

Exhibit 4



VILLAGE PLAN 4

# Overlook at Mt. Saratoga

**LEI**

ENGINEERS  
SURVEYORS  
PLANNERS



Dec 2024





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## EXECUTIVE SUMMARY

The following Village Plan document addresses the proposed improvements as they pertain to Village 4 of the Mt. Saratoga development located in Saratoga Springs, Utah. The property and the proposed improvements for the development are discussed in detail and follow the requirements set forth within the Village Plan requirements of the City Code of Saratoga Springs. The purpose of the document is to inform the City (Staff, Planning Commission, and City Council) and Public of the proposed general design elements, open space plans, guiding design principles and land uses as it pertains to Village 4 of the Mt. Saratoga project.

Village 4 of the Mt. Saratoga development is approximately 69 acres of the 688-acre master planned community located between Pony Express Parkway and State Route 73 along the western boundary of Saratoga Springs with Eagle Mountain. Village 4 is located on the east side of the project adjacent to Village 1 and Village 2B. The intent of Village 4 is to continue the successful and high-quality development of Talus Ridge and earlier phases of Mt. Saratoga.

The project is ideally situated to promote an active outdoor lifestyle through the preservation and improvement of the existing hillsides and other natural features. The unique aspects of the property provide an opportunity to develop an appealing and distinctive development. These unique aspects include:

- **Topography.** The topography of the site not only allows for distinctive views, but also creates a source of interest and character to the development.
- **Open Space.** Village 4 contains approximately 27.7 acres of the community's overall 248 acres of open space with amenities, trails, natural areas, and playground. The open space is a focal and connecting feature of the development.
- **Housing Product.** The community will contain various types of housing product including single family housing product similar in nature to Talus Ridge and two- and three-family residential housing.

The proposed Village 4 incorporates the following units and approximate acreages:

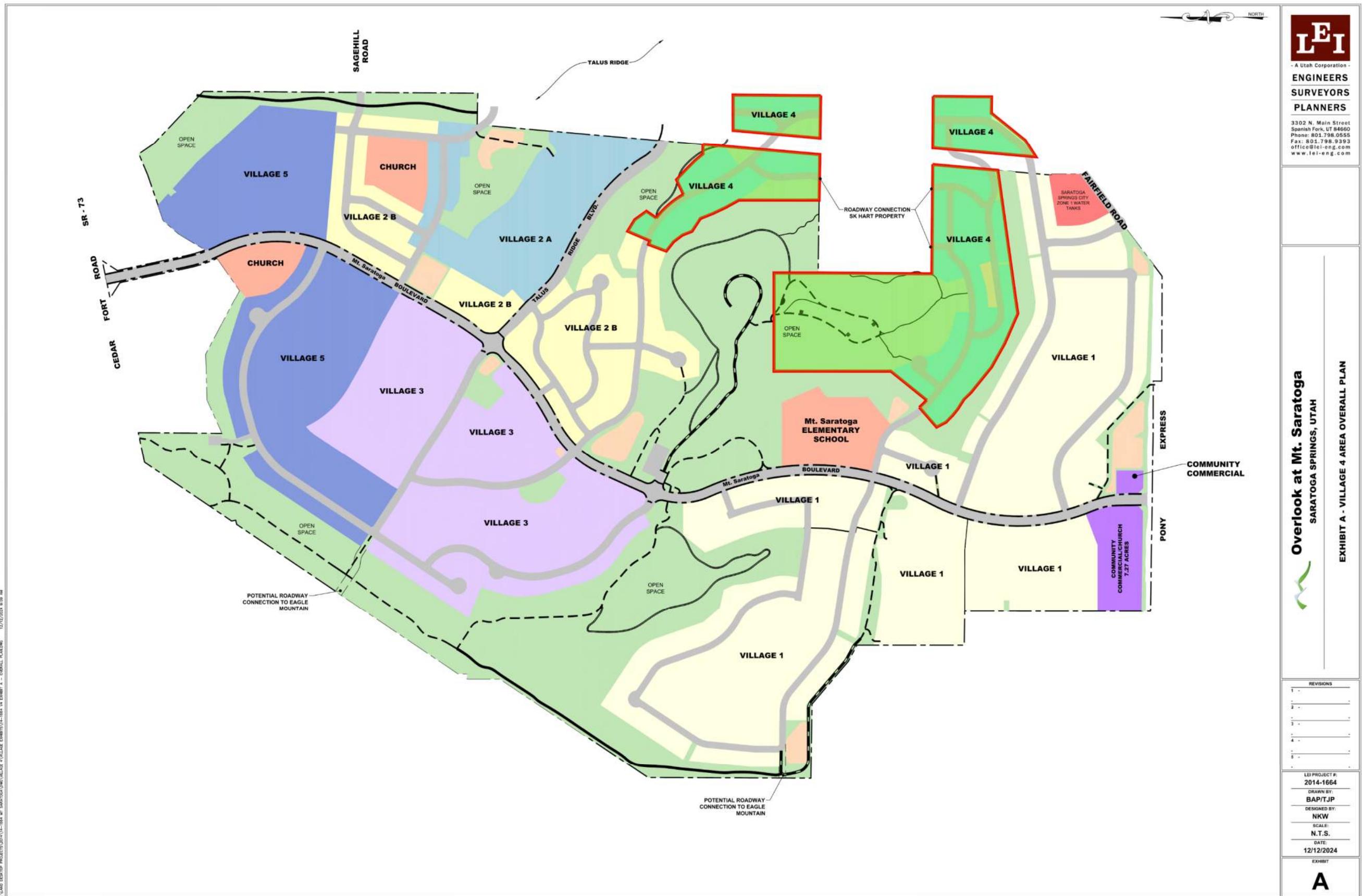
- 69.0 Total Acres
  - 41.3 Acres Residential
  - 27.7 Acres Open Space Proposed (40.1%)
    - 24.1 Acres Native Open Space (34.9%)
    - 2.9 Acres Sensitive Lands (4.2%)
    - 0.7 Acres Unimproved Non-Sensitive Lands (1.0%)
- Approximately 4,626 Linear Feet of Trails
- 120 Total Units
- 1.74 Units per Acre



Talus Ridge Home



Interior Example





## LEGAL DESCRIPTION

### LEGAL DESCRIPTION

Village 4 contains approximately 69 acres of the 688 acres within the overall Mt. Saratoga project. Village 4 is contained within one single parcel, bordered by Village 1 and Village 2B. See Exhibit B for an illustration of the Village 4 boundary. Please see Appendix A for a copy of the ALTA survey performed for the property. The parcel metes and bounds legal description is as follows:

#### PARCEL "A"

A portion of the Northeast Quarter of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian, more particularly described as follows:

Beginning at the East Quarter Corner of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence N89°11'06"W along the Quarter Section Line 328.41 feet to the easterly line of the Utah Power & Light Company property; thence N5°03'00"E along said easterly line 675.11 feet; thence N89°53'35"E 273.94 feet to the Section Line; thence S0°25'18"W along the Section Line 677.69 feet to the point of beginning.

Contains: ±4.67 Acres

#### PARCEL "B"

A portion of the Southeast Quarter of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:

Beginning at a point located S0°23'19"W along the Section Line 872.14 feet from the East 1/4 Corner of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence S0°23'19"W along the Section Line 451.38 feet; thence N89°30'51"W 126.94 feet; thence S38°52'48"W 335.80 feet; thence S57°12'50"W 153.95 feet to the easterly line of the Utah Power & Light Company property as defined by survey; thence N5°03'00"E along said easterly line 801.20 feet to the south line of that real property described in Deed Entry No. 25092:2013 in the Official Records of the Utah County Recorder; thence S89°34'01"E along said real property 399.68 feet to the point of beginning.

Contains: ±5.75 Acres

#### PARCEL "C"

A portion of the Southeast Quarter and the Northeast Quarter of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:

Beginning at the Northwest Corner of Parcel A, QUAILHILL AT MT. SARATOGA PLAT W, according to the official plat thereof on file in the office of the Utah County Recorder, said point being located N0°17'59"E along the Quarter Section Line 1741.86 feet and East 79.98 feet from the South 1/4 Corner of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence N48°54'54"E 203.00 feet; thence along the arc of a non-tangent curve to the left 79.78 feet with a radius of 571.00 feet through a central angle of 08°00'19", chord: S44°33'39"E 79.71 feet; thence N38°50'15"E 357.76 feet; thence North 903.39 feet to the south line of Parcel A, QUAILHILL AT MT. SARATOGA PLAT K, according to the official plat thereof on file in the office of the Utah County Recorder; thence along said Parcel the following two (2) courses: East 762.80 feet; thence South 341.19 feet to the west line of that real property described in Deed Entry No. 25092:2013 in the Official Records of the Utah County Recorder; thence along said real property the following two (2) courses: S0°25'08"W 881.29 feet; thence S89°34'01"E 842.75 feet to the westerly line of the Utah Power & Light Company property as defined by survey; thence S5°03'00"W along said westerly line 505.88 feet

to the Northeast Corner of Parcel A, QUAILHILL AT MT. SARATOGA PLAT W, according to the official plat thereof on file in the office of the Utah County Recorder; thence along the north line of said Parcel the following nine (9) courses: thence S82°04'49"W 1120.08 feet; thence N66°22'44"W

248.79 feet; thence N60°57'05"W 210.00 feet; thence N51°10'02"W 252.71 feet; thence N44°00'44"W 80.55 feet; thence N58°00'56"W 84.14 feet; thence N51°10'02"W 63.40 feet; thence N46°20'45"W 74.25 feet; thence N27°55'10"W 84.62 feet to the point of beginning.

Contains: ±45.91 Acres

#### PARCEL "D"

A portion of the Northeast Quarter and the Northwest Quarter of Section 21, and the Southeast Quarter and the Southwest Quarter of Section 16, Township 5 South, Range 1 West, Salt Lake Base & Meridian, located in Saratoga Springs, Utah, more particularly described as follows:

Beginning at the Southeast Corner of Parcel A, QUAILHILL AT MT. SARATOGA PLAT K subdivision, according to the official plat thereof on file in the office of the Utah County Recorder, said point being located N0°17'59"E along the Quarter Section Line 2651.36 feet and East 1833.49 feet from the South 1/4 Corner of Section 21, Township 5 South, Range 1 West, Salt Lake Base & Meridian; thence along said subdivision the following six (6) courses: North 620.85 feet; thence N29°03'16"W 109.14 feet; thence N25°30'32"W 109.14 feet; thence N21°57'49"W 112.98 feet; thence N56°48'36"W 117.27 feet; thence N21°48'59"W 82.41 feet; thence N37°22'39"W 86.18 feet; thence N51°57'45"W 88.86 feet; thence N20°21'47"E 146.93 feet; thence S68°18'12"E 30.56 feet; thence N23°01'50"E 187.67 feet; thence S58°32'11"E 103.01 feet; thence S35°53'30"E 112.77 feet; thence S34°11'12"W 91.67 feet; thence along the arc of a non-tangent curve to the right 280.22 feet with a radius of 704.50 feet through a central angle of 22°47'24", chord: S40°42'31"E 278.38 feet; thence N64°39'28"E 125.55 feet; thence S46°34'23"E 109.23 feet; thence S45°08'11"E 92.87 feet; thence S39°59'35"E 84.62 feet; thence S89°59'57"E 74.63 feet to the westerly line of the Utah Power & Light Company property as defined by survey; thence S5°03'00"W along said westerly line 907.50 feet to the Quarter Section Line; thence N89°11'06"W along the Quarter Section Line 351.44 feet to the point of beginning.

Contains: ±12.70 Acres





## USE MAP AND BUILDOUT ALLOCATION

### USE MAP AND BUILDOUT ALLOCATION

The following Use Map, Exhibit C, depicts the proposed land uses within Village 4 at a density of 1.74 units per acre. The land use tabulations and color coding are broken down into the following categories applicable to Village 4:

Overall Village Area:	69 Acres (100%)	
Single-Family Residential (Neighborhood 1):	4.7 Acres (6.7%)	13 ERUs (11%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	8,000 sf	
Overall Area:	4.7 Acres	
Lot Area:	2.9 Acres	
Open Space Area:	0.8 Acres	
Roadway Area:	1.0 Acres	
Single Family Lots:	13 Lots	
Minimum Lot Size:	6,581 sf	
Average Lot Size:	9,637 sf	
Single-Family Residential (Neighborhood 2):	5.7 Acres (8.3%)	13 ERUs (11%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	10,000 sf	
Overall Area:	5.7 Acres	
Lot Area:	4.1 Acres	
Open Space Area:	0.3 Acres	
Roadway Area:	1.3 Acres	
Single Family Lots:	13 Lots	
Minimum Lot Size:	9,961 sf	
Average Lot Size:	13,833 sf	
Single-Family Residential (Neighborhood 3):	13 Acres (18%)	25 ERUs (21%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	12,000 sf	
Overall Area:	13 Acres	
Lot Area:	8 Acres	
Open Space Area:	3 Acres	
Roadway Area:	2 Acres	
Single Family Lots:	24 Lots	
Minimum Lot Size:	10,822 sf	
Average Lot Size:	14,650 sf	

Single-Family Residential (Neighborhood 4): 46 Acres (67%) 69 ERUs (57%)

Community Plan Requirements:

Minimum Lot Size:	4,500 sf
Average Lot Size:	8,000 sf

Overall Area: 46 Acres

    Lot Area: 18 Acres

    Open Space Area: 24 Acres

    Roadway Area: 4 Acres

Single Family Lots: 70 Lots

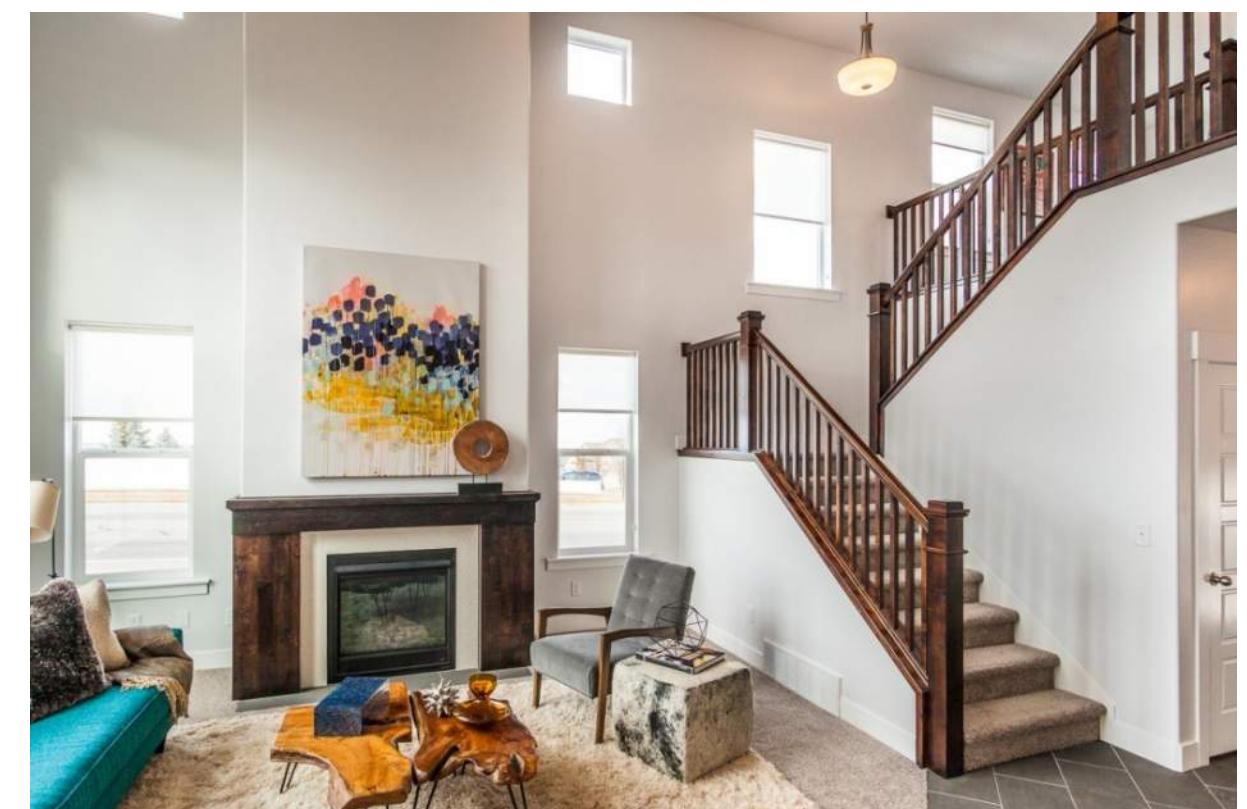
    Minimum Lot Size: 6,537 sf

    Average Lot Size: 10,675 sf

Total Overall Open Space: 28 Ac (40%)

Projected Population: 494 Persons (Based on 4.11 persons per residential ERU)

- **Single-Family Units.** This area is characterized by detached, traditional single-family housing products. Examples of the character, quality and finishes are depicted within this document and the adjacent Talus Ridge Subdivision.
- **Open Space.** Village 4 contains 28 acres of the overall project's 248 acres (11%) of open space with a vast majority incorporated into a connected community park with trails, amenities, and improvements. Please see the Open Space section of this document for further information as it pertains to Village 4.



Interior Example



## USE MAP AND BUILDOUT ALLOCATION





## DEVELOPMENT STANDARDS AND LOTTING MAP

### DEVELOPMENT STANDARDS AND LOTTING MAP

Village 4 of the Mt. Saratoga project contains the flex residential land use type. Global development standards were provided within the Community Plan with no proposed changes. The lot layouts provided within this document as Exhibit D are designed to adhere to these regulations.



*Neighborhood Trail Example*



*Neighborhood Trail Example*



*Neighborhood Trail Example*



## DEVELOPMENT STANDARDS AND LOTTING MAP



## DEVELOPMENT STANDARDS AND LOTTING MAP



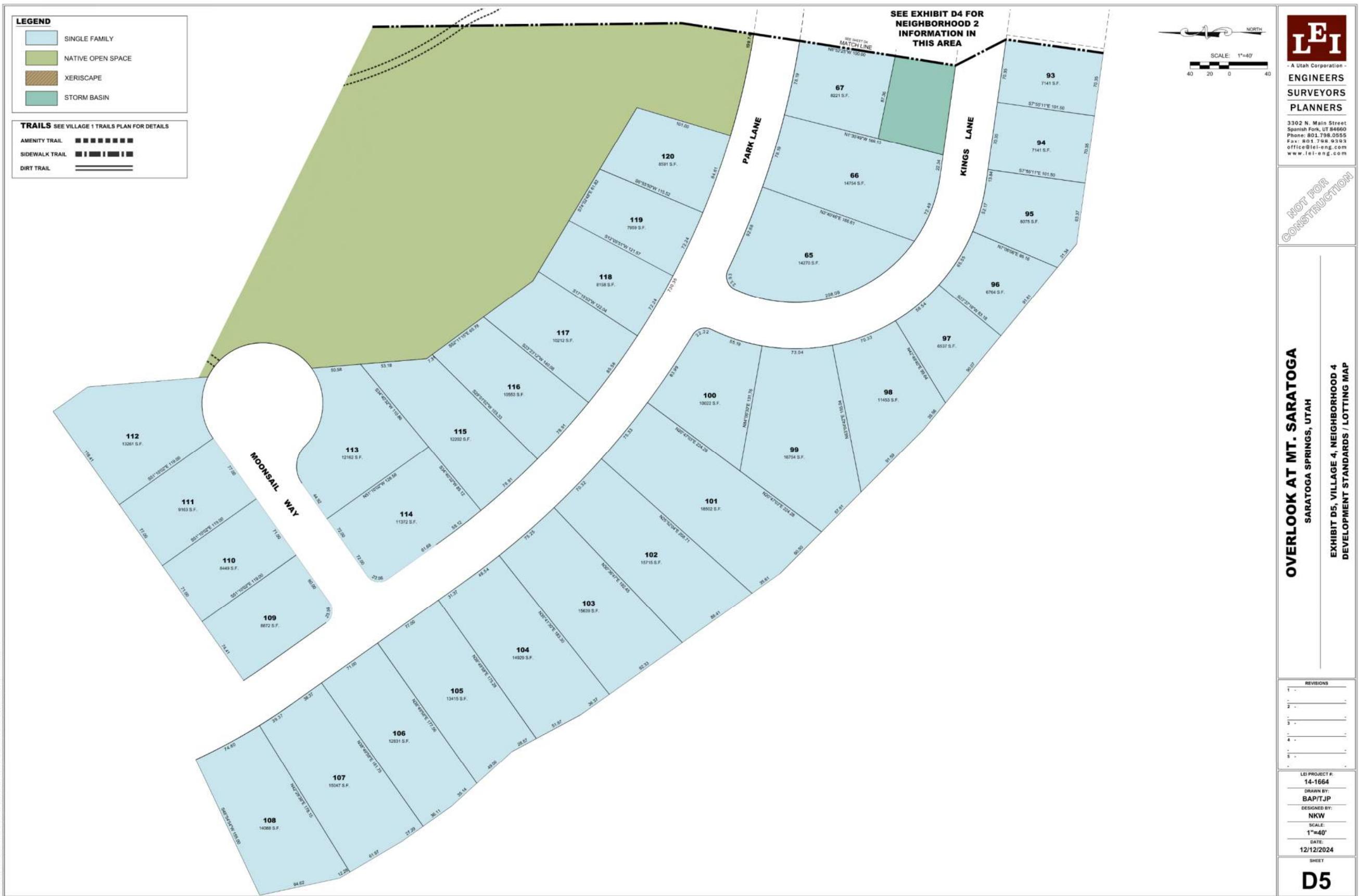
## DEVELOPMENT STANDARDS AND LOTTING MAP



## DEVELOPMENT STANDARDS AND LOTTING MAP



## DEVELOPMENT STANDARDS AND LOTTING MAP





# DESIGN GUIDELINES AND EXAMPLES

These design guidelines are established to create a framework of standards and limitations that will enhance the overall development. The guidelines are intended to demonstrate the desired architectural character and aid in achieving the overall theme of the community.

### ARCHITECTURAL STANDARDS

The architectural standards in this section are intended to establish general guidelines for Overlook at Mt. Saratoga. Listed in this section are examples of architectural styles that will be acceptable within Village 4. Architectural styles that include extreme colors (i.e. bright, non-earth tone), construction materials (i.e. log, vinyl siding, un-treated wood), or styling (i.e. flat roof, modern) will not be allowed within Overlook at Mt. Saratoga. However, reasonable variations in the architectural styles and construction materials are allowed and will be necessary to give flexibility for future trends in the marketplace. All variations in style and material require formal approval from the Mt. Saratoga Architectural Review Committee (MARC).

#### A. Floorplan, Elevation and Exterior Color Scheme Mixing:

1. In an effort to promote the design of subdivisions with a variety of product, the following community wide restriction will be enforced on single family homes:
  - a. No homes may be built on lots next door to or directly across the street from a previously selected single-family home with the same floorplan unless the following criteria are met:
    - i. The home must be a Scandinavian elevation, in the event that the home conflicting is any other elevation.
    - ii. Traditional and Craftsman are considered the same elevation.
  - b. No main body exterior color may be built next door or directly across the street from a previously selected main body exterior color.

#### B. Architectural Styles.

Examples of potential housing floorplans, elevations and exterior color palettes are shown on the following pages, based on the following architectural styles:

1. Traditional Architecture:
  - a. Beam above front porch wrapped in stucco.
  - b. Square columns wrapped in stucco with stone wainscot.
  - c. Stucco covering main sections of home with composite siding accents in gables.
  - d. Additional architecture features may include metal roofing accents, window grids, shed roofs over windows and garages.
2. Craftsman Architecture:
  - a. Square front porch beams wrapped in composite siding.
  - b. Composite siding and masonry wainscot covering main portions of home with accents of composite siding in gables.
  - c. Additional architecture features may include metal roofing accents, window grids, shed roofs over windows and garages.
3. Farmhouse Architecture:
  - a. Square front porch beams wrapped in composite siding.
  - b. Composite siding covering main portions of home.
  - c. Corbels under metal roofs and front porch.

- d. Additional architecture features may include metal roofing accents, window grids, shed roofs over windows and garages, corbels within gables.

4. Scandinavian Architecture:
  - a. Front porch columns are either full stone or stucco.
  - b. Steeper pitched roofs on front gables, 9/12 - 10/12, creating a taller, more slender prominent feature.
  - c. At least one shed roof element on the front elevation, softening a secondary feature.
  - d. Taller more slender windows used to emphasize height and accentuate front elevation features.
  - e. Minimal but strategic placement of faux wood, stone, stucco and composite siding used in contrasting colors to highlight and emphasize certain areas of the home.
  - f. Additional architecture features may include metal roofing accents, window grids, shed roofs over windows and garages.



Exterior Example

**Vincent Plan**

- Two Story
- 3,063 square feet finished above grade.
- 4,615 square feet total
- 4 bed, 2.5 bath



Traditional

Craftsman



Farmhouse



Scandinavian

**Quincy Plan**

- Two Story
- 2,664 square feet finished above grade.
- 4,312 square feet total
- 4 bed, 2.5 bath



Traditional



Craftsman



Farmhouse



Scandinavian



### Lauren Plan

- Two Story
- 2,197 square feet finished above grade.
- 3,289 square feet total
- 4 bed, 2.5 bath
- Fits on 45'-50' wide lots



Traditional



Craftsman



Farmhouse



Scandinavian

### Morgan Plan

- Two Story
- 2,246 square feet finished above grade.
- 3,357 square feet total
- 4 bed, 2.5 bath
- Fits on 45'-60' wide lots



Traditional



Craftsman



Farmhouse



Scandinavian

**Lambert Plan**

- Two story with a drive under garage
- 2,121 square feet finished above grade
- 2,322 square feet total
- 3 bed, 2.5 bath
- Fits on 45' wide lots or wider

**Traditional****Craftsman****McKell Plan**

- Two story with a drive under garage
- 2,277 square feet finished above grade
- 2,547 square feet total
- 3 bed, 2.5 bath
- Fits on 45' wide lots or wider

**Traditional****Craftsman**

**Parker Plan**

- Two story with a drive under garage
- 2,565 square feet finished above grade
- 3,044 square feet total
- 6 bed, 3.5 bath
- Fits on 53' wide lots or wider

**Traditional****Craftsman**



## Craftsman Exterior Color Palette: Evening Blue #1



### Options

**Roof:** Charcoal  
**Lap Siding:** Evening Blue  
**Siding Trim:** Arctic White  
**Siding Accent:** Evening Blue  
**Column/Bands:** Arctic White  
**Stone:** Catalina Limestone (substitute)  
**Front Door:** Stiletto  
**Soffit:** 30 Degree White  
**Window:** White  
**Railing:** White  
**Deck:** Gray  
**Garage Door:** Snow Mist

## Traditional Color Palette: Foghorn #1



### Options

**Roof:** Weathered Wood  
**Stucco Body:** Foghorn  
**Stucco Trim:** Mistaya  
**Siding Accent:** Arctic White  
**Column/Bands:** Arctic White  
**Stone:** Barkwood Guillotine  
**Front Door:** Whitest White  
**Soffit:** 30 Degree White  
**Window:** White  
**Railing:** White  
**Deck:** Gray  
**Garage Door:** Snow Mist

## Hybrid Color Palette: Woodstock Brown #1



### Options

**Roof:** Barkwood  
**Stucco Body:** Princeton  
**Stucco Trim:** Mistaya  
**Lap Siding:** Woodstock Brown  
**Siding Trim:** Arctic White  
**Siding Accent:** Cobblestone  
**Column/Bands:** Arctic White  
**Stone:** Chablis Uintah Ledgerstone  
**Front Door:** Java Stain  
**Soffit:** 30 Degree White  
**Window:** White  
**Railing:** White  
**Deck:** Gray  
**Garage Door:** Snow Mist

## Talus Ridge Model: Interior Options





### HOMEOWNERS ASSOCIATION

Village 4 is covered by a “Master Declaration of Covenants, Conditions and Restrictions and Reservations of Easements for Mt. Saratoga – A Master Planned Community” document which is on file with the Planning Department of the City of Saratoga Springs. This document includes topics regarding:

1. The powers of owning and administering the Common Areas.
2. The duties of administering and enforcing this Declaration.
3. The duties of collecting and disbursing the assessments and charges hereinafter created in connection with the operation, maintenance, repair, and replacement of the Common Area.
4. Other functions and obligations of the Association.



## PHASING PLANS

### LOT PHASING

The phasing of Village 4 may vary during the improvement of the project. An example of the proposed phasing is shown in Exhibit E and is susceptible to changes as development occurs. General lot information includes:

Overall Village Area:	69 Acres (100%)	
Single-Family Residential (Neighborhood 1):	4.7 Acres (6.7%)	13 ERUs (11%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	8,000 sf	
Overall Area:	4.7 Acres	
Lot Area:	2.9 Acres	
Open Space Area:	0.8 Acres	
Roadway Area:	1.0 Acres	
Single Family Lots:	13 Lots	
Minimum Lot Size:	6,581 sf	
Average Lot Size:	9,637 sf	
Single-Family Residential (Neighborhood 2):	5.7 Acres (8.3%)	13 ERUs (11%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	10,000 sf	
Overall Area:	5.7 Acres	
Lot Area:	4.1 Acres	
Open Space Area:	0.3 Acres	
Roadway Area:	1.3 Acres	
Single Family Lots:	13 Lots	
Minimum Lot Size:	9,961 sf	
Average Lot Size:	13,833 sf	
Single-Family Residential (Neighborhood 3):	13 Acres (18%)	25 ERUs (21%)
Community Plan Requirements:		
Minimum Lot Size:	4,500 sf	
Average Lot Size:	12,000 sf	
Overall Area:	13 Acres	
Lot Area:	8 Acres	
Open Space Area:	3 Acres	
Roadway Area:	2 Acres	
Single Family Lots:	24 Lots	
Minimum Lot Size:	10,822 sf	
Average Lot Size:	14,650 sf	

### Single-Family Residential (Neighborhood 4):

46 Acres (67%)

#### Community Plan Requirements:

69 ERUs (57%)

#### Minimum Lot Size:

4,500 sf

#### Average Lot Size:

8,000 sf

#### Overall Area:

46 Acres

#### Lot Area:

18 Acres

#### Open Space Area:

24 Acres

#### Roadway Area:

4 Acres

#### Single Family Lots:

70 Lots

#### Minimum Lot Size:

6,537 sf

#### Average Lot Size:

10,675 sf

#### Total Overall Open Space:

28 Ac (40%)

Projected Population: 494 Persons (Based on 4.11 persons per residential ERU)

### OPEN SPACE PHASING

Due to the complexity and size of the Mt. Saratoga project, an amendment to the Master Development Plan Agreement (MDPA) was provided and approved with the 4<sup>th</sup> Amended Community Plan. This was created in order to ensure the open space and amenities proposed within the Community Plan are not compromised if the property is sold, transferred, or otherwise platted. In short, the agreement resolves concerns relating to open space requirements by Village and at final plat, credits of excess open space, and the collection of fees towards the improvement of open space and amenities. See the agreement within the approved 3<sup>rd</sup> Amended Community Plan appendices for more detail.

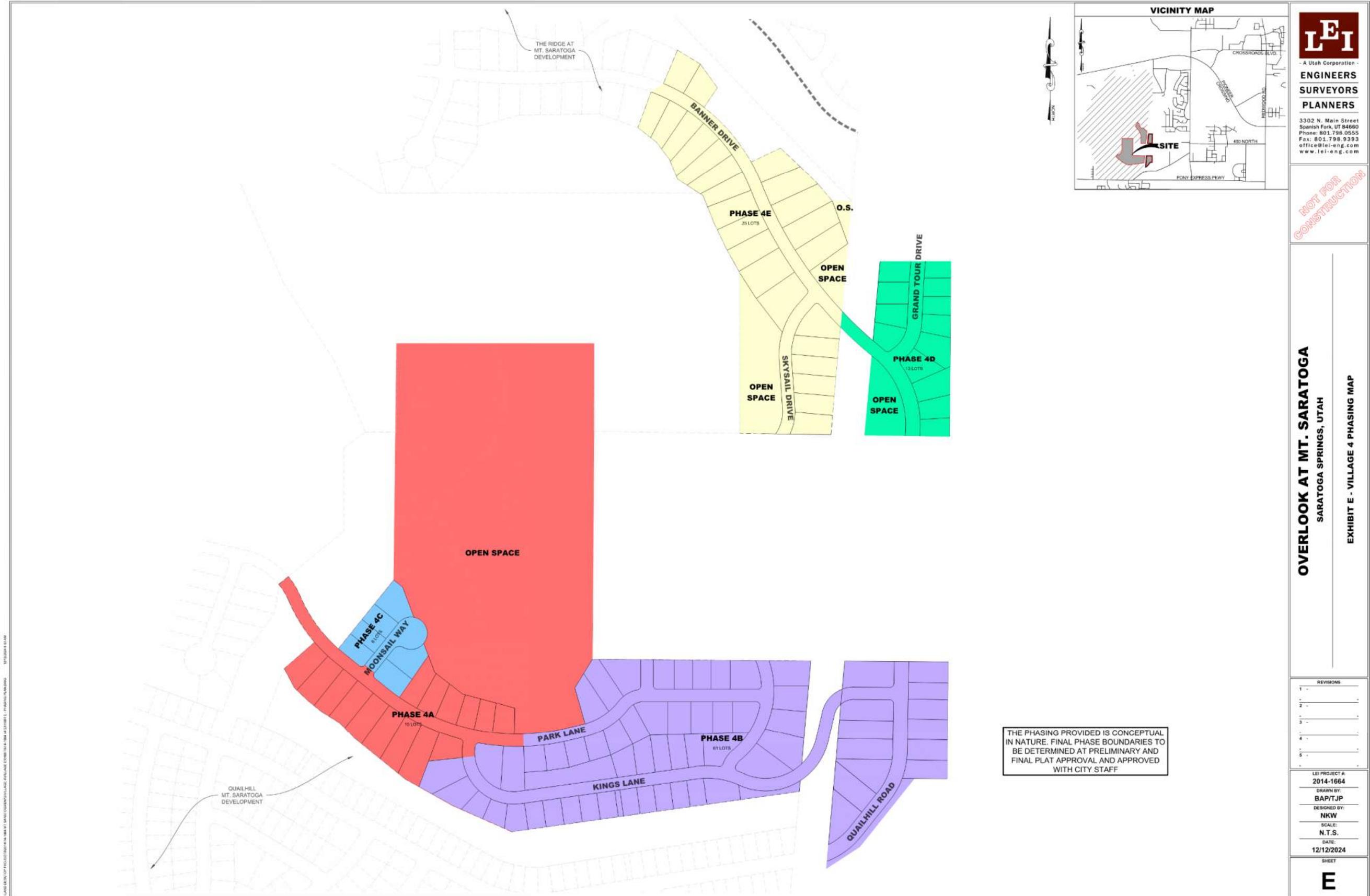
Based on the approved 4<sup>th</sup> Amended Community Plan, a total number of amenity points at 208.4 will be provided for Village 4. These proposed amenities will be improved as defined within the MDPA. Please see the "Open Space Calculations" spreadsheet within the 4<sup>th</sup> Amended Community Plan for an overview of the proposed open space amenities within Village 4.

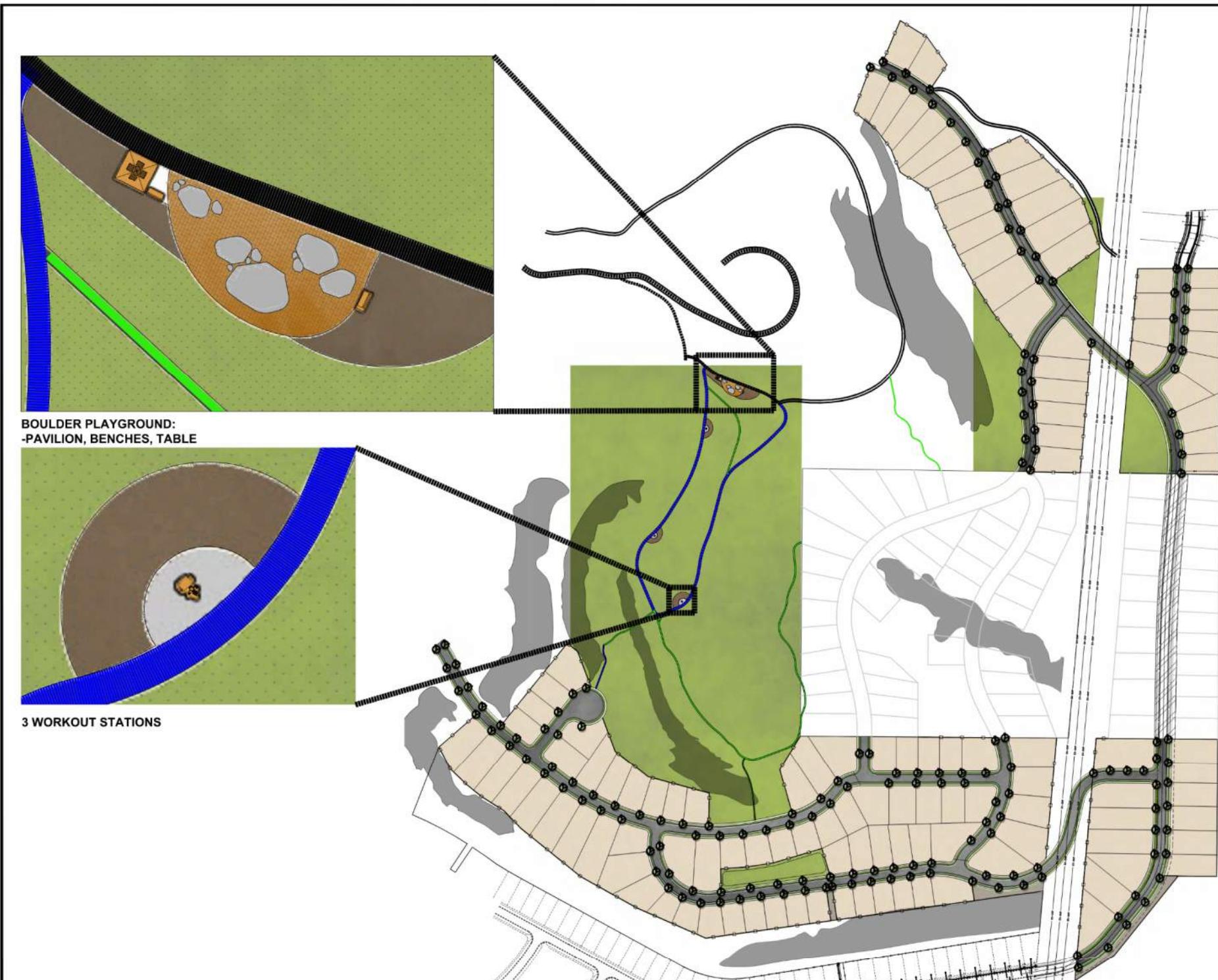
### UTILITY INFRASTRUCTURE PHASING

The utility infrastructure within Village 4 will adhere and follow the requirements specified in the approved Utility Master Plan for Mt. Saratoga.



## PHASING PLANS





ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
12-06-2024	UT19045	<p>811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 <a href="http://www.bluestakes.org">www.bluestakes.org</a></p> <p>GRAPHIC SCALE: 1" = 160'</p>	<p><b>VILLAGE 4</b> <b>MT SARATOGA</b> <b>SARATOGA SPRINGS, UTAH</b></p>

DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
JOE PIERCE DCP SARATOGA, LLC 2753 E BROADWAY RD, STE 101 MESA, AZ 85213	PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 <a href="http://www.pkjdesigngroup.com">www.pkjdesigngroup.com</a>	 LANDSCAPE ARCHITECTURE PLANNING & VISUALIZATION STATE OF UTAH LICENSE #123456 EXPIRES 12/31/2025 PKJ DESIGN GROUP	PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 12/17/2024
LEI-ENGINEERING 3302 N. Main Street Spanish Fork, Ut. 84660 801-798-0555 ext. 226 <a href="http://www.lci-cng.com">www.lci-cng.com</a>			

### REFERENCE NOTES SCHEDULE OVERALL

SYMBOL	CODE	DESCRIPTION	QTY
<b>1 LANDSCAPE</b>			
	L-05	SMALL SIZE DECORATIVE ROCK AREA SHALL INCLUDE THE PLANTED BED AS SHOWN. PLANTED BEDS SHALL BE APPROXIMATELY 1/4" QUARTER INCH (3/4") COTTONWOOD FRACTURED STONE GRAVEL ROCK. APPLY DECORATIVE ROCK TO A MINIMUM DEPTH OF THREE INCHES (3") OVER ENTIRE AREA. SUBSTRATE MUST BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION. ALL TREES AND SHRUBS WITHIN DECORATIVE ROCK AREAS SHALL BE WATERED WITH FOGGER SYSTEMS AND IRIGATION SYSTEMS. ONLY 3/4" DIAMETER ROCK. LANDSCAPE CONTRACTOR CAN USE A DIFFERENT MANUFACTURER AND VARIETY. THESE MUST BE 3/4" DIA/FEET NO LARGER AND MANUFACTURER MUST BE APPROXIMATELY 1/4" IN COLOR. ALL STONE IN ENTIRE DEVELOPMENT MUST BE THE SAME IN ALL PHASES. SAMPLES ARE REQUIRED TO BE SUBMITTED TO PROJECT MANAGER. EDGE HOMES. ALL ROCK MUST BE APPROVED PRIOR TO INSTALLATION.	25,122 sf
	L-06	UNDISTURBED NATIVE AREA AREA TO BE LEFT UNDISTURBED AND NATURAL. IF AREAS ARE DISTURBED DURING CONSTRUCTION, THEY WILL NEED TO BE REPLANTED WITH THE FOLLOWING REVIGENATION SEED MIX.	13
	L-07	RE-ESTABLISHMENT AREA: INCLUDES 100% IDAHO BENTGRASS TURF FANNE, INC. OR EQUIVALENT SOIL COMPOSED OF IDAHO BENTGRASS SEED, AND UTAH NATIVE WHEAT GRASS SEED. STREAMBANK WHEATGRASS, WESTERN WHEATGRASS AND THICKSPREAD WHEATGRASS WITH 98% PURITY AND GROWN IN WITH NANOGRIT FERTILIZER FOR THICKER DENSITY AND ESTABLISHMENT.	1,121,347 sf
	L-08	PLAYGROUND SURFACE, SOF FALLEN ENGINEERED WOOD.	103 cy

### SITE REQUIREMENT CALCULATIONS

**TREE COUNTS:**  
\*TREES SELECTED FROM THE RECOMMENDED SARATOGA SPRINGS CITY TREE LIST

INTERNAL STREET TREES (1 TREE PER 50 LINEAR FEET)	PROVIDED
LANDSCAPED AREA: TWO TYPES AND SIZES OF ROCK: STREET TREES IN COMPLIANCE WITH TREE SELECTION GUIDE AT LEAST 3' DIAMETER AROUND TREES CONCRETE EDGING BETWEEN DIFFERENT MATERIALS MINIMUM 25% OF SHRUBS TO BE 5 GAL.	PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED
MINIMUM 50% OF TREES AND SHRUBS ARE DROUGHT TOLERANT	
VILLAGE 4: NEIGHBORHOOD 4 DECIDUOUS TREES 7 TREES FOR AREAS 15,000 SQ. FT. AND 1 ADDITIONAL TREE FOR EVERY 3,000 SQ. FT. ADDITIONAL AREA.	PROVIDED
EVERGREEN TREES 5 TREES FOR AREAS 15,000 SQ. FT. AND 1 ADDITIONAL TREE FOR EVERY 3,000 SQ. FT. ADDITIONAL AREA.	PROVIDED
SHRUBS 25 SHRUBS FOR AREAS 15,000 SQ. FT. AND 1 ADDITIONAL SHRUB FOR EVERY 3,000 SQ. FT. ADDITIONAL AREA.	PROVIDED
AMOUNT OF TURF NO MORE THAN 70% OF TOTAL AREA	PROVIDED
PARTIALLY IMPROVED TRAIL AREA THROUGH NATIVE LANDS:	

LANDSCAPE PLAN	DRAWING INFO
 <b>PRELIMINARY PLANS NOT FOR CONSTRUCTION</b> <b>LP-100</b>	PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 12/17/2024





## LANDSCAPING PLANS





## LANDSCAPING PLANS





## LANDSCAPING PLANS



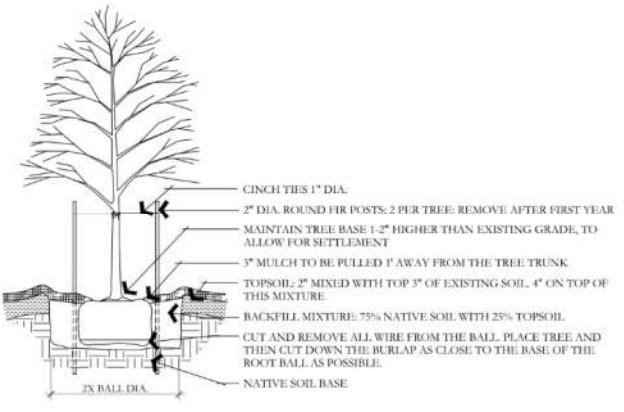


Z

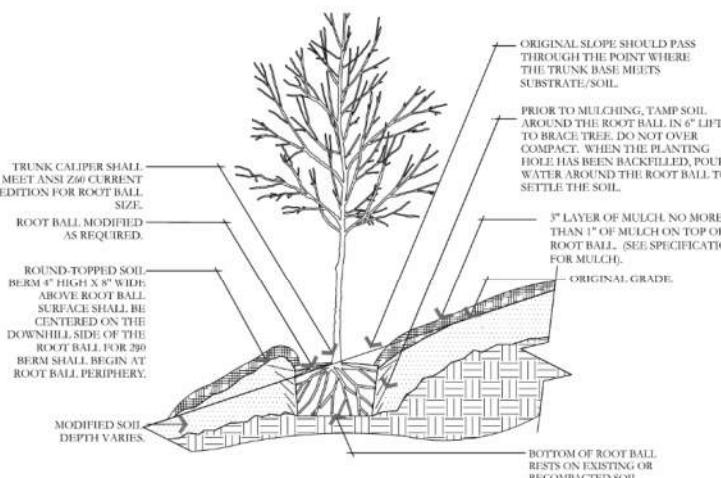




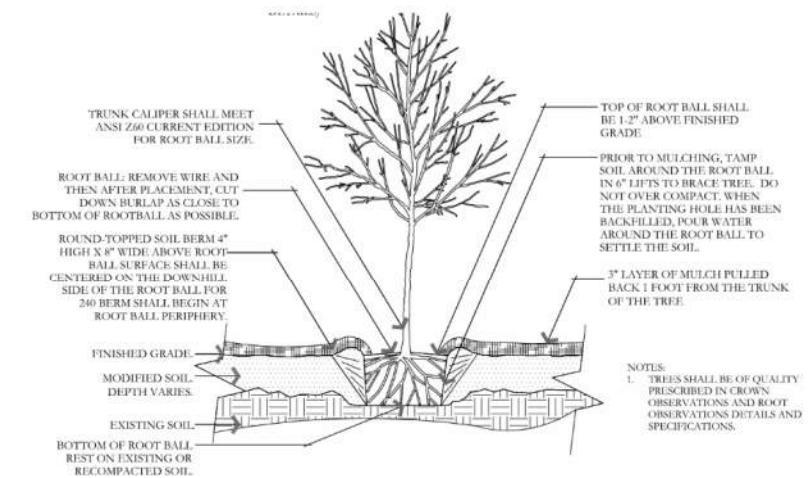
## LANDSCAPING PLANS



A DECIDUOUS TREE PLANTING  
NOT TO SCALE



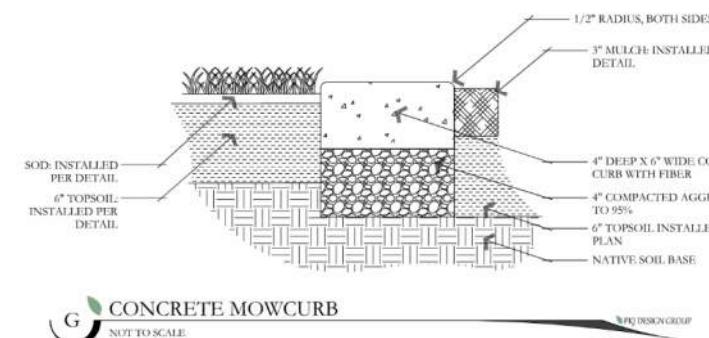
B TREE ON SLOPE 5% (20:1) TO 50% (2:1)  
NOT TO SCALE



C TREE W/ BERM (EXISTING SOIL MODIFIED)  
NOT TO SCALE



D EVERGREEN TREE PLANTING  
NOT TO SCALE



E CONCRETE MOWCURB  
NOT TO SCALE

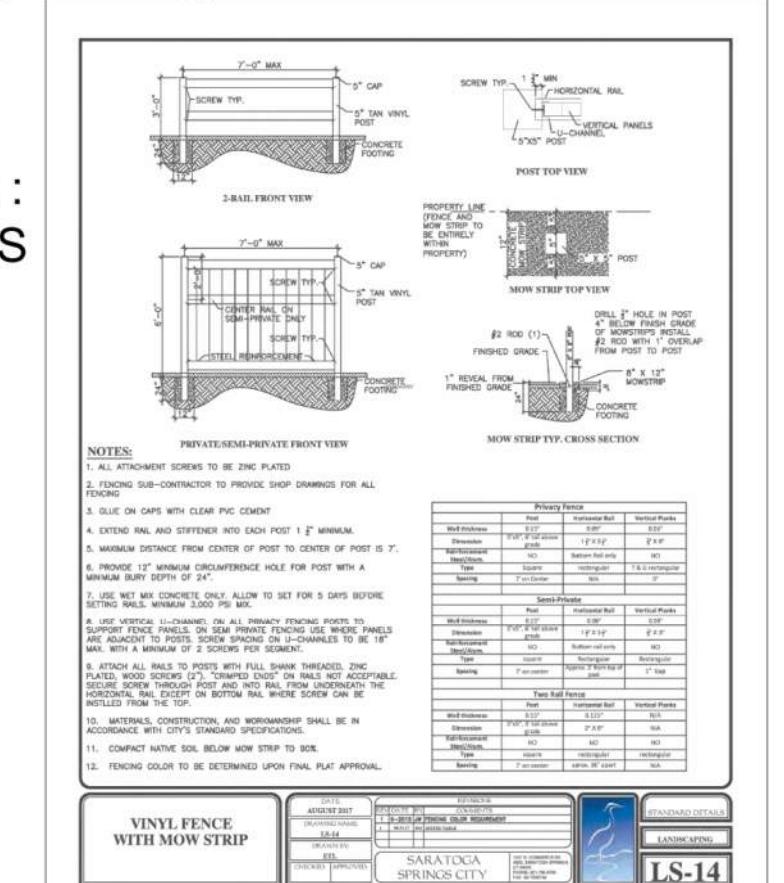
## CITY/ OPEN SPACE SPECIFICATIONS FOR NATIVE OPEN SPACE AREA : SEE PLANS FOR LOCATIONS

THESE PLANTING STANDARDS ARE THE MINIMUM STANDARDS OF LANDSCAPING THAT THE CITY WILL ACCEPT TOWARDS MEETING THE LANDSCAPING REQUIRED FOR OPEN SPACES THAT ARE HELD IN COMMON OR IN HOMEOWNER'S ASSOCIATION OWNERSHIP IN RESIDENTIAL DEVELOPMENTS. DESIGN REQUIREMENTS IDENTIFY SPECIFIC PLANTING REQUIREMENTS FOR LANDSCAPING. THE PLANTING STANDARDS AND DESIGN REQUIREMENTS SHALL BE USED IN EVALUATION OF ANY LANDSCAPING PLAN BY THE CITY.

CURBING, ACCORDING TO 19.06.06 OF CITY CODE

Planting and shrub beds may be used to satisfy up to the percentage of the total required landscaping as specified in Section 19.06.07. In addition to the required plants in the chart, planting and shrub beds must meet the following requirements:

—pre-emergent is used  
—mulch, decorative materials such as wood chips, wood mulch, ground cover, decorative rock, landscaping rocks, or similar materials are used, and materials must be heavy enough to not blow away in the wind;  
—mulching is used to separate lawns from beds, and all areas except residential must use concrete edging for durability;  
—drip lines are used for irrigation.



VINYL FENCE WITH MOW STRIP

LS-14

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
12-06-2024	UT19045	811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org	
NO.	REVISION	DATE	
1	XXXX	XX-XX-XX	
2			
3			
4			
5			
6			
7			

VILLAGE 4  
MT SARATOGA  
SARATOGA SPRINGS, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
JOE PIERCE DCP SARATOGA, LLC 2753 E BROADWAY RD, STE 101 MESA, AZ 85213	PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	JTA DRAWN: KBA CHECKED: TM PLOT DATE: 12/17/2024	
LEI-ENGINEERING 3302 N. Main Street Spanish Fork, Ut. 84660 801-798-0555 ext. 226 www.lei-eng.com	LANDSCAPE DETAILS	LP-501	



## UTILITY CAPACITIES

### UTILITY CAPACITIES

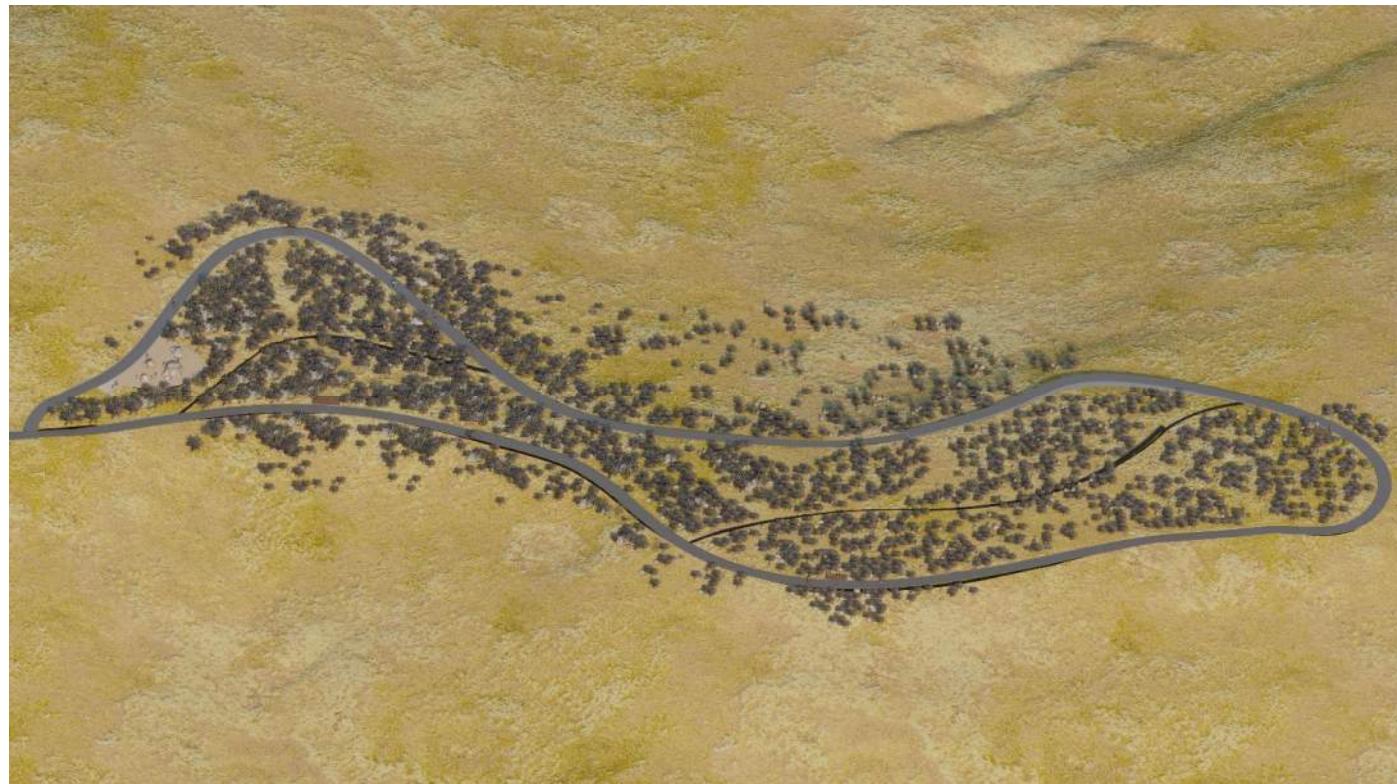
See the approved 3<sup>rd</sup> Amended Community Plan and Master Utility Plan (MUP) dated January 2022 information regarding utility requirements and capacities for the following utilities:

- **Culinary Water.** There are no deviations from the approved MUP.
- **Secondary Water.** There are no deviations from the approved MUP.
- **Sanitary Sewer.** There are no deviations from the approved MUP.
- **Storm Drainage.** There are no deviations to the discharge criteria and methodology from the approved MUP. Slight adjustments are anticipated for future detention basin locations and volumes based on the finalized layout provided within this Village Plan. Detention/retention combination basins must be sized for the volume that is required to be retained (the 80<sup>th</sup> percentile storm) in addition to the volume that is required to be detained (the 100-year 3-hour storm). The future retention basins will be sized following the standards set in the City's Standards and Specifications. These adjustments will not be determined until the future when more definitive design and testing is completed during the final plat approval process.



### VEHICULAR AND PEDESTRIAN PLAN

Transportation/pedestrian access and connectivity is a key component for Mt. Saratoga. The integration of the large and diverse open space amenities of the community is achieved by providing reasonable access. The combined Vehicular and Pedestrian Plan (Exhibit F) identifies major roadway locations and pedestrian pathways as they pertain to Village 4 and originally detailed in the Community Plan.



*Trail and Landscaping Example*



*Trail and Landscaping Example*



## VEHICULAR AND PEDESTRIAN PLAN





## ROADWAY SECTIONS

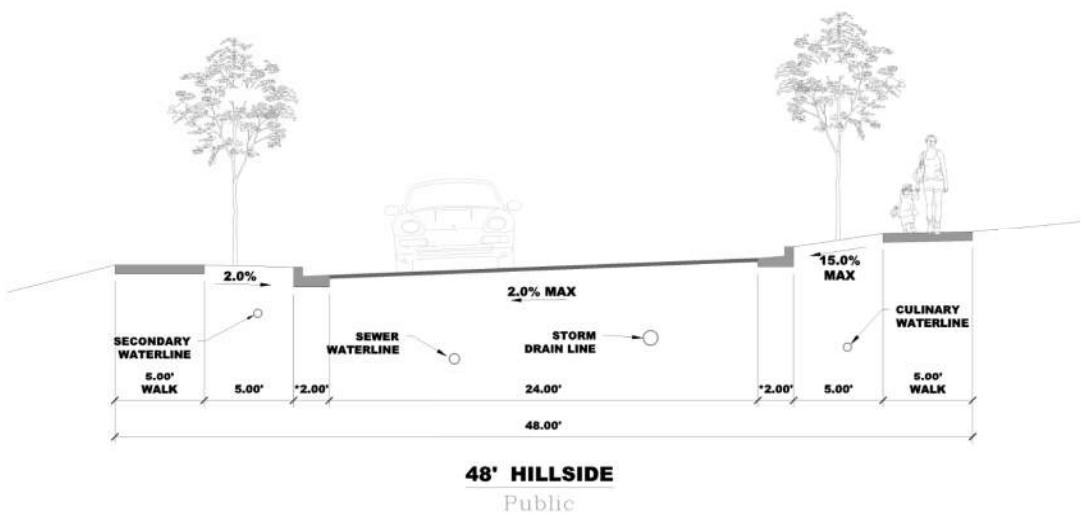
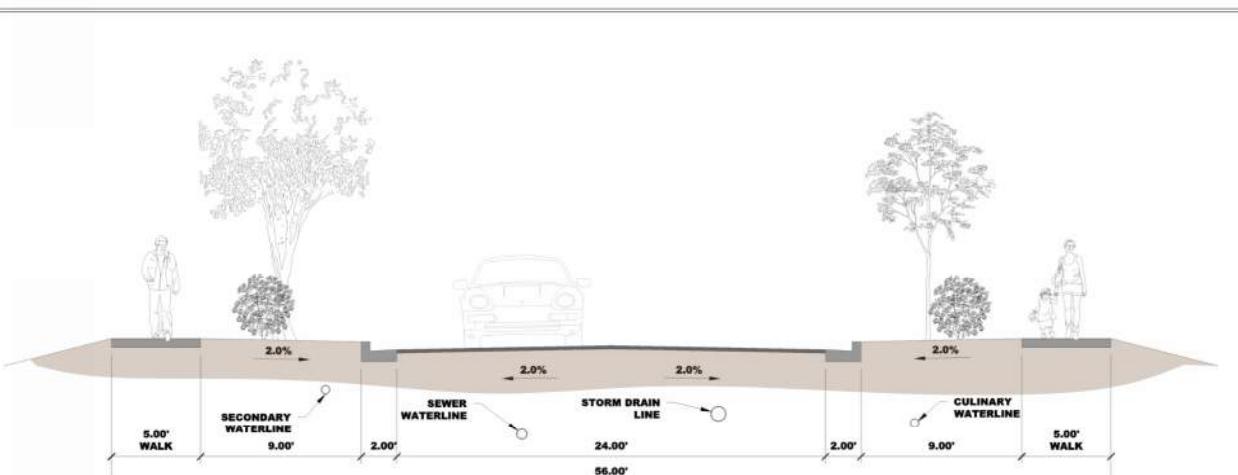
**LEI**  
- A Utah Corporation -

**ENGINEERS**  
**SURVEYORS**  
**PLANNERS**

3302 N. Main Street  
Spanish Fork, UT 84660  
Phone: 801.798.0555  
Fax: 801.798.9393  
office@lei-eng.com  
www.lei-eng.com

**NOT FOR  
CONSTRUCTION**

**OVERLOOK AT MT. SARATOGA**  
SARATOGA SPRINGS, UTAH  
EXHIBIT G - VILLAGE 5 ROADWAY SECTIONS



\* 30" Modified curb allowed where driveway spacing is less than 50'

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**NOTE:**  
ON-STREET PARKING MAY BE RESTRICTED IN AREAS/ RED CURBING FOR FIRE SAFETY REASONS. TO BE COORDINATED W/ FIRE CHIEF.

REVISIONS  
1 -  
2 -  
3 -  
4 -  
5 -

LEI PROJECT #: 2014-1664  
DRAWN BY: TJP  
DESIGNED BY: NKW  
SCALE: N.T.S.  
DATE: 09/03/2024

SHEET  
**G**



## DENSITY TRANSFERS

### DENSITY TRANSFERS

There are no proposed density transfers within this Village Plan.



## ADDITIONAL ELEMENTS

### ADDITIONAL ELEMENTS

There are no proposed changes with this Village Plan.



## SITE CHARACTERISTICS

### SITE CHARACTERISTICS

Please see the approved Community Plan for the following elements:

- Waterways
- Geological Information
- Fault Lines
- Geotechnical Report
- Sensitive Lands and Contour Information
- Traffic Study



## FINDINGS

### FINDINGS

The following Finding Statement was provided in the approved Community Plan for Mt. Saratoga. Each of the original statements has been provided below with reasons (*in italics*) that justify approval of this Village Plan in relation to the Community Plan.

A. Mt. Saratoga is consistent with the goals, objectives, and policies of the General Plan, with particular emphasis placed upon those policies related to community identity, distinctive qualities in communities and neighborhoods, diversity of housing, integration of uses, pedestrian and transit design, and environmental protection.

The Mt. Saratoga Community Plan was designed to integrate a diversity of housing, the master trail system, and improved open space, with the unique natural topography of the project. This unique integration will establish the community theme, protect existing vistas and natural features, and work to encourage an active outdoor lifestyle for the residence of the Talus Communities.

*Overlook at Mt. Saratoga (Village 4) is consistent with the goals, objectives, and policies presented and approved with the Mt. Saratoga Community Plan with the exception to the diversity of housing.*

*Village 4 consists of single-family housing and two- and three-family housing originally presented in the approved Community Plan. A global overview was presented in the Community Plan and further detailed with this first Village Plan for the Mt. Saratoga development. The unique integration of housing, a master trail system, and improved open space, with the unique natural topography help define and establish a community theme and distinctive qualities specific to Mt. Saratoga.*

B. Mt. Saratoga contains sufficient standards to guide the creation of innovative design that responds to unique conditions. The development and architectural standards outlined in this document are intended to establish guidelines and regulations for the Mt. Saratoga Community Plan by providing detail for community-wide systems with enough specificity to determine the size, scope, intensity, and character of subsequent and more detailed Village Plans.

*This Village Plan presents enhanced development and architectural standards that will have established guidelines and regulations governed through a Homeowners Association that will ensure these goals, objectives and policies are upheld as they were originally presented with the Community Plan.*

C. Mt. Saratoga is compatible with surrounding development and properly integrates land uses and infrastructure with adjacent properties. Large portions of the peripheral property line of Mt. Saratoga Community consist of Rocky Mountain Power corridors and exceed the required 10' buffer. These areas constitute large portions of the master trail system and will also consist of parks and other improved amenities. In other areas along the peripheral boundary, special care was taken to coordinate appropriate road connections and landscape buffering.

*This Village Plan has an indirect link to the Talus Ridge development which provides a similar look and feel. A natural connection is made through the open space requirements, incorporation of the Rocky*

*Mountain Power corridor, utility serviceability and portions of the master trail system as they are applicable to the overall development.*

D. Mt Saratoga includes adequate provisions for utility services, roadway networks, and emergency vehicle access; and public safety service demands will not exceed the capacity of existing and planned systems without adequate mitigation.

*All utility services, roadway networks, emergency vehicle access and public safety service demands within the Village Plan*

*boundary will be built and sized to the overall demand of the Mt. Saratoga development. This ensures that any of the demands listed above will not exceed the capacity of existing and planned systems without adequate mitigation.*

E. Mt. Saratoga is consistent with the guiding standards listed in Section 19.26.06 of the City's Land Development Code.

*This Village Plan of the Mt. Saratoga development is consistent with the City's guiding standards (Section 19.26.06 of the City's Land Development Code).*

F. Mt. Saratoga contains the required elements as dictated in Section 19.26.07 of the City's Land Development Code.

*This Village Plan of the Mt. Saratoga development is consistent with the City's required elements (Section 19.26.07 of the City's Land Development Code).*

G. Mt. Saratoga meets the minimum required open space in adopted Community Plan and adopted District Area Plan if applicable.

*This Village Plan meets is proportional share of open space as specified within the adopted Community Plan.*