

2429 STAGECOACH RETAIL

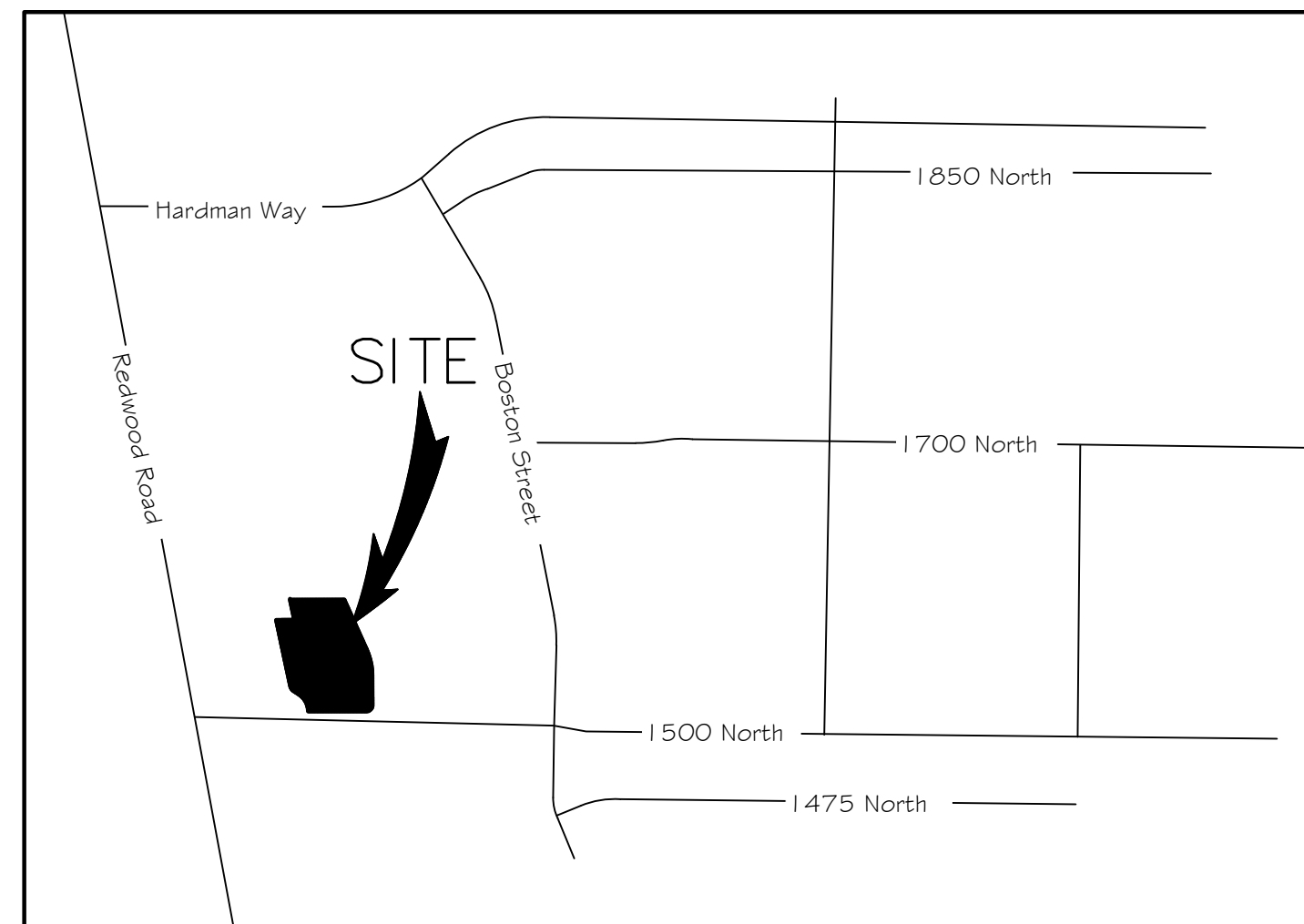
CIVIL SITE PLANS

2429 NORTH STAGECOACH DRIVE
SARATOGA SPRINGS, UTAH 84045

AUGUST 27, 2025

LEGEND

---	PROPERTY LINE		EXISTING FIRE HYDRANT
---	EASEMENT LINE		PROPOSED FIRE HYDRANT
-4240.0---	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
-4240.0---	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
---	EXISTING CURB		PROPOSED PARKING LOT LIGHT
---	PROPOSED CURB & GUTTER		EXISTING WATER METER
---	PROPOSED CURB WALL		EXISTING WATER VALVE
---	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
---	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
SS---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
---	EXISTING WATER	FF	FINISHED FLOOR
W---	PROPOSED WATER	HW	HIGH WATER
---	EXISTING FIRE LINE	TOG	TOP OF GRADE
F---	PROPOSED FIRE LINE	TOL	TOP OF LID
---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
SD---	PROPOSED STORM DRAIN	EX	EXISTING
---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---	EXISTING GAS	TA	TOP OF ASPHALT
G---	PROPOSED GAS	TC	TOP OF CONCRETE
---	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
OHP---	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
UGP---	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
---	EXISTING TELEPHONE LINE	TG	TOP OF GRAVEL
T---	PROPOSED TELEPHONE LINE	TL	TOP OF LANDSCAPING
---	EXISTING FIBER OPTIC LINE	TS	TOP OF SIDEWALK
FO---	PROPOSED FIBER OPTIC LINE	PROP	PROPOSED
	PROPOSED CONCRETE		TBC CALLOUT UNLESS OTHERWISE DESIGNATED
	PROPOSED ASPHALT		
	PROPOSED LANDSCAPING		



VICINITY MAP
NOT TO SCALE

CITY STANDARD NOTES:

- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- Existing Utilities have been noted to the best of Engineers knowledge, however It is owners and contractor's responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- All exterior lighting shall meet IESNA full-cutoff criteria.

NOTE:
RETAINING WALLS IN EXCESS
OF 4' IN HEIGHT WILL
REQUIRE A BUILDING PERMIT.

SHEET INDEX

CV COVER SHEET
RECORD OF SURVEY
C0.1 EXISTING CONDITIONS & DEMO PLAN
C1.0 SITE PLAN
C2.0 GRADING PLAN
C2.1 DRAINAGE PLAN
C3.0 UTILITY PLAN
C4.0 DETAIL SHEET
C4.1 DETAIL SHEET
C4.2 DETAIL SHEET
C4.3 DETAIL SHEET
C4.4 DETAIL SHEET
LP-COLOR COLOR ILLUSTRATION
LP-100 LANDSCAPE OVERALL PLAN
LP-101 LANDSCAPE COVER
LP-501 LANDSCAPE DETAILS
IR-100 IRRIGATION OVERALL PLAN
IR-101 IRRIGATION COVER
IR-501 IRRIGATION DETAILS
IR-502 IRRIGATION DETAILS
IR-503 IRRIGATION DETAILS
E112 ELECTRICAL SITE PHOTOMETRIC PLAN

PROJECT AREA	57,355 SQ.FT.	1.32 ACRES	100.00 %
LOT AREA	57,355 SQ.FT.	1.32 ACRES	100.00 %
LOT IMPERVIOUS AREA	40,742 SQ.FT.	0.94 ACRES	71.03 %
LOT BUILDING AREA	12,586 SQ.FT.	0.29 ACRES	21.94 %
LOT LANDSCAPE AREA	16,613 SQ.FT.	0.38 ACRES	28.97 %
R.O.W. DEDICATION AREA	0 SQ.FT.	0.00 ACRES	0.00 %
SENSITIVE LANDS AREA	5,885 SQ.FT.	0.14 ACRES	10.26 %
SENSITIVE LANDS % OF OPEN SPACE	35.42 %		
NUMBER OF BUILDINGS	1		
NUMBER OF SURFACE PARKING	49		
NUMBER OF GARAGE PARKING	0		
NET DENSITY OF DWELLINGS	0.76 BUILDINGS/ACRE		
% OF BUILDABLE LAND	89.74 %		
PAVEMENT	20,059 SQ.FT.		
UNTREATED BASE COURSE	20,059 SQ.FT.		
GRANULAR BORROW	20,059 SQ.FT.		
CURB & GUTTER	1,646 LF		
SIDEWALK	315 LF		
ADA RAMPS	5 EACH		

CIVIL ENGINEER:

CIR | CIVIL ENGINEERING
+SURVEYING
10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296

ARCHITECT:

AE URBIA
909 W SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
CONTACT PERSON: ANDREW BOLLSCHWEILER
PH: (801) 746-0456

OWNER:

COULOIR CAPITAL
CONTACT PERSON: TRAVIS OLSEN
PH: (801) 455-6999

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2429 STAGECOACH RETAIL
2429 NORTH STAGECOACH DRIVE, SARATOGA SPRINGS, UTAH 84045

COVER SHEET



SHEET NO.

CV

PROJECT ID: E25-056
FILE NAME: PRJ-SCC
DATE: 08/27/25
SCALE:



As-Surveyed Legal Description

An entire tract of land described as Lot 4, The Hub at Saratoga Phase 1 recorded March 21, 2022 as Entry No. 34860:2022, Map No. 18236 in the Office of the Utah County Recorder and located in the Southwest Quarter of Section 2, Township 5 South, Range 1 West, Salt Lake Base and Meridian. and described as follows:

The above described entire tract of land contains 57,355 sq. ft. in area or 1.317 acres, more or less.

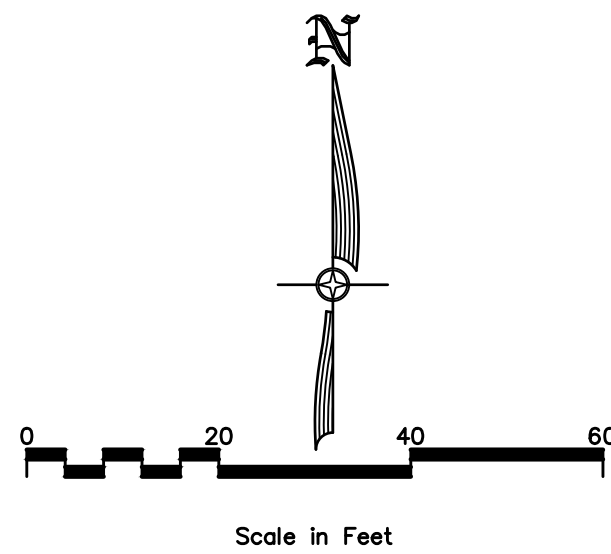
ADA NOTE: ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

OUTDOOR DISPLAY NOTE:
1. ALL RETAIL PRODUCT DISPLAYS SHALL BE LOCATED UNDER THE BUILDING'S DISPLAY PADS WITHIN FRONT LANDSCAPE AREAS.
2. ALL DISPLAY AREAS SHALL BE CLEARLY DEFINED ON THE APPROVED SITE PLAN AND DESIGNATED ON THE SITE WITH A CONTRACTING COLORED, PAINTED, OR STRIPED SURFACE.
3. DISPLAY AREAS SHALL NOT BLOCK BUILDING ENTRIES OR EXITS, PEDESTRIAN WALKS, OR PARKING SPACES IN FRONT OF THE BUILDING. OUTDOOR DISPLAY AREAS SHALL NOT SPILL INTO WALKWAYS OR ANY DRIVE AISLE ADJACENT TO A BUILDING.

NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM /PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

DETENTION NOTE:
SEE DRAINAGE REPORT FOR ALL DRAINAGE CALCULATIONS.

COMPLIANCE NOTE: THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN



SEE COVER SHEET FOR PROJECT LEGEND
SHEET LEGEND

SENSITIVE LANDS AREA (SLOPES >30%)
 ADA ROUTE

SITE PLAN NOTES:

- PROPOSED 24" CURB & GUTTER. SEE CITY DETAIL ST-2B ON SHEET C4.2.
- PROPOSED 24" FALL-OUT CURB & GUTTER. SEE CITY DETAIL ST-2D ON SHEET C4.2.
- PROVIDE A SMOOTH TRANSITION FROM CURB & GUTTER TO FALL-OUT CURB & GUTTER. MIN LENGTH 3'.
- ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 5/C4.0.
- PROPOSED ADA SIGN. SEE DETAIL 6/4.0.
- ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 2/C4.0.
- ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 1/C4.0.
- INSTALL 6" SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET 4.2.
- EXISTING SIDEWALK TO BE REMOVED AND REPLACED WITH A NEW COMMERCIAL DRIVE APPROACH PER CITY STANDARD ST-4B. SEE DETAIL SHEET C4.2.
- CLEAR SIGHT TRIANGLE.
- PROPOSED CONCRETE LANDING PAD. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
- INSTALL TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED BOULDER RETAINING WALL, DESIGN BY OTHERS. SEE SHEET C2.0 FOR ELEVATIONS.
- EXISTING CURB & GUTTER.
- EXISTING STREET LIGHT, TO REMAIN.
- EXISTING RETAINING WALL, TO BE PROTECTED IN PLACE.
- PROPOSED BOLLARD.

LOT AREAS:

LOT	SQ. FT.	ACRES.	(PERCENT)
BUILDING FOOTPRINT	12,586	0.289	(21.94%)
ASPHALT	20,006	0.459	(34.88%)
LANDSCAPING	16,613	0.381	(28.96%)
CONCRETE	8,150	0.187	(14.21%)

LOT LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
TOTAL LANDSCAPING PROVIDED	16,613	20%
29.0 % PROVIDED		

LOT PARKING REQUIREMENTS:

	SQ. FT.	CITY REQ'T
RETAIL	12,586	50.3 (4/1000)
TOTAL REQUIRED		51
TOTAL PROVIDED		49
DRIVE THRU SPACES		3
ACCESSIBLE SPACES	2	(2 REQ'D 26 TO 50)

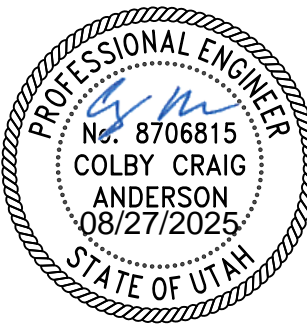
NOTE: IF IN THE THE FUTURE A SHARED ACCESS IS CONSTRUCTED TO THE PROPERTY TO THE THE NORTH, THESE 3 PARKING STALLS WILL BE REMOVED. THEY HAVE NOT BEEN INLCUED IN PERMAMENT PARKING STALLS COUNT.

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+ SURVEYING

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SITE PLAN



SHEET NO.
C1.0

PROJECT ID: E25-056
DATE: 08/27/25
FILE NAME: PRJ-SCC
SCALE: 1"=20'

