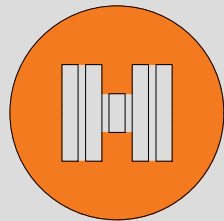


UT83-CF | 07:53 AM TUESDAY 06 MAY 2025 | Q:\2025\UT-10841-25 BEACON POINTE NEIGHBORHOOD PARK\PROJECT DATA\02 CAD\2.03 SHEET FILES\CONSTRUCTION DRAWINGS\NEW BEACON POINTE POOL SHEETS\G001-02 TITLE & NOTES.DWG

BEACON POINTE



BEACON POINTE POOL

ISSUED: 06 MAY 2025

CONTACT INFORMATION



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DESIGN



PRINCIPAL : G. NELSON
MANAGER: O. SORENSON
REVIEWER : O. SORENSON
DRAFTER : I. HOPPE

PROJECT

06 MAY 2025

BEACON POINTE POOL

894 CAROLINE DR, SARATOGA SPRINGS, UT 84045

Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
1	G001	COVER
2	G002	NOTES
3	CS100	SURVEY CONTROL
4	CS101	EXISTING CONDITIONS AND DEMOLITION
5	CP101	SITE PLAN
6	CG101	OVERALL GRADING PLAN
7	CG401	ENLARGED GRADING PLAN
8	CG402	ENLARGED GRADING PLAN
9	CU101	UTILITY PLAN
10	CU301	UTILITY PROFILES
11	CP501	DETAILS
12	CP502	DETAILS
13	CP503	SARATOGA SPRINGS STANDARD DETAILS
14	CP504	DETAILS
15	CP505	PICKLEBALL COURT PLAN VIEW DETAIL

PROJECT INFORMATION				
SHEET NOTES	ACRES	SQ. FT.	PERCENT	#
TOTAL PROJECT AREA	1.34	58,439.92	100%	
RIGHT-OF-WAY AREA	0.06	2,458.36	4.21%	
LOT AREA	1.29	55,981.56	95.79%	
SENSITIVE LANDS	0.00	0	0%	
OPEN SPACE	NA	NA	NA	
BUILDABLE LAND	NA	NA	NA	
LANDSCAPE AREA	0.84	36,795.54	62.96%	
PARKING SPACES				11
LOTS				NA
DENSITY BY ACRE				NA

VICINITY-MAP

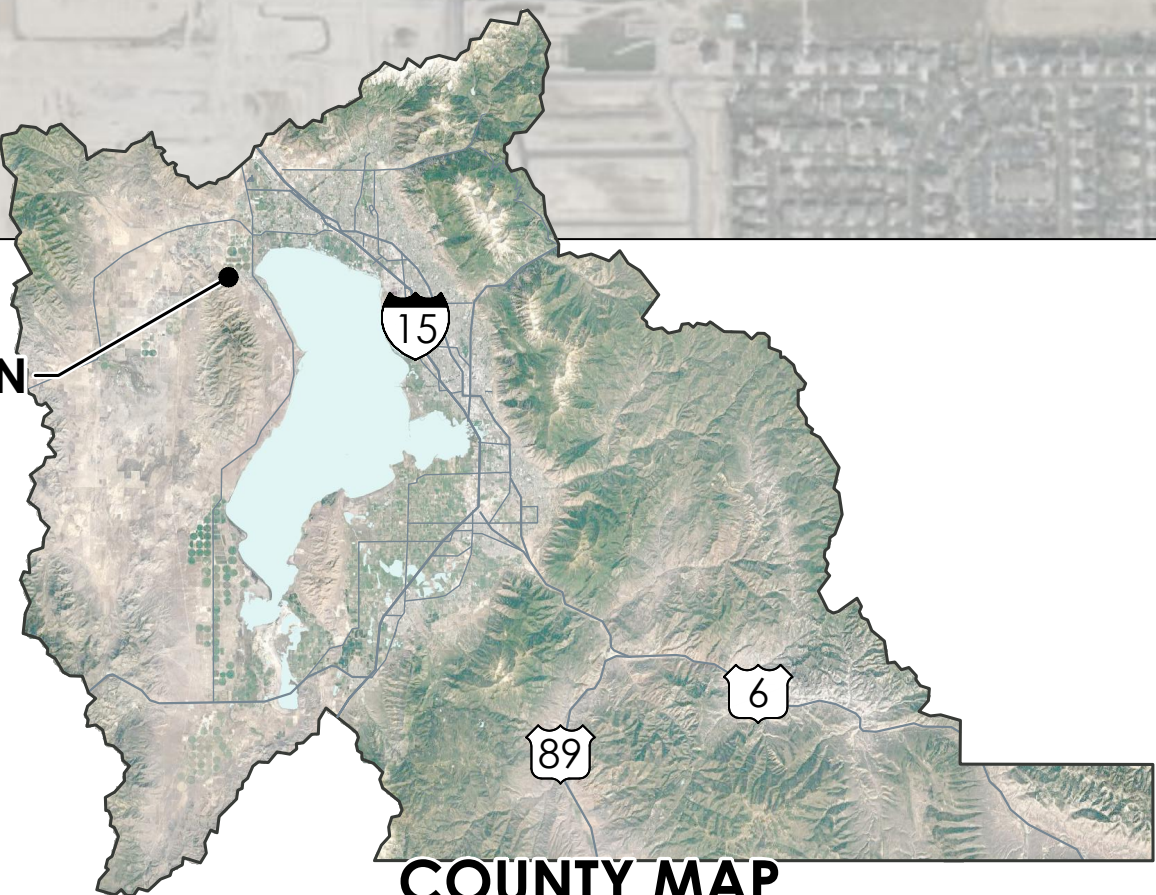


PROJECT LOCATION



STATE MAP

PROJECT LOCATION



COUNTY MAP

MASTER LEGEND

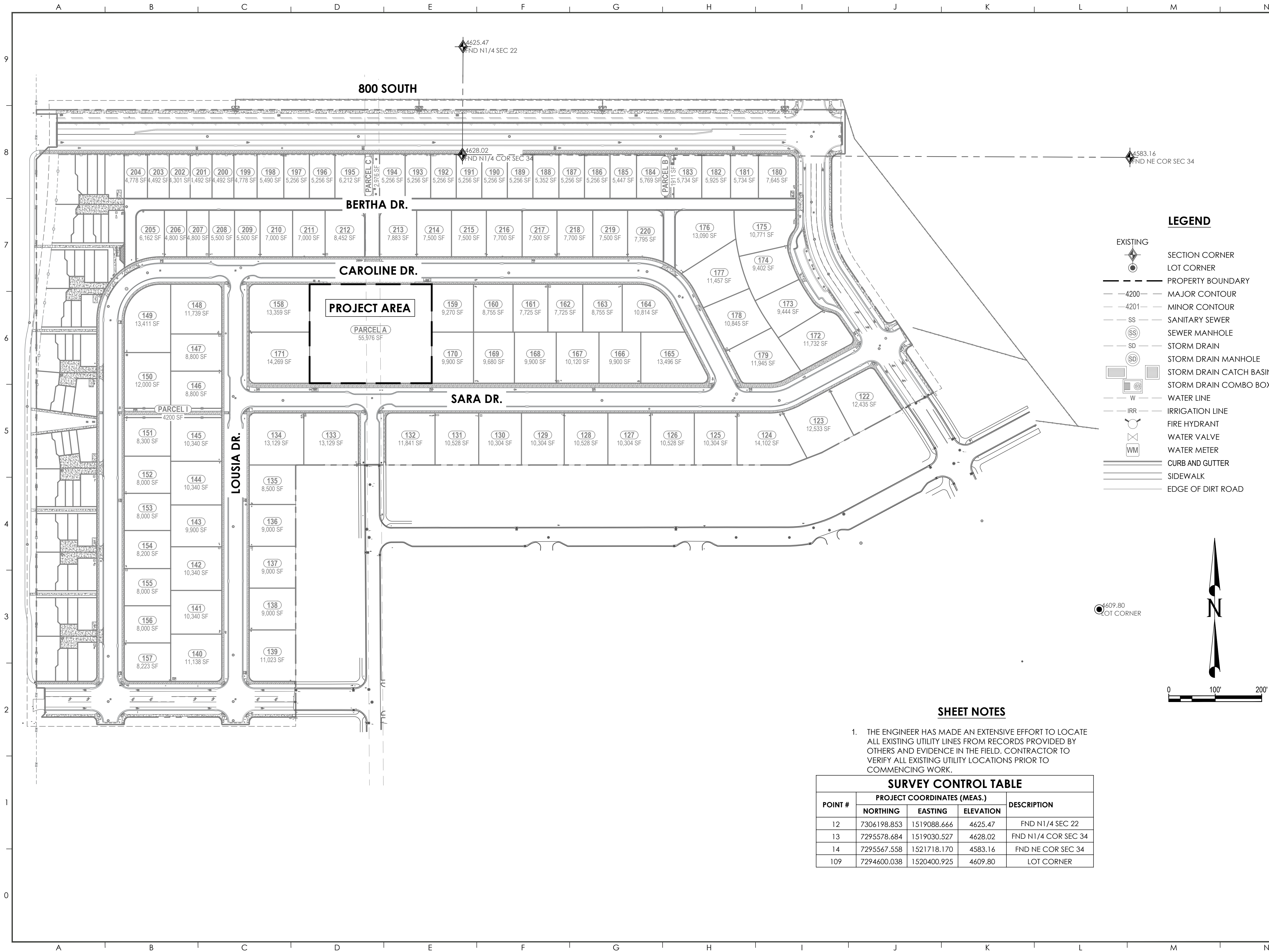
EXISTING	PROPOSED	
		COLLECTING CURB AND GUTTER
		SHEDDING CURB AND GUTTER
		EDGE OF ASPHALT
		FLOW LINE
		ASPHALT PAVEMENT
		CONCRETE PAVEMENT
		STORM DRAIN CATCH BASIN
		STREET LIGHT
		WATER/IRRIGATION METERS/VALVES
		UTILITY MANHOLES
		FIRE HYDRANT
		PROPERTY BOUNDARY
		LOT BOUNDARY
		EASEMENT
		MAJOR CONTOUR
		MINOR CONTOUR
		SANITARY SEWER LINE
		STORM DRAIN LINE
		CULINARY WATER LINE
		SECTION CORNER
		SECTION LINE
		LOT LINE
		PROPOSED ROW LINE
		ROAD CENTERLINE
		EASEMENT
		STREET MONUMENT
		SIDEWALK
		EDGE OF DIRT ROAD

COVER

1 OF 15

G001

File Path: Q:\2025\5\1084-1-25 beacon pointe neighborhood park\project data\02 CAD\2\03 sheet files\construction drawings\new beacon pointe pool sheets\CS101 EXISTING CONDITIONS.dwg May 06, 2025 - 7:58am



SHEET NOTES

- THE ENGINEER HAS MADE AN EXTENSIVE EFFORT TO LOCATE ALL EXISTING UTILITY LINES FROM RECORDS PROVIDED BY OTHERS AND EVIDENCE IN THE FIELD. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING WORK.

POINT #	PROJECT COORDINATES (MEAS.)			DESCRIPTION
	NORTHING	EASTING	ELEVATION	
12	7306198.853	1519088.666	4625.47	FND N1/4 SEC 22
13	7295578.684	1519030.527	4628.02	FND N1/4 COR SEC 34
14	7295567.558	1521718.170	4583.16	FND NE COR SEC 34
109	7294600.038	1520400.925	4609.80	LOT CORNER

LEGEND

- EXISTING
- SECTION CORNER
 - LOT CORNER
 - PROPERTY BOUNDARY
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - SANITARY SEWER
 - SEWER MANHOLE
 - STORM DRAIN
 - STORM DRAIN MANHOLE
 - STORM DRAIN CATCH BASIN
 - STORM DRAIN COMBO BOX
 - WATER LINE
 - IRRIGATION LINE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - CURB AND GUTTER
 - SIDEWALK
 - EDGE OF DIRT ROAD

CONTACT INFORMATION

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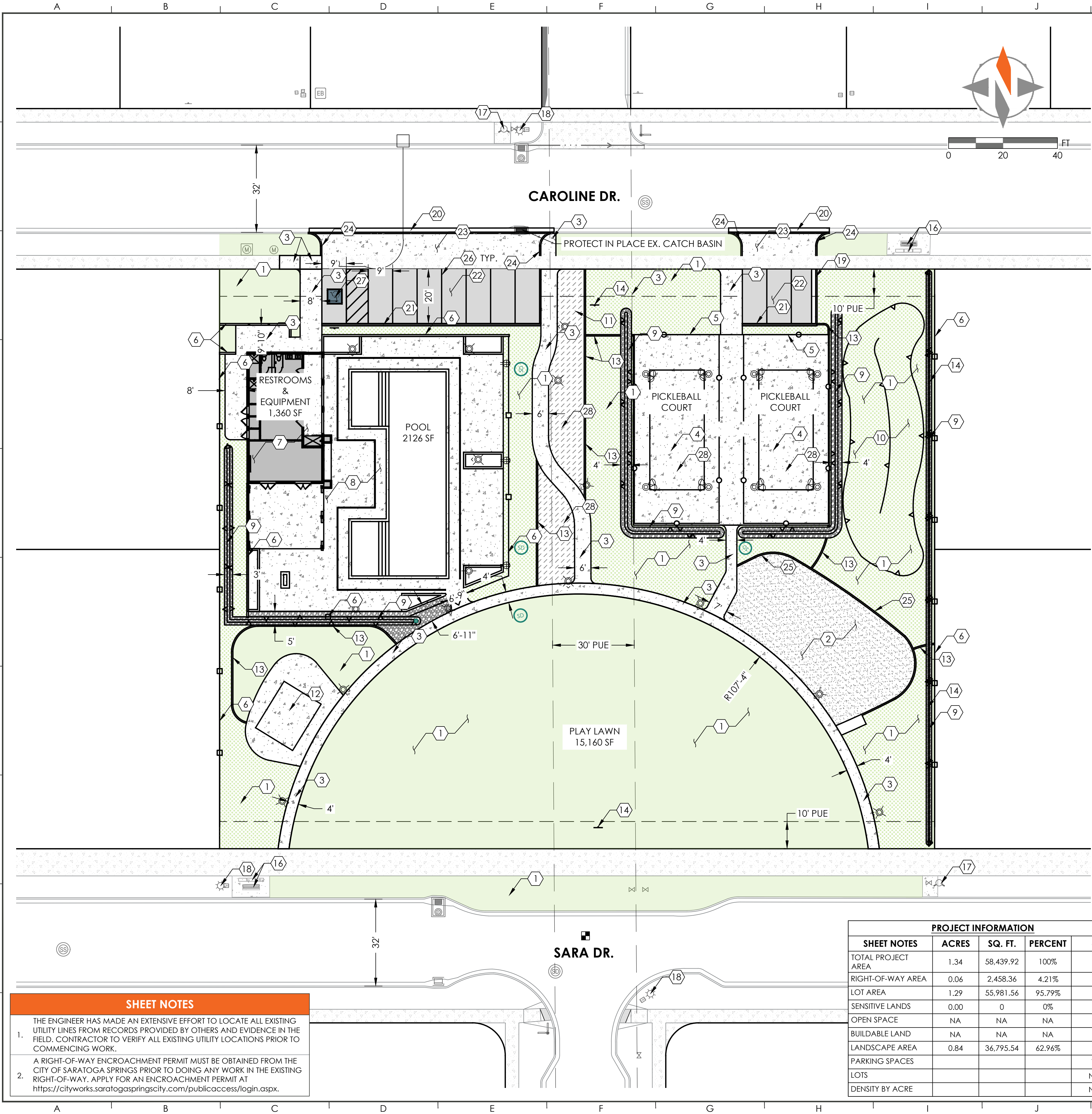
PROJECT

06 MAY 2025

BEACON POINTE
POOL

894 CAROLINE DR, SARATOGA SPRINGS,
UT 84045

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SHEET NOTES

- THE ENGINEER HAS MADE AN EXTENSIVE EFFORT TO LOCATE ALL EXISTING UTILITY LINES FROM RECORDS PROVIDED BY OTHERS AND EVIDENCE IN THE FIELD. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING WORK.
- A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT <https://cityworks.saratogaspringscity.com/publicaccess/login.aspx>.

PROJECT INFORMATION

SHEET NOTES	ACRES	SQ. FT.	PERCENT	#
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RIGHT-OF-WAY AREA	0.06	2,458.36	4.21%	
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LANDSCAPE AREA	0.84	36,795.54	62.96%	
PARKING SPACES				11
LOTS				NA
DENSITY BY ACRE				NA

SITE PLAN LEGEND

EXISTING	PROPOSED	
		SIGN
		FENCE-DECORATIVE
		COLLECTING CURB & GUTTER
		SHEDDING CURB & GUTTER
		ASPHALT PAVEMENT
		CONCRETE PAVEMENT
		COMPACTED GRAVEL
		BUILDING
		PROPERTY LINES
		SECTIONS
		SETBACKS
		SUBDIVISION BOUNDARY
		RIGHT OF WAY
		ADJOINING PROPERTIES
		SAWCUT
		STRUCTURES
		LAWN
		SLOPE EDGES
		PLANTING AREA
		RIPRAP
		SOFFIT PLAYGROUND SURFACE

KEYED NOTES

- SEE LANDSCAPE PLANS
- PLAY AREA PER LANDSCAPE PLANS
- CONCRETE SIDEWALK PER DETAIL 4 AND 7/CP502
- PICKLEBALL COURT PER SECTION DETAIL 1-5/CP501
- CHAIN LINK FENCE PER LANDSCAPE PLANS
- DECORATIVE FENCE/WALL PER LANDSCAPE PLANS
- POOL HOUSE PER ARCHITECT PLANS
- POOL DECK CONCRETE PER DETAIL 6/CP502. ELEVATIONS ARE TO THE TOP OF THE TILE WHICH IS DETAILED BY LANDSCAPE PLANS.
- SWALE PER DETAIL 8/CP501
- BERM. SEE GRADING PLAN SHEET CG101
- BIKE RACK PER LANDSCAPE PLANS
- SHADE STRUCTURE PER LANDSCAPE PLANS
- 6" MOW CURB PER LANDSCAPE PLANS
- INSTALL "CAUTION: HIGH PRESSURE GAS" SIGN PER TYPICAL SIGN DETAIL 7/CP501.
- COMPACTED GRAVEL PER LANDSCAPE PLANS
- EXISTING MAIL BOXES AND BENCH
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POST
- TYPE "A" CURB AND GUTTER PER DETAIL 2/CP502.
- 24" MOUNTABLE CURB AND GUTTER PER DETAIL 3/CP502
- TYPE "Q" CURB PER DETAIL 5/CP502.
- ASPHALT PAVEMENT PER DETAIL 1/CP502.
- CONCRETE PAVEMENT PER DETAIL 6/CP502.
- CURB RETURN PER SARATOGA SPRINGS CITY STANDARD DETAIL ST-4B ON CP503.
- 14" DEEP CONCRETE EDGING PER DETAIL LANDSCAPE PLANS
- 4" WHITE STRIPING.
- ADA PARKING STALL PER DETAIL 6/CP501.
- PICKLEBALL COURT MARKING PER DETAIL 1/CP505

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DESIGN



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PROJECT

06 MAY 2025

BEACON POINTE
POOL

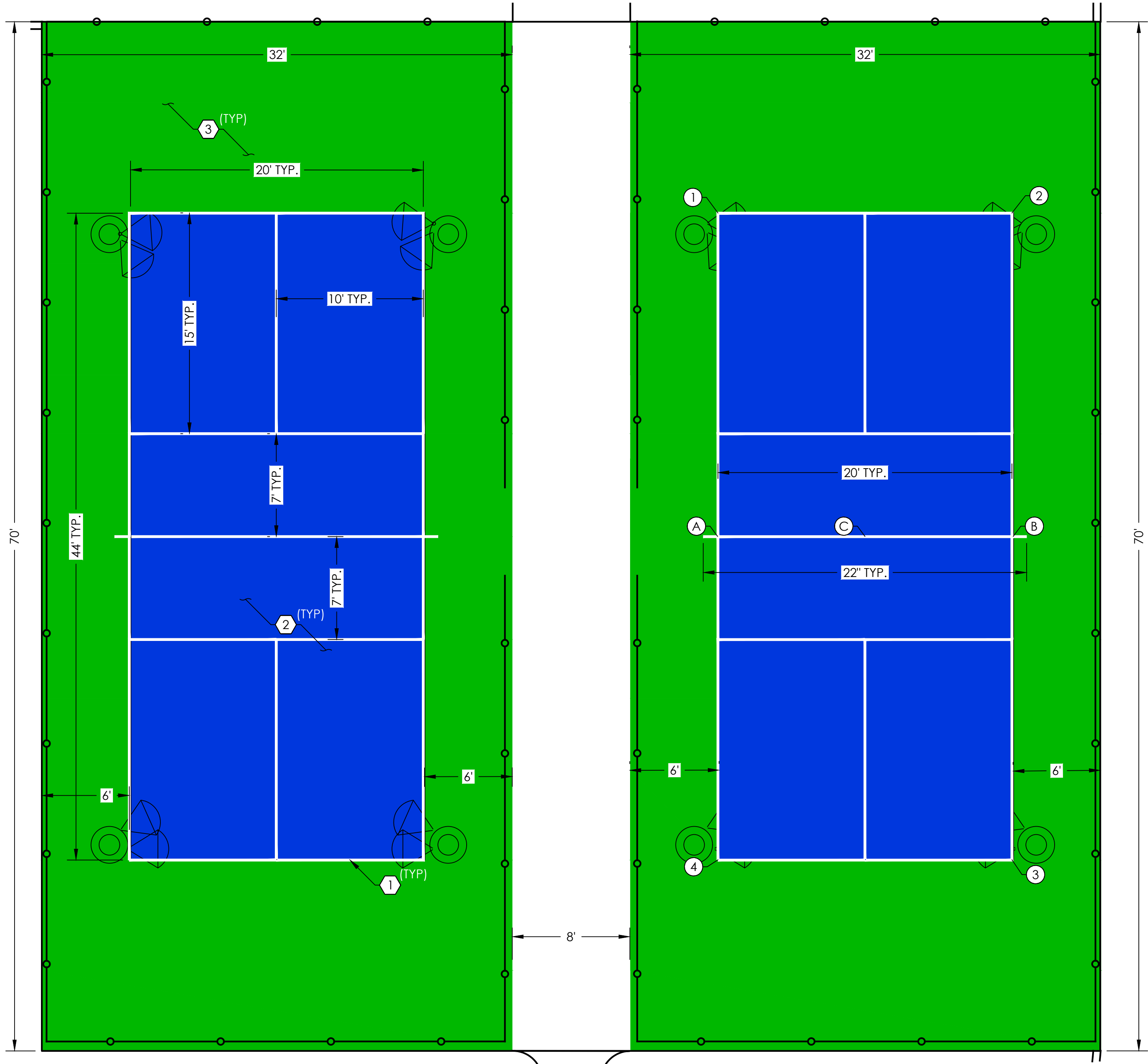
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SITE PLAN

5 OF 15

CP101

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1 PICKLEBALL COURT - PLAN VIEW
SCALE: 1"=10'

KEYED NOTES

- ① 2" THICK WHITE LINE
- ② INNER COURT COLOR - ROYAL BLUE
- ③ OUTER COURT COLOR - FOREST GREEN

GENERAL NOTES

- IN LAYING OUT COURT DIMENSIONS, FIRST ESTABLISH THE CENTER LINE BETWEEN THE NET POSTS AND LOCATE THE CENTER POINT, C. LOCATE POINTS A AND B, 10' ON EITHER SIDE OF POINT C.
- FROM POINT A, SWING AN ARC 22' TO POINTS ① AND ④. FROM POINT A, SWING AN ARC 29'-8 3/4" TO POINTS ② AND ③.
- FROM POINT B, SWING AN ARC 22' TO POINTS ② AND ③. FROM POINT B, SWING AN ARC 28'-8 3/4" TO POINTS ① AND ④.
- THE POINTS FORMED BY THE INTERSECTION OF THE ARCS AT ①, ②, ③, AND ④ ARE THE OUTSIDE CORNERS OF THE PLAYING LINES FOR THE PICKLEBALL COURT.
- FROM THESE POINTS, THE SIDELINES, BASELINES AND THE INTERIOR LINES CAN BE ESTABLISHED ACCORDING TO STANDARD PICKLEBALL COURT DIMENSIONS, (SEE 1/CP501)
- ALL MEASUREMENTS ARE TO THE OUTSIDE OF THE PLAYING LINES EXCEPT FOR THE CENTER SERVICE LINE AND THE CENTER MARK.
- ALL LINES SHALL BE 2" IN WIDTH.
- AS A MEANS OF CHECKING THE ACCURACY OF THE LINES, THE DISTANCE FROM POINT ① TO POINT ② AND FROM POINT ③ TO POINT ④ SHOULD BE EXACTLY 20' AND THE DISTANCE FROM POINT ① TO POINT ③ AND FROM POINT ② TO POINT ④ SHOULD BE 48' 4"
- REFER TO SECTION 03 70 00 REINFORCED POST-TENSIONED CONCRETE PICKLEBALL COURTS

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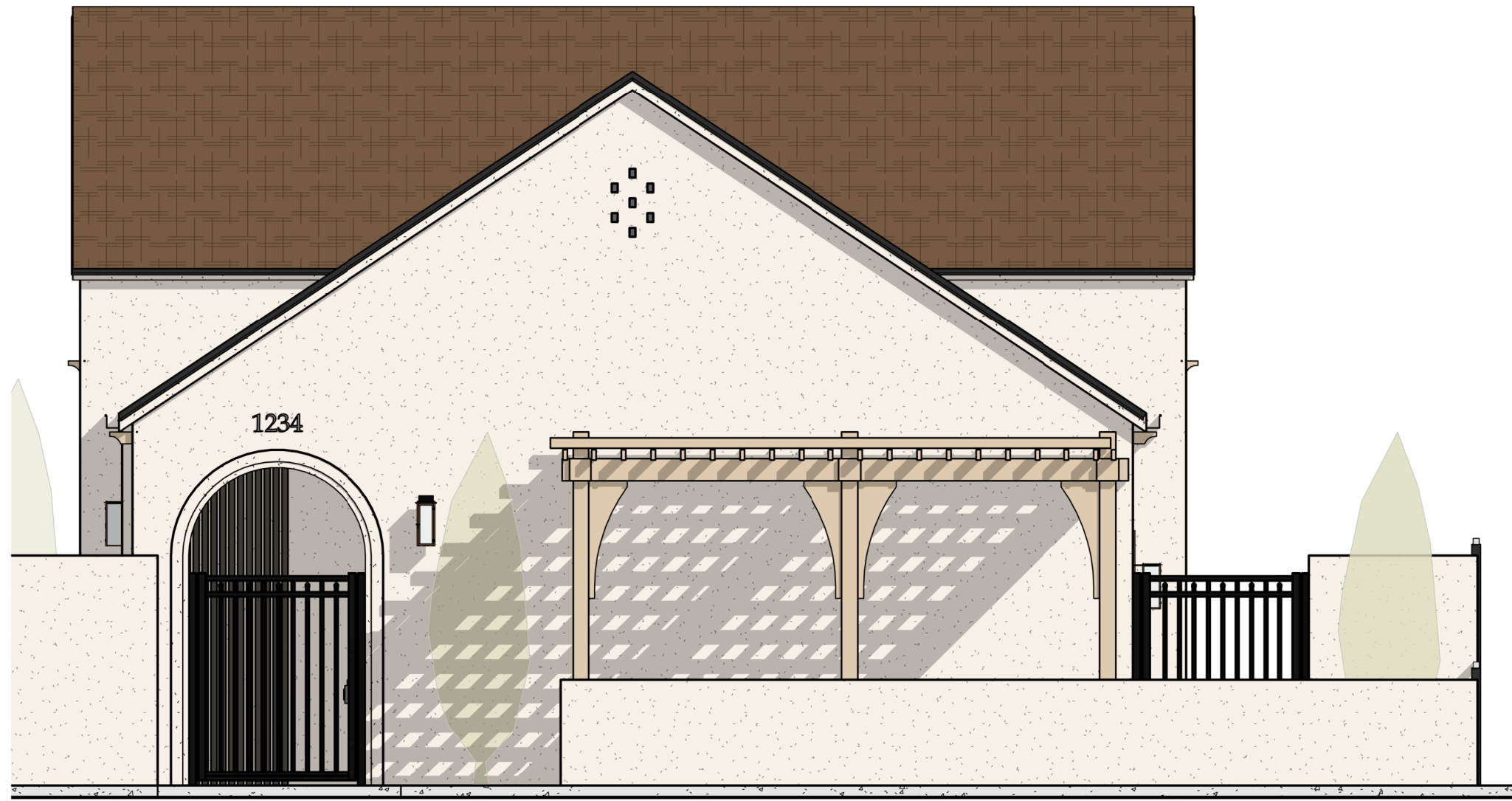
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PROJECT

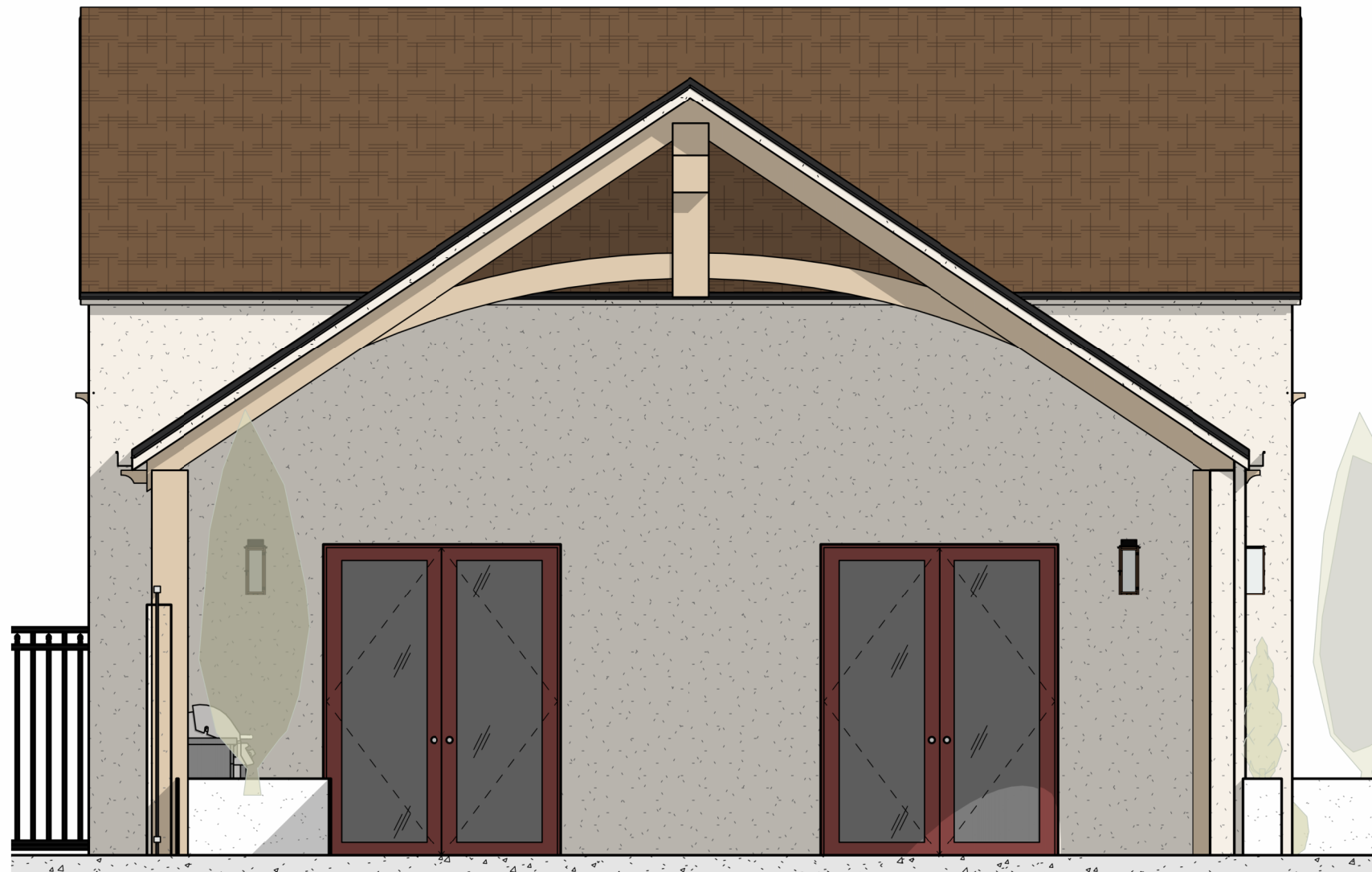
06 MAY 2025

**BEACON POINTE
POOL**

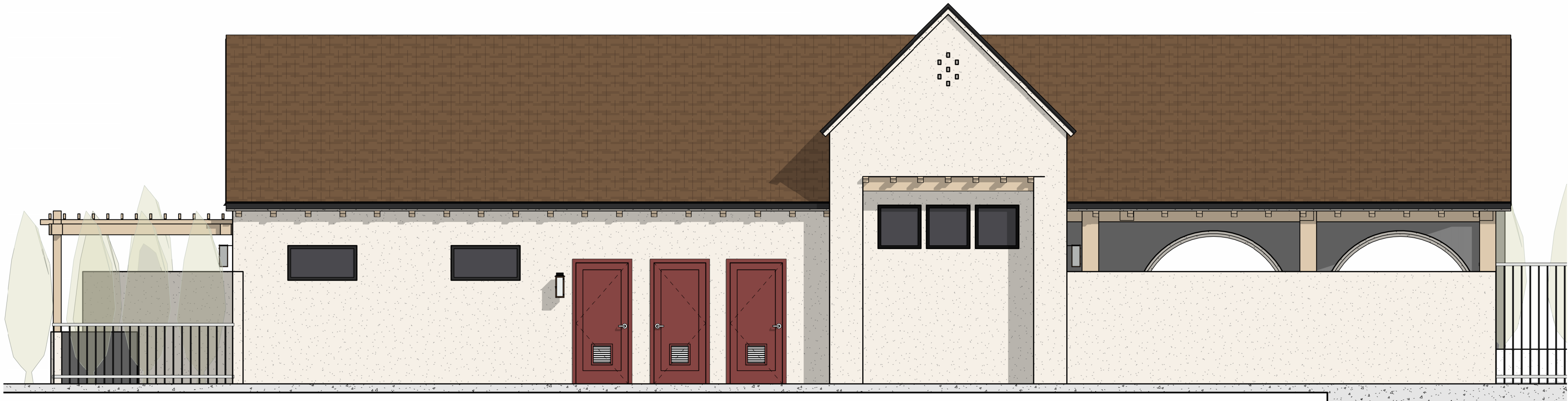
894 CAROLINE DR, SARATOGA SPRINGS,
UT 84045



B2 NORTH POOL HOUSE ELEVATION
1/4" = 1'-0"



A1 SOUTH POOL HOUSE ELEVATION
1/4" = 1'-0"

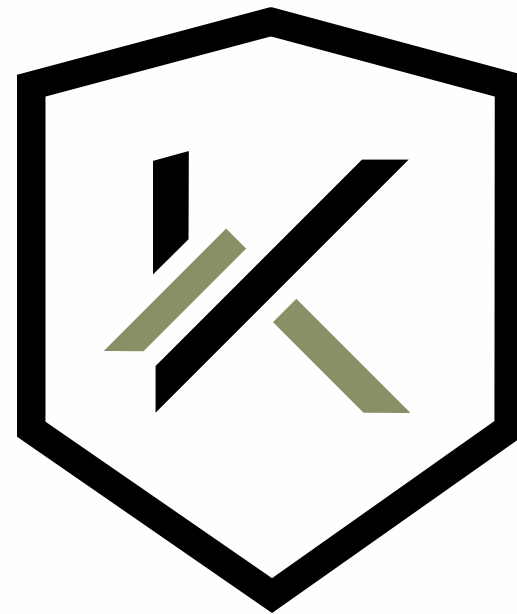
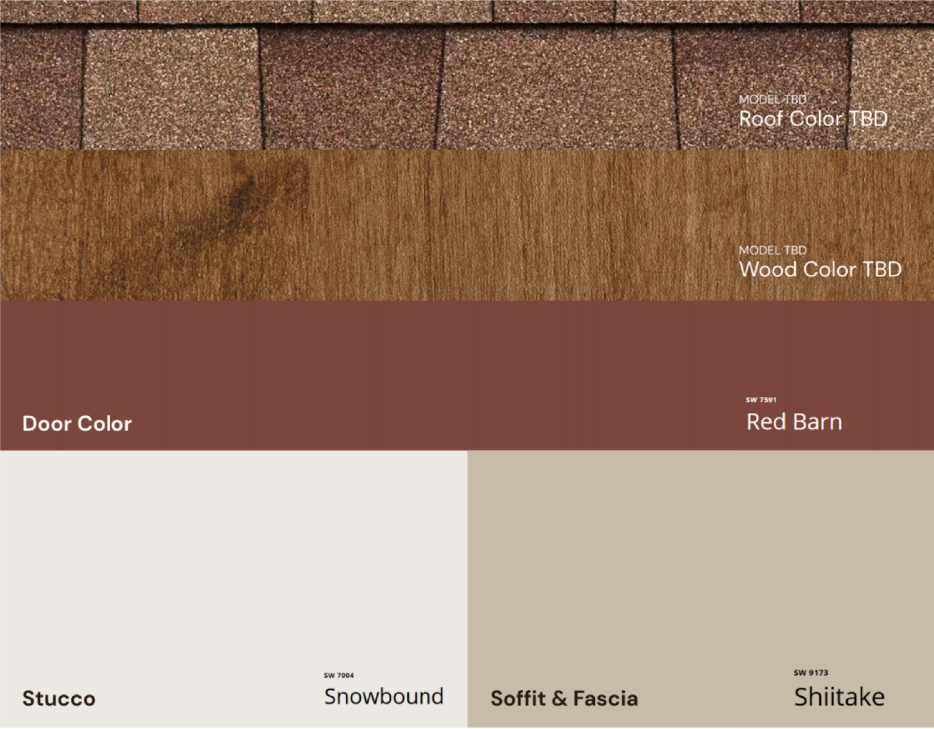


B1 WEST POOL HOUSE CABANA
1/4" = 1'-0"



C1 EAST POOL HOUSE ELEVATION
1/4" = 1'-0"

MATERIAL COLORS



KNIGHTON
ARCHITECTURE + PLANNING

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**NOT FOR
CONSTRUCTION**

**BEACON POINTE
- POOL HOUSE**

**LAND RESERVE
SARATOGA SPRINGS**

**DD SET
03.14.2025**

ELEVATIONS

A301