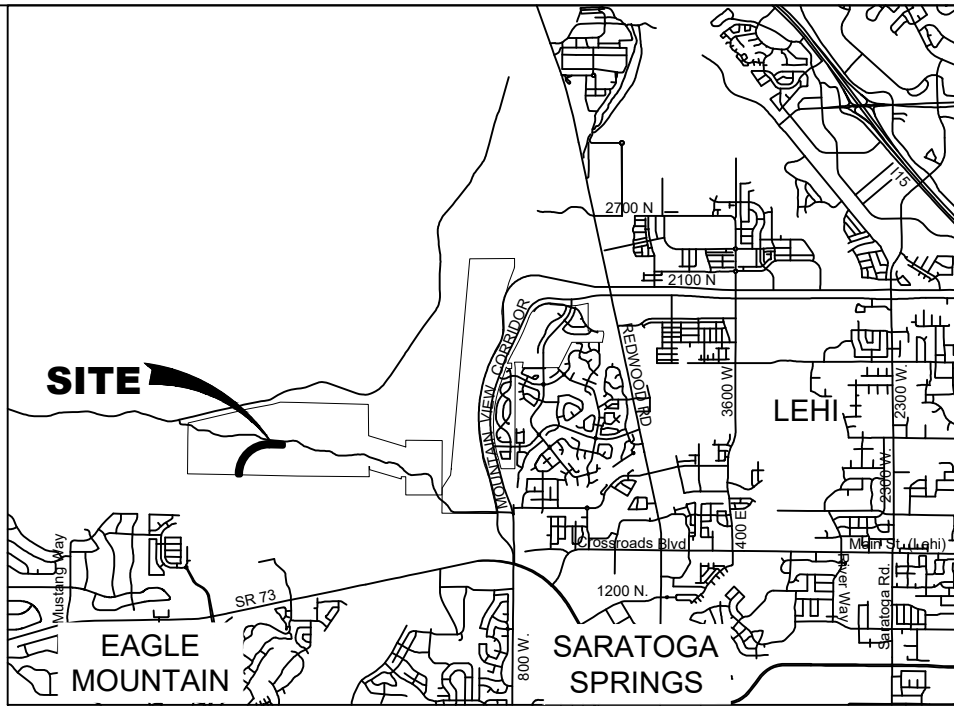
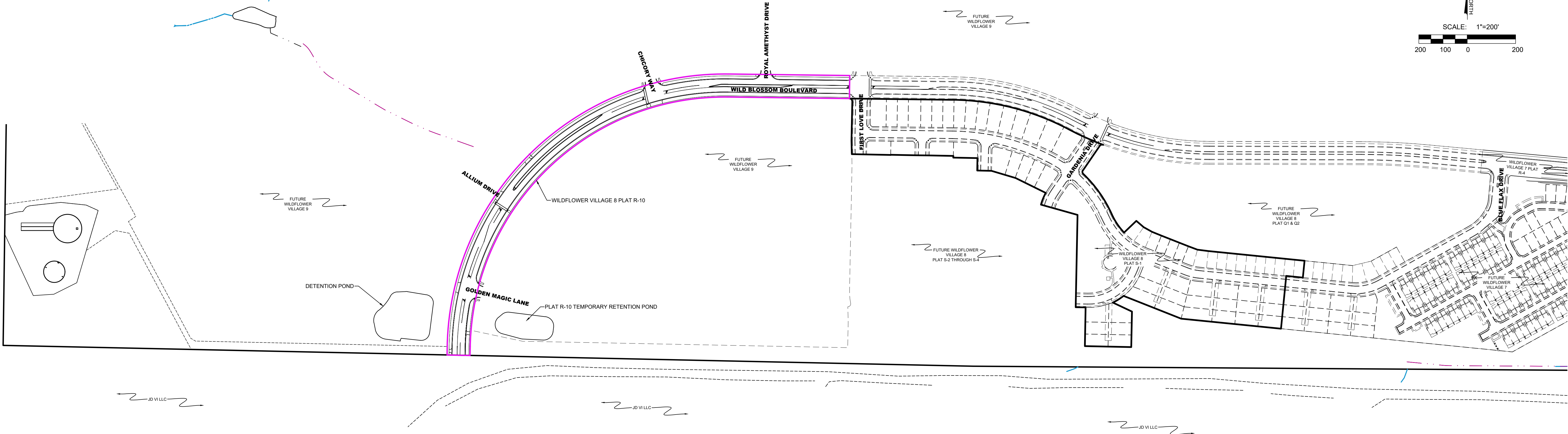
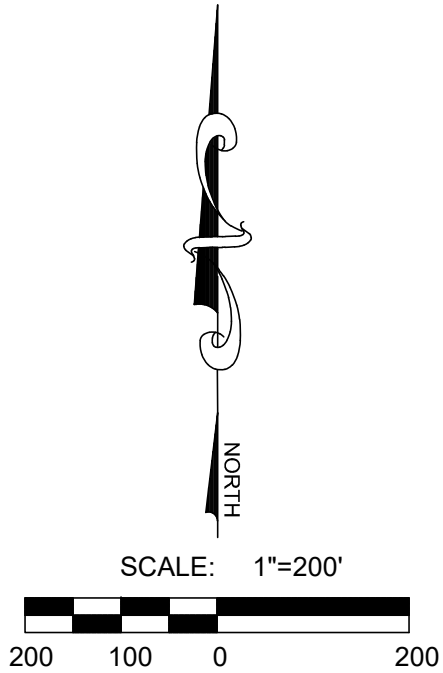


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C-401	UTILITY PLAN
C-501	OVERALL GRADING PLAN
C-502	GRADING PLAN
C-503	DETENTION POND DETAILS
C-601	WILD BLOSSOM BLVD P&P
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WILDFLOWER - VILLAGE 9 - PLAT R-10
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER AND SOUTHEAST QUARTER OF SECTION 9,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



- CITY STANDARD NOTES**
1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
 2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING STORM DRAIN STRUCTURES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW STORM DRAIN LINES.
 3. ALL CONSTRUCTION SHALL COMPLY WITH THE STANDARD TECHNICAL SPECIFICATIONS AND DRAWINGS FOR THE CITY OF SARATOGA SPRINGS, UTAH.
 4. EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN FIELD AND NOTIFY ENGINEER AND CITY IF DISCREPANCIES EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.
 5. POST-ACCEPTANCE ALTERATIONS TO LIGHTING PLANS OR INTENDED SUBSTITUTIONS FOR ACCEPTED LIGHTING EQUIPMENT SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND ACCEPTANCE.
 6. THE CITY RESERVES THE RIGHT TO CONDUCT POST-INSTALLATION INSPECTIONS TO VERIFY COMPLIANCE WITH THE CITY'S REQUIREMENTS AND APPROVED LIGHTING PLAN COMMITMENTS, AND IF DEEMED APPROPRIATE BY THE CITY, TO REQUIRE REMEDIAL ACTION AT NO EXPENSE TO THE CITY.
 7. ALL EXTERIOR LIGHTING SHALL MEET IESNA FULL-CUTOFF CRITERIA.



LEGEND																																			
EXISTING	PROPOSED																																		
BOUNDARY LINE	BOUNDARY LINE																																		
STREET CENTERLINE	STREET CENTERLINE																																		
EASEMENT LINE	EASEMENT LINE																																		
LOT LINES	LOT LINES																																		
SEWER PIPE	SEWER PIPE																																		
SEWER MANHOLE	SEWER MANHOLE																																		
4" SEWER SERVICE	4" SEWER SERVICE																																		
STORM DRAIN PIPE (RCP)	STORM DRAIN PIPE (RCP)																																		
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE																																		
CURB INLET	CURB INLET																																		
COMBO BOX	COMBO BOX																																		
2x2' YARD BOX	2x2' YARD BOX																																		
4x4' CATCH BASIN	4x4' CATCH BASIN																																		
3x3' CATCH BASIN	3x3' CATCH BASIN																																		
INLET/OUTLET W/ GRATE	INLET/OUTLET W/ GRATE																																		
CULINARY WATER PIPE	CULINARY WATER PIPE																																		
45" PIPE ELBOW (W)	45" PIPE ELBOW (W)																																		
22.5" PIPE ELBOW (W)	22.5" PIPE ELBOW (W)																																		
11.25" PIPE ELBOW (W)	11.25" PIPE ELBOW (W)																																		
FIRE HYDRANT	FIRE HYDRANT																																		
3/4" SERVICE & METER (W)	3/4" SERVICE & METER (W)																																		
PRV (W)	PRV (W)																																		
DETAILS	DETAILS																																		
SS-1, ST-7, (*2)	SS-1, ST-7, (*2)																																		
SS-2, SS-2A, (*2)	SS-2, SS-2A, (*2)																																		
SS-3, (*5)	SS-3, (*5)																																		
SD-1, ST-7, (*2)	SD-1, ST-7, (*2)																																		
SS-2, (*2)	SS-2, (*2)																																		
SD-2	SD-2																																		
COMBO BOX	COMBO BOX																																		
SD-4	SD-4																																		
(*2)	(*2)																																		
4x4' CATCH BASIN	4x4' CATCH BASIN																																		
3x3' CATCH BASIN	3x3' CATCH BASIN																																		
INLET/OUTLET W/ GRATE	INLET/OUTLET W/ GRATE																																		
CULINARY WATER PIPE	CULINARY WATER PIPE																																		
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PRV (W)	PRV (W)																																		
DETAILS	DETAILS																																		
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DW-2, DW-3, (*2)	DW-2, DW-3, (*2)																																		
DW-2, DW-3, (*2)	DW-2, DW-3, (*2)																																		
DW-4	DW-4																																		
DW-5	DW-5																																		
DW-10A, DW-10B, DW-15	DW-10A, DW-10B, DW-15																																		
AIR-VAC VALVE (W)	AIR-VAC VALVE (W)																																		
2" BLOW-OFF (W)	2" BLOW-OFF (W)																																		
VALVE (W & SW)	VALVE (W & SW)																																		
TEE	TEE																																		
CROSS	CROSS																																		
SECONDARY WATER PIPE	SECONDARY WATER PIPE																																		
45" PIPE ELBOW (SW)	45" PIPE ELBOW (SW)																																		
22.5" PIPE ELBOW (SW)	22.5" PIPE ELBOW (SW)																																		
11.25" PIPE ELBOW (SW)	11.25" PIPE ELBOW (SW)																																		
1" SINGLE SW SERVICE	1" SINGLE SW SERVICE																																		
1-1/2" DUAL SW SERVICE	1-1/2" DUAL SW SERVICE																																		
SW SERVICE TO PARKS	SW SERVICE TO PARKS																																		
AIR-VAC VALVE (SW)	AIR-VAC VALVE (SW)																																		
BACKFLOW PREVENTER	BACKFLOW PREVENTER																																		
2" BLOW-OFF (SW)	2" BLOW-OFF (SW)																																		
30" C&G (COLLECTOR)	30" C&G (COLLECTOR)																																		
24" C&G (LOCAL)	24" C&G (LOCAL)																																		
24" SHED C&G	24" SHED C&G																																		
SIDEWALK	SIDEWALK																																		
STOP SIGN	STOP SIGN																																		
STREET SIGN	STREET SIGN																																		
MONUMENT	MONUMENT																																		
SPRINKLER CONDUIT	SPRINKLER CONDUIT																																		
DETAILS	DETAILS																																		
DW-13, DW-15	DW-13, DW-15																																		
(*1)(*2)	(*1)(*2)																																		
DW-2, (*2)	DW-2, (*2)																																		
PI-1, PI-2, ST-7, (*2)	PI-1, PI-2, ST-7, (*2)																																		
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PI-3, PI-5A, PI-5C	PI-3, PI-5A, PI-5C																																		
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PI-11	PI-11																																		
PI-12, PI-13	PI-12, PI-13																																		
ST-1, ST-2A	ST-1, ST-2A																																		
ST-1, ST-2C	ST-1, ST-2C																																		
ST-1, ST-2F	ST-1, ST-2F																																		
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ST-28	ST-28																																		
ST-29	ST-29																																		
ST-9, (*3)	ST-9, (*3)																																		
EXISTING	PROPOSED																																		
FENCE	FENCE																																		
STREET LIGHT LOCAL	STREET LIGHT LOCAL																																		
STREET LIGHT COLLECTOR	STREET LIGHT COLLECTOR																																		
POWER POLE	POWER POLE																																		
DITCH	DITCH </tr <tr><td>FIBER OPTIC</td><td>FIBER OPTIC</td></tr> <tr><td>GAS</td><td>GAS</td></tr> <tr><td>OVERHEAD POWER</td><td>OVERHEAD POWER</td></tr> <tr><td>FLOW ARROW</td><td>FLOW ARROW</td></tr> <tr><td>CONTOURS</td><td>CONTOURS</td></tr> <tr><td>100 YEAR FLOOD ROUTE</td><td>100 YEAR FLOOD ROUTE</td></tr> <tr><td>MATCH LINE</td><td>MATCH LINE</td></tr> <tr><td>DRIVE APPROACH</td><td>DRIVE APPROACH</td></tr> <tr><td>ADA RAMP</td><td>ADA RAMP</td></tr> <tr><td>TRAIL</td><td>TRAIL</td></tr> <tr><td>DETAILS</td><td>DETAILS</td></tr> <tr><td>LS-14, LS15, DET. 1 SH, D-4</td><td>LS-14, LS15, DET. 1 SH, D-4</td></tr> <tr><td>LP-1A, LP-1B, LP-1C, LP-4, LP-6</td><td>LP-1A, LP-1B, LP-1C, LP-4, LP-6</td></tr> <tr><td>LP-2A, LP-2B, LP-2C, LP-5, LP-6</td><td>LP-2A, LP-2B, LP-2C, LP-5, LP-6</td></tr> <tr><td>ST-4</td><td>ST-4</td></tr> <tr><td>ST-5A, ST-5B, ST-5C, ST-5E</td><td>ST-5A, ST-5B, ST-5C, ST-5E</td></tr> <tr><td>ST-15A, ST-34, (*4)</td><td>ST-15A, ST-34, (*4)</td></tr>	FIBER OPTIC	FIBER OPTIC	GAS	GAS	OVERHEAD POWER	OVERHEAD POWER	FLOW ARROW	FLOW ARROW	CONTOURS	CONTOURS	100 YEAR FLOOD ROUTE	100 YEAR FLOOD ROUTE	MATCH LINE	MATCH LINE	DRIVE APPROACH	DRIVE APPROACH	ADA RAMP	ADA RAMP	TRAIL	TRAIL	DETAILS	DETAILS	LS-14, LS15, DET. 1 SH, D-4	LS-14, LS15, DET. 1 SH, D-4	LP-1A, LP-1B, LP-1C, LP-4, LP-6	LP-1A, LP-1B, LP-1C, LP-4, LP-6	LP-2A, LP-2B, LP-2C, LP-5, LP-6	LP-2A, LP-2B, LP-2C, LP-5, LP-6	ST-4	ST-4	ST-5A, ST-5B, ST-5C, ST-5E	ST-5A, ST-5B, ST-5C, ST-5E	ST-15A, ST-34, (*4)	ST-15A, ST-34, (*4)
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ST-15A, ST-34, (*4)	ST-15A, ST-34, (*4)																																		

- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 2. ALL EXISTING FENCING WITHIN THE PROPOSED BOUNDARY TO BE REMOVED.
 3. A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. CONTACT CHRIS KLINGEL AT 801-766-9783 EXT. 118.
 4. ALL PRIVATE UTILITIES TO BE LOCATED IN PUBLIC UTILITY EASEMENTS.
 5. MARKERS MUST BE PLACED AT ALL "OFFSITE" UTILITIES PER CITY STANDARD ST-27.
 6. TEMPORARY ACCESS ROADS WILL BE INSTALLED PER DETAIL 5 SHEET C-905.

OWNER / DEVELOPER

LENNAR
111 EAST SEGO LILY DR, SUITE 150
SANDY, UT 84070
(801) 508-5534



CITY OF SARATOGA SPRINGS
1307 N. COMMERCE DR. #200
SARATOGA SPRINGS, UTAH 84045

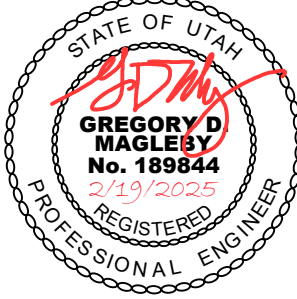
PLANNING DEPT: 801-766-9793
ENGINEERING DEPT: 801-766-6506

ROCKY MOUNTAIN POWER
111 EAST SEGO LILY DR, SUITE 150
SANDY, UT 84070
(801) 508-5534

ENGINEER

LEI CONSULTING ENGINEERS
AND SURVEYORS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
801-798-0555

LEI
- A Utah Corporation -
ENGINEERS
SURVEYORS
PLANNERS
3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



WILDFLOWER - VILLAGE 9 - PLAT R-10
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH
COVER

REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #:
2023-0055
DRAWN BY:
BLS/MJV
CHECKED BY:
GDM
SCALE:
1"=200'
(PRINTED ON 24x36)
DATE:
2/19/2025
SHEET
COVER

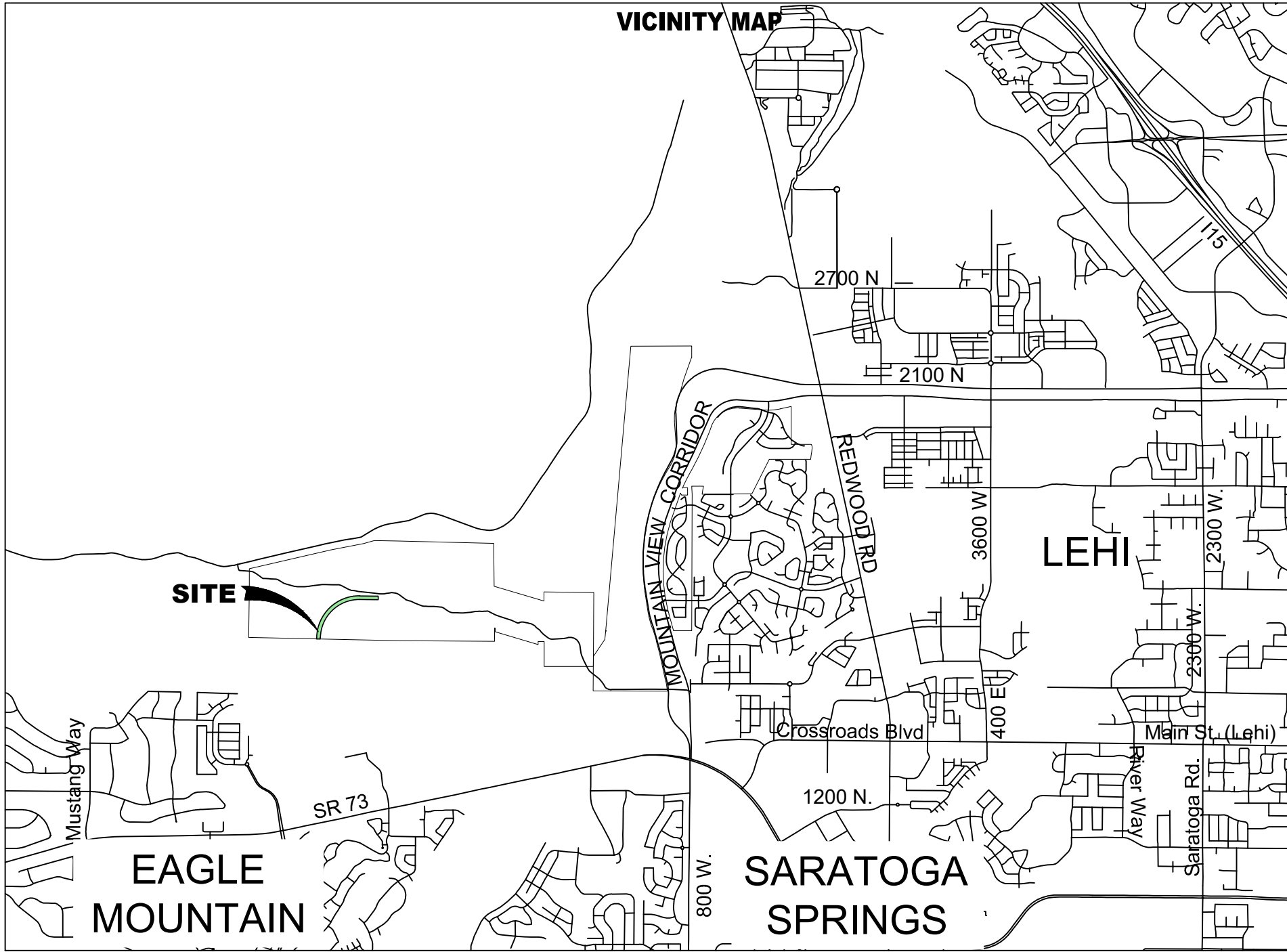
WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,

SALT LAKE BASE AND MERIDIAN

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



NOTES

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY CMT ENGINEERING, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- PARKSTRIPS SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER WHO ABUTS THE PARKSTRIP, UNLESS OTHERWISE NOTED ON AN APPROVED AND RECORDED SUBDIVISION PLAT.
- ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE.
- LOTS/LOTS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S.
- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH ¼ CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,896.76 FEET.
- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 49040C0285F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
- A TITLE REPORT PREPARED BY _____, ORDER NO. _____, EFFECTIVE DATE: _____, WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
- NO ACCESS PERMITTED ON LOTS ADJACENT TO COLLECTOR ROADS, ALL LOTS TO ACCESS FROM INTERIOR RESIDENTIAL ROADS.
- SHALLOW SEWER DEPTHS, CONTRACTOR SHALL VERIFY SEWER DEPTHS BEFORE EXCAVATING FOR BASEMENT FOUNDATIONS. HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
- WILD BLOSSOM BOULEVARD IS A PUBLIC ROAD, UTILITIES WITHIN PUBLIC ROAD MAINTAINED BY CITY OF SARATOGA SPRINGS.



3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(C)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 10-9a-601 ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY.
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS.
 - TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW.

APPROVED THIS ____ DAY OF _____, A.D. 20____.

ROCKY MOUNTAIN POWER

ENBRIDGE GAS UTAH

APPROVED THIS ____ DAY OF _____, A.D. 20____.

BY-

QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH

TITLE-

PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON
THIS ____ DAY OF _____, A.D. 20____.

PLANNING DIRECTOR

CITY ENGINEER
APPROVED BY THE CITY ENGINEER ON
THIS ____ DAY OF _____, A.D. 20____.

CITY ENGINEER

CENTURY LINK

APPROVED THIS ____ DAY OF _____, A.D. 20____.

CENTURY LINK

LAND USE AUTHORITY
APPROVED BY THE LAND USE AUTHORITY ON
THIS ____ DAY OF _____, A.D. 20____.

LAND USE AUTHORITY

FIRE CHIEF
APPROVED BY THE FIRE CHIEF ON
THIS ____ DAY OF _____, A.D. 20____.

CITY FIRE CHIEF

COMCAST CABLE TELEVISION

APPROVED THIS ____ DAY OF _____, A.D. 20____.

COMCAST CABLE TELEVISION

SARATOGA SPRINGS ATTORNEY
APPROVED BY SARATOGA SPRINGS ATTORNEY ON
THIS ____ DAY OF _____, A.D. 20____.

SARATOGA SPRINGS ATTORNEY

LEHI CITY POST OFFICE
APPROVED BY POST OFFICE REPRESENTATIVE ON
THIS ____ DAY OF _____, A.D. 20____.

LEHI CITY POST OFFICE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 501182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8a-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8 AND THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT LOCATED S89°17'50"E ALONG THE QUARTER SECTION LINE 2093.64 FEET AND SOUTH 445.08 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S0°42'16"W 95.00 FEET; THENCE N89°17'44"W 502.30 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 1643.67 FEET WITH A RADIUS OF 1052.50 FEET THROUGH A CENTRAL ANGLE OF 89°28'39", CHORD: S45°57'56"W 1481.66 FEET; THENCE S01°13'37"W 37.44 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SAID SECTION 8; THENCE N88°46'35"W ALONG SAID SOUTH LINE 95.00 FEET; THENCE N01°13'37"E 37.44 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 1792.03 FEET WITH A RADIUS OF 1147.50 FEET THROUGH A CENTRAL ANGLE OF 89°28'39", CHORD: N45°57'56"E 1615.39 FEET; THENCE S89°17'44"E 502.30 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±4.92 ACRES
214,471 SQ. FT.
LOTS: 0
PARCELS: 0

DATE

LICENSE NO. 501182

SURVEYOR'S NAME
(See Seal Below)

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

WILDFLOWER VILLAGE 9 PLAT R-10 (ROADWAY DEDICATION PLAT)

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, PURSUANT TO UTAH CODE 10-9A-604. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OF OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THE SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THEIR SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF _____, A.D. 20____.

SIGNATURE

PRINT NAME

TITLE & ENTITY

SIGNATURE

PRINT NAME

TITLE & ENTITY

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THIS ____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME

PRINT NAME

TITLE

ENTITY

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE

COMMISSION NUMBER

PRINT NAME AS COMMISSIONED

MY COMMISSION EXPIRES

A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF _____, A.D. 20____.

ATTEST _____

CITY MAYOR

CITY RECORDER (See Seal Below)

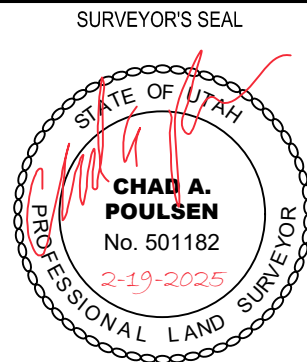
WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,

SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 2



CITY ENGINEER SEAL

CLERK-RECORDER SEAL

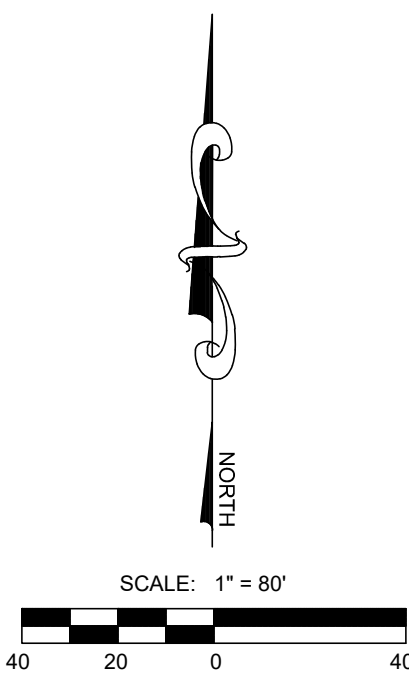
This form approved by Utah County and the municipalities therein.

LEI#17-0032

WILDFLOWER VILLAGE 9 PLAT R-10

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LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT

CENTER 1/4 CORNER OF
SECTION 8, T5S R1W
FOUND: (BLM MONUMENT, 2001)

SECTION LINE-BASIS OF BEARING

WEST 1/4 CORNER OF
SECTION 9, T5S R1W
FOUND: (UTAH COUNTY MONUMENT, 1959)

CENTER 1/4 CORNER
SECTION 9, T5S R1W
FOUND: (BLM MONUMENT, 2002)

POINT OF
BEGINNING

S89°17'44"E 502.30

WILD BLOSSOM BOULEVARD
(PUBLIC - 95' WIDE)

N89°17'44"W 502.30

R=1147.50
Δ=89°28'39"
L=1792.03
CH=N45°57'56"E 1615.39

R=1052.50
Δ=89°28'39"
L=1643.67
CH=S45°57'56"W 1481.66

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	1100.00	61°19'25"	1177.33	N44°12'53"E 1121.93
C2	1100.00	12°19'34"	236.65	N7°23'24"E 236.19
C3	1100.00	21°05'03"	404.79	N24°05'43"E 402.51
C4	1100.00	9°30'55"	182.68	N39°23'42"E 182.47
C5	1100.00	30°43'26"	589.86	N59°30'53"E 582.82
C6	1100.00	15°49'40"	303.87	N82°47'26"E 302.91

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S1°13'37"W	37.44

TABULATIONS				
PLAT R-10				
LOTS	0	LOTS		
PARCELS	0	PARCELS		
BUILDINGS	0	BUILDINGS		
DENSITY	0.00	UNITS/ ACRE		
MINIMUM LOT SIZE	0.00	ACRES / 0 SF		
MAXIMUM LOT SIZE	0.00	ACRES / 0 SF		
AVERAGE LOT SIZE	0.00	ACRES / 0 SF		
TOTAL PROJECT AREA	4.92	214,471	100%	
RIGHT-OF-WAY AREA (PUBLIC)	4.92	214,471	100%	
RIGHT-OF-WAY AREA (PRIVATE)	0.00	0.00	0%	
LOT AREA	0.00	0.00	0%	
OPEN SPACE AREA	0.00	0.00	0%	
SENSITIVE LAND	0.00	0.00	0%	
COMMON AREA	0.00	0.00	0%	
LIMITED COMMON AREA	0.00	0.00	0%	
BUILDABLE LAND	4.92	214,471	100%	
SENSITIVE LAND	0.00	0.00	0%	
LANDSCAPE AREA (IN PLAT ROW)	1.27	55,421	26%	
IMPERVIOUS AREA (IN PLAT ROW)	3.65	159,050	74%	
NUMBER OF GARAGE PARKING SPACES				0
NUMBER OF DRIVEWAY PARKING SPACES				0
NUMBER OF STRIPED PARKING STALLS				0

SOUTHWEST 1/4 CORNER
OF SECTION 9, T5S R1W
FOUND: (UTAH COUNTY MONUMENT, 1959)

N1°13'37"E 37.44

S1°13'37"W 37.44

N88°46'35"W 95.00

LENNAR
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SANDY, UT 84070
(801) 506-5634

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www.lei-eng.com

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