

PARKS AT CLIFF LAKE DEVELOPMENT

A MIXED RESIDENTIAL COMMUNITY NEIGHBORHOOD PLAN

This Neighborhood Plan consists of a Park theme, which reflects the ideas that the architecture, amenities, and social benefits of the community are consistent with what someone might find in and near various city parks.



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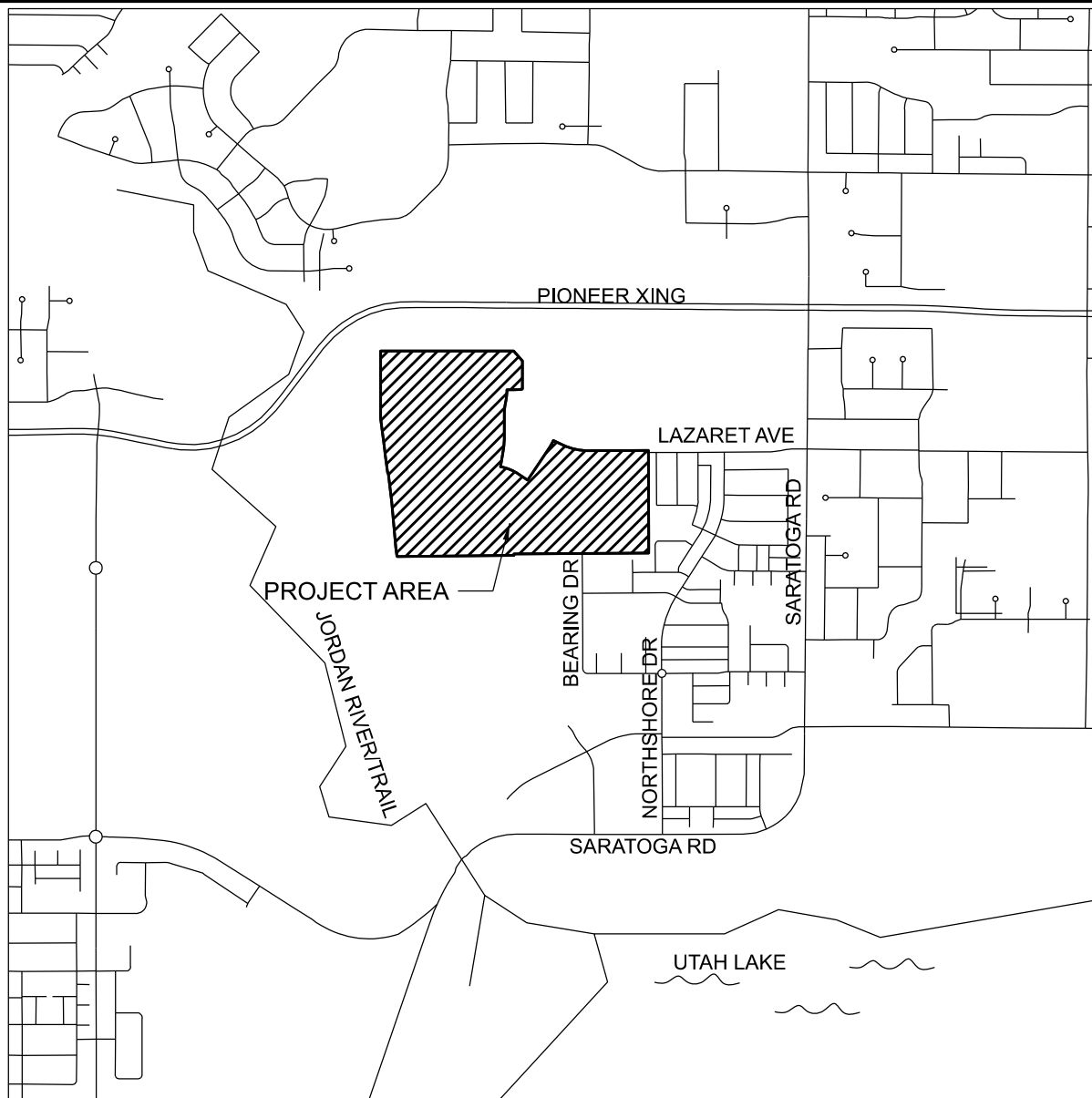
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SINGLE FAMILY LOTS			BUILDABLE LAND	
Min Lot Size	8,000 SF		87.20	AC
Avg Lot Size	10,000 SF			
UNIT MIX			OPEN SPACE	
Townhomes	309	63	21.45	EA
Senior Attached	142	36	25%	
Senior Apartment	200	1	COMMON AREA	
Single Family	46	46	34.14	AC
Total	697	146	39%	
			DENSITY	
			7.99	/AC
			COMMERCIAL AREA ERUs	
			3/ACRE =	98

Introduction

The Parks at Cliff Lake Neighborhood Plan creates a framework for a Mixed Residential community in the City of Saratoga Springs, Utah. Cliff Lake is designed as a community-centered neighborhood in the Mixed Residential Zone. We will use the term Cliff Lake in short for The Parks at Cliff Lake throughout this document.

The purpose of the Mixed Residential Zone “is to allow for the establishment of residential neighborhoods displaying a mix of housing types and open spaces that allow for lifestyle choices and opportunities for a wide a range of demographics and socio-economics. Developments in the Mixed Residential Zone shall be designed to integrate a blended community of households made possible through the allowable housing mix which generates more complete and authentic neighborhoods” (19.04.06.13)

The Neighborhood Plan must provide the following as defined in Section 19.4.13.2: Neighborhood Plans include the identification and placement of lot types, open space types, and all infrastructure, utilities, grading, and other aspects detailing future construction. Neighborhood Plans typically include new streets, ensuring the resulting blocks and the urban fabric are walkable and bike-able. Bus and rail alignments should be located outside the neighborhood blocks.

Neighborhood Plans identify the overall theme of a community. All elements of the development shall follow a unified theme.

Submittal of a Neighborhood Plan may occur either as part of a re-zone application or after re-zoning has occurred.

Cliff Lake will comply with all building, fire, and city codes at the time of adoption or application, with exception of any special cases that will be identified hereafter, which will require city council approval. Neighborhood Plans allow the following modifications to Title 19:04.13(8.d.e.f.h)

1. Entry Features
2. 19.16 Site & Architectural Design Standards
3. Type of landscaping (if same amount)
4. Fencing (in order to comply with theme)
5. Parking reductions.

Legal Descriptions

CLIFF LAKE DEVELOPMENT MIXED RESIDENTIAL BOUNDARY DESCRIPTION

BEGINNING AT A POINT EAST 1615.44 FEET AND NORTH 14.96 FEET FROM THE WEST QUARTER CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; RUNNING THENCE N06°18'05"W 87.06 FEET; THENCE N05°18'53"W 450.45 FEET; THENCE N06°29'41"W 291.19 FEET; THENCE S89°28'44"W 7.94 FEET; THENCE N07°18'50"W 170.48 FEET; THENCE N06°46'58"W 77.19 FEET; THENCE N07°19'25"W 289.10 FEET; THENCE N00°06'45"W 667.33 FEET; THENCE N89°57'55"E 1311.29 FEET; THENCE S40°44'01"E 131.06 FEET; THENCE SOUTH 277.37 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 87.92 FEET, WITH A RADIUS OF 800.00 FEET, WITH A CHORD BEARING OF S86°51'06"W, WITH A CHORD LENGTH OF 87.88 FEET; THENCE WEST 65.10 FEET; THENCE EAST 0.00 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 101.70 FEET, WITH A RADIUS OF 600.00 FEET, WITH A CHORD BEARING OF S04°44'57"W, WITH A CHORD LENGTH OF 101.58 FEET; THENCE EAST 0.00 FEET; THENCE S09°36'18"W 43.02 FEET; THENCE EAST 0.00 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 100.58 FEET, WITH A RADIUS OF 600.00 FEET, WITH A CHORD BEARING OF S04°48'09"W, WITH A CHORD LENGTH OF 100.47 FEET; THENCE EAST 0.00 FEET; THENCE SOUTH 218.96 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 126.37 FEET, WITH A RADIUS OF 800.00 FEET, WITH A CHORD BEARING OF S04°31'31"W, WITH A CHORD LENGTH OF 126.23 FEET; THENCE S09°03'01"W 172.59 FEET; THENCE EAST 0.00 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 195.24 FEET, WITH A RADIUS OF 500.00 FEET, WITH A CHORD BEARING OF S67°19'56"E, WITH A CHORD LENGTH OF 194.00 FEET; THENCE EAST 0.00 FEET; THENCE S56°08'46"E 104.47 FEET; THENCE EAST 0.00 FEET; THENCE N33°51'14"E 368.02 FEET; THENCE EAST 0.00 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 96.68 FEET, WITH A RADIUS OF 600.00 FEET, WITH A CHORD BEARING OF N29°14'17"E, WITH A CHORD LENGTH OF 96.57 FEET; THENCE EAST 0.00 FEET; THENCE S65°22'41"E 108.16 FEET; THENCE EAST 0.00 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 260.90 FEET, WITH A RADIUS OF 600.00 FEET, WITH A CHORD BEARING OF S77°50'05"E, WITH A CHORD LENGTH OF 258.84 FEET; THENCE EAST 0.00 FEET; THENCE N89°42'30"E 586.66 FEET; THENCE EAST 0.00 FEET; THENCE S00°08'37"E 38.00 FEET; THENCE S00°05'43"E 786.54 FEET; THENCE EAST 1.10 FEET; THENCE S00°03'06"W 187.35 FEET; THENCE S89°43'24"W 1326.93 FEET; THENCE S00°02'07"E 15.73 FEET; THENCE S89°28'12"W 1153.16 FEET TO THE POINT OF BEGINNING.

HAVING AN AREA OF 3,783,607 SQUARE FEET, OR 86.860 ACRES, MORE OR LESS.

FOLSOM WAY ADDITIONAL IMPROVEMENT AREA BOUNDARY DESCRIPTION

BEGINNING AT A POINT EAST 2747.91 FEET AND NORTH 13.62 FEET FROM THE WEST QUARTER CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN; RUNNING THENCE NORTH 00°08'39" WEST 11.81 FEET; THENCE NORTH 89°28'12" EAST 20.68 FEET; THENCE NORTH 00°02'07" WEST 15.73 FEET; THENCE NORTH 89°43'24" EAST 691.90 FEET; THENCE SOUTH 00°14'14" EAST 2.12 FEET; THENCE SOUTH 89°45'46" WEST 179.01 FEET; THENCE SOUTH 00°14'14" EAST 26.00 FEET; THENCE SOUTH 89°45'46" WEST 533.64 FEET TO THE POINT OF BEGINNING.

HAVING AN AREA OF 14,886 SQUARE FEET, OR 0.342 ACRES, MORE OR LESS.

General Description

Parks at Cliff Lake is designed as a highly amenitized Mixed Residential community containing a wide range of housing types that are geared to meet the needs of the rapidly shifting demographics along Northern Utah County. The Project encompasses approx. 87.2 acres of land in the Mixed Residential zone which governs this Neighborhood Plan. At build-out, Cliff Lake will contain a maximum of 697 residential units with an average blended density of 7.99 dwelling units per acre (du/ac).

The term Senior in this document refers to the federal code, section 807(b)(2)(c) of the Fair Housing Act, meaning restricted for those age 55 and grater. The densest area of the community will be closest to Pioneer Crossing. Here there will be a 4-story 200-unit senior apartment. Saratoga Springs City is a great location for a senior apartment. Not only will it provide more affordable housing options for the aging population in Saratoga Springs, but it will also create a community where those living there will be able to have social activities and the security they need to thrive. Surrounding the Senior apartment will be different styles of townhomes, followed by single-family lots. There will also be another "senior" active adult community, on the southeast corner of the property hereafter to be known as Senior Attached, which are a for sale product wherein the attached patio homes may have optional bonus rooms. Of the 697 possible dwellings, almost 50% of those dwellings will be senior-restricted neighborhoods, meeting the federal code.

Parks at Cliff Lake is designed around a significant open space network. A great deal of thought was given to the scale and specific location of the parks within the community. Cliff Lake provides meaningful open spaces that are programmed to support the needs of future residents. These open spaces will be connected by walking trails to provide a safe walking area for all residents of the community of all ages.



Character and Theme

The Parks at Cliff Lake. Character and Theme of our Cliff Lake project is to resemble a community full of walkable neighborhoods with parks throughout for kids and families to play.

American Architecture style will be used for this community. American architecture encompasses a diverse range of styles and influences that have evolved over the centuries. Due to the country's history of immigration and cultural exchanges. American architecture has been shaped by various traditions, including European, Native American, and modernist influences. These styles include, Colonial, Federal, Victorian, Craftsman, Art Deco, Mid-Century Modern, Skyscrapers, and Contemporary. While we will not be using all of these styles we will be pulling parts from different ones for exterior looks and for interior floor plans. Some of the things being used are Symmetrical Facades, brick or stone work, varied rooflines, vibrant colors, low-pitched roofs, front porches, open floor plans, large windows, tall buildings and open space.

The Cliff Lake development opts to focus on a sense of community by encouraging a walkable community with attractive amenities that will be desirable and pleasing to the residents. The architectural elements selected are those we believe best represent the attitude of our desired community where it is mixed yet all together. Cliff Lake will conform to the standards set by Saratoga City as described in section 19.16 of the Architectural Design Standards, with the following modifications:

Each individual "Product" (i.e.- Senior Attached, Townhomes, Senior Apartment, Single Family Homes) will contain a minimum of 20% masonry (i.e.- stone, brick, or Hardie) on the frontage throughout that Product. Within each Product mix, the color pallets will include at least 3 different colors that alternate from building to building.

The masonry element and color pallets for the different Products will vary from one Product class to another, however, they will all fit into an overriding color pallet to tie them all together.

The single-family homes are the only exception to this color theme. While they will still conform to section 19.16 as pertaining to the quantities of different elements on specific areas of the house, there will be no defined color pallet requirements to follow as long as they incorporate at least one of the colors or masonry products used throughout the rest of the Cliff Lake Development. This is designed to tie the homes to the community, while allowing maximum flexibility for custom home choices.

Character and Theme Cont.

The character for the Park theme will come from multiple parks in nine different blocks. These simple shared parks will each have outdoor activities for families to use so they can grow a community feeling. The parks will have walkways that connect them to each other.

There will be an abundance of landscaping though out the community which will comply with Section 19.06 of the city code, with the exception of the evergreen requirement, as recent watering conditions have made it clear that the city irrigation water at times contains too high of salinity to provide healthy water to these styles of trees. This exemption shall be dependent upon City Council approval.

Designs will blend multiple styles of American architectural designs into a cohesive community that gives residents a feeling of owning a unique home that does not clash with their neighbors. There will be a generous mix of colors and building materials used to create a friendly upbeat environment.

Home styles will vary by product. Each will reflect different types of home styles that might be found near city parks, while also incorporating a variety of city styles. For example:

Senior Apartments: These will reflect more of a skyscraper city style, with flat roofs and parapets replacing traditional sloped roofs, and building heights that reach a higher maximum of 45 feet tall. This is a variation from code and is subject to city council approval.

Townhomes: These will reflect a blend of Craftsman and Traditional and other styles that are currently popular in cities here in Utah.

Senior Attached: These will reflect a Traditional style rambler, with some with bonus rooms. These are meant to draw appeal to an aging, but active lifestyle, where the residents are used to rambler style living, while also getting out, and being active in their parks and neighborhoods.

Single Family Homes: Since single family homes are very personal, and all styles may be found within city limits and near most city parks, these are not constrained to any single style, but are allowed to vary based on home-buyer desires.

While there are different styles of homes included in this neighborhood plan, all will be asked to comply with the following exterior treatments to bring the different styles into harmony with each other: (See section below)

Materials & Colors

EXTERIOR COLOR PALETTES CLIFF LAKE SINGLE FAMILY, TOWNHOMES, SENIOR APARTMENTS, SENIOR ATTACHED

- Materials and mixes are as specified in this Neighborhood plan per product mix. Color pallets will be chosen from the following palettes. The specific palette used for each product type (ie- townhome, single family, etc) will be varied from one community type to another, but still using elements from the following palettes, as they are all planned for working in unity with each other. These colors may be used for either stucco, hardiboard, or other exterior paint-grade applications.
- The stone shown, are the approved colors of stone by Creative Mines, however, the shape and size of the stone (ie. ledgerstone, fieldstone, etc) may be changed to add more flexible designs, brick options must be in the same color palate as stone.
- The approved stone, shown with the specific color palettes do not mean that these stone colors must go with these colors. They are just shown as examples here, and may be interchanged with others shown in these examples.
- Colors names and numbers are based on Sherwin Williams designations. Any brand of matching color may be used.
- All homes shall have a minimum of 20% brick, stone, or Hardie on primary facades (frontage).
- Building designs exemplify how guidelines might apply to the various homes in this subdivision, but are not to be construed as being the actual floorplans or colors used on those specific styles of homes. Final choices for which color palette to use on each home may be changed, as long as they conform with these approved color palettes.
- Below is a table of recognized color schemes. The colors can be applied to either fiber-cement board, or to stucco. They are meant as a source of matching an known and acceptable color combinations to the given stone choices. Multiple colors may be applied as needed for any given stone color.
- Examples of different color combinations (as described by the table) are shown below the table.

Table of recognized color schemes	Stone Colors:	Orchard Limestone: Graypearl	Peak Ledge: Graypearl	Peak Ledge: Timberwolf	Peak Ledge: Wild Flower	Orchard Limestone: Graypearl	Orchard Limestone: Timberwolf	Peak Ledge: Shadow Play
Paint Colors:								
Extra White SW7006		x	x	x	x	x	x	x
Functional Gray SW7024		x			x	x		
Naval SW6244		x			x	x		
Snowbound SW7004		x	x		x	x		x
Repose Gray SW7015		x				x		
Iron Ore SW7069		x			x	x		x
Dried Thyme SW6186		x						
Agreeable Gray SW7029			x	x				
Coastal Plain SW6192			x					
Rookwood Jade SW2812				x				
Worldy Gray SW7043			x	x		x	x	
Retreat SW6207			x			x	x	
Grays Harbor SW6236			x				x	
Alabaster SW7008				x		x	x	
Vogue Green SW0065				x				
Ripe Olive SW6209				x				
Blustery Sky				x				
Light French Gray SW0055					x			
Gray Matters SW7066								x
North Star SW6246								x
Tricorn Black SW6258								x
Silver Strand SW7057							x	

While this table addresses Stone and Paint/Stucco colors, the use of fiber-cement products using wood tones and/or brick which compliment the color schemes set forth, shall be accepted.

Materials & Colors Cont.

EXTERIOR COLOR PALETTES FOR CLIFF LAKE RESIDENTIAL HOMES, FOR ATTACHED AND DETACHED HOMES

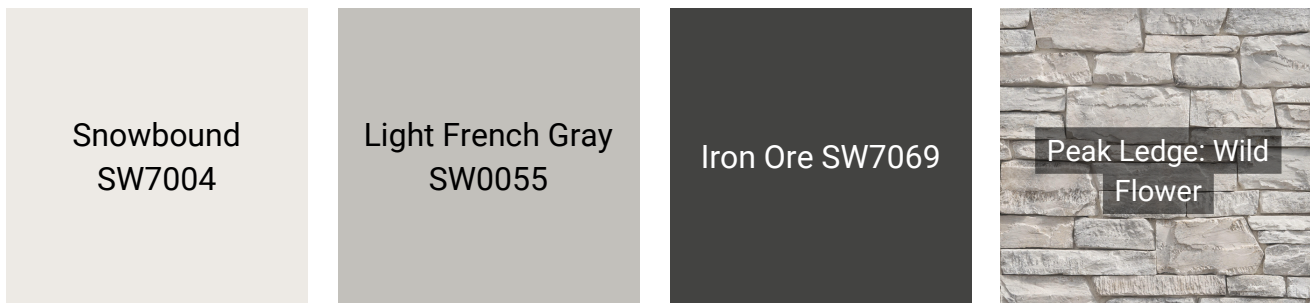
Example 1:



Example 2:



Example 3:



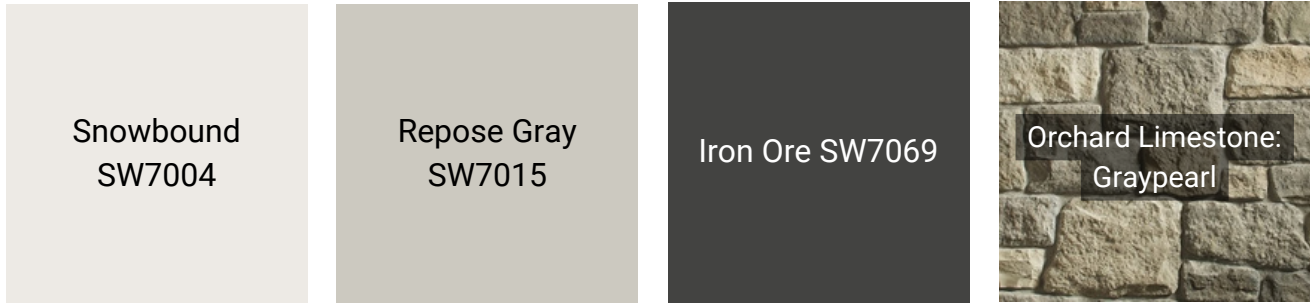
Example 4:



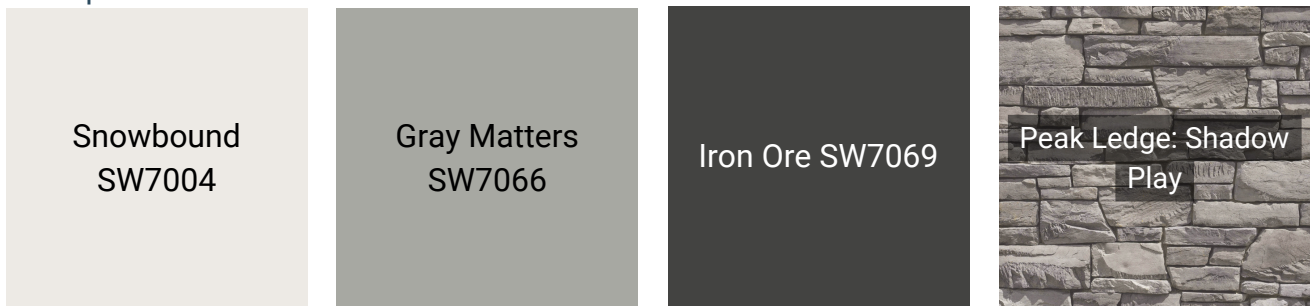
Materials & Colors Cont.

EXTERIOR COLOR PALETTES FOR CLIFF LAKE RESIDENTIAL HOMES, FOR ATTACHED AND DETACHED HOMES

Example 5:



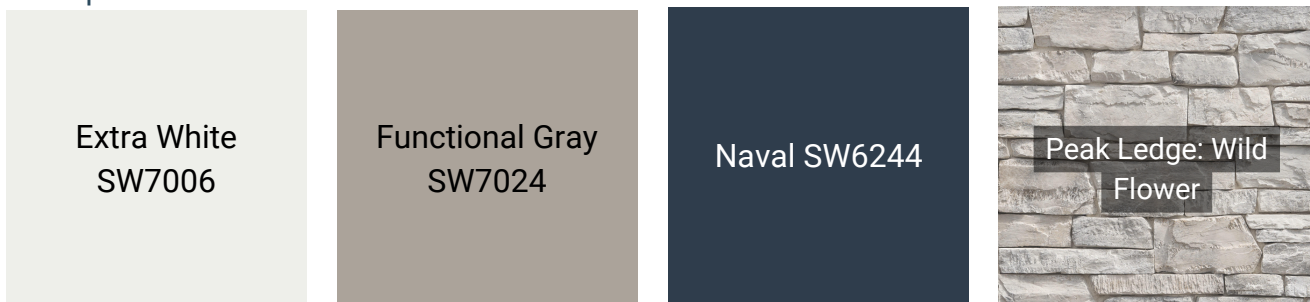
Example 6:



Example 7:



Example 8:



Materials & Colors Cont.

EXTERIOR COLOR PAlettes FOR CLIFF LAKE RESIDENTIAL HOMES, FOR ATTACHED AND DETACHED HOMES

Example 9:



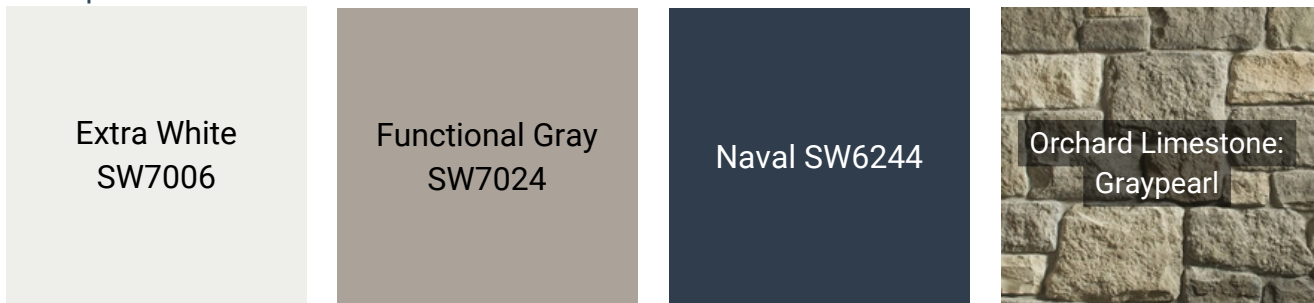
Example 10:



Example 11:



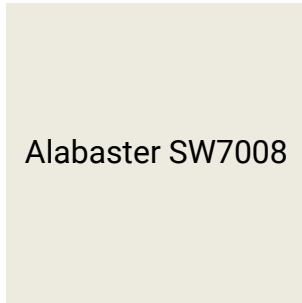
Example 12:



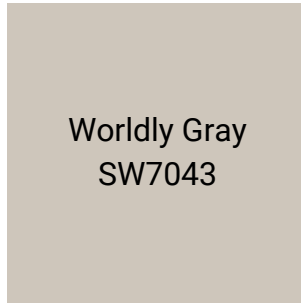
Materials & Colors Cont.

EXTERIOR COLOR PALETTES FOR CLIFF LAKE RESIDENTIAL HOMES, FOR ATTACHED AND DETACHED HOMES

Example 13:



Alabaster SW7008



Worldly Gray
SW7043

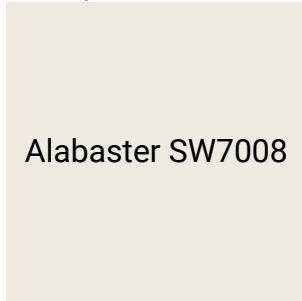


Retreat SW6207

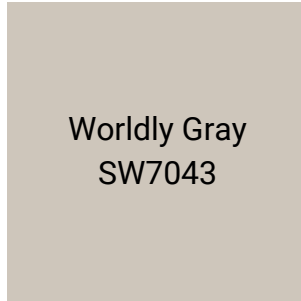


Orchard Limestone:
Graypearl

Example 14:



Alabaster SW7008



Worldly Gray
SW7043



Retreat SW6207



Orchard Limestone:
Timberwolf

Example 15:



Extra White
SW7006



Silver Strand
SW7057



Grays Harbor
SW6236

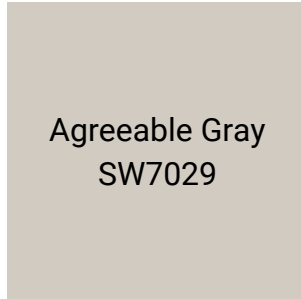


Orchard Limestone:
Timberwolf

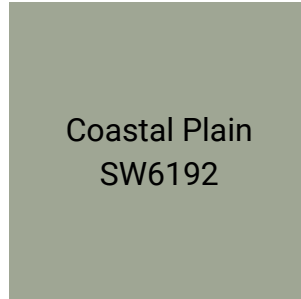
Example 16:



Extra White
SW7006



Agreeable Gray
SW7029



Coastal Plain
SW6192



Peak Ledge:
Graypearl

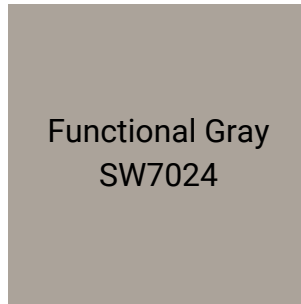
Materials & Colors Cont.

EXTERIOR COLOR PALETTES FOR CLIFF LAKE RESIDENTIAL HOMES, FOR ATTACHED AND DETACHED HOMES

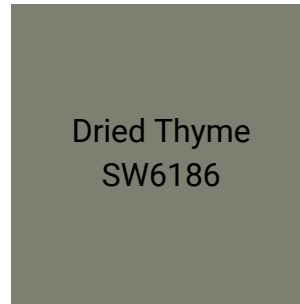
Example 17:



Extra White
SW7006



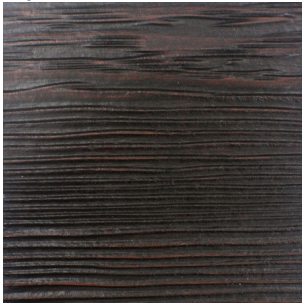
Functional Gray
SW7024



Dried Thyme
SW6186



Optional Materials:



May also add wood tones to fiber-cement products or brick such as, but not limited to the examples above.

Exterior Design Standards

SINGLE-FAMILY, SENIOR ATTACHED, AND TOWNHOMES

Single family and attached homes will follow city code 19.16.05 and 19.16.06 with the follow exceptions and clarifications:

MATERIALS:

- Wall materials may include stucco, stone, brick, siding (including board and batten, shakes, lap, made from any commercially available materials).
- 30 year architectural shingles required, though metal, shake, or composite roof elements are permitted as design elements. Membrane roofs are allowed on flat roofs.
- For homes with a single frontage view (interior to the block), the front materials must wrap a minimum of 2 ft around each side.
- For homes with two frontage views (corner lots), the front materials must wrap both sides completely, and extend a minimum of 2 ft around at least one of the non-frontage sides.
- Frontage façade areas must maintain a minimum of 20% stone, brick, or Hardie. The 20% minimum area is to be calculated by exposed wall surface that is not recessed under a covered patio. Brick, stone, or Hardie may be applied in any pattern, so long as the total product used is in accordance with the minimums stated.
- Besides the 20% minimum stone, brick, or Hardie on the frontage there will be no other material percentage restrictions.

MASSING:

- For single family homes- only ramblers and 2 stories are allowed.
- For townhomes- only 2 and 3 stories are allowed.
- Senior Attached- 4-plex- ramblers with option bonus rooms over the garage.
- Projecting bays, shed roofs, decks, sunrooms are allowed.

ROOFS:

- 30 year architectural shingles required on majority of the roof.
- Roof pitches allowed on single family, townhomes, and senior attached- 3:12 to 12:12 pitches.
- Gable and hip roofs facing the street are allowed.
- Main gables are allowed to be intersected by other roofs.
- Roof overhangs allowed are between 6 and 18 inches.
- Solar panels are only allowed on Single Family houses and not allowed on the front façade of the roof.

Guest Parking:

- Guest parking stalls do not have to be within 200' of the unit.

Exterior Design Standards

SINGLE FAMILY, SENIOR ATTACHED, AND TOWNHOMES

WINDOWS & DOORS:

- Individual or paired window treatments (i.e. exterior shutters) are allowed.
- Minimum 4 inch exterior stucco or Hardie trim on windows and doors are required when they are wrapped in stucco or Hardie.
- Side Lights in or next to doors are allowed.
- 2-car minimum garages are required, 3-car garages are allowed on Single family homes

PORCH/ENTRY:

- Porches may have exposed wood or metal elements.
- Railings may be square, round, wood, or metal.
- Porch columns shall be no smaller than 6"x6" when applied.
- Covered entrances are allowed.
- Corner lots may have wrap around porches if architectural plans allow for it.

DETAIL ELEMENTS:

- Each pod of townhomes shall use a different color combination to add variety from one pod to the next. No two pods of townhomes shall have the exact color combination as the pod next to it, though some colors or stones may individually be repeated to maintain a common design theme.
- Townhomes shall have at least 3 color palettes from the approved color palette list.
- Townhome color palettes may share the same brick or stone color.
- Senior Attached shall have at least 3 color palettes from the approved color palette list.
- Senior Attached color palettes may share the same brick or stone color.
- Single family home exteriors may be customized by the homebuyer as long as they have 1 element/color from the approved color palette list.
- For Single family homes, no two identical floorplans may be used adjacent to or across from each other.
- There are no restrictions as to where air conditioner units can be placed.

AMERICAN ARCHITECTURAL STYLE:

- Architectural designs must conform to or be a derivative of or combination of the styles listed on page 9 of this neighborhood plan.
- Unacceptable designs would include homes not typically found in cities or near city parks or non-permanent homes ex: Earthen homes, straw-bail homes, mobile homes.

Townhomes - Front Load



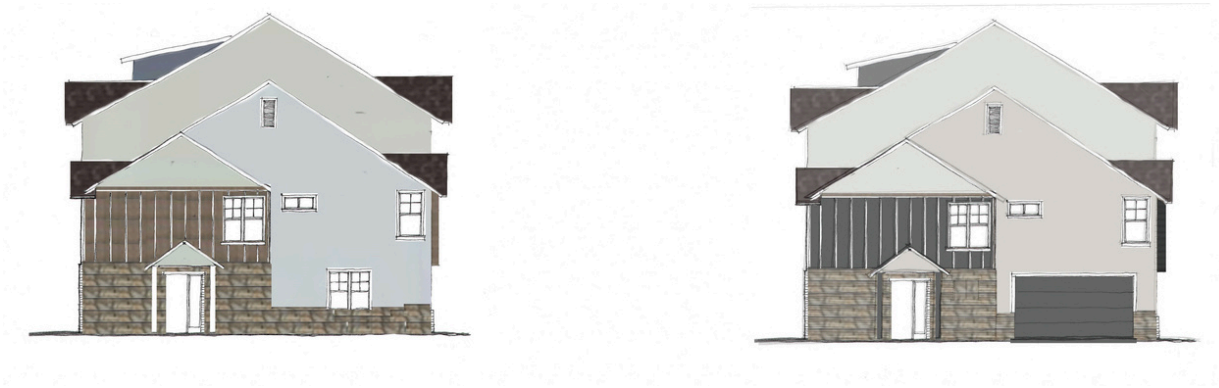
-Large townhome, front load, front elevation.*



-Large townhome, front load, rear elevation*

**Building examples exemplify how guidelines might apply to townhomes in this subdivision, but are not to be construed as being the actual floorplans used.*

Townhomes - Front Load (continued)



-Large townhome, front load, side elevation with alternate side showing side loading garage.*



-Large townhome, front load, side elevation*

**Building examples exemplify how guidelines might apply to townhomes in this subdivision, but are not to be construed as being the actual floorplans used.*

Townhomes - Rear Load



-Standard townhome rear load*



-Large townhome rear load, rear elevation*



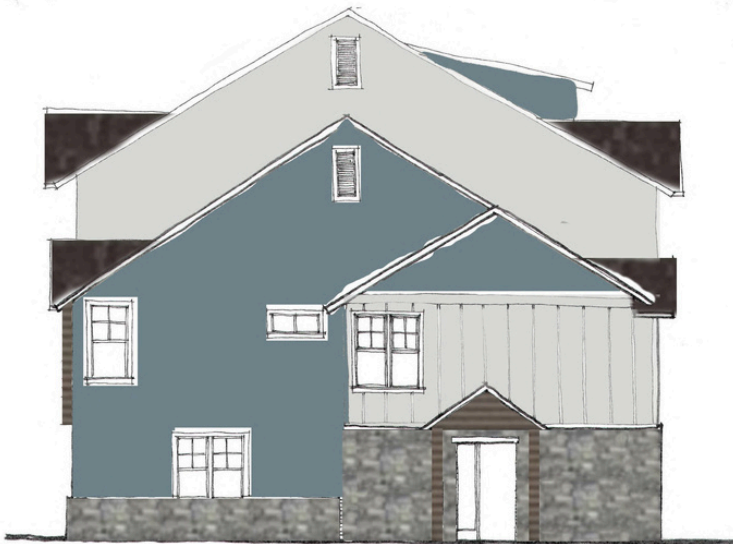
-Large townhome rear load, front elevation*

**Building designs exemplify how guidelines might apply to townhomes in this subdivision, but are not to be construed as being the actual floorplans used.*

Townhomes - Rear Load (continued)



-Large townhome rear load, side elevation*



-Large townhome rear load, side elevation*

*Building examples exemplify how guidelines might apply to townhomes in this subdivision, but are not to be construed as being the actual floorplans used.

Single Family



**Building designs exemplify how guidelines might apply to single family homes in this subdivision, but are not to be construed as being the actual floorplans used.*

Senior Attached



-Senior Attached side A elevation*



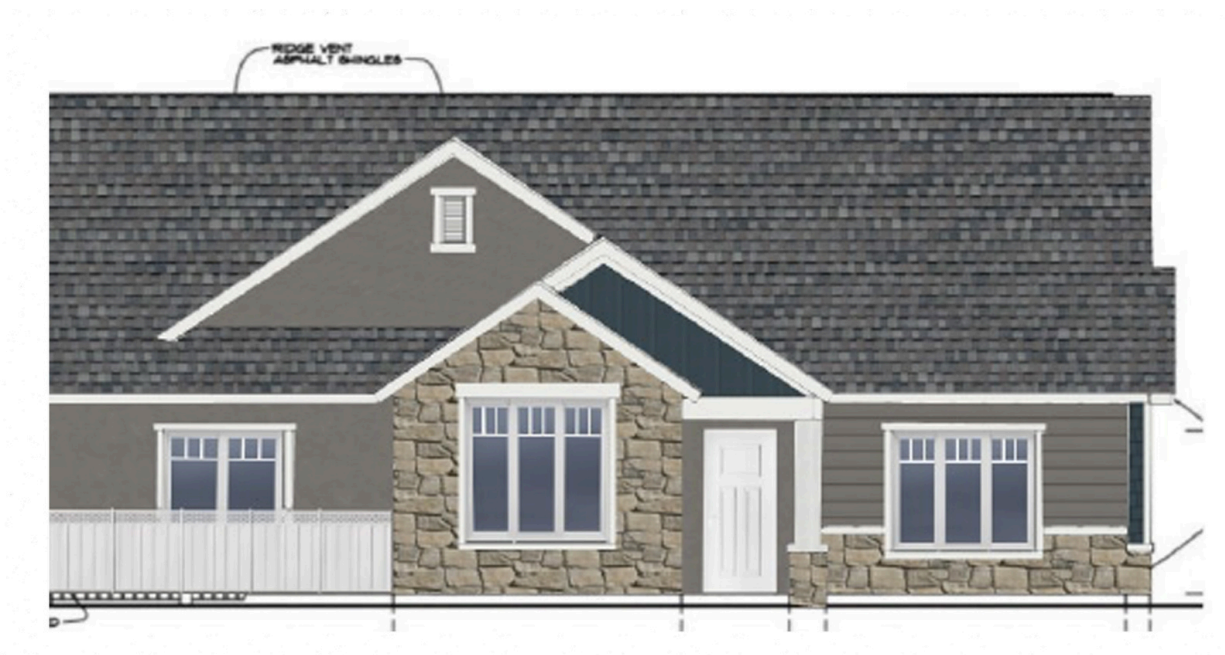
-Senior Attached side B elevation*

**Building designs exemplify how guidelines might apply to senior homes in this subdivision, but are not to be construed as being the actual floorplans or color palettes used.*

Senior Attached (continued)



-Senior Attached side C elevation*



-Senior Attached side D elevation*

**Building designs exemplify how guidelines might apply to senior homes in this subdivision, but are not to be construed as being the actual floorplans or color palettes used.*

Exterior Design Standards

SENIOR APARTMENTS ONLY

MATERIALS:

- Wall materials may include stucco, stone, brick, siding (including board and batten, shakes, lap, made from any commercially available materials)
- Flat Membrane roof to be used.
- Frontage façade areas must maintain a minimum of 20% stone, brick, or Hardie. The 20% minimum area is to be calculated by exposed wall surface that is not recessed under a covered patio. Brick or stone may be applied in any pattern, so long as the total product used is in accordance with the minimums stated.

MASSING:

- 4 stories with a maximum height of 45 feet which includes parapets.
- Protruding walls, decks, and parapets are required.
- Covered parking, not garages, will be provided for residents.
- Parking will be 1.25 stalls per 1 bedroom unit and 1.75 stalls per 2-bedroom unit.

ROOFS:

- Flat roofs for mounting air conditioners are necessary, with parapets to hide mechanical fixtures.
- Parapet overhangs may be between 0 and 36 inches

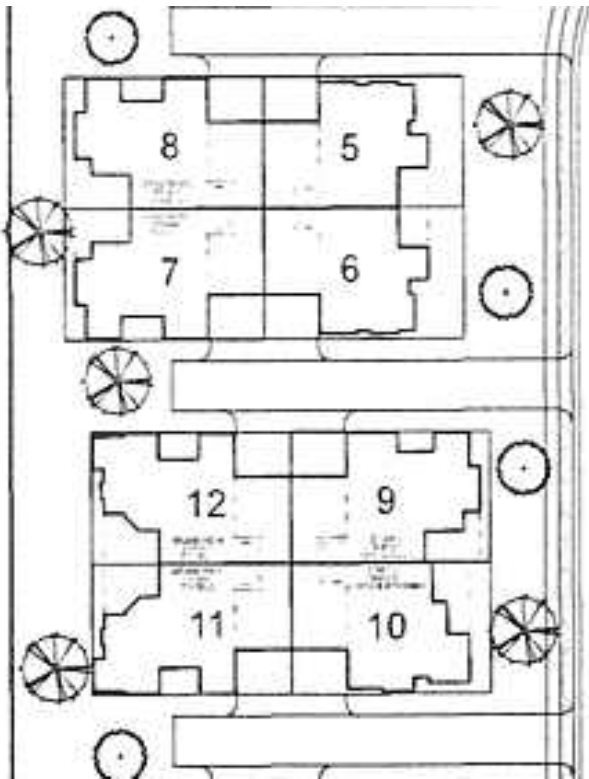
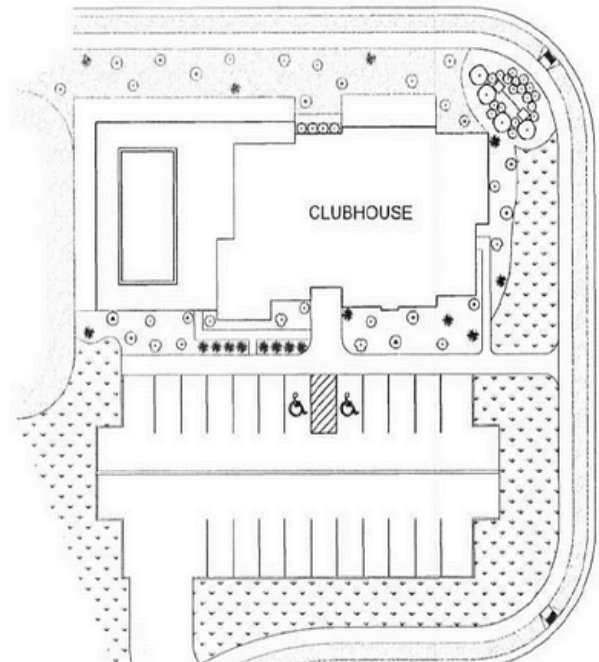
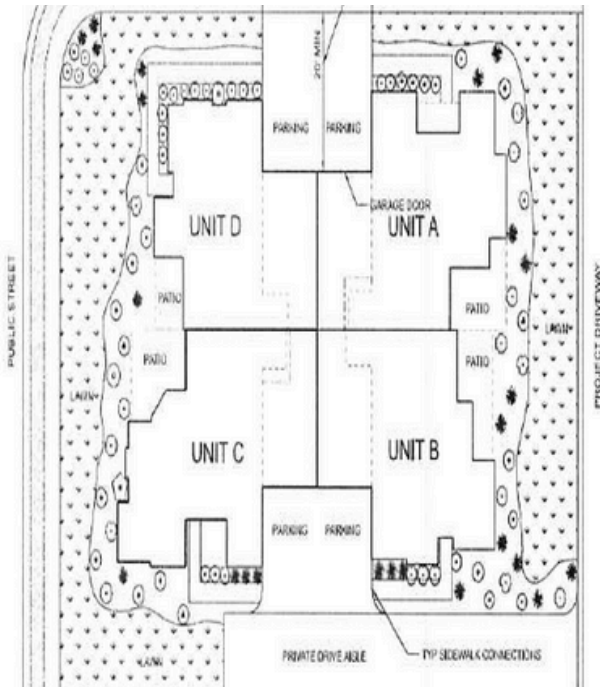
WINDOWS & DOORS:

- Sliding or standard doors with glass on patios are required.
- Commercial hardware included in public areas, residential hardware used within the individual residences.

PORCH/ENTRY:

- Decks may have exposed wood or metal elements.
- Railings may be square, round, wood, or metal

Typical Landscaping Senior Attached



Landscape designs exemplify how guidelines will apply to the senior attached in this subdivision, but are not to be construed as being the actual location of plant and trees.

Senior Apartments



Senior Apartment in Pleasant Grove we built what will be the model for this one.



Senior Apartment Example with approved colors front elevation

Building designs exemplify how guidelines might apply to the senior apartment in this subdivision, but are not to be construed as being the actual floorplans or color palettes used.

Senior Apartments (continued)



Senior Apartment Example with approved colors side elevation



Senior Apartment Example with approved colors side elevation

Building designs exemplify how guidelines might apply to the senior apartment in this subdivision, but are not to be construed as being the actual floorplans or color palettes used.



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LEHI, UTAH 84043

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REVISION			
NO.	DESCRIPTION	BY	DATE

CLIFF LAKE DEVELOPMENT
ARCHITECTURAL FACADE PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 FACADE PLAN.d
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:



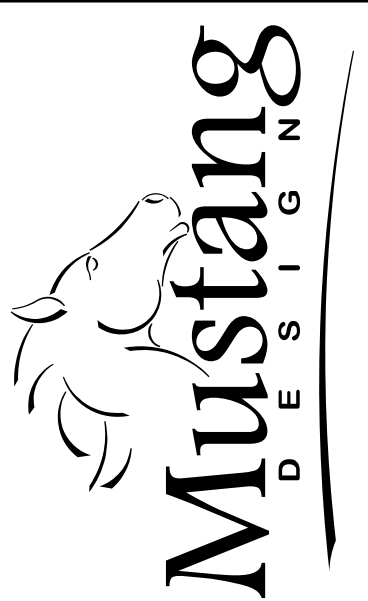
NOTES:

1. ALL AMENITIES ARE PRIVATE.
2. SEE AMENITY/OPEN SPACE CALCULATION SHEET FOR MORE INFORMATION

LEGEND

PARKS & AMENITIES
(11.73 ACRES)

OTHER SPACE
(22.43 ACRES)



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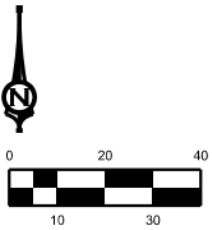
REVISION			
NO.	DESCRIPTION	BY	DATE

**CLIFF LAKE DEVELOPMENT
PARK & AMENITY PLAN**

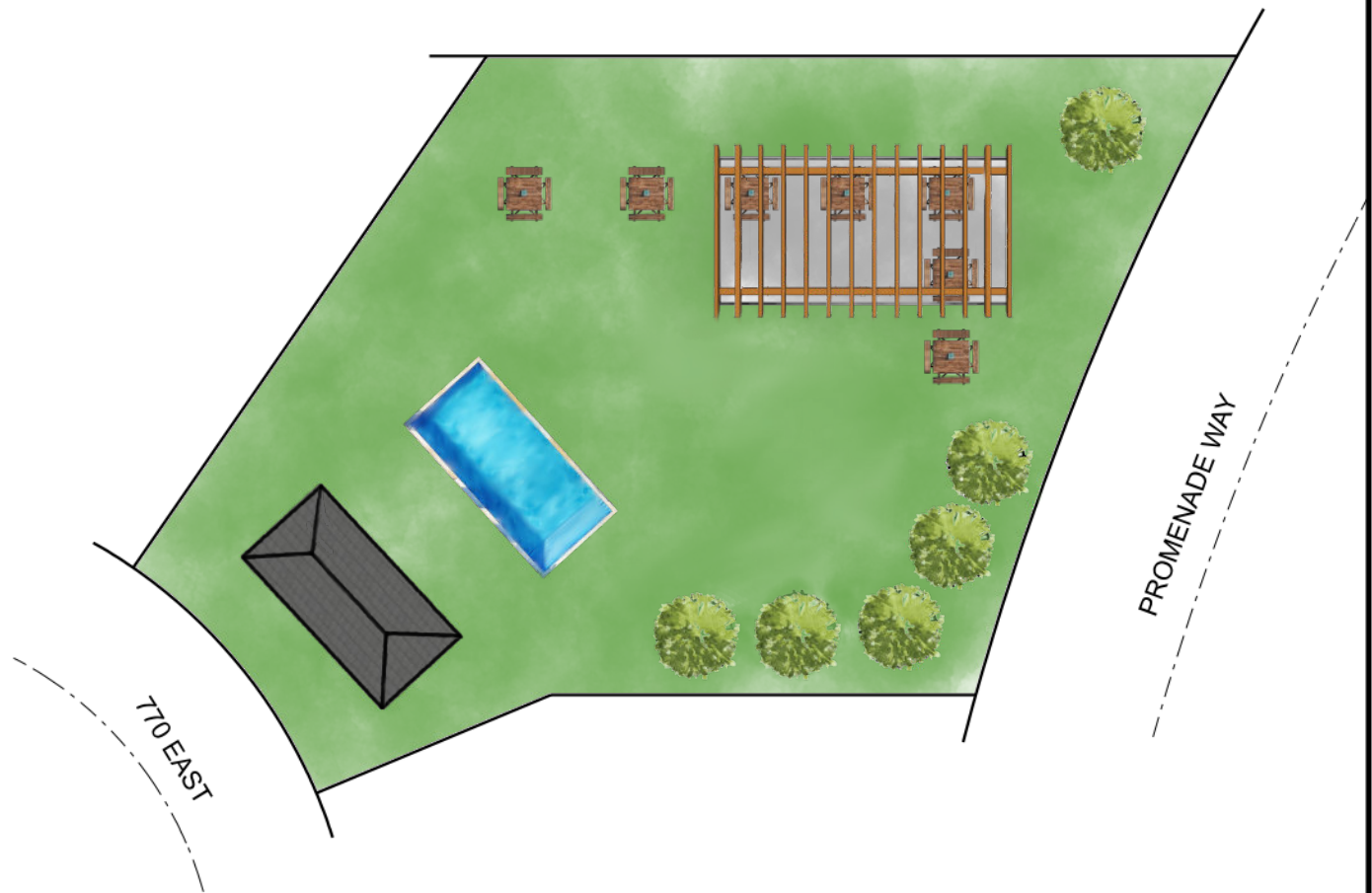
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 PARK PLAN.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

SHEET
OF
PARK
1

**AMENITY LIST:**

- SWIMMING POOL
- PICNIC TABLES
- PERGOLA
- PAVILION WITH SHOWERS & RESTROOMS



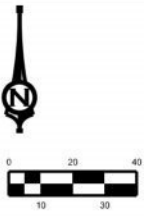
*THE GRAPHIC REPRESENTATION DISPLAYED IN THIS DRAWING IS INTENDED SOLELY TO DEPICT THE TYPE AND APPROXIMATE LOCATION OF PLANNED AMENITIES. THE APPEARANCE OF AMENITIES AND LANDSCAPING SHOWN IS SUBJECT TO POTENTIAL CHANGES.



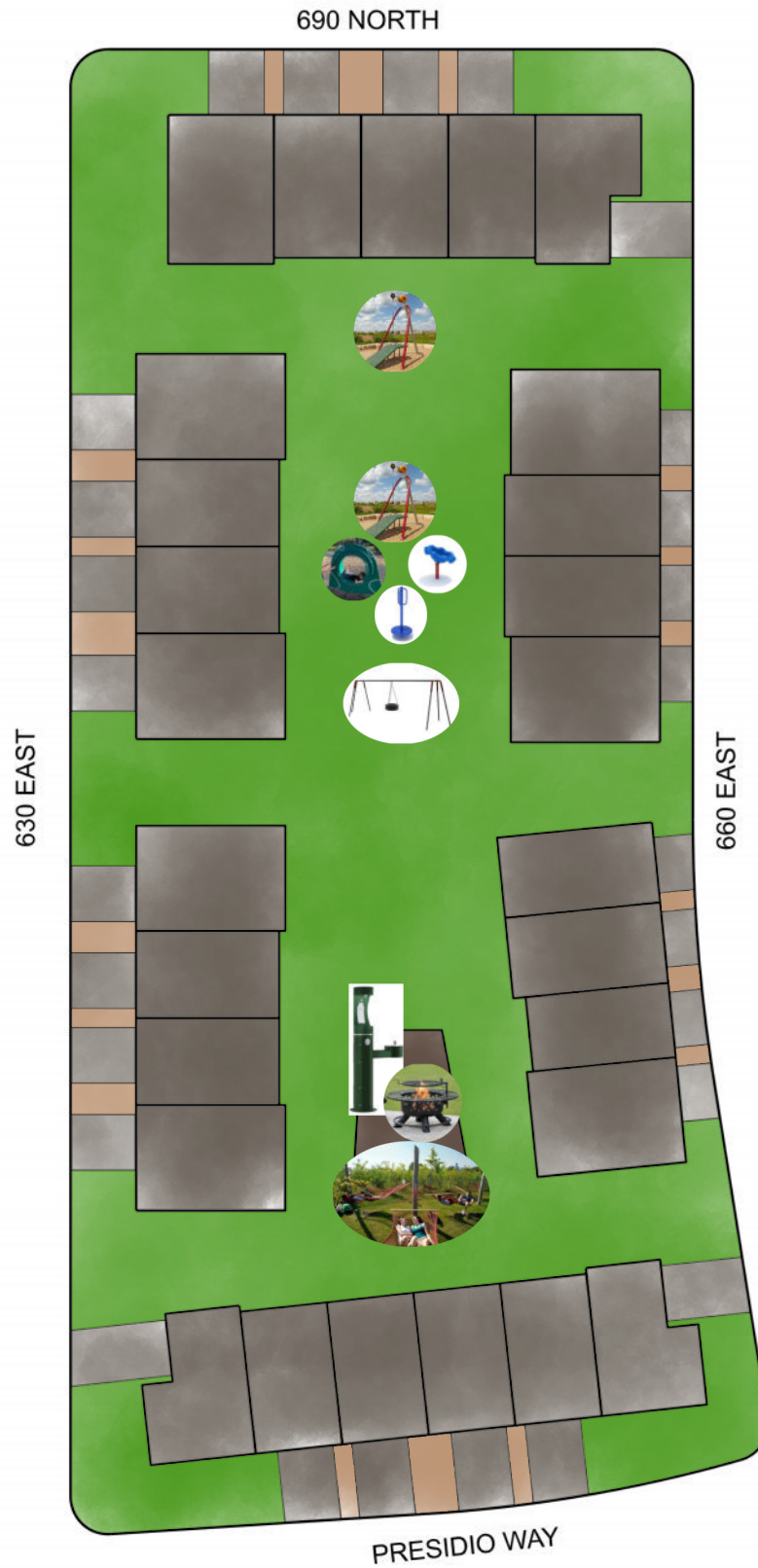
PARKS AT CLIFF LAKE AQUA PARK

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PROJ. #:	2020006
DRAWN BY:	
DESIGN BY:	
CHECKED BY:	
SCALE OF SHEET:	
SHEET	
OF	



- AMENITY LIST:**
- ZIPLINE
 - SIT AND SPIN
 - HAMSTER WHEEL
 - STAND ALONE SPINNER
 - SWING SET WITH TIRE SWING
 - HAMMOCKS
 - FIRE PIT
 - DRINKING FOUNTAIN



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PARKS AT CLIFF LAKE BALBOA PARK

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PROJ. # 2020005
DRAWN BY: _____
DESIGN BY: _____
CHECKED BY: _____
SCALE OF SHEET: _____
SHEET _____ OF _____



- AMENITY LIST:**
- TABLE TENNIS
 - DOG WASTE STATION
 - CHESS TABLES
 - MERRYGO CYCLE
 - SENSORY TUNNEL
 - TRAIN PLAYGROUND

730 EAST

770 EAST

480 NORTH

420 NORTH



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PARKS AT CLIFF LAKE CENTENNIAL PARK

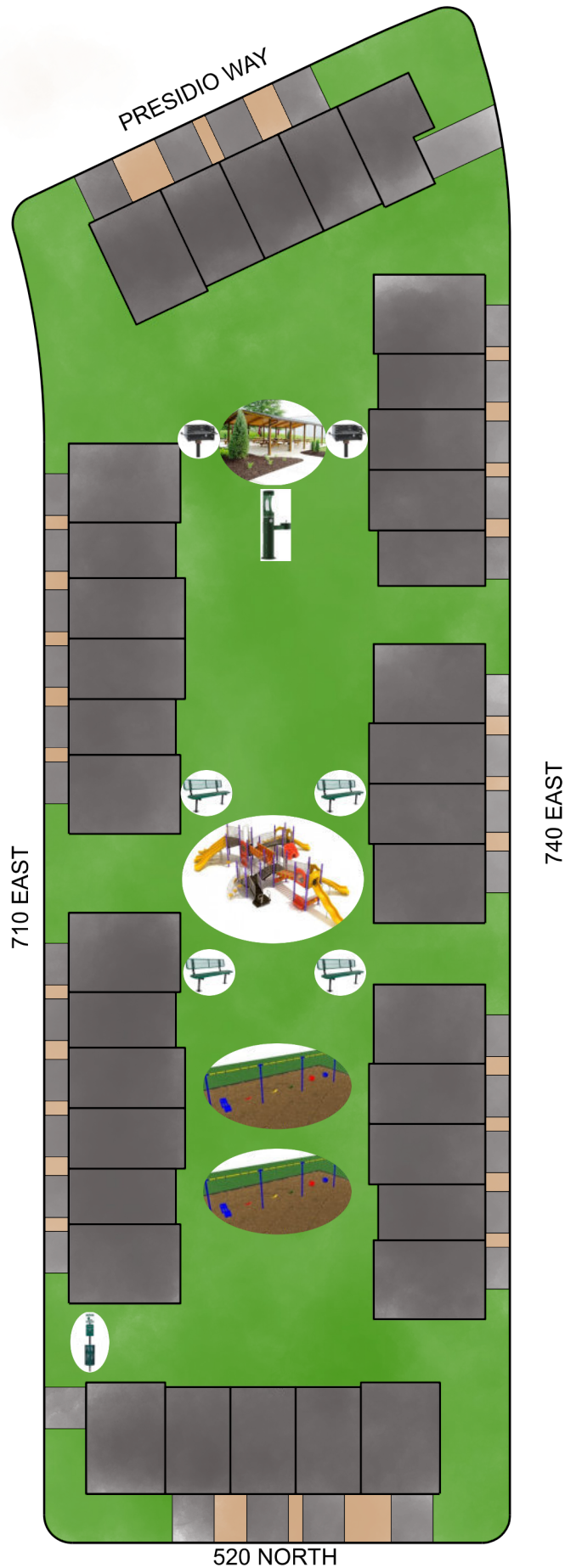
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PROJ. # 2020006
DRAWN BY:
DESIGN BY:
CHECKED BY:
SCALE OF SHEET: 1"=50'
SHEET



AMENITY LIST:

- BBQ GRILLS
- PAVILION
- PLAYGROUND
- BENCHES
- SWING SETS
- DRINKING FOUNTAIN
- DOG WASTE STATION



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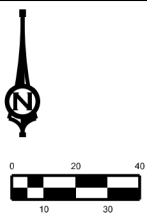
520 NORTH

**PARKS AT CLIFF LAKE
CENTRAL PARK**

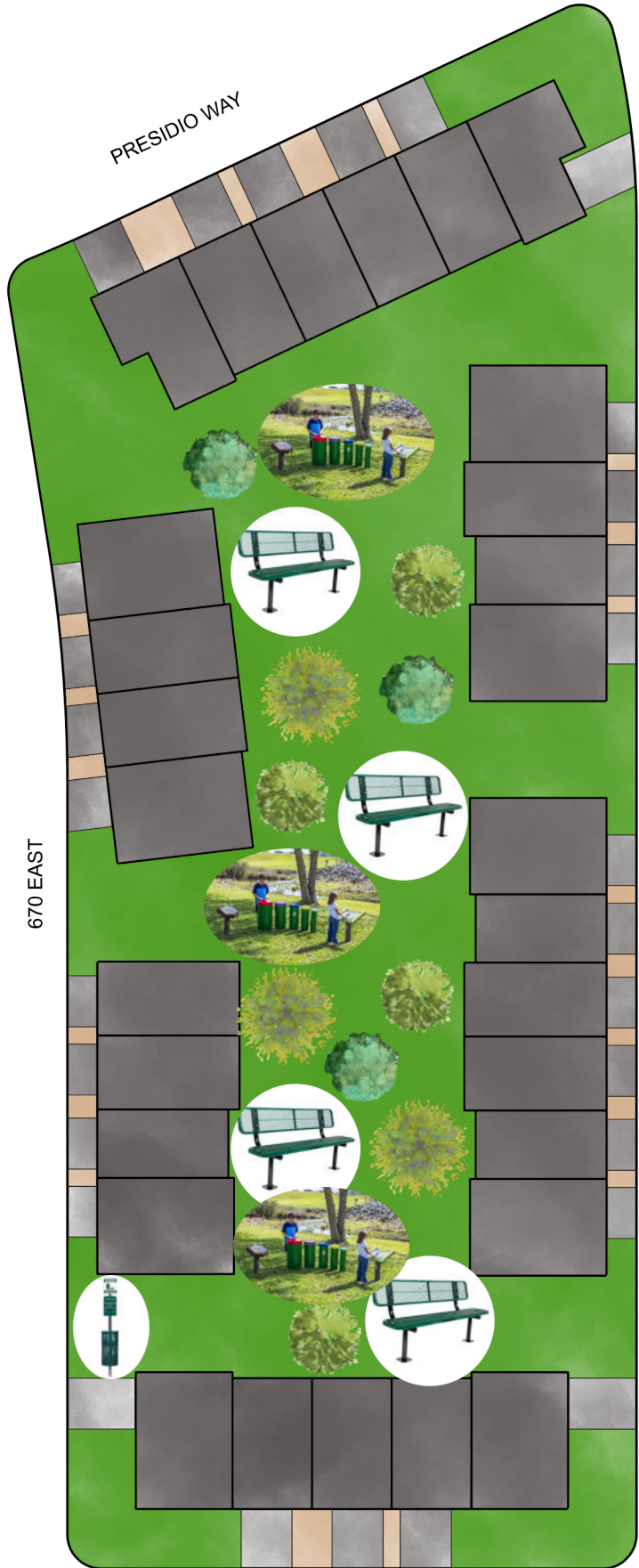


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- AMENITY LIST:**
- BOTANICAL GARDEN
 - MUSICAL INSTRUMENTS
 - BENCHES
 - DOG WASTE STATION



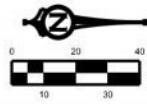
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**PARKS AT CLIFF LAKE
FOREST PARK**

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OF



PRESIDIO WAY

- AMENITY LIST:**
- SWIMMING POOL
 - HOT TUB
 - PRIVATE WALKING PATH
 - DOG PARK
 - BENCHES
 - DOG WASTE STATION



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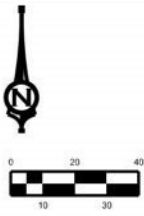
PARKS AT CLIFF LAKE
GOLDEN PARK



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CHECKED BY:
SCALE OF SHEET:
SHEET
OF



690 NORTH

AMENITY LIST:

- BURIED TIRE COURSE
- CONSTRUCTION THEMED PLAYSET
- BENCHES
- TIRE DOME
- CONCRETE PIPE TUNNELS
- DOZER SPRING TOYS
- DOG WASTE STATION



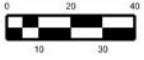
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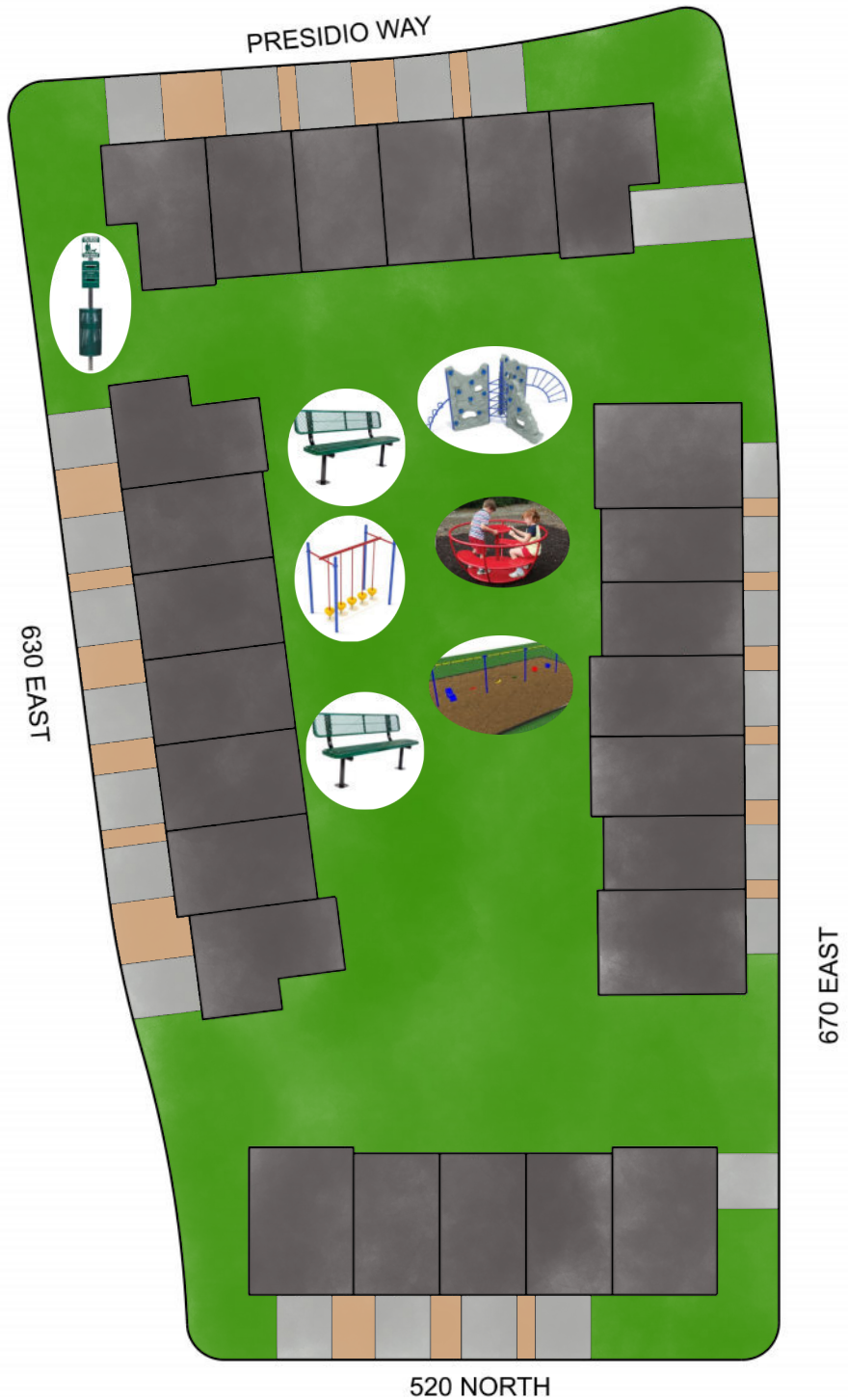
**PARKS AT CLIFF LAKE
GRIFFITH PARK**

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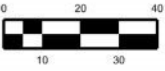
PROJ. # 2020005
DRAWN BY:
DESIGN BY:
CHECKED BY:
SCALE OF SHEET:
SHEET
OF

**AMENITY LIST:**

- SWINGSET
- BENCHES
- PEBBLE BRIDGE
- TEA CUP MERRY-GO-ROUND
- ROCK CLIMBING SET
- DOG WASTE STATION



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AMENITY LIST:

- GAS STATION PLAYSET
- SPRING BUS TOY
- SPRING CAR TOY
- TRAFFIC SIGNS
- DOG WASTE STATION



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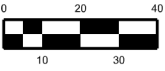


PARKS AT CLIFF LAKE PROMENADE PARK

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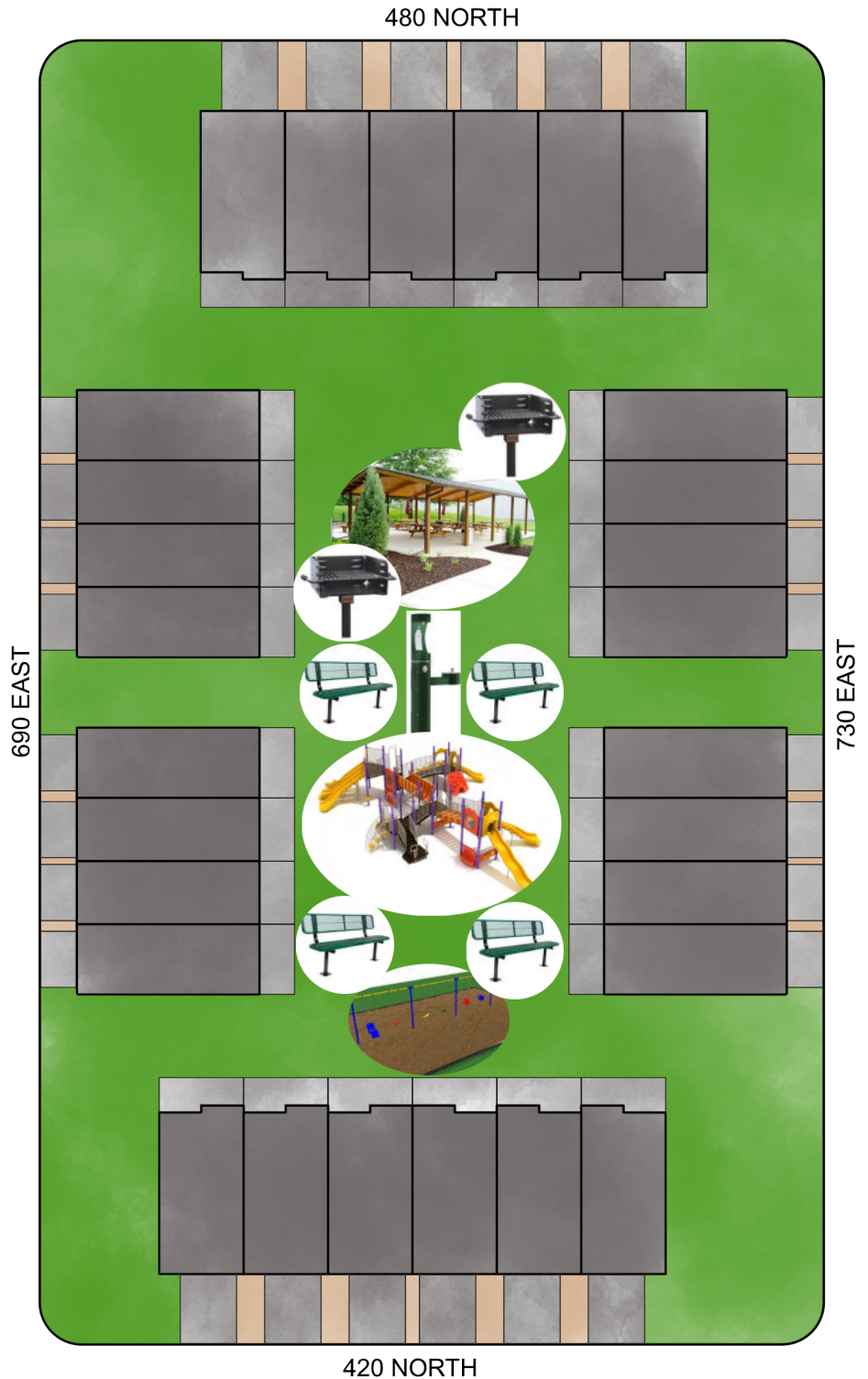
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DESIGN BY: _____
CHECKED BY: _____
SCALE OF SHEET: _____
SHEET _____
OF _____

LAST DATE
OF CHANGE: _____



AMENITY LIST:

- PAVILION
- BBQ GRILLS
- BENCHES
- PLAYGROUND
- SWINGSET
- DRINKING FOUNTAIN



*THE GRAPHIC REPRESENTATION DISPLAYED IN THIS DRAWING IS INTENDED SOLELY TO DEPICT THE TYPE AND APPROXIMATE LOCATION OF PLANNED AMENITIES. THE APPEARANCE OF AMENITIES AND LANDSCAPING SHOWN IS SUBJECT TO POTENTIAL CHANGES.



**PARKS AT CLIFF LAKE
REGENTS PARK**

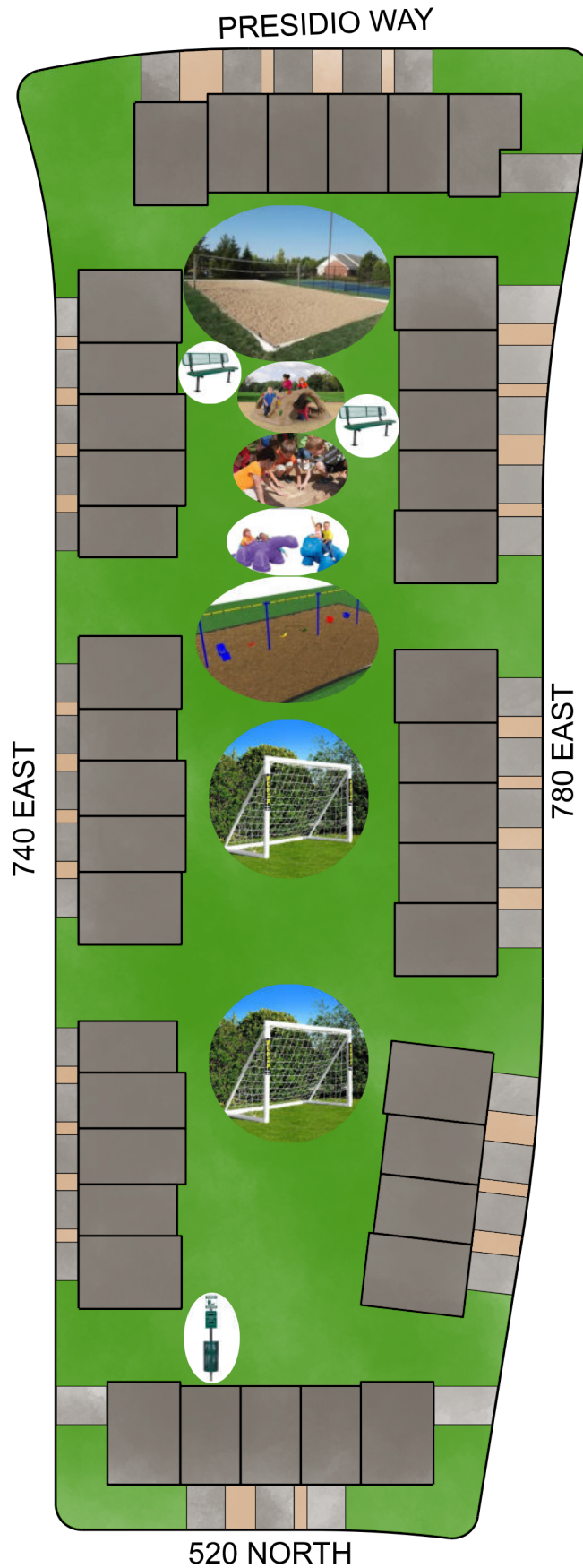
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OF



AMENITY LIST:

- BEACH VOLLEYBALL
- SWINGSET
- FOSSIL TUNNEL
- BENCHES
- DINO FOSSIL DIG
- DINO DUO PLAYSET
- SOCCER NETS
- DOG WASTE STATION



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**PARKS AT CLIFF LAKE
SAND COVE PARK**



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OF

Playground Equipment

These examples are not the exact equipment being installed but are examples of what we will be looking for when we build the parks.



Playground Equipment (continued)

These examples are not the exact equipment being installed but are examples of what we will be looking for when we build the parks.



Clubhouse Amenities

These examples are not the exact equipment being installed but are examples of what we will be putting in the clubhouses. (i.e. pool, exercise room, theater, pool table, library)



Open Space Calculations for the Parks at Cliff Lake

EQUIVALENT ACRE FORMULA	
Category of Open Space Provided:	Multiplier:
Unimproved, not Sensitive Lands	0.15
Open Space with no access	0.15
Sensitive Lands - limited access	0.33
Improvement of existing City owned open space	0.67
Detention basin - limited access	0.67
Detention basin - no access	0 - no credit
Partially Improved	0.75
Fully improved with limited access	0.75
Fully Improved with full access	1

1. Number of Total Units in Development	Equivalent Acres Required
697	17.43
Minimum # Amenity Points Required	
A or B, 3 from P, and 1 Restroom Also Required	697

Park Size	Min Points Per Required Equivalent Acre:
0 - 2.49 Equivalent Acres	100
2.5 - 4.99 Equivalent Acres	80
5 - 9.99 Equivalent Acres	60
10+ Equivalent Acres	40

Development Type	2. Development Acreage by Type
Single Family	16.75
Multi Family	70.45
Minimum Actual OS Acreage	12.24

Minimum Open Space Percentage	
Single Family	10%
Multi-Family	15%
Single and Multi Family	Sum of % for acreage of each type

Checks & Balances	
Form Completely Filled Out?	Complete
Equivalent Acres Sufficient?	Sufficient EA
Minimum Actual OS Acreage Sufficient?	Sufficient
Minimum # Amenity Points Provided?	Sufficient Points
1 Item from Categories C, D, and E?	Categories C, D, and E Provided
A or B, 3 from P, and 1 Restroom Also Required	A or B, 3 from P, and Restroom Provided
Any Item Exceed 25.0% Required Points?	No item exceeds 25%
Maximum Limit Sensitive, No access, Unimproved Met?	Complies with limits

EQUIVALENT ACRES (EA) CALCULATOR		
Category of Open Space Provided:	3. Actual Acres Provided:	EA Provided:
Unimproved, not Sensitive Lands	0	0.00
Open Space with no access	0	0.00
Sensitive Lands - limited access	0.93	0.31
Improvement of existing City owned open space	0	0.00
Detention basin - limited access	2.48	1.66
Detention basin - no access	0	0.00
Partially Improved	0.76	0.57
Fully improved with limited access	2.09	1.57
Fully Improved with full access	17.34	17.34
Total	23.60	21.45

4. Amenities Provided	5. Number Of items	Points Earned
Swimming Pool, 2 lane equivalent	2.4	360
Pavilion - (medium, 30'x24')	3	70.2
Drinking fountain (freeze resistant w/pet bowl & bottle)	3	18
BBQ Grill	5	1.5
Bench	21	8.4
Volleyball pit	1	1.3
Playground Structure (1-platform)	2	50
Restroom 3+ Toilets	3	246
Play or skate feature - eg rock wall or kicker, large	22	550
Swingset	5	62.5
Table (6' aluminum)	13	10.4
Trail, hard surface, per 1000 linear feet	1.2	49.56
Trash Receptacle (32 gal)	11	6.6
Play field - half size	1	28
Parking - 1 space (hard surface with drive aisle)	60	24
		0
		0
		0
		0
		0
		0
		0
		0
		0
		0
		0
Clubhouses = Senior 4,000SF + Appts 7,000SF	11,000	5.5
Total Points		1491.96

AMENITIES LIST SORTED ALPHABETICALLY			
Item	Min sq.ft per item	Category	Points per Item
Additional Equivalent Acre Above Requirement	See Tables	B	40
Amphitheater (100 person seating area)	1000	A	125
Amphitheater (structure)	2500	A	375
Art - 1 statue, sculpture, or other single piece	50	E	1
Baseball Diamond - Little League© size	56000	A	216
Basketball 1/2 court	2350	D	16.5
BBQ Grill	25	E	0.3
Bench	50	E	0.4
Bike Rack, 4-bike capacity	30	E	0.3
Bleachers - per section	450	E	2.8
Drinking fountain (freeze resistant w/pet bowl & bottle filler)	9	D	6
Horseshoes or similar	250	E	3
Ice rink - indoor facility	n/a	A	1750
Ice rink - outdoor facility	10000	A	250
Marina - public access (ramp to accommodate 4 boats min.)	n/a	A	500
Parking - 1 space (hard surface with drive aisle)	320	P	0.4
Parking - 1 space (soft surface with drive aisle)	320	P	0.1
Pavilion - (medium, 30'x24')	720	C	23.4
Pavilion - extra large (30'x40')	1200	C	39
Pavilion - large (30'x32')	960	C	31.2
Pavilion (small, 30'x16')	400	D	15.6
Personal Watercraft Dock	2000	D	12.5
Pickleball Court	3000	D	22.5
Play Field - full size (soccer, football, etc.)	56000	B	56
Play field - half size	28000	C	28
Play or skate feature - eg rock wall or kicker, large	200	C	25
Playground Structure (1-platform)	250	C	25
Restroom 1-2 Toilets	200	B	41
Restroom 3+ Toilets	400	B	82
Skate Park - one pit	10000	A	200
Splash Pad (25 people)	2250	B	90
Swimming Pool, 2 lane equivalent	3000	A	150
Swingset	100	D	12.5
Table (6' aluminum)	75	E	0.8
Tennis Court (post tension concrete with fencing)	7200	B	50.4
Tetherball or similar	250	E	0.6
Trail, hard surface, per 1000 linear feet	10000	B	41.3
Trail, soft surface, per 1000 linear feet	5000	D	8.3
Trash Receptacle (32 gal)	25	E	0.6
Volleyball pit	1800	E	1.3
Workout station	100	E	0.5
Zipline - per 75' linear rideable line	n/a	D	17.5

AMENITIES LIST SORTED BY CATEGORY			
Item	Min sq.ft per item	Category	Points per Item
Amphitheater (100 person seating area)	1000	A	125
Amphitheater (structure)	2500	A	375
Baseball Diamond - Little League© size	56000	A	216
Ice rink - indoor facility	n/a	A	1750
Ice rink - outdoor facility	10000	A	250
Marina - public access (ramp to accommodate 4 boats min.)	n/a	A	500
Skate Park - one pit	10000	A	200
Swimming Pool, 2 lane equivalent	3000	A	150
Additional Equivalent Acre Above Requirement	See Tables	B	40
Play Field - full size (soccer, football, etc.)	56000	B	56
Restroom 1-2 Toilets	200	B	41
Restroom 3+ Toilets	400	B	82
Splash Pad (25 people)	2250	B	90
Tennis Court (post tension concrete with fencing)	7200	B	50.4
Trail, hard surface, per 1000 linear feet	10000	B	41.3
Pavilion - (medium, 30'x24')	720	C	23.4
Pavilion - extra large (30'x40')	1200	C	39
Pavilion - large (30'x32')	960	C	31.2
Play field - half size	28000	C	28
Play or skate feature - eg rock wall or kicker, large	200	C	25
Playground Structure (1-platform)	250	C	25
Basketball 1/2 court	2350	D	16.5
Drinking fountain (freeze resistant w/pet bowl & bottle filler)	9	D	6
Pavilion (small, 30'x16')	400	D	15.6
Personal Watercraft Dock	2000	D	12.5
Pickleball Court	3000	D	22.5
Swingset	100	D	12.5
Trail, soft surface, per 1000 linear feet	5000	D	8.3
Zipline - per 75' linear rideable line	n/a	D	17.5
Art - 1 statue, sculpture, or other single piece	50	E	1
BBQ Grill	25	E	0.3
Bench	50	E	0.4
Bike Rack, 4-bike capacity	30	E	0.3
Bleachers - per section	450	E	2.8
Horseshoes or similar	250	E	3
Table (6' aluminum)	75	E	0.8
Tetherball or similar	250	E	0.6
Trash Receptacle (32 gal)	25	E	0.6
Volleyball pit	1800	E	1.3
Workout station	100	E	0.5
Parking - 1 space (hard surface with drive aisle)	320	P	0.4
Parking - 1 space (soft surface with drive aisle)	320	P	0.1



LEGEND

SENSITIVE LANDS - LIMITED ACCESS (0.93 AC)
DETENTION BASIN - LIMITED ACCESS (2.48 AC)
FULLY IMPROVED - LIMITED ACCESS (2.09 AC)
FULLY IMPROVED - FULL ACCESS (17.34 AC)
PARTIALLY IMPROVED - FULL ACCESS (0.76 AC)



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REVISION

[illegible]

CLIFF LAKE DEVELOPMENT
OPEN SPACE CALCULATION EXHIBIT

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 OPEN SPACE EX
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MIJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:
SHEET

OSX

OF 1



PLANNED PLANT LIST
SELECTED TREE MATERIALS SCHEDULE

Botanical Name	Common Name	Size
STREET TREES		
Cercis canadensis	Eastern Redbud	2" Cal.
Malus spp.	Crabapple	2" Cal.
Prunus virginiana	Chokeberry	2" Cal.
Ulmus parvifolia	Lacebark Elm	2" Cal.
Tilia cordata	Little Leaf Linden	2" Cal.
Zelkova serrata	Japanese Zelkova	2" Cal.
Gleditsia triacanthos	Honeylocust	2" Cal.
Platanus x acerifolia	London Planetree	2" Cal.
Crataegus crus-galli	Hawthorn	2" Cal.
Acer platanoides	Parkway Maple	2" Cal.
LARGE DECIDUOUS TREES		
Platanus x acerifolia	London Planetree	2" Cal.
Gleditsia triacanthos	Honeylocust	2" Cal.
Tilia cordata	Little Leaf Linden	2" Cal.
Zelkova serrata	Japanese Zelkova	2" Cal.
Acer platanoides	Norway Maple	2" Cal.
Acer freemanii	Autumn Blaze Maple	2" Cal.

MEDIUM DECIDUOUS TREES		
Crataegus crus-galli	Hawthorn	2" Cal.
Ulmus parvifolia	Lacebark Elm	2" Cal.
Prunus virginiana	Chokeberry	2" Cal.
Cercis canadensis	Eastern Redbud	2" Cal.
Acer ginnala	Amur Maple	2" Cal.

ORNAMENTAL DECIDUOUS TREES		
Malus spp.	Crabapple	2" Cal.
Crataegus crus-galli	Hawthorn	2" Cal.
Betula nigra	River Birch	2" Cal.
Acer palmatum	Japanese Maple	2" Cal.
Carpinus	Hornbeam	2" Cal.
Quercus shumardorum	Crimson Spire Oak	2" Cal.
Fagus sylvatica	Dawyc Purple Beach	2" Cal.

EVERGREEN TREES		
Picea pungens	Weeping Colorado Spruce	7"+
Pinus flexilis glauca 'Vanderwolf's Py'	Vanderwolf's Pine	7"+
Pinus nigra	Austrian Pine	7"+
Cedrus atlantica	Blue Atlas Cedar	7"+
Picea mariana fastigiata 'Wellsprir'	Wellsprir Black Spruce	7"+
Chamaecyparis nootkatensis 'Glaucia Pendula'	Blue Weeping Alaska Cedar	7"+
Picea abies 'Pendula'	Weeping Norway Spruce	7"+
Thuja occidentalis 'Emerald'	Emerald Arborvitae	7"+
Juniperus scopulorum 'Whitchita Blue'	Whitchita Blue Spruce	7"+
Picea pungens glauca fastigiata 'Blue Totem'	Blue Totem Spruce	7"+
Picea glauca 'Pendula'	Weeping White Spruce	7"+
Pinus contorta	Lodgepole Pine	7"+
Pinus sylvestris 'Fastigiata'	Columnar Scotch Pine	7"+
Sequoiadendron 'Pendulum'	Weeping Sequoia	7"+
Chamaecyparis nootkatensis 'Pendula'	Weeping Alaskan Cedar	7"+
Pinus heldreichii	Bosnian Pine	7"+
Pinus ponderosa	Ponderosa Pine	7"+

SELECTED PLANT MATERIALS SCHEDULE

Botanical Name	Common Name	Size
DECIDUOUS SHRUBS		
Berberis thunbergii	Barberry	2 Gal.
Cornus alba	Dogwood	5 Gal.
Cotoneaster lucidus	Peking Cotoneaster	5 Gal.
Cytisus x lilac 'Time'	Lilac Time Broom	2 Gal.
Eucynthus alata 'Compacta'	Dwarf Burning Bush	5 Gal.
Hibiscus syriacus	Rose of Sharon	5 Gal.
Lonicera x 'Emerald Mound'	Emerald Mound Honeysuckle	1 Gal.
Potentilla fruticosa 'Klondike'	Shrubby Cinquefoil	3 Gal.
Prunus x cistena	Cistena Plum	5 Gal.
Rosa meiland	Mediland Roses	5 Gal.
Hysocarpus opulifolius	Summer Wine Ninebark	2 Gal.
Spiraea japonica	Spiraea	2 Gal.
Viburnum trilobum	Bailey Compact Viburnum	2 Gal.

EVERGREEN AND BROADLEAF SHRUBS		
Euonymus fortunei	Trailing Euonymus	1 Gal.
Juniperus horizontalis	Horizontal Junipers	3 Gal.
Juniperus sabina	Sabina Junipers	3 Gal.
Juniperus mugo mugo 'Pumilio'	Dwarf Mugo Pine	3 Gal.
Taxus cuspidata 'Densaformis'	Dense Japanese Yew	3 Gal.
Thuja	Arborvitae	3 Gal.

ORNAMENTAL GRASSES AND PERENNIALS		
Bergenia cordifolia	Rose Saxifraga	1 Gal.
Calamagrostis x acutifolia	Feather Grass	1 Gal.
Hemerocallis	Daylily	1 Gal.
Miscanthus sinensis	Maiden Grass	1 Gal.
Calamagrostis acutiflora	Carl Foerster Fountain Grass	1 Gal.
Penisetum alopecuroides	Little Bunny Fountain Grass	1 Gal.

LAWN - LOWER WATER USAGE		
Draylar Upland Bluegrass	- 30 %	
Cover Sheep Fescue	- 30 %	
CrystalHard Fescue	- 30%	
AnnualRye Grass	- 10%	

LEGEND

HOA PARK LANDSCAPING
(GRASS, TREES, ETC.)

HOA LANDSCAPING
(ROCK, MUCH, SHRUBS,
GRASS, TREES, ETC)
(CHAPTER 19.06.06)

NOTE:
1. ALL HOA PARKS AND LANDSCAPING TO BE OWNED AND MAINTAINED BY HOA

HOA LANDSCAPE CALCS		
Landscape Area (SF)	Minimum Trees	Minimum Shrubs
699,824	479	258

NOTES:
1. LANDSCAPE DESIGNATIONS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE.
2. SINGLE FAMILY LOTS WILL BE RESPONSIBLE FOR THEIR OWN LANDSCAPING. (19.06.08)
3. TOWNHOMES WITH PRIVATE REAR YARDS WILL BE RESPONSIBLE FOR THAT PORTION OF LANDSCAPING (19.06.08)
4. DETAILED LANDSCAPE PLANS WILL BE SUBMITTED WITH EACH PLAT (PLANS TO COMPLY WITH SS 19.06)
5. HOA WILL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE WITHIN COMMON AREAS.
6. DUE TO SOIL CONDITIONS, NO SPECIFIC PERCENTAGE OR RATIO OF DECIDUOUS TO EVERGREEN TREES WILL BE HELD. EACH TYPE WILL BE PLANTED ACCORDING TO WHAT SOIL CONDITIONS WILL ALLOW (SEE EXEMPTIONS, PAGE 73).

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CLIFF LAKE DEVELOPMENT
LANDSCAPE PLAN

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 LANDSCAPE PL
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:
SHEET
OF
LP01
1

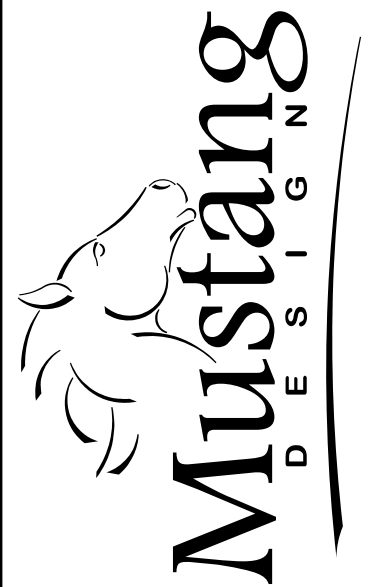


LEGEND

COMMUNITY ENTRANCE SIGN 



EXAMPLE ENTRANCE SIGN (SIGNS TO COMPLY WITH 19.04.13.8)



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LEHI, UTAH 84043

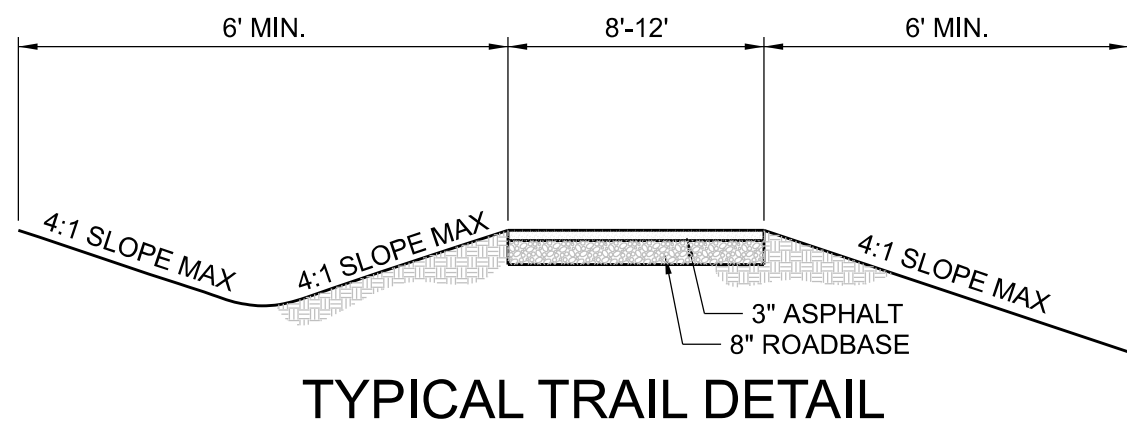
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REVISION			
NO.	DESCRIPTION	BY	DATE

CLIFF LAKE DEVELOPMENT
MONUMENTATION & SIGNAGE PLAN

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

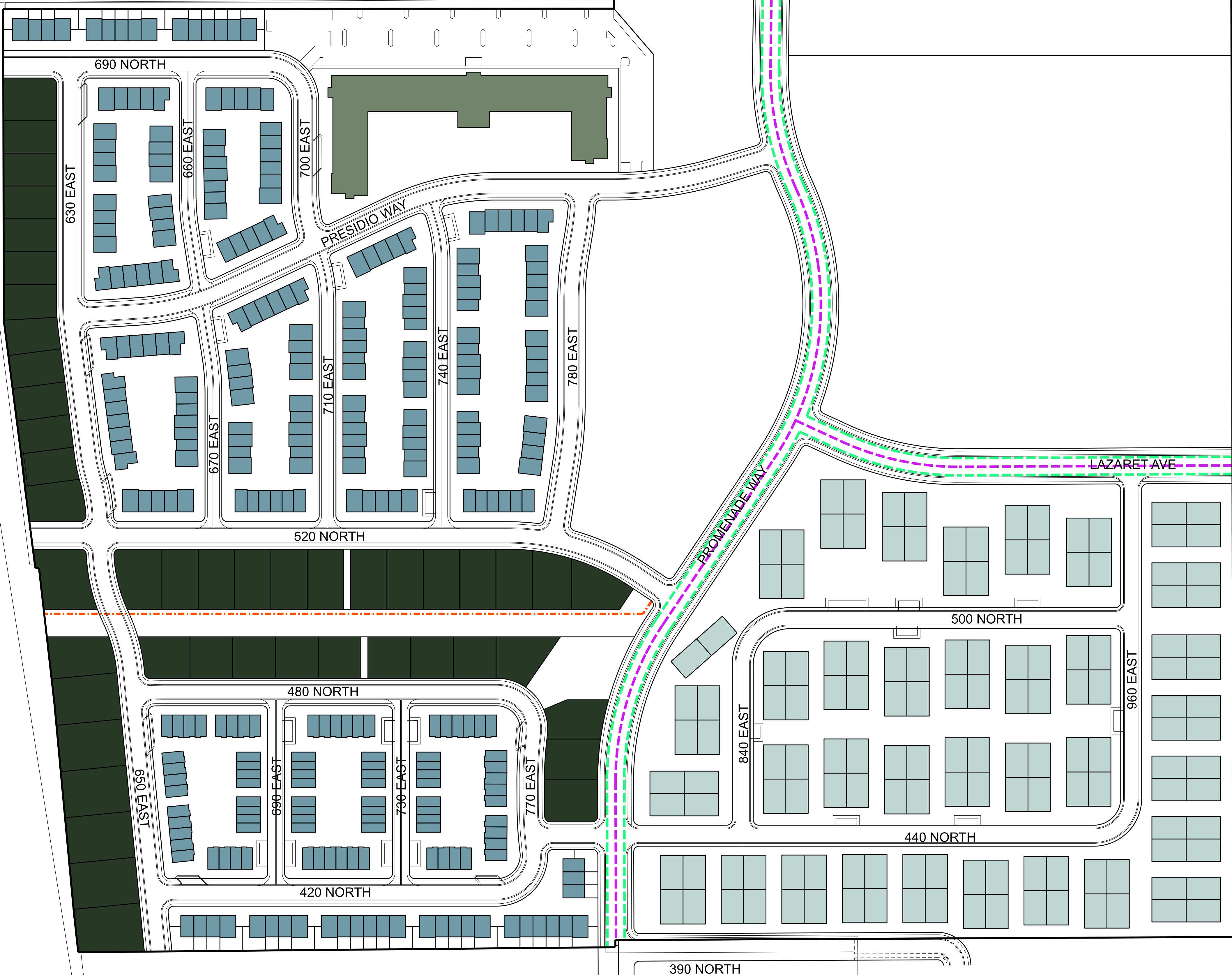
PROJ. #: 2020006
CAD FILE: 2020006 MONUMENTS &
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:



LEGEND

- HARD-SURFACE TRAILS
- BIKE LANES
- SARATOGA MASTER PLANNED ROAD

NOTE:
FOR STREET CROSS SECTIONS & SIDEWALKS, SEE
TYPICAL SECTION SHEETS IN THIS DOCUMENT



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CLIFF LAKE DEVELOPMENT
STREET NAMES & NUMBERS
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 STREET NAMIN
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=120'
VER SCALE:

SHEET
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1



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CLIFF LAKE DEVELOPMENT
FENCING PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 FENCING.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:



- NOTES:**
- 1. PARKING WITHIN SINGLE FAMILY LOTS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE.
 - 2. SINGLE FAMILY LOTS ARE REQUIRED TO HAVE A 2 CAR MINIMUM GARAGE.
 - 3. ALL UNITS (EXCEPT SENIOR APARTMENTS) WILL PROVIDE AT LEAST 2 RESIDENT STALLS PER UNIT, NO MATTER THE BEDROOM COUNT.
 - 4. PARKING STALL DIMENSIONS TO MEET CITY STANDARDS.
 - 5. OFF STREET PARKING TO MEET SECTION 19.09 OFF-STREET PARKING LANDSCAPING REQUIREMENTS
 - 6. SENIOR APARTMENT UNIT MIX TO BE DETERMINED AT SITE PLAN.
 - 7. GUEST PARKING EXEMPTIONS:
 - A. GUEST PARKING IS NOT REQUIRED TO BE LOCATED WITHIN 200' OF UNITS
 - B. SEE EXEMPTIONS PAGE 74 OF THIS NEIGHBORHOOD PLAN FOR MORE DETAILS.

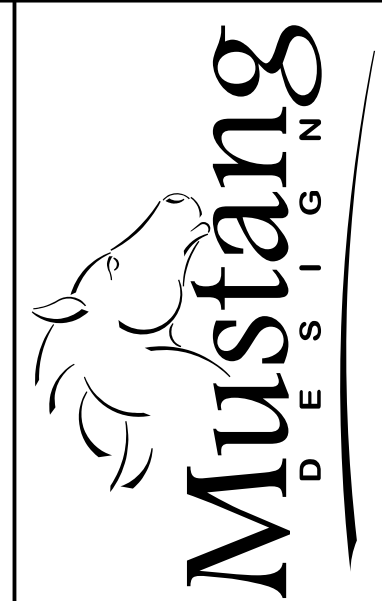
PARKING LEGEND

GARAGE PARKING

DRIVEWAY PARKING (2 CAR MIN.)

SURFACE PARKING

PARKING MATRIX	
SINGLE FAMILY	
Number of Units	46
Resident Parking Required	92
Resident Parking Provided	92
Guest Parking Required	N/A
Guest Parking Provided	N/A
TOWNHOMES	
Number of Units	309
Resident Parking Required	618
Resident Parking Provided	618
Guest Parking Required	77
Guest Parking Provided	96
SENIOR ATTACHED	
Number of Units	142
Resident Parking Required	284
Resident Parking Provided	284
Guest Parking Required	36
Guest Parking Provided	42
SENIOR APARTMENT	
Number of Units	200
Stalls req'd for 1 Bedroom	1.25
Stalls req'd for 2 Bedroom	1.75
Guest Parking Required	50



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REVISION	
NO.	DESCRIPTION
BY	DATE

CLIFF LAKE DEVELOPMENT
PARKING PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 PARKING.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

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CLIFF LAKE DEVELOPMENT
LOTING PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 LOTTING.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

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OF
LOT
1

SINGLE FAMILY LOT STANDARDS

Minimum Lot Size	3,200 SF
Minimum Building Separation	10'
Max Lot Coverage	60%
Primary Structure Max Height	35
Minimum Dwelling Size	800 SF
Minimum Lot Width	50'
Minimum Lot Frontage	50'
Front Setback	20'
Street Side Setback	20'
Interior Side Setback	5'
Rear Setback	20'
Accessory Front Setback	20'
Accessory Street Side Setback	20'
Accessory Interior Side Setback	5'
Accessory Rear Setback	5'
Accessory Distance From Dwelling	5'

PLAT BOUNDARY

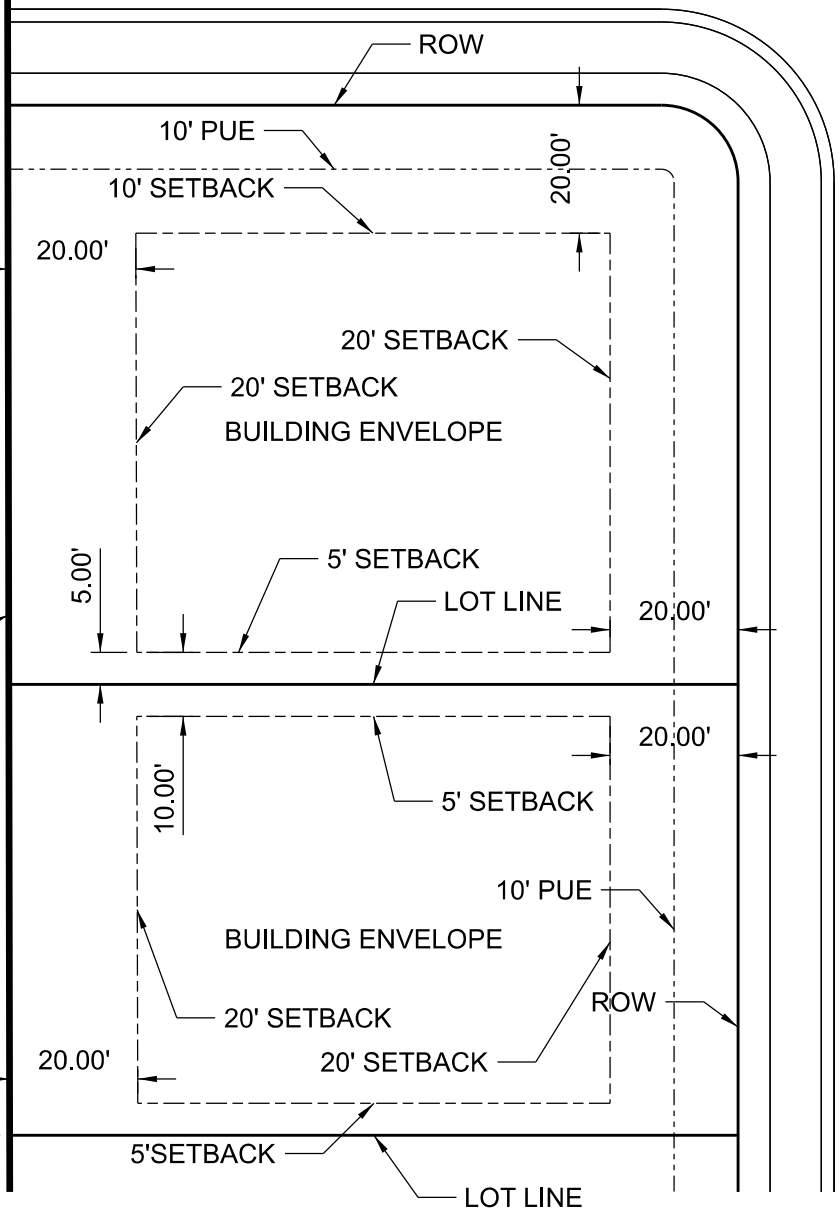
NOTE:

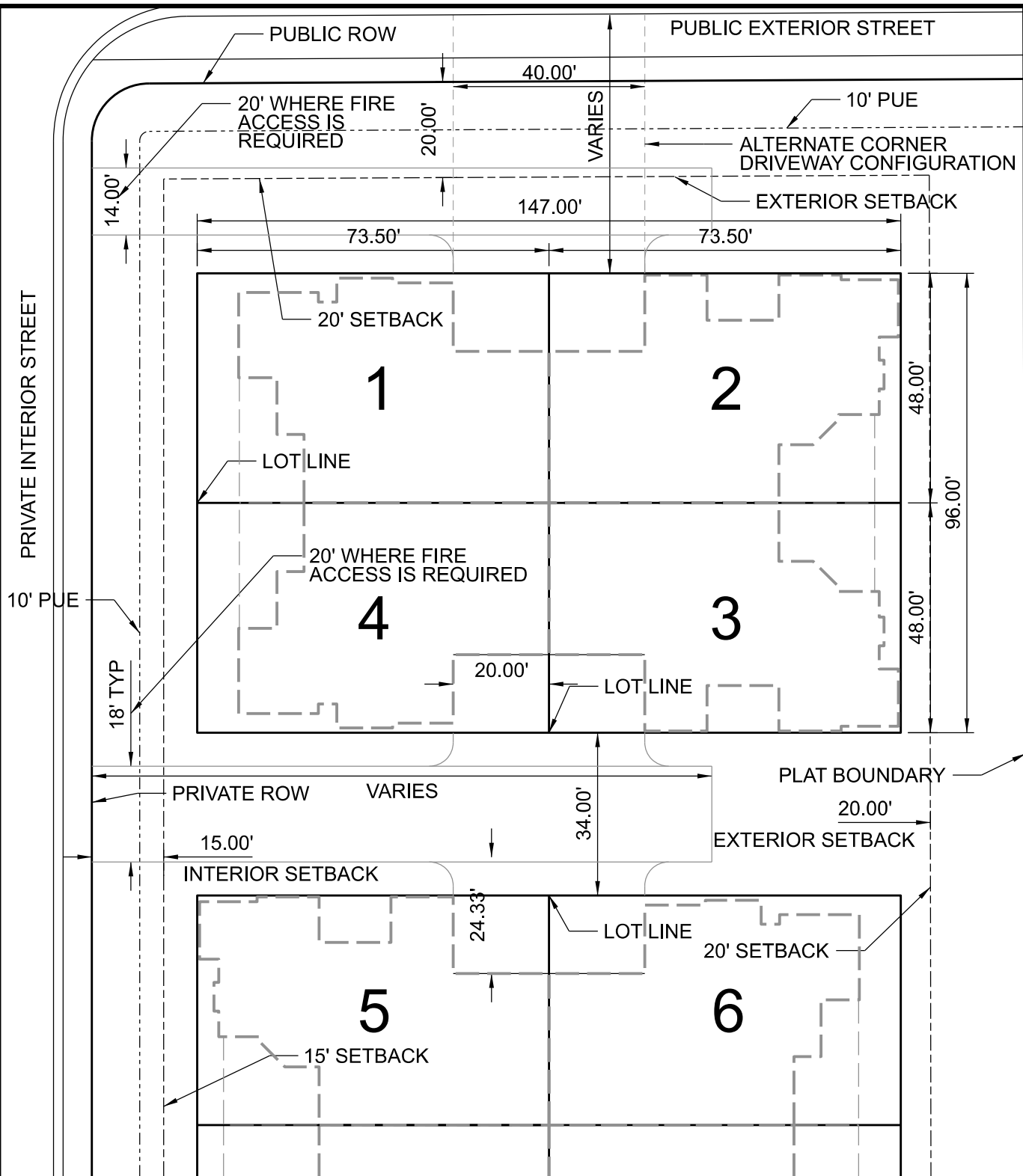
1. SEE FACADE PLAN FOR LOCATIONS OF PRIMARY FACADES

2. DRIVE APPROACHES ON PUBLIC STREETS TO MEET SS CITY STANDARD ST-4A

3. THESE STANDARDS MEET OR EXCEED THE REQUIREMENTS IN 19.04.07.

50' MIN



**SENIOR ATTACHED LOT STANDARDS**

Minimum Lot Size	N/A
Minimum Building Separation	34'
Max Lot Coverage	100%
Primary Structure Max Height	35'
Minimum Dwelling Size	1,600 SF
Lot Width	N/A
Minimum Lot Frontage	N/A
Project Interior Setback	15'
Project Exterior Setback	20'

NOTES:

1. SEE FACADE PLAN FOR LOCATION OF PRIMARY FACADES.
2. THE LOTS DESCRIBED HERE ARE PART OF A FOOTPRINT DEVELOPMENT.
3. DRIVEWAYS SERVING 4 UNITS SHALL BE 18' WIDE AND DRIVEWAYS SERVING 2 UNITS SHALL BE 14' WIDE

4. SETBACK EXCEPTION: 15' FRONT/INTERIOR SETBACK. SEE EXCEPTIONS PAGE IN THIS NEIGHBORHOOD PLAN FOR MORE DETAILS.

5. EXCLUDING EXCEPTIONS LISTED OR THOSE DEEMED NOT APPLICABLE IN FOOTPRINT DEVELOPMENTS, THESE STANDARDS MEET OR EXCEED THE REQUIREMENTS IN 19.04.07.

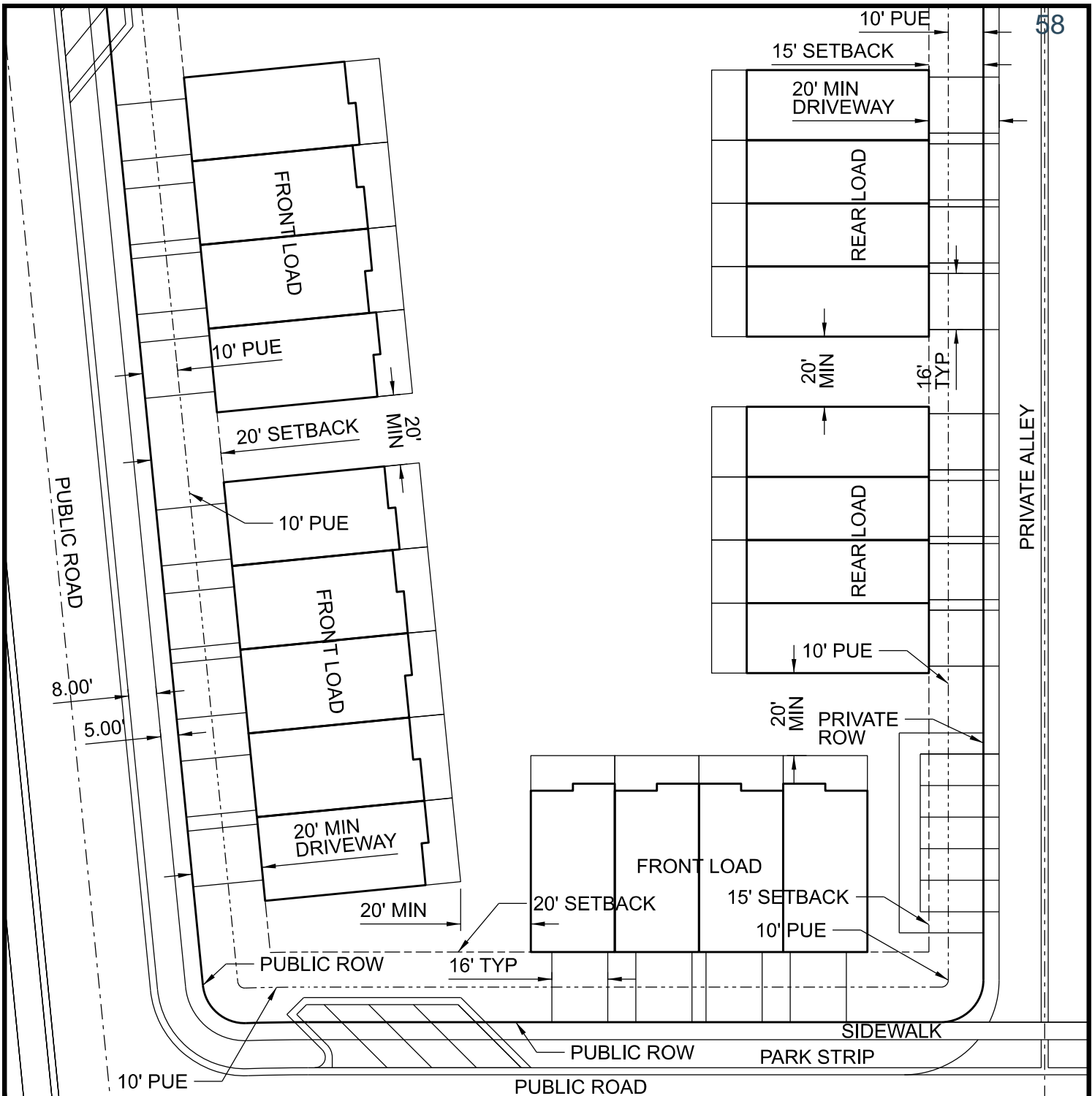


CLIFF LAKE DEVELOPMENT
SENIOR ATTACHED LOT STANDARDS (FOOTPRINT DEV.)

NEIGHBORHOOD PLAN
SARATOGA SPRINGS, UTAH

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PROJ. #: 2020005
DRAWN BY: PSJ
DESIGN BY: MU
CHECKED BY: MU
SCALE OF SHEET: 1"=30'
SHEET
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OF
1



STANDARD TOWNHOME REAR LOAD	
Minimum Lot Size	936 SF
Minimum Building Separation	20'
Max Lot Coverage	100%
Primary Structure Max Height	35'
Minimum Dwelling Size	800 SF
Minimum Lot Width	N/A
Minimum Lot Frontage	N/A
Front Setback	N/A
Street Side Setback	N/A
Interior Side Setback	N/A
Rear Setback	15'

STANDARD TOWNHOME FRONT LOAD	
Minimum Lot Size	1,128 SF
Minimum Building Separation	20'
Max Lot Coverage	100%
Primary Structure Max Height	35'
Minimum Dwelling Size	800 SF
Minimum Lot Width	N/A
Minimum Lot Frontage	N/A
Front Setback	20'
Street Side Setback	N/A
Interior Side Setback	N/A
Rear Setback	20'

- NOTES:
1. SEE FACADE PLAN FOR LOCATION OF PRIMARY FACADES.
 2. THE LOTS DESCRIBED HERE ARE PART OF A FOOTPRINT DEVELOPMENT.
 3. FOR STREET SECTION DETAILS, SEE CLIFF LAKE TYPICAL SECTIONS.
 4. SETBACK EXCEPTION: 15' FRONT/INTERIOR SETBACK FOR REAR LOAD TOWNHOMES. SEE EXCEPTIONS PAGE IN THIS NEIGHBORHOOD PLAN FOR MORE DETAILS.
 5. EXCLUDING EXCEPTIONS LISTED OR THOSE DEEMED NOT APPLICABLE IN FOOTPRINT DEVELOPMENTS, THESE STANDARDS MEET OR EXCEED THE REQUIREMENTS IN 19.04.07.



CLIFF LAKE DEVELOPMENT STANDARD TOWNHOME LOT STANDARDS (FOOTPRINT DEV.)

NEIGHBORHOOD PLAN
SARATOGA SPRINGS, UTAH

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PROJ. #: 2020005
DRAWN BY: PSJ
DESIGN BY: MU
CHECKED BY: MU
SCALE OF SHEET: 1"=40'
SHEET
STOWN
1

LARGE TOWNHOME REAR LOAD

Minimum Lot Size	1,100 SF
Minimum Building Separation	20'
Max Lot Coverage	100%
Primary Structure Max Height	35'
Minimum Dwelling Size	800 SF
Minimum Lot Width	N/A
Minimum Lot Frontage	N/A
Front Setback	N/A
Street Side Setback	N/A
Interior Side Setback	N/A
Rear Setback	15'

LARGE TOWNHOME FRONT LOAD

Minimum Lot Size	1,288 SF
Minimum Building Separation	20'
Max Lot Coverage	100%
Primary Structure Max Height	35'
Minimum Dwelling Size	800 SF
Minimum Lot Width	N/A
Minimum Lot Frontage	N/A
Front Setback	20'
Street Side Setback	N/A
Interior Side Setback	N/A
Rear Setback	20'

NOTES:

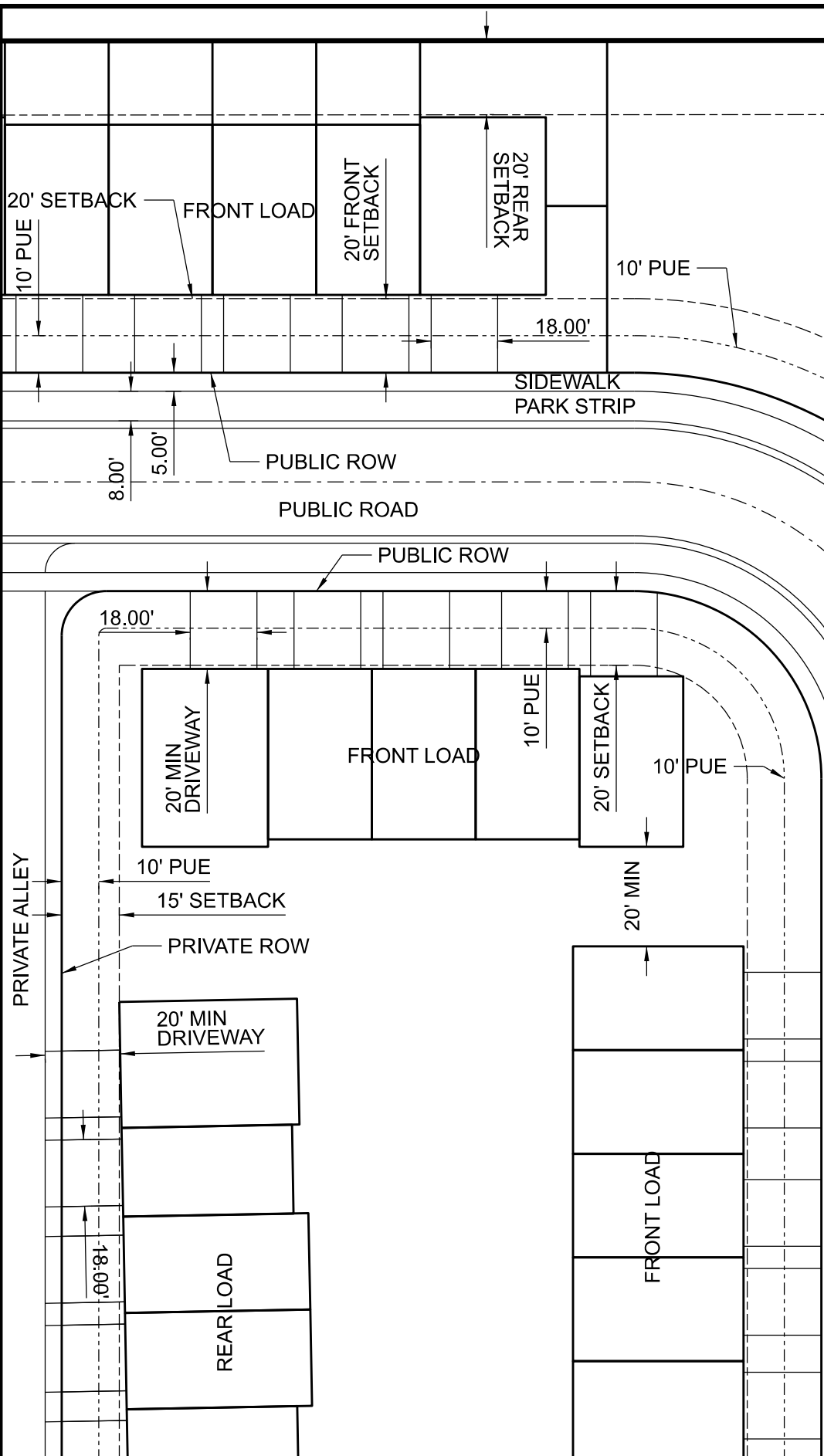
1. SEE FACADE PLAN FOR LOCATION OF PRIMARY FACADES.

2. THE LOTS DESCRIBED HERE ARE PART OF A FOOTPRINT DEVELOPMENT.

3. FOR STREET SECTION DETAILS, SEE CLIFF LAKE TYPICAL SECTIONS.

4. SETBACK EXCEPTION: 15' FRONT/INTERIOR SETBACK FOR REAR LOAD TOWNHOMES. SEE EXCEPTIONS PAGE IN THIS NEIGHBORHOOD PLAN FOR MORE DETAILS.

5. EXCLUDING EXCEPTIONS LISTED OR THOSE DEEMED NOT APPLICABLE IN FOOTPRINT DEVELOPMENTS, THESE STANDARDS MEET OR EXCEED THE REQUIREMENTS IN 19.04.07.



CLIFF LAKE DEVELOPMENT LARGE TOWNHOME LOT STANDARDS (FOOTPRINT DEV.)

NEIGHBORHOOD PLAN
SARATOGA SPRINGS, UTAH

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LAST DATE
OF CHANGE:

PROJ. #: 2020006

DRAWN BY: PSJ

DESIGN BY: MJ

CHECKED BY: MJ

SCALE OF SHEET: 1"=40'

SHEET

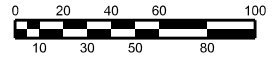
TOWN

OF

1

700 EAST

60



PRESIDIO WAY

PUBLIC ROW

10' PUE

20' SETBACK

10' PUE

PUBLIC ROW

20' SETBACK

20.00'

LANDSCAPE

LANDSCAPE

LANDSCAPE

24' MIN

9.00'

- NOTES:
1. SEE FACADE PLAN FOR LOCATION OF PRIMARY FACADES.
 2. THE LOTS DESCRIBED HERE ARE PART OF A FOOTPRINT DEVELOPMENT.
 3. EXCLUDING EXCEPTIONS LISTED OR THOSE DEEMED NOT APPLICABLE IN FOOTPRINT DEVELOPMENTS, THESE STANDARDS MEET OR EXCEED THE REQUIREMENTS IN 19.04.07.
 4. OFF-STREET PARKING SHALL FOLLOW SECTION 19.09 OFF-STREET PARKING LANDSCAPING REQUIREMENTS.

SENIOR APARTMENT LOT STANDARDS	
Minimum Lot Size	N/A
Minimum Building Separation	N/A
Max Lot Coverage	N/A
Primary Structure Max Height	45'
Minimum Dwelling Size	800 SF
Minimum Lot Width	N/A
Minimum Lot Frontage	N/A
Front Setback	20'
Street Side Setback	20'
Interior Side Setback	N/A
Rear Setback	20'
Accessory Front Setback	20'
Accessory Street Side Setback	20'
Accessory Interior Side Setback	2'
Accessory Rear Setback	2'
Accessory Distance From Dwelling	5'
Parking Stall Width	9'
Parking Stall Depth	18'
Two-Way Drive Aisle Width	24'

CLIFF LAKE DEVELOPMENT
SENIOR APARTMENT LOT STANDARDS (FOOTPRINT DEV.)

NEIGHBORHOOD PLAN
SARATOGA SPRINGS, UTAH

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LAST DATE
OF CHANGE:

PROJ. # 2020006

DRAWN BY: PSJ

DESIGN BY: MU

CHECKED BY: MU

SCALE OF SHEET: 1"=50'

SHEET

APTLS

OF 1



MUSTANG DESIGN, LLC
1700 N. 1000 E. SUITE 100
LEHI, UTAH 84043

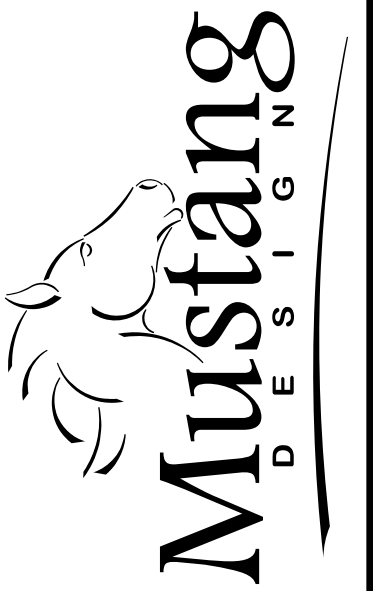


NOTE:
FOR ALTERNATIVE TRANSPORTATION
ROUTES, PLEASE SEE STREET NAMES AND
NUMBERS SHEET WITHIN THIS DOCUMENT

LEGEND

- 

PIONEER CROSSING



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REVISION

[illegible]

CLIFF LAKE DEVELOPMENT TRANSPORTATION PLAN

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 TRANSPORTATION
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MIJ
SCALE OF SHEET
HOR SCALE: 1"=120'
VER SCALE:

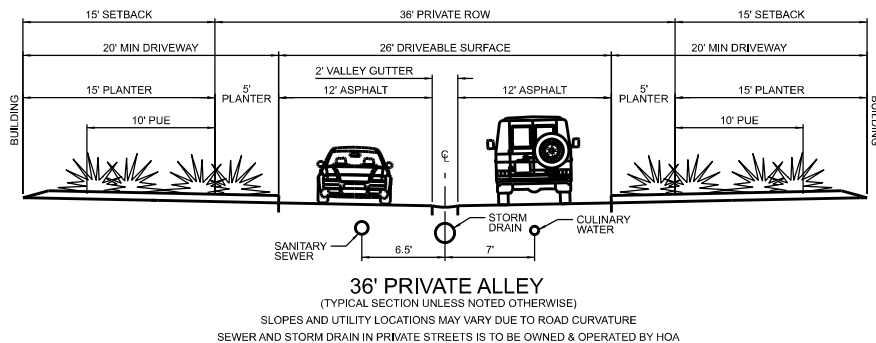
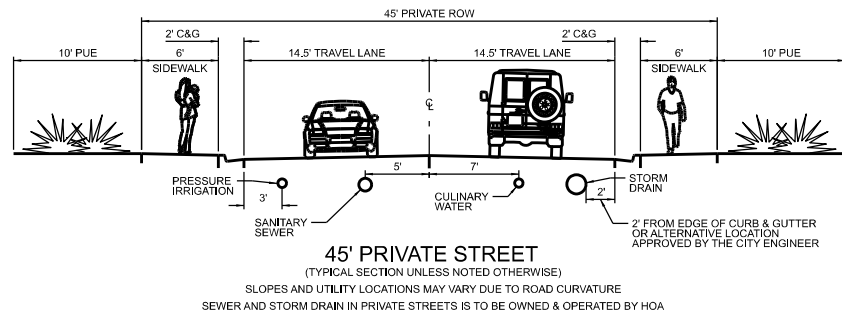
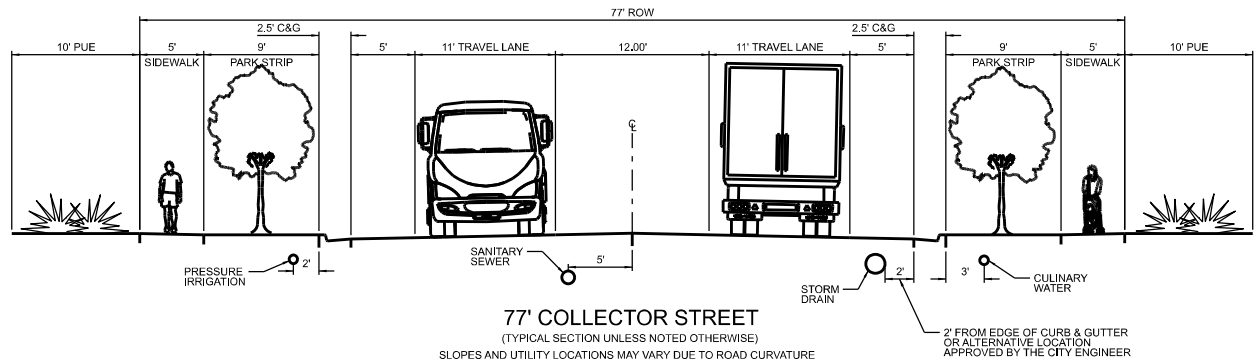
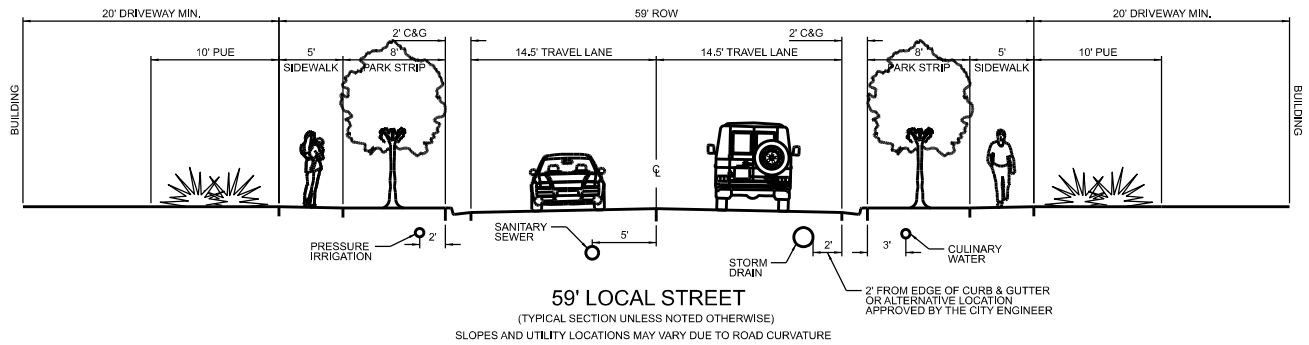
SHEET

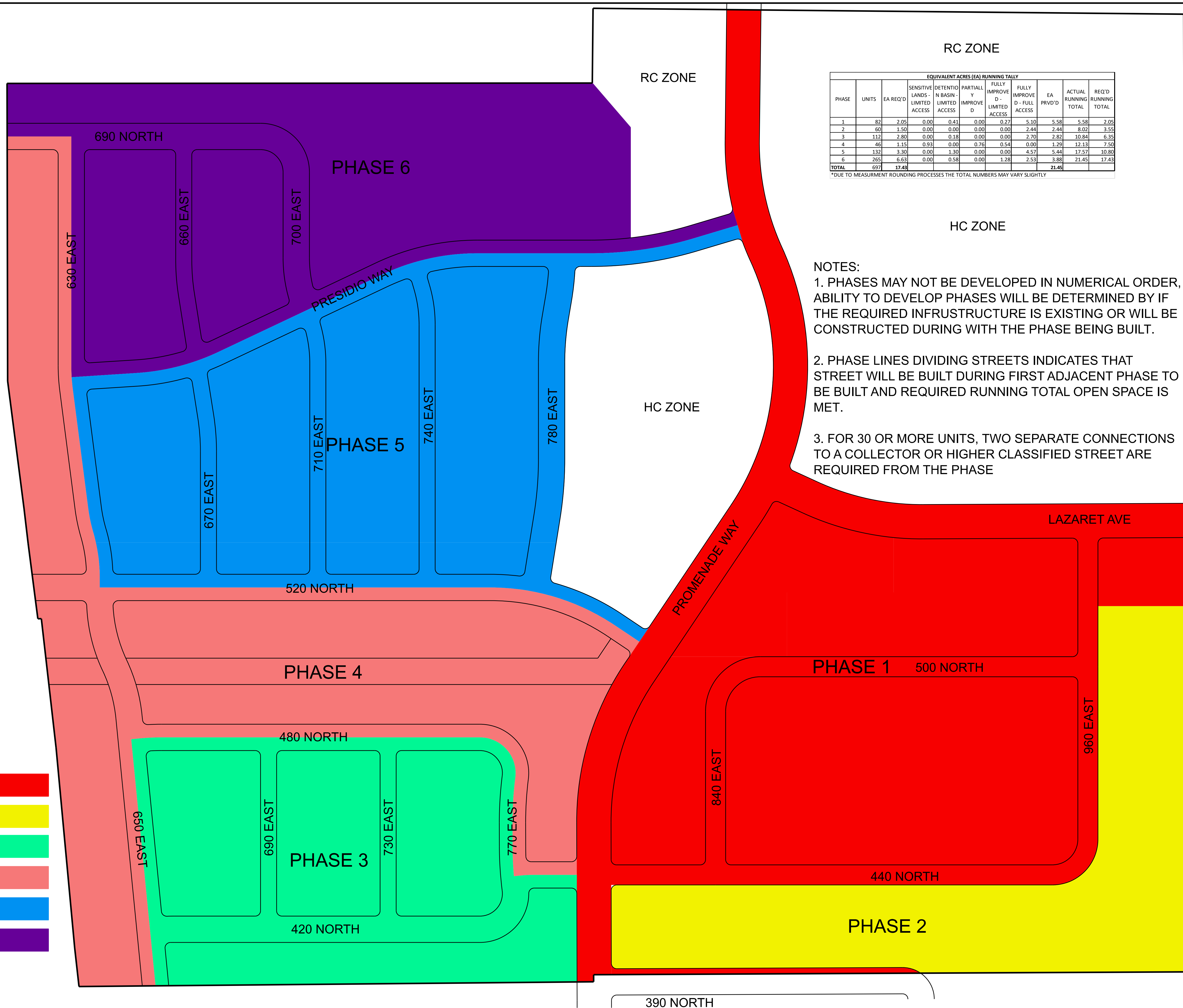
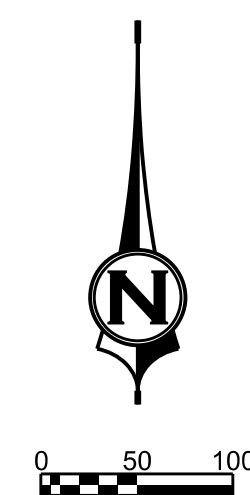
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DEVELOPER TO CONSTRUCT A PORTION OF 390 N PER THE D.A.





EQUIVALENT ACRES (EA) RUNNING TALLY										
PHASE	UNITS	EA REQ'D	SENSITIVE LANDS- LIMITED ACCESS	DETENTION N BASIN- LIMITED ACCESS	PARTIALLY IMPROVE D	FULLY IMPROVE D - LIMITED ACCESS	FULLY IMPROVE D - FULL ACCESS	EA PRVD'D	ACTUAL RUNNING TOTAL	REQ'D RUNNING TOTAL
1	82	2.05	0.00	0.41	0.00	0.27	5.10	5.58	5.58	2.00
2	60	1.50	0.00	0.00	0.00	0.00	2.44	2.44	8.02	3.5
3	112	2.80	0.00	0.18	0.00	0.00	2.70	2.82	10.84	6.3
4	46	1.15	0.93	0.00	0.76	0.54	0.00	1.29	12.13	7.5
5	132	3.30	0.00	1.30	0.00	0.00	4.57	5.44	17.57	10.8
6	265	6.63	0.00	0.58	0.00	1.28	2.53	2.88	21.45	17.4
7	697	17.48						31.45		
TOTAL TO MEASUREMENT ROUNDING PROCESSES THE TOTAL NUMBERS MAY VARY SLIGHTLY										

NOTES:

1. PHASES MAY NOT BE DEVELOPED IN NUMERICAL ORDER, ABILITY TO DEVELOP PHASES WILL BE DETERMINED BY IF THE REQUIRED INFRASTRUCTURE IS EXISTING OR WILL BE CONSTRUCTED DURING WITH THE PHASE BEING BUILT.
2. PHASE LINES DIVIDING STREETS INDICATES THAT STREET WILL BE BUILT DURING FIRST ADJACENT PHASE TO BE BUILT AND REQUIRED RUNNING TOTAL OPEN SPACE IS MET.
3. FOR 30 OR MORE UNITS, TWO SEPARATE CONNECTIONS TO A COLLECTOR OR HIGHER CLASSIFIED STREET ARE REQUIRED FROM THE PHASE

LEGEND

PHASE 1 (24.51 AC) (OPEN SPACE = 5.58 EA)	
PHASE 2 (8.50 AC) (OPEN SPACE = 2.44 EA)	
PHASE 3 (11.29 AC) (OPEN SPACE = 2.82 EA)	
PHASE 4 (16.27 AC) (OPEN SPACE = 1.29 EA)	
PHASE 5 (15.89 AC) (OPEN SPACE = 5.44 EA)	
PHASE 6 (14.60 AC) (OPEN SPACE = 3.88 EA)	



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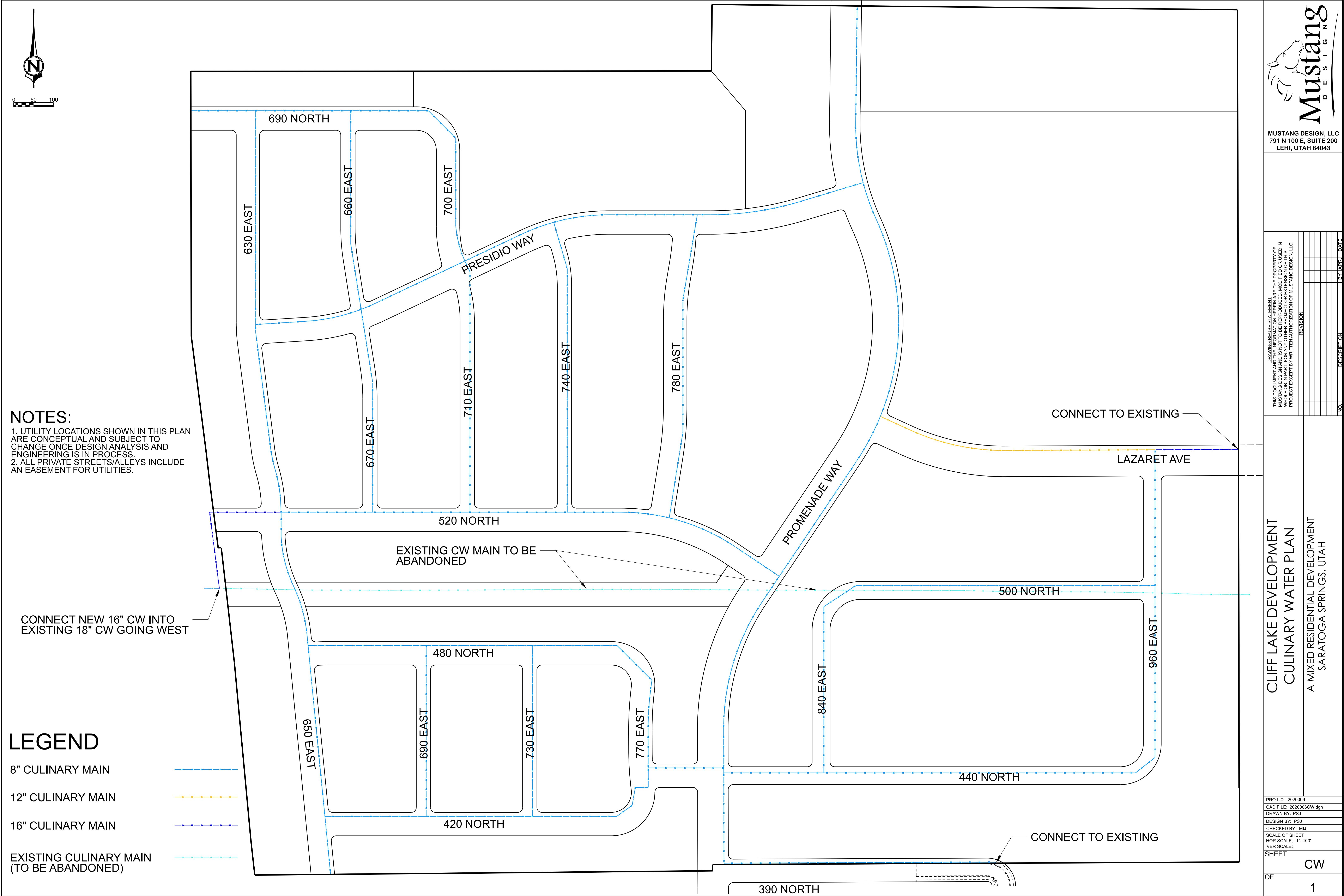
[illegible]

CLIFF LAKE DEVELOPMENT PHASING PLAN

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006 PHASING PLAN
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MIJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

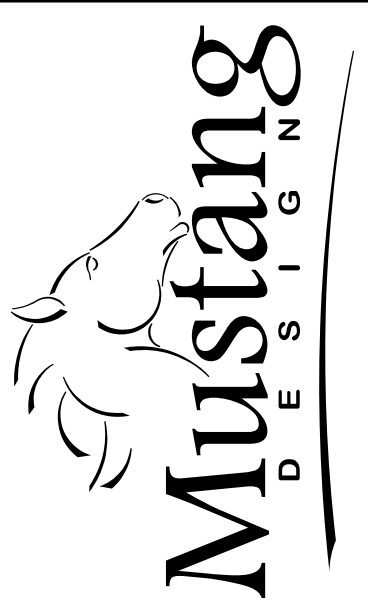
VER SCALE:
SHEET
PHASE
OF
1



NOTES:
1. UTILITY LOCATIONS SHOWN IN THIS PLAN ARE CONCEPTUAL AND SUBJECT TO CHANGE ONCE DESIGN ANALYSIS AND ENGINEERING IS IN PROCESS.
2. ALL PRIVATE STREETS/ALLEYS INCLUDE AN EASEMENT FOR UTILITIES.

LEGEND

- 8" CULINARY MAIN ---
- 12" CULINARY MAIN ---
- 16" CULINARY MAIN ---
- EXISTING CULINARY MAIN (TO BE ABANDONED) ---



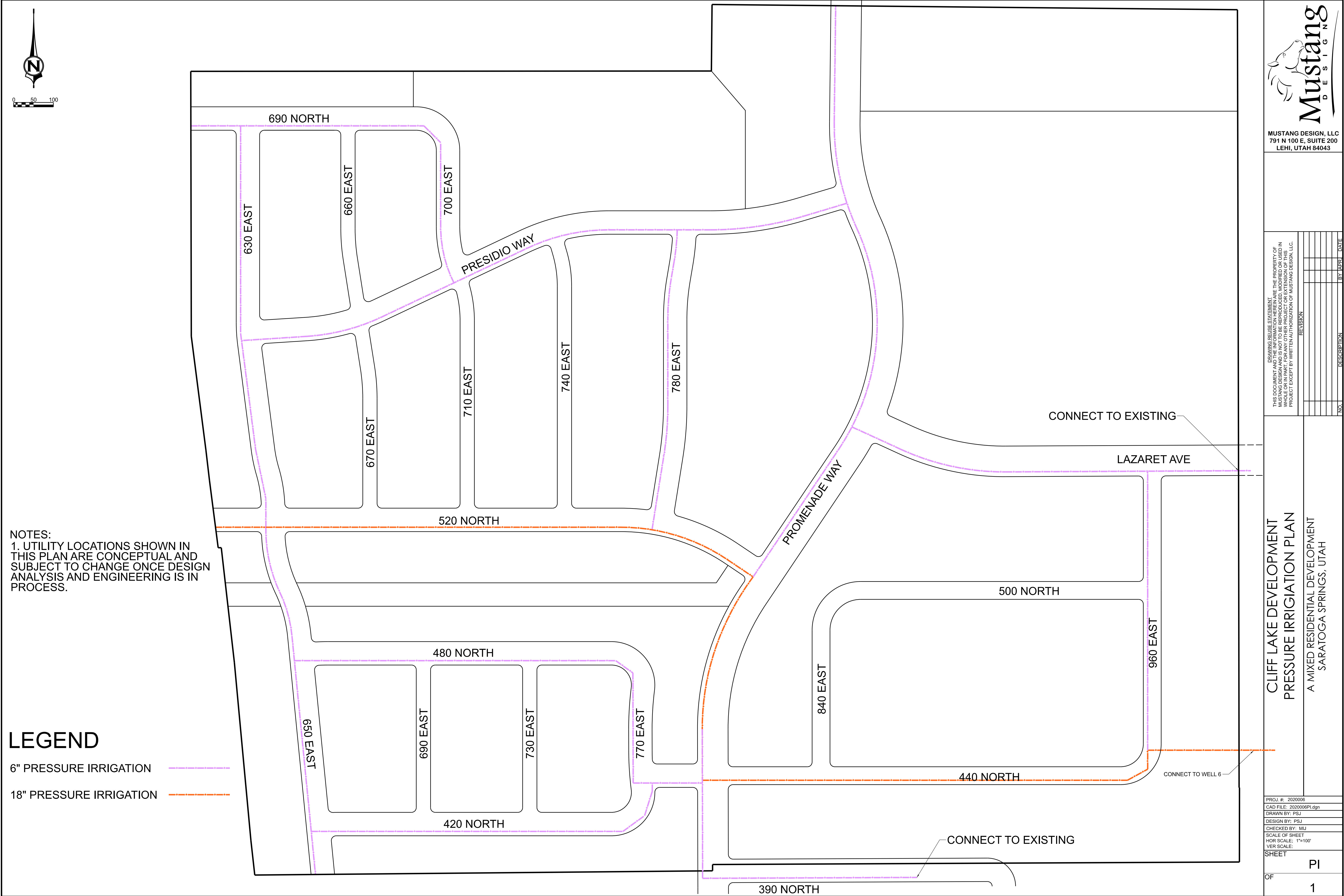
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REVISION		NO.	DESCRIPTION	BY	DATE

CLIFF LAKE DEVELOPMENT
CULINARY WATER PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #:	2020006
CAD FILE:	2020006CW.dgn
DRAWN BY:	PSJ
DESIGN BY:	PSJ
CHECKED BY:	MIJ
SCALE OF SHEET	
HOR SCALE:	1"=100'
VER SCALE:	
SHEET	CW
OF	1



NOTES:
1. UTILITY LOCATIONS SHOWN IN
THIS PLAN ARE CONCEPTUAL AND
SUBJECT TO CHANGE ONCE DESIGN
ANALYSIS AND ENGINEERING IS IN
PROCESS.

LEGEND

- 6" PRESSURE IRRIGATION
- 18" PRESSURE IRRIGATION



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REVISION		NO.	DESCRIPTION	BY	DATE
DATE	DESCRIPTION				

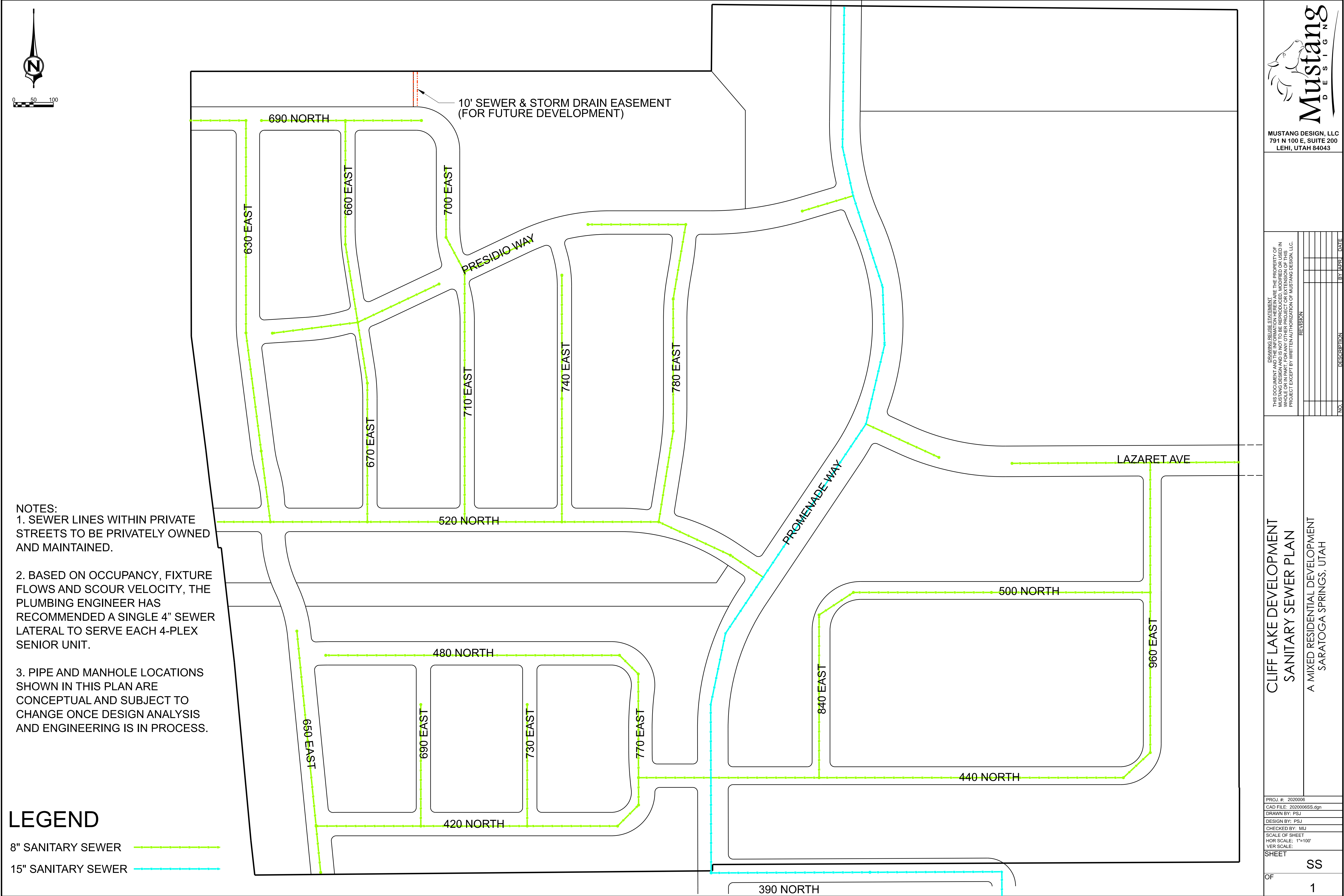
CLIFF LAKE DEVELOPMENT PRESSURE IRRIGATION PLAN

A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006PI.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

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OF
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791 N 100 E, SUITE 200
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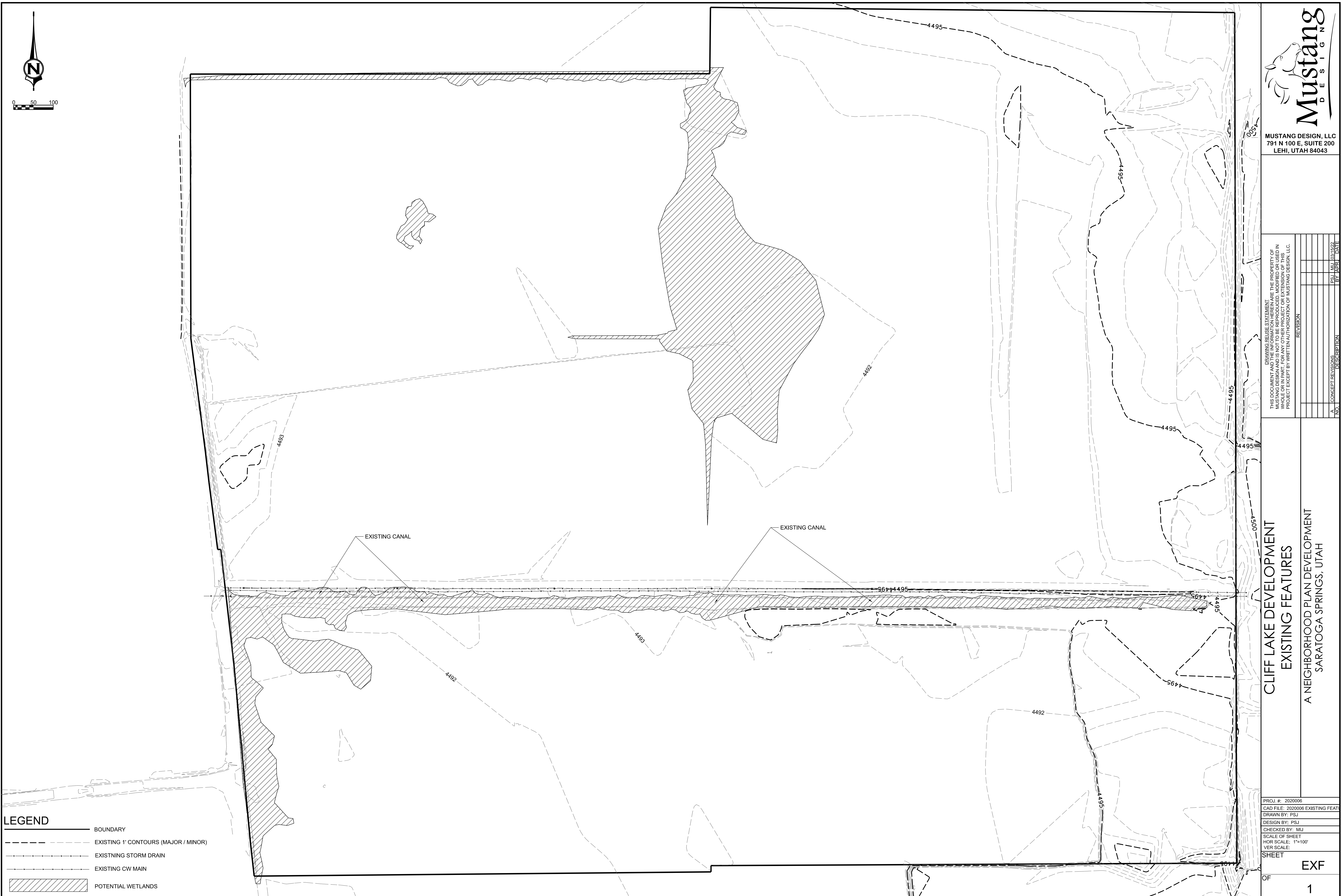
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CLIFF LAKE DEVELOPMENT
SANITARY SEWER PLAN
A MIXED RESIDENTIAL DEVELOPMENT
SARATOGA SPRINGS, UTAH

PROJ. #: 2020006
CAD FILE: 2020006SS.dgn
DRAWN BY: PSJ
DESIGN BY: PSJ
CHECKED BY: MJJ
SCALE OF SHEET
HOR SCALE: 1"=100'
VER SCALE:

SHEET
OF
1





SURROUNDING ZONING PLAN



0

500

1,000 ft

LEGEND

Current Zoning

- A
- MR
- OW
- RC
- HC
- PC
- MU
- CC
- R1-10
- MW

70

RC

HC

OW

RC

HC

MR

MR

A

PC

R1-10

MU

CLIFF LAKE TOTAL ERU's CALCULATOR - Project 2020006

Single Family Detached

Units ERU's

1 ERU Per Unit

46 46

Senior Apartment Units

Total Units > 200

Fixture Type	Load Factor		Basement	1st	2nd	3rd	Total
Automatic clothes washers, commercial	3	x	0	1	0	0	3
Bathroom group	5	x	0	1.5	0	0	7.5
Bidet	1	x	0	0	0	0	0
Combination sink and tray	2	x	0	0	0	0	0
Dental lavatory	1	x	0	0	0	0	0
Dental unit or cuspidor	1	x	0	0	0	0	0
Dishwashing machine	2	x	0	1	0	0	2
Drinking fountain	0.5	x	0	0	0	0	0
Emergency floor drain	0	x	0	0	0	0	0
Floor drains	2	x	0	0	0	0	0
Kitchen sink	2	x	0	1	0	0	2
Lavatory	1	x	0	0	0	0	0
Shower	2	x	0	0	0	0	0
Sink	2	x	0	0	0	0	0
Urinal	4	x	0	0	0	0	0
Wash sink (circular or multiple) each set of faucets	2	x	0	0	0	0	0
Water closet, flushometer tank, public or private	4	ea.	0	0	0	0	0
Water closet, public (1.6 gpf)	4	ea.	0	0	0	0	0
Water closet, public (>1.6 gpf)	6	ea.	0	0	0	0	0
TOTAL LOAD							14.5

100 Units 1 Bathroom, 100 Units 2 Bathrooms

ERU's per Unit > 0.3625 TOTAL ERU's > 72.50

ERUs = Total/40

Clubhouse Units

Total Units > 3

Fixture Type	Load Factor		Basement	1st	2nd	3rd	Total
Automatic clothes washers, commercial	3	x	0	0	0	0	0
Bathroom group	5	x	0	0	0	0	0
Bidet	1	x	0	0	0	0	0
Combination sink and tray	2	x	0	0	0	0	0
Dental lavatory	1	x	0	0	0	0	0
Dental unit or cuspidor	1	x	0	0	0	0	0
Dishwashing machine	2	x	0	0	0	0	0
Drinking fountain	0.5	x	0	1	0	0	0.5
Emergency floor drain	0	x	0	0	0	0	0
Floor drains	2	x	0	0	0	0	0
Kitchen sink	2	x	0	1	0	0	2
Lavatory	1	x	0	0	0	0	0
Shower	2	x	0	2	0	0	4
Sink	2	x	0	0	0	0	0
Urinal	4	x	0	1	0	0	4
Wash sink (circular or multiple) each set of faucets	2	x	0	0	0	0	0
Water closet, flushometer tank, public or private	4	ea.	0	0	0	0	0
Water closet, public (1.6 gpf)	4	ea.	0	3	0	0	12
Water closet, public (>1.6 gpf)	6	ea.	0	0	0	0	0
TOTAL LOAD							22.5

ERU's per Unit > 0.5625 TOTAL ERU's > 1.69

ERUs = Total/40 Divide by 3 > 0.563

Senior Condo Units

Total Units > 36

Fixture Type	Load Factor		Basement	1st	2nd	3rd	Total
Automatic clothes washers, commercial	3	x	0	1	0	0	3
Bathroom group	5	x	0	2	0	0	10
Bidet	1	x	0	0	0	0	0
Combination sink and tray	2	x	0	0	0	0	0
Dental lavatory	1	x	0	0	0	0	0
Dental unit or cuspidor	1	x	0	0	0	0	0
Dishwashing machine	2	x	0	1	0	0	2
Drinking fountain	0.5	x	0	0	0	0	0
Emergency floor drain	0	x	0	0	0	0	0
Floor drains	2	x	0	0	0	0	0
Kitchen sink	2	x	0	1	0	0	2
Lavatory	1	x	0	0	0	0	0
Shower	2	x	0	0	0	0	0
Sink	2	x	0	0	0	0	0
Urinal	4	x	0	0	0	0	0
Wash sink (circular or multiple) each set of faucets	2	x	0	0	0	0	0
Water closet, flushometer tank, public or private	4	ea.	0	0	0	0	0
Water closet, public (1.6 gpf)	4	ea.	0	0	0	0	0
Water closet, public (>1.6 gpf)	6	ea.	0	0	0	0	0
TOTAL LOAD							17

ERU's per Unit > 0.425 TOTAL ERU's > 15.30

ERUs = Total/40

Senior Attached Units

Total Units > 128

Fixture Type	Load Factor		Basement	1st	2nd	3rd	Total
Automatic clothes washers, commercial	3	x	0	1	0	0	3
Bathroom group	5	x	0	2	0	0	10
Bidet	1	x	0	0	0	0	0
Combination sink and tray	2	x	0	0	0	0	0
Dental lavatory	1	x	0	0	0	0	0
Dental unit or cuspidor	1	x	0	0	0	0	0
Dishwashing machine	2	x	0	1	0	0	2
Drinking fountain	0.5	x	0	0	0	0	0
Emergency floor drain	0	x	0	0	0	0	0
Floor drains	2	x	0	0	0	0	0

Kitchen sink	2	x	0	1	0	0	2
Lavatory	1	x	0		0	0	0
Shower	2	x	0		0	0	0
Sink	2	x	0		0	0	0
Urinal	4	x	0		0	0	0
Wash sink (circular or multiple) each set of faucets	2	x	0		0	0	0
Water closet, flushometer tank, public or private	4	ea.	0		0	0	0
Water closet, public (1.6 gpf)	4	ea.	0		0	0	0
Water closet, public (>1.6 gpf)	6	ea.	0		0	0	0
TOTAL LOAD							17

ERU's per Unit > 0.425 TOTAL ERU's > 54.40
ERUs = Total/40

Townhome Attached Units

Total Units > 307

Fixture Type	Load Factor		Basement	1st	2nd	3rd	Total
Automatic clothes washers, commercial	3	x	0	1	0	0	3
Bathroom group	5	x	0	2.5	0	0	12.5
Bidet	1	x	0		0	0	0
Combination sink and tray	2	x	0		0	0	0
Dental lavatory	1	x	0		0	0	0
Dental unit or cuspidor	1	x	0		0	0	0
Dishwashing machine	2	x	0	1	0	0	2
Drinking fountain	0.5	x	0		0	0	0
Emergency floor drain	0	x	0		0	0	0
Floor drains	2	x	0		0	0	0
Kitchen sink	2	x	0	1	0	0	2
Lavatory	1	x	0		0	0	0
Shower	2	x	0		0	0	0
Sink	2	x	0		0	0	0
Urinal	4	x	0		0	0	0
Wash sink (circular or multiple) each set of faucets	2	x	0		0	0	0
Water closet, flushometer tank, public or private	4	ea.	0		0	0	0
Water closet, public (1.6 gpf)	4	ea.	0		0	0	0
Water closet, public (>1.6 gpf)	6	ea.	0		0	0	0
TOTAL LOAD							19.5

ERU's per Unit > 0.4875 TOTAL ERU's > 149.66
ERUs = Total/40

TOTAL PROJECT ERU's > 339.55

City Code Exemptions

Cliff Lake will comply with all building, fire, and city codes at the time of adoption or application, with the exception of a few considerations within this park-themed community which will require city council approval. Neighborhood Plans allow the following modifications:

- Entry features
- Site & architectural design standards
- Type of landscaping (if same amount)
- Fencing (to comply with the theme)
- Parking reductions
- Setback reductions

Due to some conditions beyond our control to manage and to better meet the theme, we are requesting the following exemptions:

- Modification to the landscape requirements of Ch 19.06.07, wherein, a minimum number of evergreen trees are required.
 - We respectfully submit a request to modify the required number of evergreen trees to be planted in our project. Our decision is rooted in a commitment to environmental sustainability, considering the unique soil conditions of the site. As our project is located near the Utah Lake and the Jordan River, within an alluvial fan, according to the Utah State University Extension, a large portion or all of the property's soil is classified as Alfisols (Appendix A). These Alfisols are known for their inherent alkalinity and high sodium content, which is a crucial factor in the sustainability of tree planting decisions. Given the lessons learned from nearby projects, such as the Legacy Farms project, where evergreen trees struggled in alkaline soils, we believe it is essential to make informed choices that benefit both our environment and the community.
 - Our proposal for reduced evergreen tree planting is not a hasty decision but a part of a comprehensive plan to ensure a thriving and sustainable landscape. As we proceed with landscaping installation, we are committed to conducting thorough soil assessments to determine the appropriateness of evergreens for the planting area. Our objective is to make informed choices that enhance the long-term health and aesthetics of our landscape while minimizing undue stress on our environment. While we are lowering the evergreen tree count the overall tree count requirement will stay the same.

City Code Exemptions (continued)

- Guest parking within 200 feet and driveways not counting towards guest parking (19.09.05.11).
 - Parking is outlined in our MDA as well as in the Neighborhood Plan. We are clarifying that we meet the parking requirements of .25 guest parking stalls per home. Most of our guest parking is within the 200 ft requirement of the code but there are some guest parking stalls that are more than 200 ft from the home its intended.
- Private Road Setback reductions on senior attached to 15'
 - They are configured in a pinwheel layout, while most buildings are 20' from the Private ROW line, the 15' setback allows us to stagger the buildings more for greater aesthetic appeal. This reduction does not prevent the driveways from being greater than or equal to 20'
- Private Alley Setback reductions on rear load townhomes to 15'
 - The normal 20' setback is not needed because a portion of the driveway is located within the private ROW, creating a circumstance where the driveways are always greater than or equal to 20' deep.
- Allow Senior Apartment roof pitch to be flat, rather than pitched (19.15.05.2.c)
 - Flat roofs are complimentary to the park theme as many famous parks are surrounded by large buildings with flat roofs.
 - Also, this prevents an eyesore on the neighborhood, as it allows us to build decorative parapets on top of the roof to hide the air conditioning units, which would otherwise go on the ground with a pitched roof. The number of condensers that would be required to service this building would create an unattractive sea of appliances, which would never be found in any large city, or in any well planned out community.

APPENDIX A

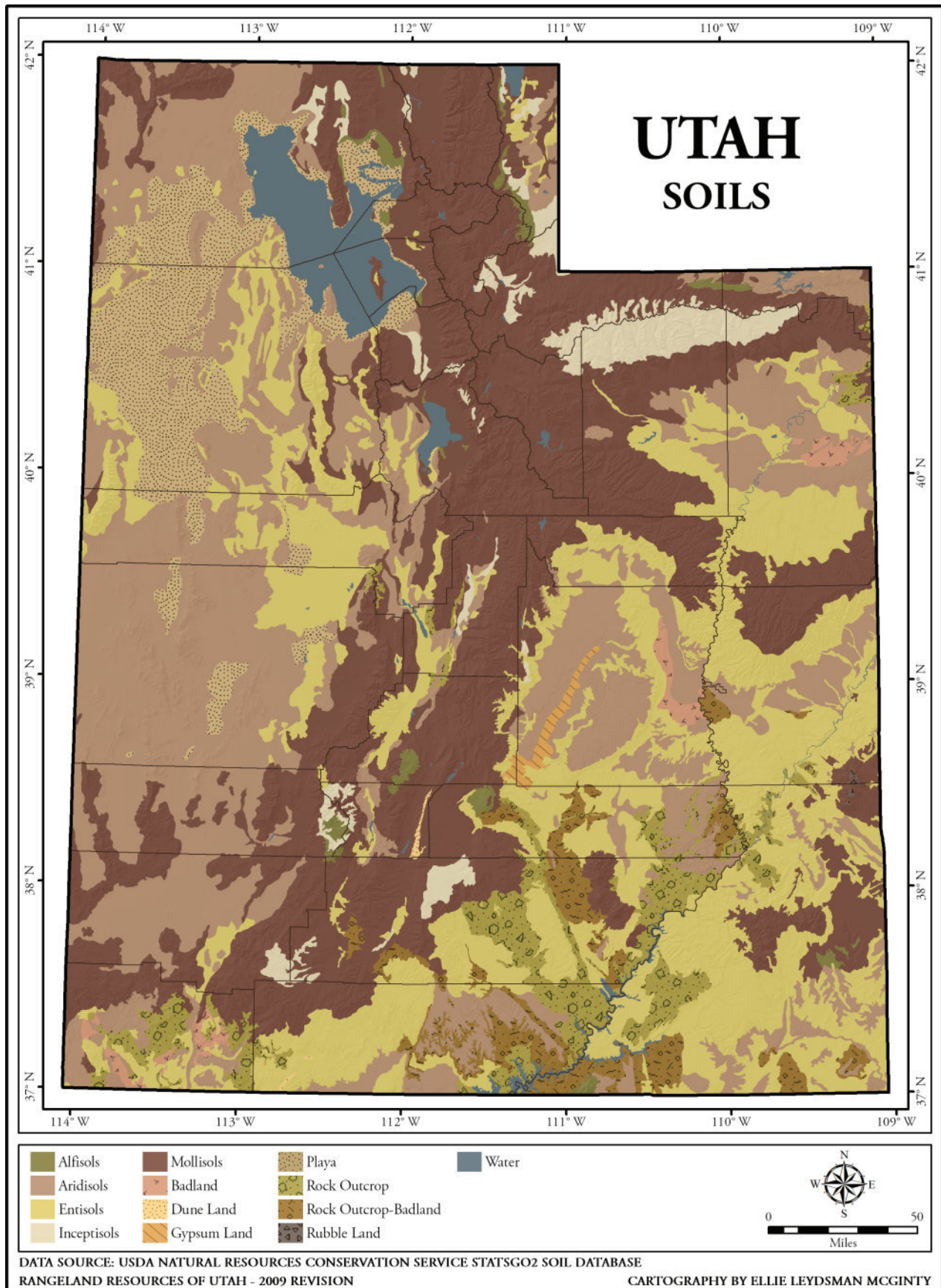


Figure 6.1. Primary soil orders and landforms in Utah.