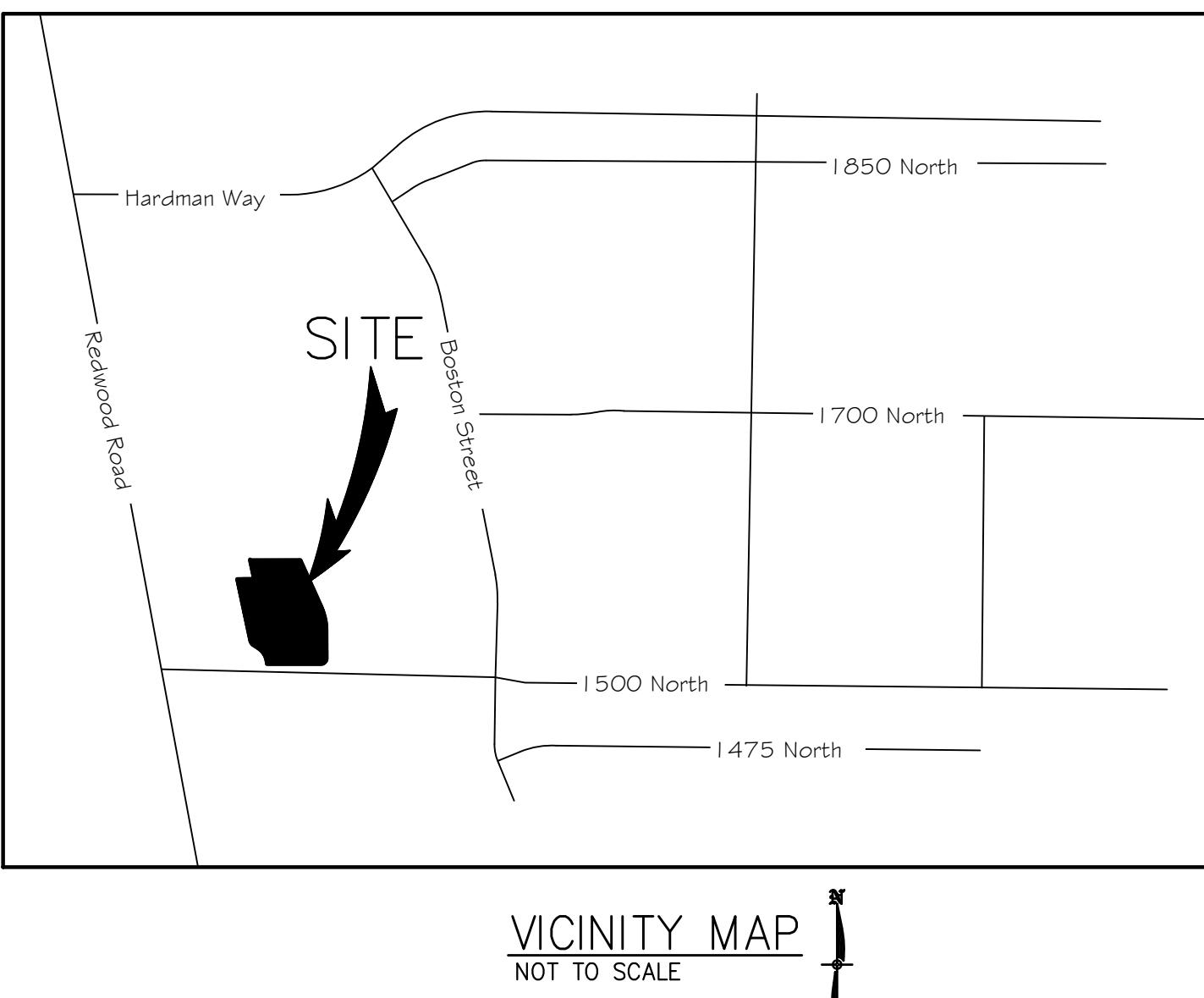
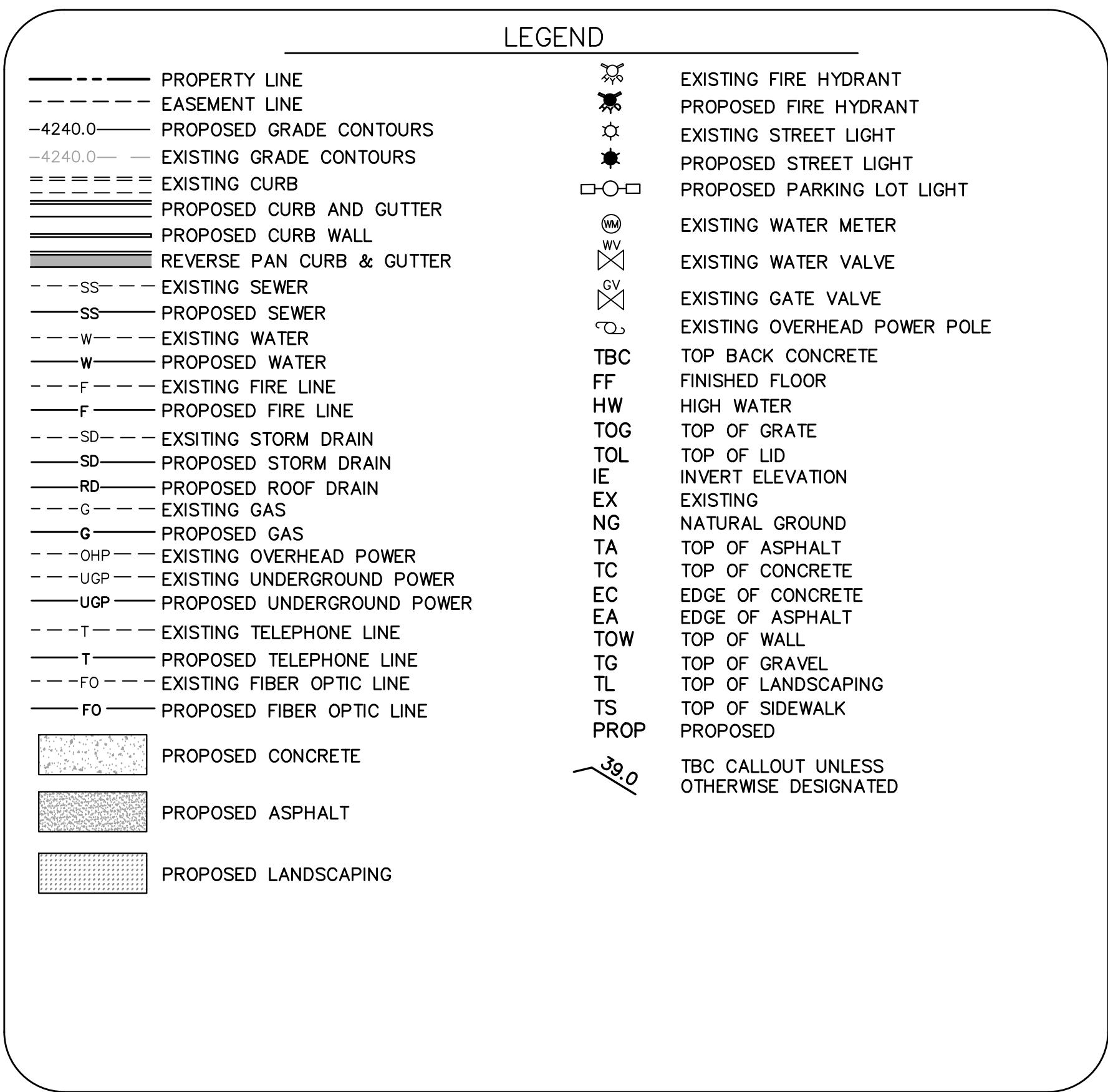


2429 STAGECOACH RETAIL

CIVIL SITE PLANS

2429 NORTH STAGECOACH DRIVE
SARATOGA SPRINGS, UTAH 84045

AUGUST 27, 2025



SHEET INDEX	
CV	COVER SHEET
	RECORD OF SURVEY
C0.1	EXISTING CONDITIONS & DEMO PLAN
C1.0	SITE PLAN
C2.0	GRADING PLAN
C2.1	DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	DETAIL SHEET
C4.1	DETAIL SHEET
C4.2	DETAIL SHEET
C4.3	DETAIL SHEET
C4.4	DETAIL SHEET
LP-COLOR	COLOR ILLUSTRATION
LP-100	LANDSCAPE OVERALL PLAN
LP-101	LANDSCAPE COVER
LP-501	LANDSCAPE DETAILS
IR-100	IRRIGATION OVERALL PLAN
IR-101	IRRIGATION COVER
IR-501	IRRIGATION DETAILS
IR-502	IRRIGATION DETAILS
IR-503	IRRIGATION DETAILS
E112	ELECTRICAL SITE PHOTOMETRIC PLAN

CITY STANDARD NOTES:

- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- Existing Utilities have been noted to the best of Engineers knowledge, however it is owner's and contractor's responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- All exterior lighting shall meetIESNA full-cut-off criteria.

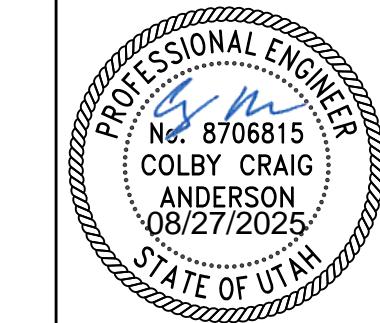
NOTE:
RETAINING WALLS IN EXCESS
OF 4' IN HEIGHT WILL
REQUIRE A BUILDING PERMIT.

PROJECT AREA	57,355 SQ.FT.	1.32 ACRES	100.00 %
LOT AREA	57,355 SQ.FT.	1.32 ACRES	100.00 %
LOT IMPERVIOUS AREA	40,742 SQ.FT.	0.94 ACRES	71.03 %
LOT BUILDING AREA	12,586 SQ.FT.	0.29 ACRES	21.94 %
LOT LANDSCAPE AREA	16,613 SQ.FT.	0.38 ACRES	28.97 %
R.O.W. DEDICATION AREA	0 SQ.FT.	0.00 ACRES	0.00 %
SENSITIVE LANDS AREA	5,885 SQ.FT.	0.14 ACRES	10.26 %
SENSITIVE LANDS % OF OPEN SPACE	35.42 %		
NUMBER OF BUILDINGS	1		
NUMBER OF SURFACE PARKING	49		
NUMBER OF GARAGE PARKING	0		
NET DENSITY OF DWELLINGS	0.76 BUILDINGS/ACRE		
% OF BUILDABLE LAND	89.74 %		
PAVEMENT	20,059 SQ.FT.		
UNTREATED BASE COURSE	20,059 SQ.FT.		
GRANULAR BORROW	20,059 SQ.FT.		
CURB & GUTTER	1,646 LF		
SIDEWALK	315 LF		
ADA RAMPS	5 EACH		

REVISIONS	BY DATE

CIR | CIVIL ENGINEERING + SURVEYING
10718 S BECKSTEAD LANE, SUITE 102
South Jordan, Utah - 801-949-6296

2429 STAGECOACH RETAIL
2429 NORTH STAGECOACH DRIVE, SARATOGA SPRINGS, UTAH 84045
COVER SHEET



BlueStakes of UTAH 811
PROJECT ID: E25-056
FILE NAME: PRJ-SCC
DATE: 08/27/25
SCALE: 1:1000

