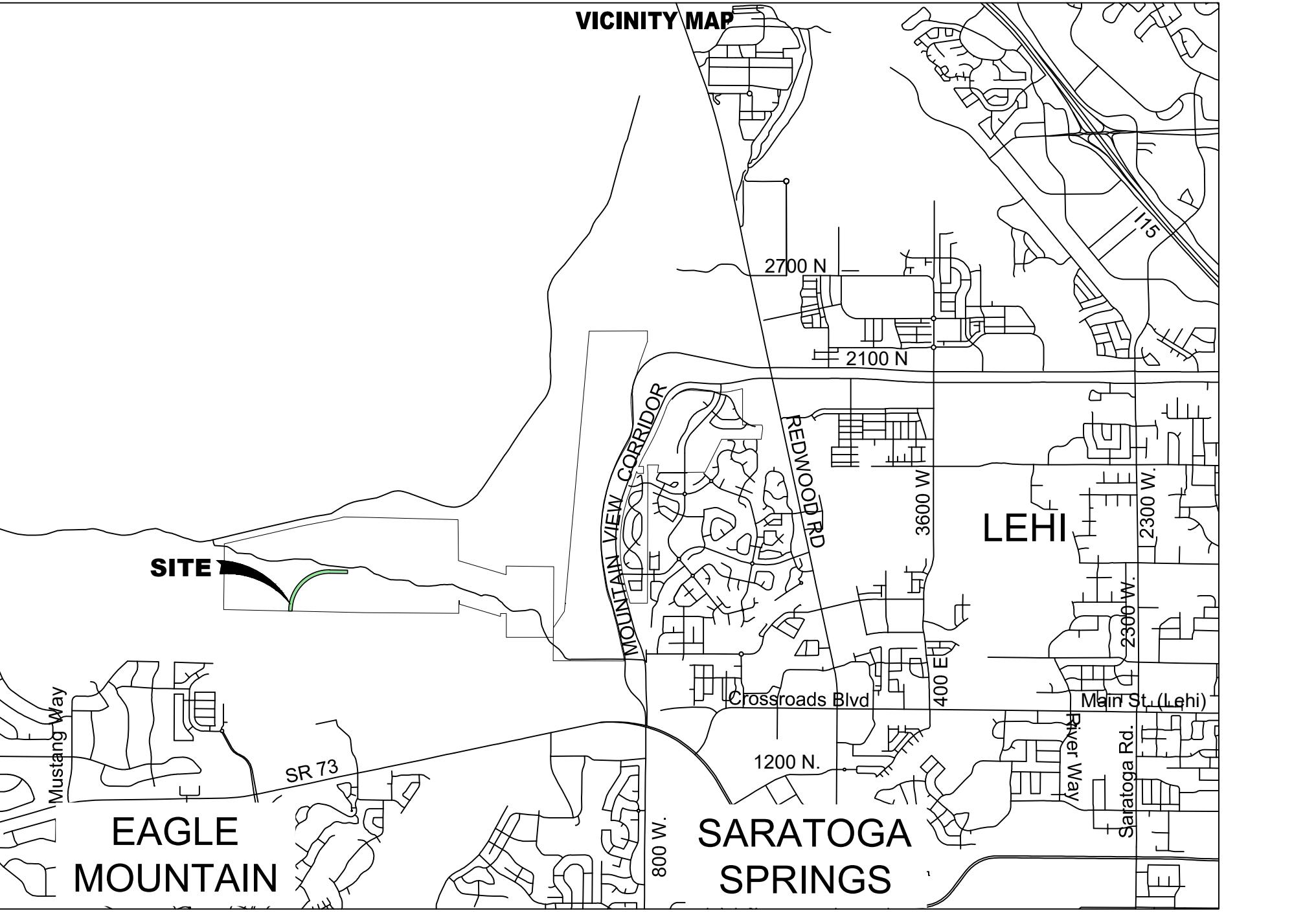


WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 501182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8 AND THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT LOCATED 589'1759'E ALONG THE QUARTER SECTION LINE 2093.64 FEET AND SOUTH 445.08 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S0°42'16"W 95.00 FEET; THENCE N89°17'44"W 502.30 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 1643.67 FEET WITH A RADIUS OF 1052.50 FEET THROUGH A CENTRAL ANGLE OF 89°28'39"; CHORD: 545'5756" W 1481.66 FEET; THENCE S01°13'37"W 37.44 FEET TO THE SOUTH LINE OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SED SECTION 8; THENCE N88°46'35"W ALONG SAID SOUTH LINE 95.00 FEET; THENCE N01°13'37"E 37.44 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 1792.03 FEET WITH A RADIUS OF 1147.50 FEET THROUGH A CENTRAL ANGLE OF 89°28'39"; CHORD: N45°57'56"E 1615.39 FEET; THENCE S89°17'44"E 502.30 FEET TO THE POINT OF BEGINNING.

CONTAINS: .492 ACRES
214,471 SQ. FT.
LOTS: 0
PARCELS: 0

DATE SURVEYOR'S NAME LICENSE NO. (See Seal Below)

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

WILDFLOWER VILLAGE 9 PLAT R-10 (ROADWAY DEDICATION PLAT)

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, PURSUANT TO UTAH CODE 10-9A-604. THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OF OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNERS(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THE SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF ____ A.D. 20____.

SIGNATURE PRINT NAME TITLE & ENTITY

SIGNATURE PRINT NAME TITLE & ENTITY

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH

ON THIS ____ DAY OF ____ , 20____ PERSONALLY APPEARED BEFORE ME

PRINT NAME TITLE ENTITY
WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE COMMISSION NUMBER

PRINT NAME AS COMMISSIONED MY COMMISSION EXPIRES
A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF ____ , A.D. 20____.

ATTEST
CITY MAYOR CITY RECORDER (See Seal Below)

WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 2

NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF THE MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF ____ , 20____.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. ____" WHICH REQUIRES THE CONSTRUCTION AND MAINTENANCE OF STREETS, EASEMENTS, AND OTHER PUBLIC UTILITIES, AND ASSOCIATES WITH A BOND, AND THE BOND AND RIGHTS, AND USES OF THE PROPERTY WITHIN THIS PLAT WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY CMT ENGINEERING, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USE, OPERATIONS, AND USES ASSOCIATED WITH THE PLAT ARE LOTS. THE LOTS ARE SUBJECT TO THE STATE OF UTAH'S GRANDFATHERED AGREEMENTS, AND ASSOCIATES WITH AGRICULTURAL OPERATIONS, USES, AND RIGHTS, AND USES OF THE PROPERTY WITHIN THIS PLAT. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRAVING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOULED AREAS. GRAVING SHALL NOT EXCEED A FALL A MINIMUM OF 5 INCHES WITHIN THE FIRST 10 FEET.
11. PARKS AND SHOALS BE LANDED, CAPE AND MAINTAINED BY THE PROPERTY OWNER WHO ABUTS THE PARKSTRIP, UNLESS OTHERWISE NOTED ON AN APPROVED AND RECORDED SURVISON PLAT.
12. ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
13. ALL OPEN SPACE, COMMUNAL SPACE, TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOME OWNERS ASSOCIATION, UNLESS OTHERWISE SPECIFIED ON THE APPROVED SURVISON PLAT.
14. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CO-OP'S.
15. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,896.76 FEET.
16. AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4900000, APPROVED DATE JUNE 19, 2000.
17. A TITLE REPORT PREPARED BY LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
18. NO ACCESS PERMITTED ON LOTS ADJACENT TO COLLECTOR ROADS. ALL LOTS TO ACCESS FROM INTERIOR RESIDENTIAL ROADS.
19. OWNER OF THE PROPERTY COULD NOT SHALL VERIFY CENTER DEPTH BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS, HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
20. WILD BLOSSOM BOULEVARD IS A PUBLIC ROAD, UTILITIES WITHIN PUBLIC ROAD MAINTAINED BY CITY OF SARATOGA SPRINGS.

ROCKY MOUNTAIN POWER

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD; AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(c)(i)(ii)). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

APPROVED THIS ____ DAY OF ____ , A.D. 20____.

ROCKY MOUNTAIN POWER



ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.3930
Fax: 801.798.3939
www.lei-eng.com

LENNAR

111 EAST SEGO LILY DR, SUITE 150
SANDY, UT 84070
(801) 508-5634

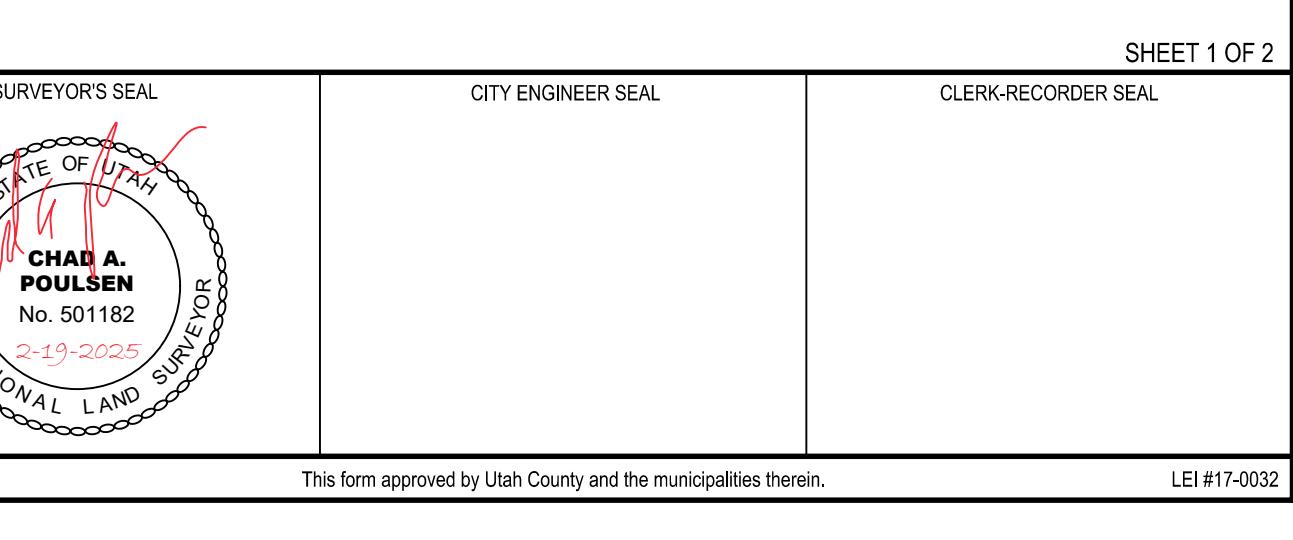
QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH

TITLE: _____

APPROVED THIS ____ DAY OF ____ , A.D. 20____.

BY: _____

CENTURY LINK	COMCAST CABLE TELEVISION
APPROVED THIS ____ DAY OF ____ , A.D. 20____.	APPROVED THIS ____ DAY OF ____ , A.D. 20____.
CENTURY LINK	COMCAST CABLE TELEVISION
PLANNING DIRECTOR	LAND USE AUTHORITY
APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF ____ , A.D. 20____.	APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF ____ , A.D. 20____.
PLANNING DIRECTOR	LAND USE AUTHORITY
APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF ____ , A.D. 20____.	APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF ____ , A.D. 20____.
CITY ENGINEER	LEHI CITY POST OFFICE
APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF ____ , A.D. 20____.	APPROVED BY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF ____ , A.D. 20____.
CITY FIRE CHIEF	LEHI CITY POST OFFICE REPRESENTATIVE
CITY FIRE CHIEF	LEHI CITY POST OFFICE REPRESENTATIVE



This form approved by Utah County and the municipalities therein.

LEI#17002

QUESTAR GAS COMPANY dba ENBRIDGE GAS UTAH HEREBY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. ENBRIDGE GAS UTAH MAY REQUIRE ADDITIONAL EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES INCLUDING DESCRIPTIVE RIGHTS AND OTHER RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER DECLARATION OR IN THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OR CONDITIONS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT ENBRIDGE GAS UTAH'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

a. A RECORDED EASEMENT OR RIGHT-OF-WAY
b. THE LAW APPLICABLE TO DESCRIPTIVE RIGHTS
c. TITLE 54, CHAPTER 88, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
d. ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF ____ , A.D. 20____.

ROCKY MOUNTAIN POWER

WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

**CENTER 1/4 CORNER
SECTION 8, T5S R
FOUND: (BLM MONUMENT, 2)**

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT

R=1147.50
Δ=89°28'39"
L=1792.03
CH=N45°57'56"E 1615.39

A diagram illustrating a linear function and its inverse. It features two parallel lines: a solid black line and a dashed black line. The solid line has a steeper positive slope, while the dashed line has a shallower positive slope. Both lines intersect the x-axis at the same point, indicating they are related by a constant factor.

Survey diagram for C6 showing coordinates and boundaries. The diagram includes a horizontal baseline with dashed lines extending upwards and downwards. Key coordinates marked on the baseline are 1970 N (at 154.81), 2010 W (at 47.50), and N89°17'44"W 502.30 (at 47.50). A vertical dashed line at 47.50 is labeled 47.50 at the top and 47.50 at the bottom. A label 'C6' is located on the left side. The text 'WILD BLOSSOM BO' and '(PUBLIC - 95' WIDE)' is located at the bottom right, and 'N89°17'44"W 502.30' is at the bottom center.

A survey monument diagram for Section Line-Basis of Bearing. It features a horizontal dashed line with two vertical dashed lines extending downwards from the left and right ends. A diagonal line extends from the bottom-left towards the top-right, ending at a small circle labeled '8'. From the top-right, another diagonal line extends towards the bottom-left, ending at a small circle labeled '9'. The text 'S89°08'06"E 2675.21' is at the top center, and 'SECTION LINE-BASIS OF BEARING' is below it. On the left, 'S89°08'06"E 523.16' is written above the vertical line. On the right, 'S89°17'59"E 2093.64' is written above the vertical line. In the center, 'WEST 1/4 CORNER OF SECTION 9, T5S R1W' is written above 'FOUND: (UTAH COUNTY MONUMENT, 1959)'. In the bottom right, 'CENTER 1/4 CORNER- SECTION 9, T5S R1W' is written above 'FOUND: (BLM MONUMENT, 2002)'. A small '2.04' is written vertically on the left side.

**WEST 1/
SECTION
FOUND: (UTAH COUNTY M**

**CENTER 1/4 COR
SECTION 9, T5S
FOUND: (BLM MONUMENT.)**

A horizontal dashed line with a wavy arrow pointing to the left below it.

A diagram consisting of a dashed line and a vertical line segment. The dashed line is horizontal and extends from the left side of the image towards the right. A vertical line segment is attached to the dashed line at its left end, forming a T-shape. The vertical line segment is solid and extends downwards.

A coordinate system with a horizontal and vertical axis. A point is marked at the coordinates (8, 17). The horizontal axis is labeled with 9 and 16, and the vertical axis is labeled with 8 and 17.

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD	
C1	1100.00	61°19'25"	1177.33	N44°12'53"E	1121.1
C2	1100.00	12°19'34"	236.65	N7°23'24"E	236.19
C3	1100.00	21°05'03"	404.79	N24°05'43"E	402.5
C4	1100.00	9°30'55"	182.68	N39°23'42"E	182.4
C5	1100.00	30°43'26"	589.86	N59°30'53"E	582.8
C6	1100.00	15°49'40"	303.87	N82°47'26"E	302.9

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S1°13'37" W	37.4

TABULATIONS

PLAT R-10

LOTS	0 LOTS
PARCELS	0 PARCELS
BUILDINGS	0 BUILDINGS
DWELLINGS	0 DWELLINGS
DENSITY	0.00 UNITS/ ACRE
MINIMUM LOT SIZE.....	0.00 ACRES / 0 SF
MAXIMUM LOT SIZE.....	0.00 ACRES / 0 SF
AVERAGE LOT SIZE.....	0.00 ACRES / 0 SF

	AC	SF	%
TOTAL PROJECT AREA	4.92	214,471	100%
RIGHT-OF-WAY AREA (PUBLIC)	4.92	214,471	100%
RIGHT-OF-WAY AREA (PRIVATE)	0.00	0.00	0%
LOT AREA	0.00	0.00	0%
OPEN SPACE AREA	0.00	0.00	0%
SENSITIVE LAND	0.00	0.00	0%
COMMON AREA	0.00	0.00	0%
LIMITED COMMON AREA	0.00	0.00	0%
BUILDABLE LAND	4.92	214,471	100%
SENSITIVE LAND	0.00	0.00	0%
LANDSCAPE AREA (IN PLAT ROW)	1.27	55,421	26%
IMPERVIOUS AREA (IN PLAT ROW)	3.65	159,050	74%
NUMBER OF GARAGE PARKING SPACES			
NUMBER OF DRIVEWAY PARKING SPACES			
NUMBER OF STRIPED PARKING STALLS			

N1°13'37"E 37.44

JD VI LLC

The logo for LENNA, featuring the word "LENNA" in a bold, blue, sans-serif font. The letters are slightly slanted to the right.

The logo consists of a large, bold, black letter 'L' with a white center. To the right of the 'L', the word 'ENGINEER' is written in a bold, black, sans-serif font. Below 'ENGINEER', the words 'SURVEYOR' and 'PLANNER' are stacked vertically in the same bold, black, sans-serif font.

WILDFLOWER VILLAGE 9 PLAT R-10

ROADWAY DEDICATION PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH