACTURER: HEWN
PROFILE: NW SPRUCE
NATURAL,SEALED
COLOR: PER MFR.



WINDOW SYSTEM
MANUFACTURER: KAWNEER OR SIMILAR
PROFILE: CLEAR ANODIZED ALUMINUM
FINISH: CLEAR NO 14 / 17



AWNINGS & DOORS - PAINT
MANUFACTURER: SCHERWIN-WILLIAMS
COLOR: BLDG DB GRAY DARK



ROOFING MATERIAL
MANUFACTURER: FIRESTONE
TPO - 60 MIL
COLOR: WHITE



DUTCH BROS
Coffee®

NOTE:

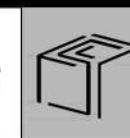
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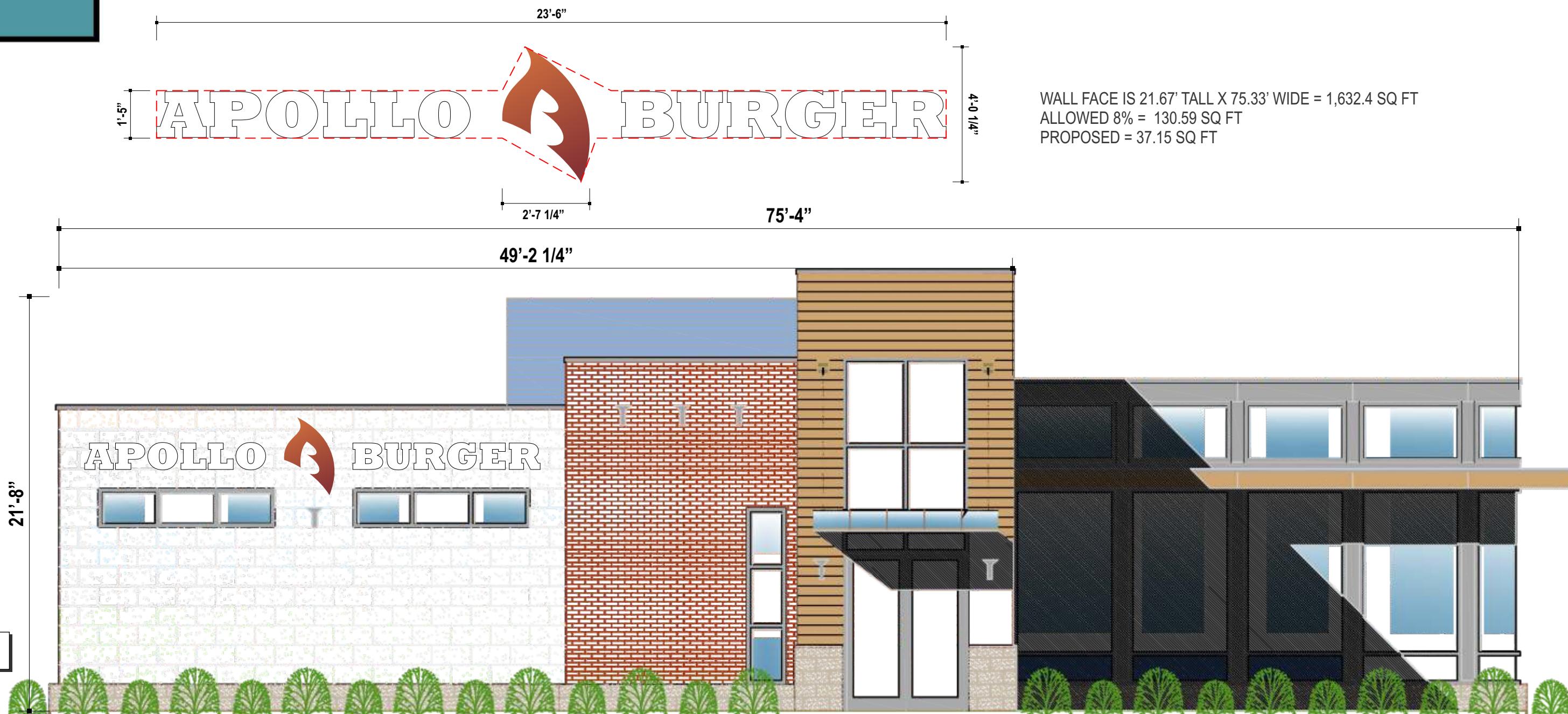


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Exhibit 15*Conceptual Apollo Burger Building Elevation**Market Street Village - Village Plan II***NOTE:**

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 **TRACY STOCKING**
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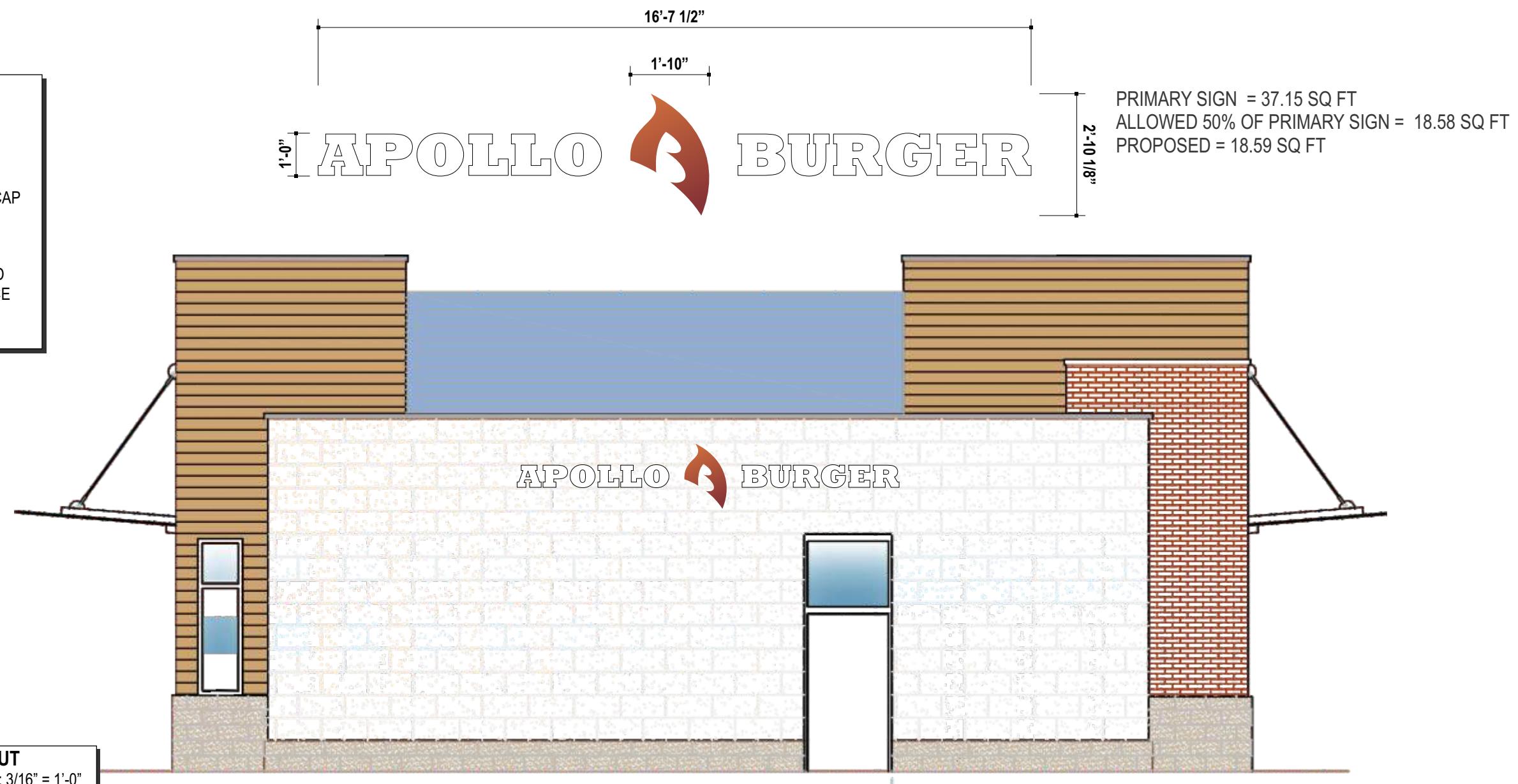


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Exhibit 15**Conceptual Apollo Burger Building Elevation****Market Street Village - Village Plan II****CHANNEL LETTERS**

MANUFACTURE & INSTALL
(1) SET OF ILLUMINATED CHANNEL
LETTERS & LOGO

1'-0" LETTERS AND LOGO 1" BLACK TRIMCAP
AND 3" RETURNS PAINTED BLACK
WITH WHITE ACRYLIC FACES
LOGO CABINETS WILL HAVE WHITE
ACRYLIC FACES WITH DIGITALLY PRINTED
VINYL AND UV LAMINATE APPLIED TO FACE
ILLUMINATED WITH WHITE LEDS



PRIMARY SIGN = 37.15 SQ FT
ALLOWED 50% OF PRIMARY SIGN = 18.58 SQ FT
PROPOSED = 18.59 SQ FT

**KITCHEN ELEVATION
WEST ELEVATION****NOTE:**

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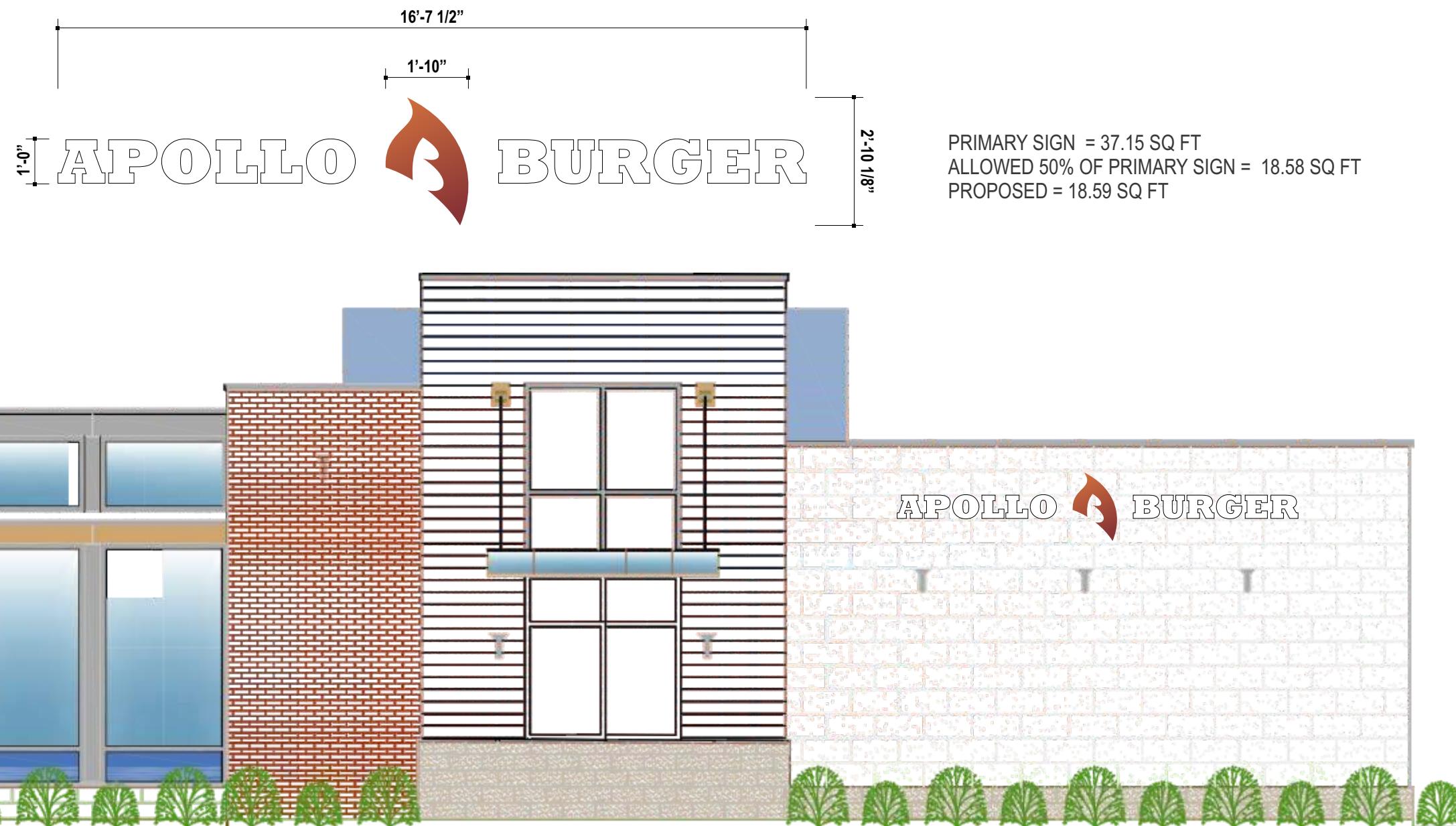
ANNA
ANDERSON WAHLEN & ASSOCIATES

Exhibit 15**Conceptual Apollo Burger Building Elevation****Market Street Village - Village Plan II****CHANNEL LETTERS**

MANUFACTURE & INSTALL

(1) SET OF ILLUMINATED CHANNEL LETTERS & LOGO

1'-0" LETTERS AND LOGO 1" BLACK TRIMCAP AND 3" RETURNS PAINTED BLACK WITH WHITE ACRYLIC FACES
LOGO CABINETS WILL HAVE WHITE ACRYLIC FACES WITH DIGITALLY PRINTED VINYL AND UV LAMINATE APPLIED TO FACE ILLUMINATED WITH WHITE LEDS

**DRIVE THRU ELEVATION
NORTH ELEVATION****NOTE:**

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Saratoga Springs, Utah

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**ANWA**
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