

Acceptance of Plans

The City of Saratoga Springs hereby accepts these plans for construction as being in general compliance with the plans preparation requirements of the City. Responsibility for the completeness and accuracy of these plans and related designs resides with the Project Engineer and Engineering Firm of Record. The City assumes no responsibility or liability whatsoever for the plans or designs submitted.

By  Jeff Pearson
name Jeff Pearson Engineering

By  David Jellen Date 12/03/2025
name David Jellen Planning As redlined

Acceptance not valid without Planning and Engineering signatures.

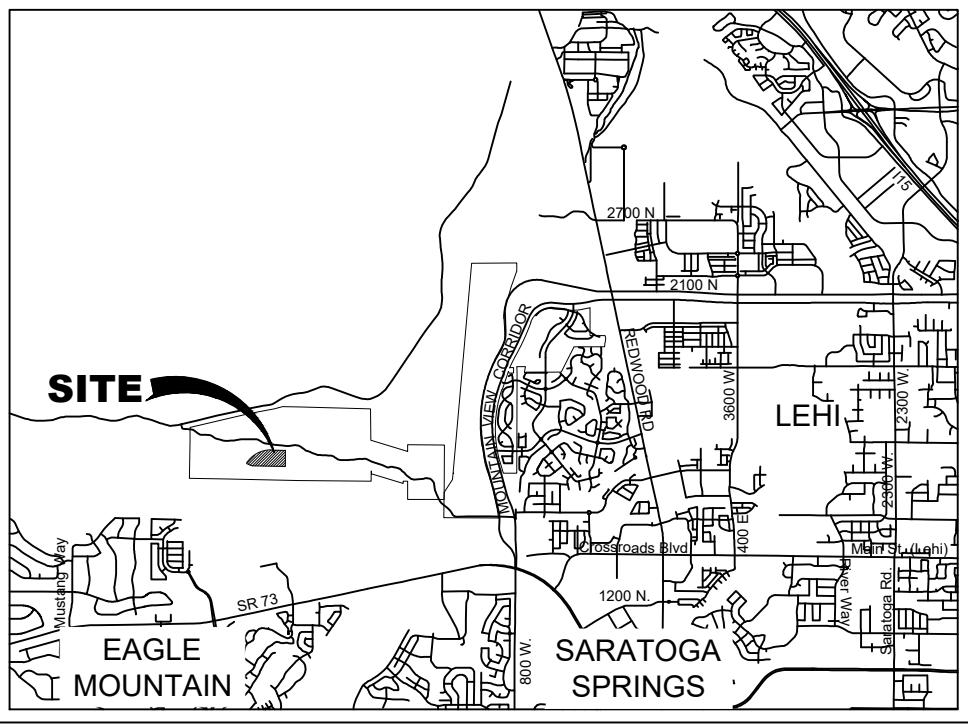
Acceptance expires 12 months after this date if construction has not begun or if Planning approval has expired.

ACCEPTED AS NOTED:
See Signing & Striping Plan and Plat
The construction of this development cannot be phased due to interdependence of utilities.

WILDFLOWER VILLAGE 9 SITE W

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

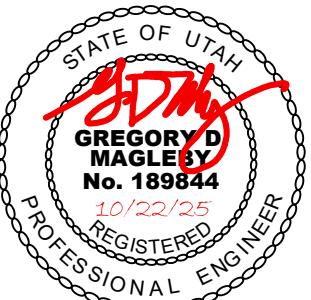
VICINITY MAP



LEI

CIVIL
STRUCTURAL
SURVEY

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.3393
office@lei-eng.com
www.lei-eng.com



WILDFLOWER VILLAGE 9 SITE W CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

COVER

REVISIONS

1 -
2 -
3 -
4 -
5 -

LEI PROJECT #: 2023-0055
DRAWN BY: BLS
DESIGNED BY: GDM
SCALE: 1"=60'
DATE: 10/22/2025
SHEET
COVER

TABLE OF CONTENTS

U:\LAND DESKTOP PROJECTS\1-0982 DAL COLLINS BROTHERS\DWG\WILDFLOWER VILLAGE 9 SITE W-1 (SH 000-501) SHEET.DWG 10/22/2025 3:58 PM

Sheet Number	Sheet Title
COVER	COVER SHEET
NOTES	GENERAL NOTES
PLAT W-1 SHEET 1 OF 3	
PLAT W-1 SHEET 2 OF 3	
PLAT W-1 SHEET 3 OF 3	
PLAT W-2 SHEET 1 OF 3	
PLAT W-2 SHEET 2 OF 3	
PLAT W-2 SHEET 3 OF 3	
PLAT W-3 SHEET 1 OF 3	
PLAT W-3 SHEET 2 OF 3	
PLAT W-3 SHEET 3 OF 3	
C-101	EXISTING CONDITIONS
C-102	SITE PLAN
C-201	UTILITY PLAN
C-301	GRADING & DRAINAGE PLAN (OVERALL)
C-302	INTERSECTION GRADING & DRAINAGE PLAN
C-304	WALL GRADING PLAN
C-305	WALL GRADING PLAN
C-306	WALL GRADING PLAN
C-401 DW	CHICORY LN. PLAN & PROFILE - DRINKING WATER
C-402 DW	CROCUS LN. PLAN & PROFILE - DRINKING WATER
C-403 DW	PETUNIA DR. PLAN & PROFILE - DRINKING WATER
C-404 DW	PETUNIA DR. PLAN & PROFILE - DRINKING WATER
C-405 DW	PETUNIA DR. PLAN & PROFILE - DRINKING WATER
C-406 DW	DAHLIA LN. PLAN & PROFILE - DRINKING WATER
C-408 DW	DAHLIA LN. PLAN & PROFILE - DRINKING WATER
C-409 DW	ZINNIA DR. PLAN & PROFILE - DRINKING WATER
C-410 DW	ZINNIA DR. PLAN & PROFILE - DRINKING WATER
C-411 SW	CHICORY LN. PLAN & PROFILE - SECONDARY WATER
C-412 SS	CHICORY LN. PLAN & PROFILE - SEWER
C-413 SS	CROCUS LN. PLAN & PROFILE - SEWER
C-414 SS	PETUNIA DR. PLAN & PROFILE - SEWER
C-415 SS	PETUNIA DR. PLAN & PROFILE - SEWER
C-416 SS	PETUNIA DR. PLAN & PROFILE - SEWER
C-417 SS	DAHLIA LN. PLAN & PROFILE - SEWER
C-418 SS	DAHLIA LN. PLAN & PROFILE - SEWER
C-419 SS	ZINNIA DR. PLAN & PROFILE - SEWER
C-420 SS	ZINNIA DR. PLAN & PROFILE - SEWER
C-421 SS	ZINNIA DR. PLAN & PROFILE - SEWER
C-422 SD	CHICORY LN. PLAN & PROFILE - STORM DRAIN
C-423 SD	CROCUS LN. PLAN & PROFILE - STORM DRAIN
C-424 SD	PETUNIA DR. PLAN & PROFILE - STORM DRAIN
C-425 SD	PETUNIA DR. PLAN & PROFILE - STORM DRAIN
C-426 SD	PETUNIA DR. PLAN & PROFILE - STORM DRAIN
C-427 SD	DAHLIA LN. PLAN & PROFILE - STORM DRAIN
C-428 SD	DAHLIA LN. PLAN & PROFILE - STORM DRAIN
C-429 SD	ZINNIA DR. PLAN & PROFILE - STORM DRAIN
C-430 SD	ZINNIA DR. PLAN & PROFILE - STORM DRAIN
C-431 SD	ZINNIA DR. PLAN & PROFILE - STORM DRAIN
C-501	SIGNAGE & STRIPING PLAN
C-901	DETAILS
C-902	DETAILS
C-903	DETAILS
C-904	DETAILS
C-905	DETAILS
C-906	DETAILS
C-907	DETAILS
LP-101	LANDSCAPE PLAN
LP-102	LANDSCAPE PLAN
IR-101	IRRIGATION PLANS
IR-102	IRRIGATION PLANS

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C-903	DETAILS
C-904	DETAILS
C-905	DETAILS
C-906	DETAILS
C-907	DETAILS
LP-101	LANDSCAPE PLAN
LP-102	LANDSCAPE PLAN
IR-101	IRRIGATION PLANS
IR-102	IRRIGATION PLANS

OWNER / DEVELOPER

LENNAR

111 EAST SECO LILY DR, SUITE 150
SANDY, UT 84070
(801) 508-5634

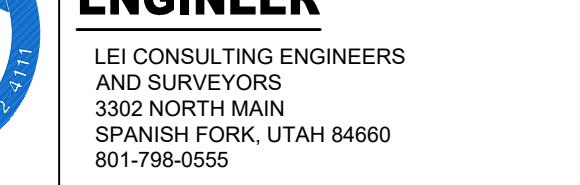
PLANNING DEPT: 801-766-9793
ENGINEERING DEPT: 801-766-6506

ROCKY MOUNTAIN POWER
PHONE: 800-469-3981

ENBRIDGE GAS UTAH
PHONE: 800-366-6532

ENGINEER

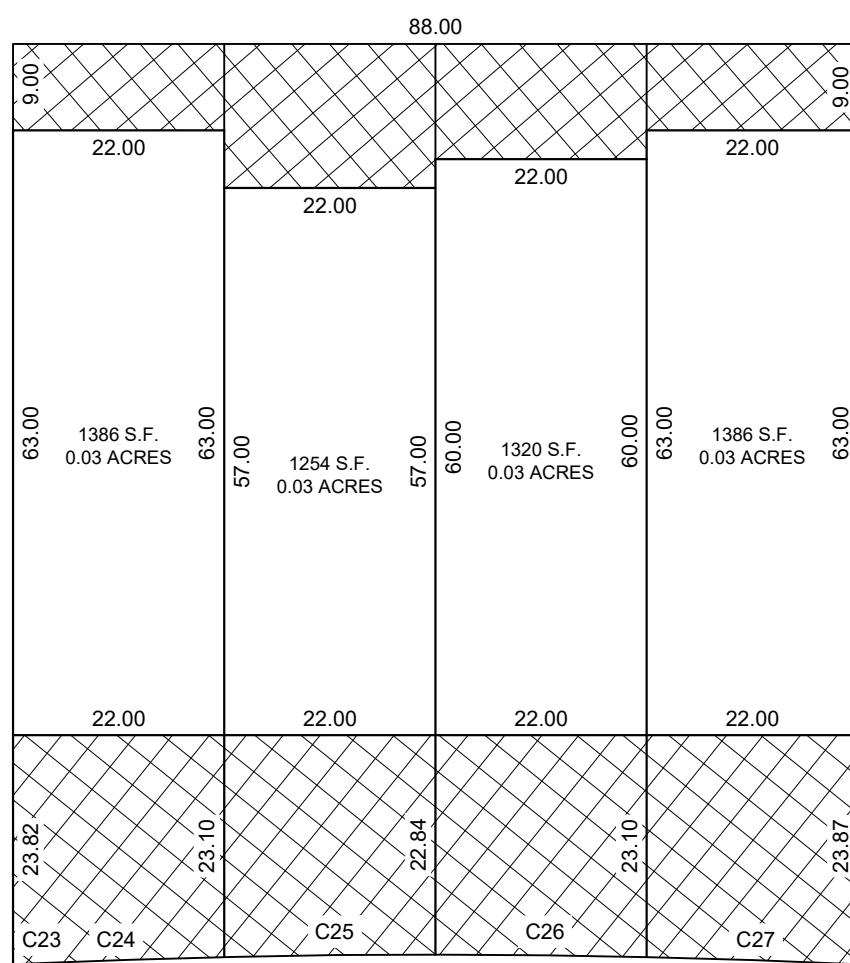
LEI CONSULTING ENGINEERS
AND SURVEYORS
3302 N. MAIN STREET
SPANISH FORK, UTAH 84660
801-798-0555



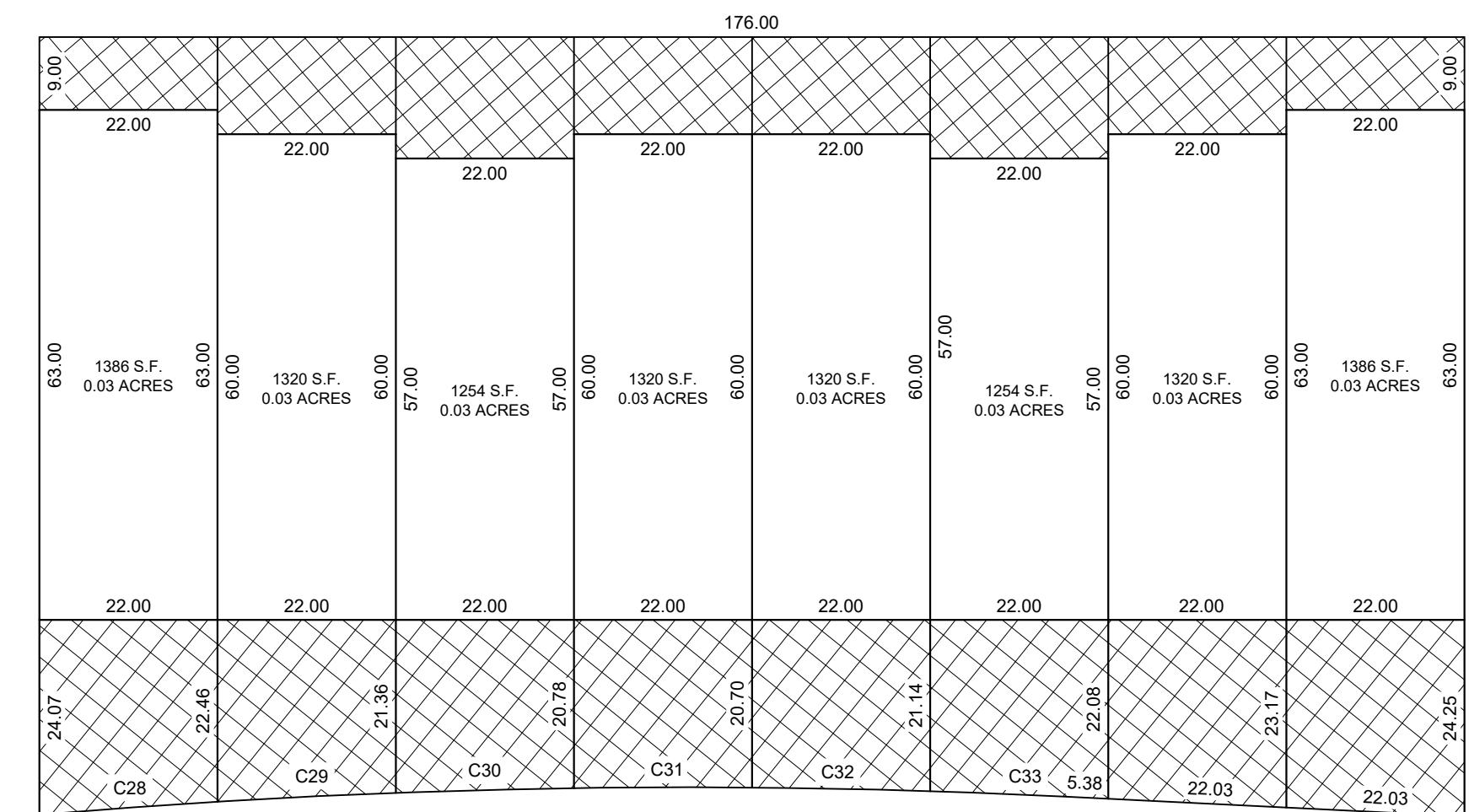
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(1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATED
(2) SEWER LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(3) SEE PLAN & PROFILE FOR SIZE & MATERIAL
(4) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(5) SEWER SERVICE MINIMUM SLOPE 2%

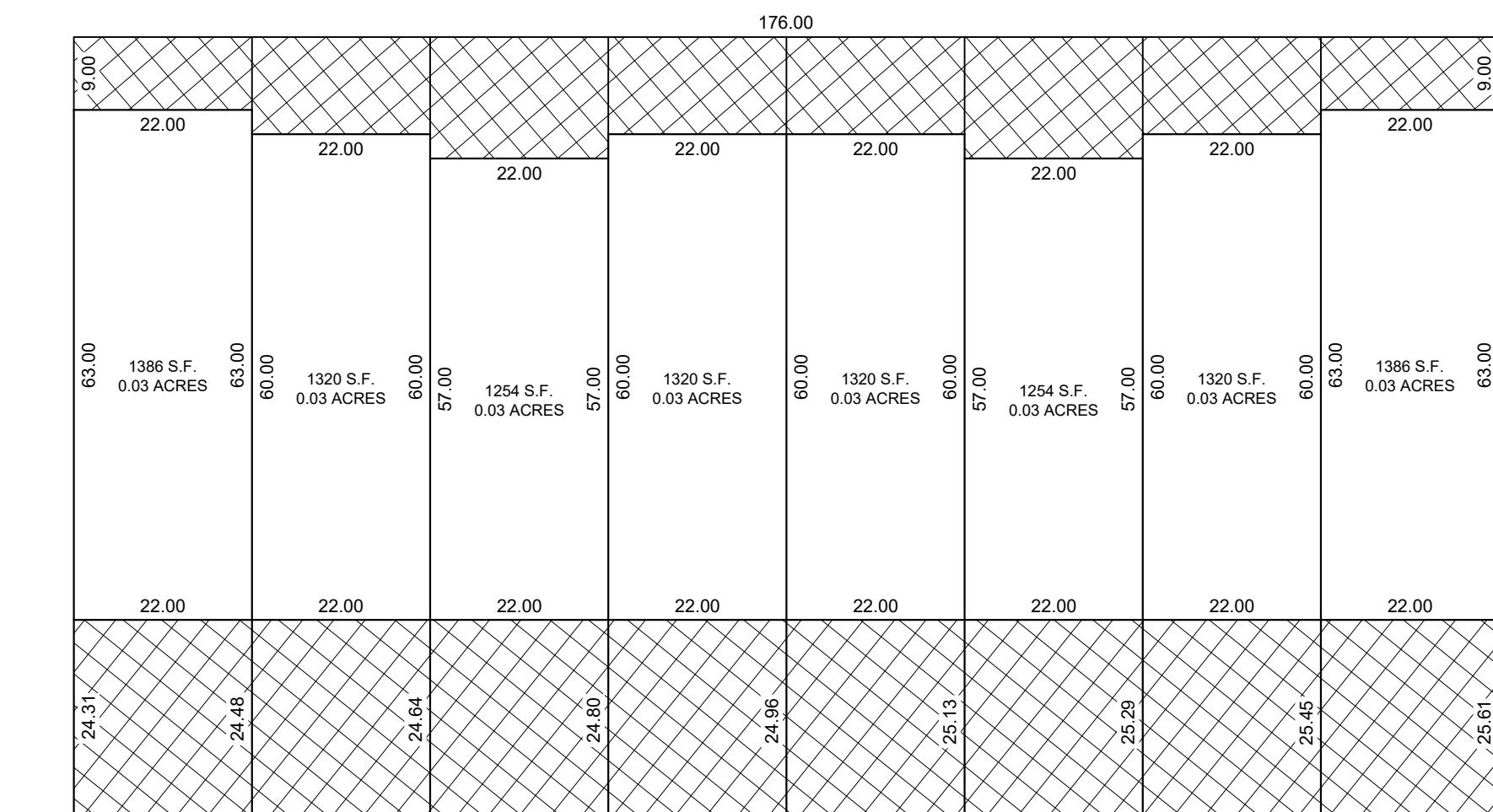
EXISTING	PROPOSED	DETAILS
BOUNDARY LINE	STREET CENTERLINE	
EASEMENT LINE	EASEMENT LINE	
EX-68	SEWER PIPE	SS-1, ST-7, (*2) SS-2, SS-2A, (*2)
EX-SD	SEWER MANHOLE	SS-3, (*5)
EX-W	4" SEWER CLEANOUT	SD-1, ST-7, (*2)
EX-3W	STORM DRAIN PIPE (RCP)	SD-2, (*2)
EX-3W	CURB INLET	SD-4
EX-3W	COMBO BOX	SD-4
EX-3W	4"X4" CATCH BASIN	SD-4
EX-3W	3X3" CATCH BASIN	SD-5
EX-3W	INLET/OUTLET W/ GRATE	SD-5
EX-3W	CULINARY WATER PIPE	SD-5
EX-3W	2"X2" PIPE ELBOW (W)	DW-1, DW-2, DW-3, (*2)
EX-3W	2"X2" PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-3W	11/2" PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-3W	FIRE HYDRANT	DW-4
EX-3W	3/4" SERVICE & METER (W)	DW-5
EX-3W	PRV (W)	DW-10A, DW-10B, DW-15
EX-3W	AIR-VAC VALVE (W)	DW-12, DW-15
EX-3W	2" BLOW-OFF (W)	DW-13A, DW-15
EX-3W	VALVE (W & SW)	(*1)*2
EX-3W	TEE	DW-2, (*2)
EX-3W	CROSS	DW-2, (*2)
EX-3W	SECONDARY WATER PIPE	DW-2, (*2)
EX-3W	45° PIPE ELBOW (SW)	DW-2, (*2)
EX-3W	2.25" PIPE ELBOW (SW)	DW-2, (*2)
EX-3W	11.25" PIPE ELBOW (SW)	DW-2, (*2)
EX-3W	1" SINGLE SW SERVICE	DW-2, (*2)
EX-3W	1/2" DUAL SW SERVICE	DW-2, (*2)
EX-3W	SW SERVICE TO PARKS	DW-2, (*2)
EX-3W	AIR-VAC VALVE (SW)	DW-2, (*2)
EX-3W	BACKFLOW PREVENTER	DW-2, (*2)
EX-3W	2" BLOW-OFF (SW)	DW-2, (*2)
EX-3W	30° C&G (COLLECTOR)	DW-2, (*2)
EX-3W	24" C&G (LOCAL)	DW-2, (*2)
EX-3W	24" SHED C&G	DW-2, (*2)
EX-3W	SIDEWALK	DW-2, (*2)
EX-3W	STOP SIGN	ST-28
EX-3W	STREET SIGN	ST-28
EX-3W	MONUMENT	ST-29
EX-3W	SPRINKLER CONDUIT	ST-9, (*3)
EX-3W	FENCE	LS-15, DET. 1 SH, D-4
EX-3W	STREET LIGHT LOCAL	LP-1, LP-1B, LP-1C, LP-4, LP-6
EX-3W	STREET LIGHT COLLECTOR	LP-2, LP-2B, LP-2C, LP-5, LP-6
EX-3W	POWER POLE	LP-11
EX-3W	DITCH	PI-11
EX-3W	FIBER OPTIC	PI-12A, PI-13
EX-3W	GAAS	PI-11
EX-3W	OVERHEAD POWER	PI-12, PI-13
EX-3W	FLOW ARROW	PI-11
EX-3W	CONTOURS	PI-11
EX-3W	100 YEAR FLOOD ROUTE	PI-11
EX-3W	MATCH LINE	PI-11
EX		



BUILDING 1
LOTS 4515 THRU 4518

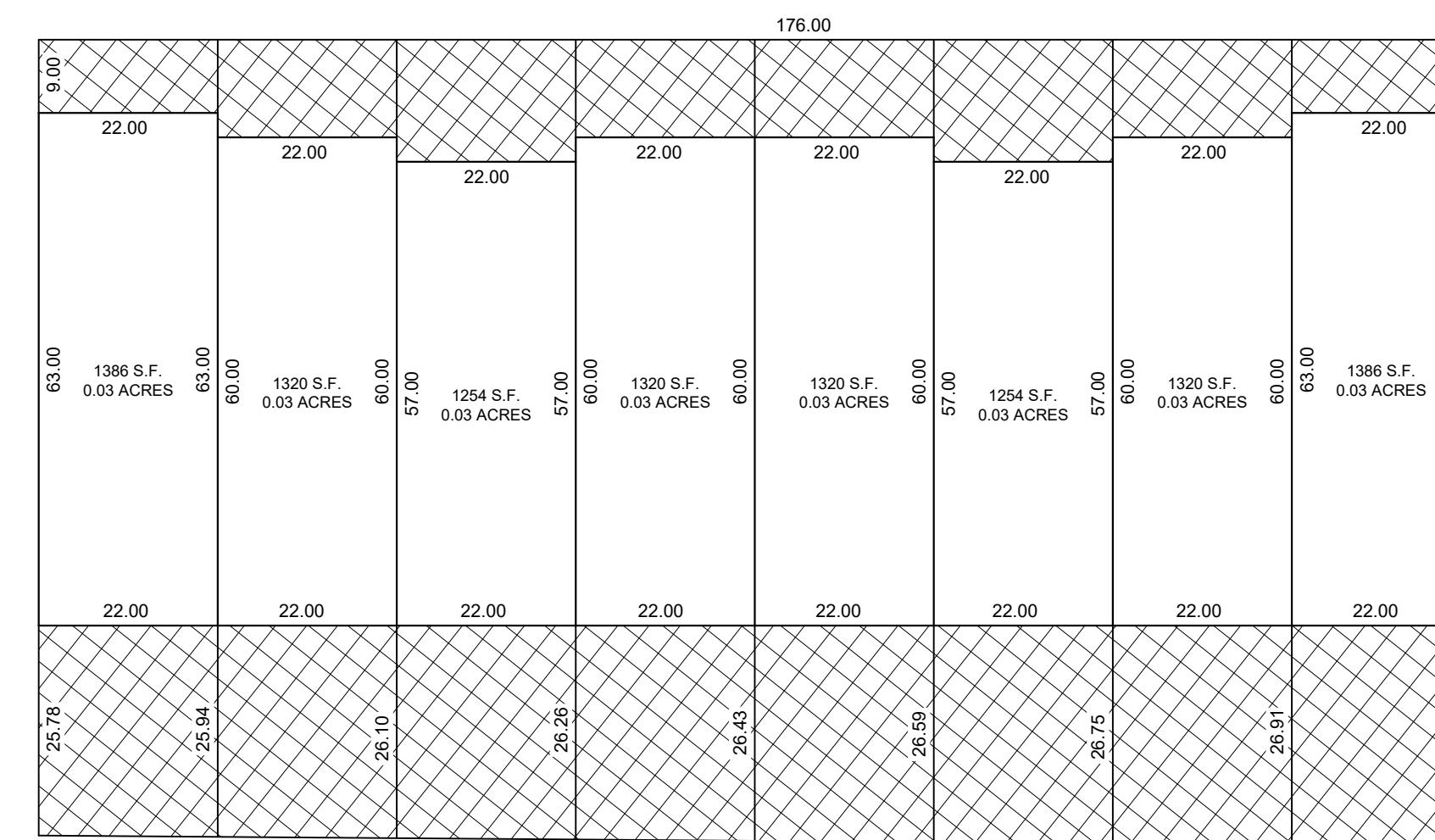


BUILDING 2
LOTS 4519 THRU 4526



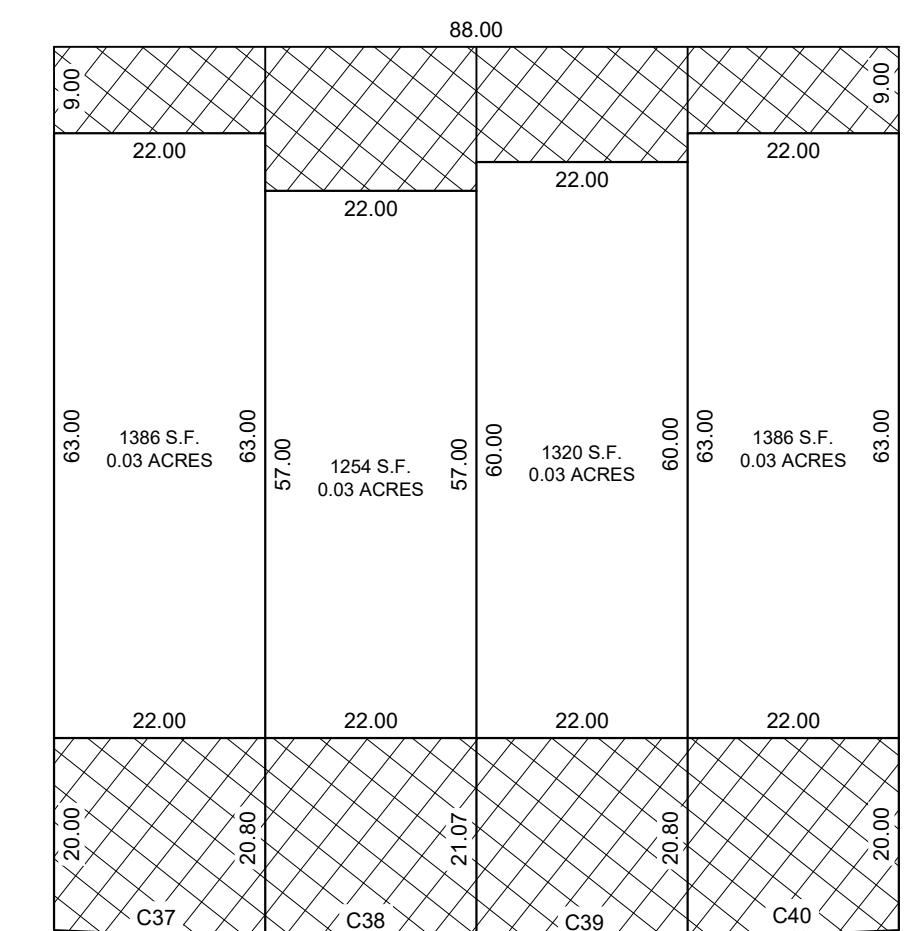
BUILDING 3

LOTS 4527 THRU 4534

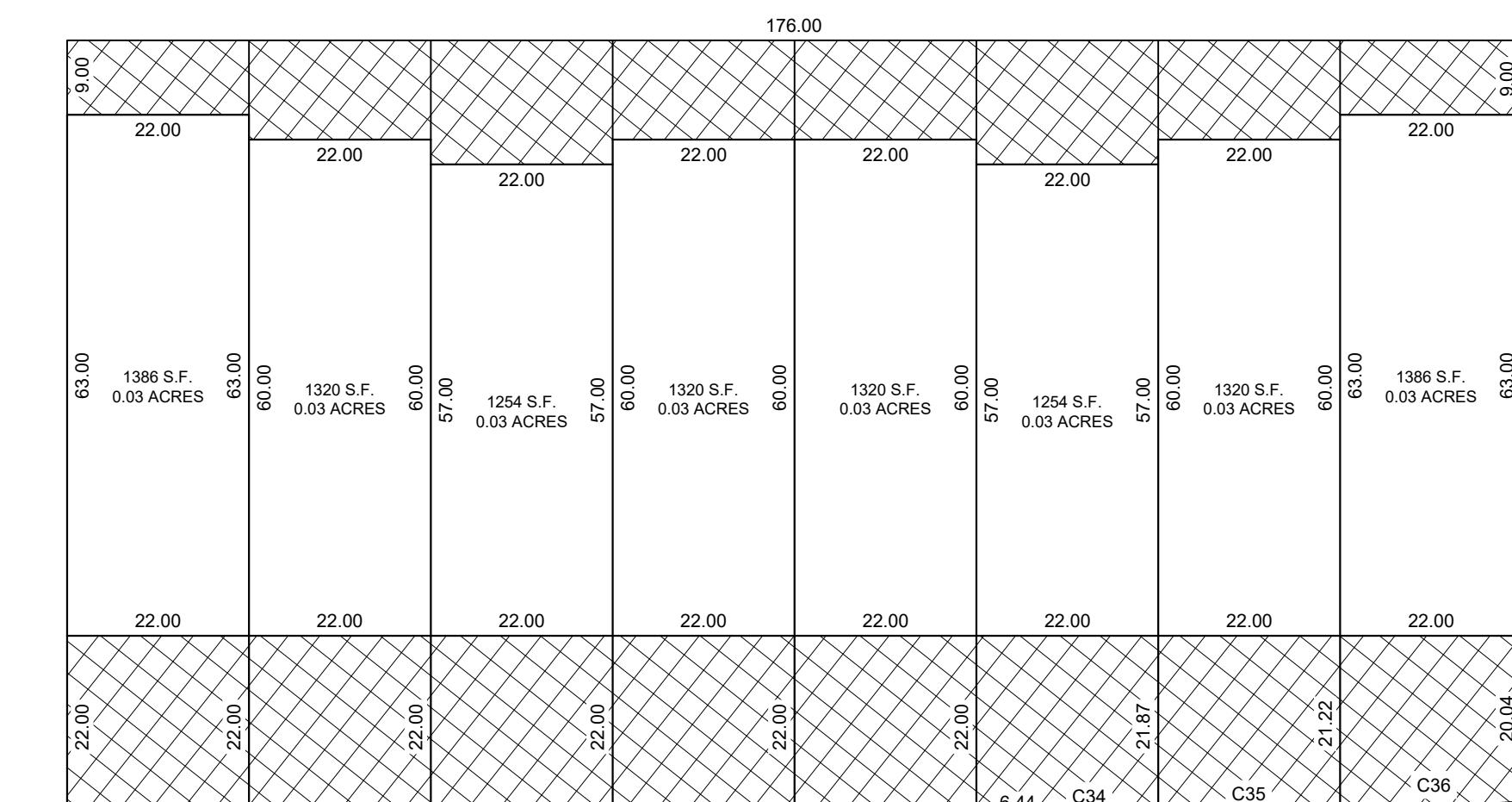


BUILDING

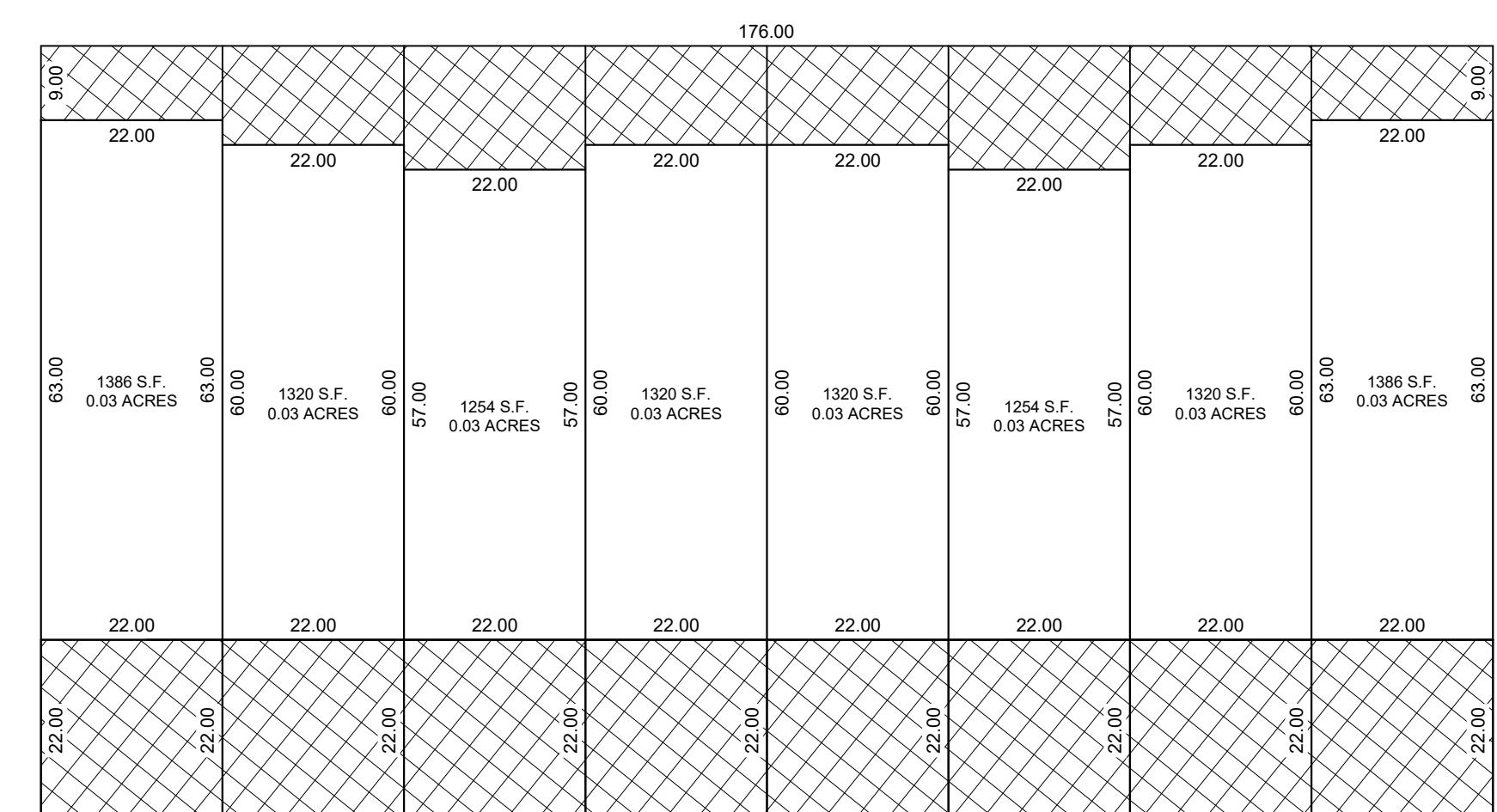
LOTS 4535 THRU 4540



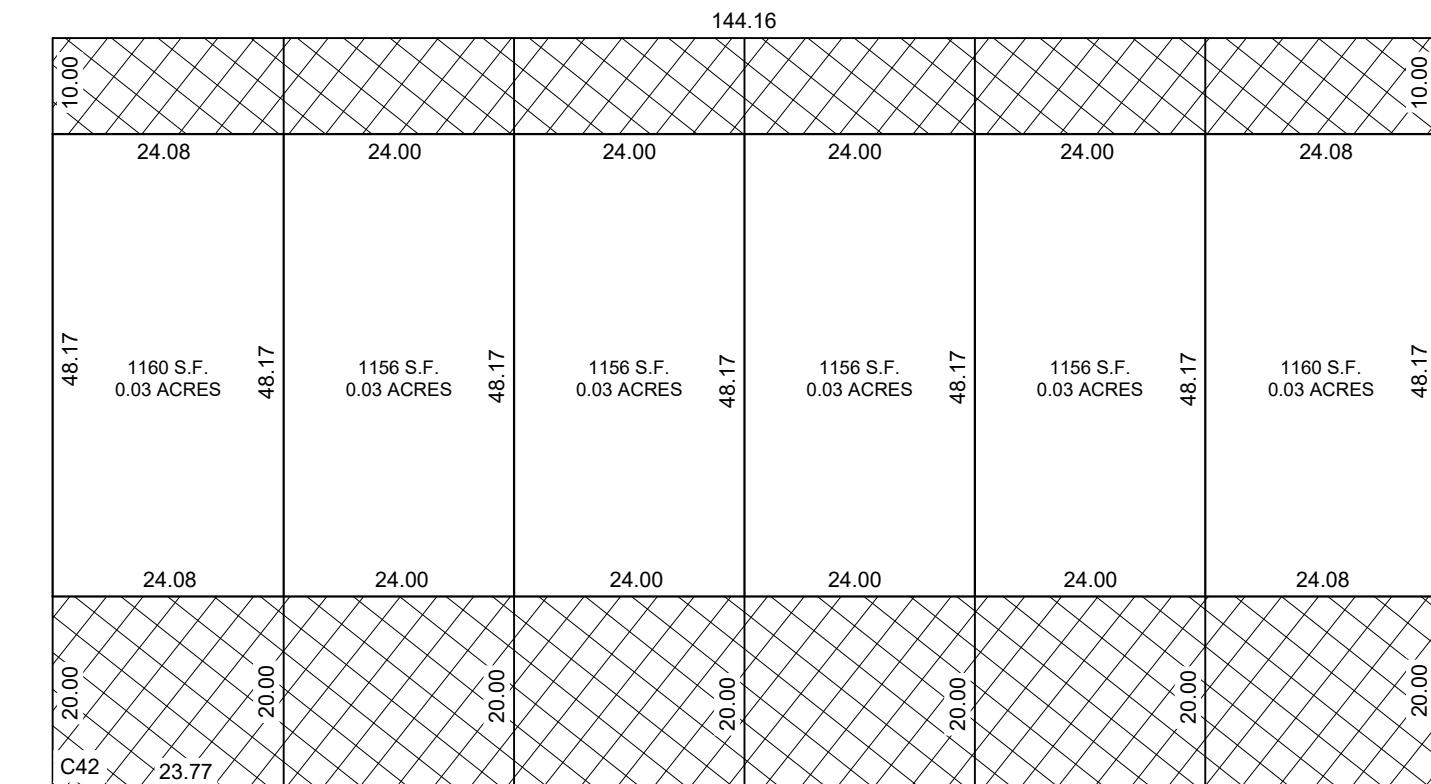
BUILDING 5



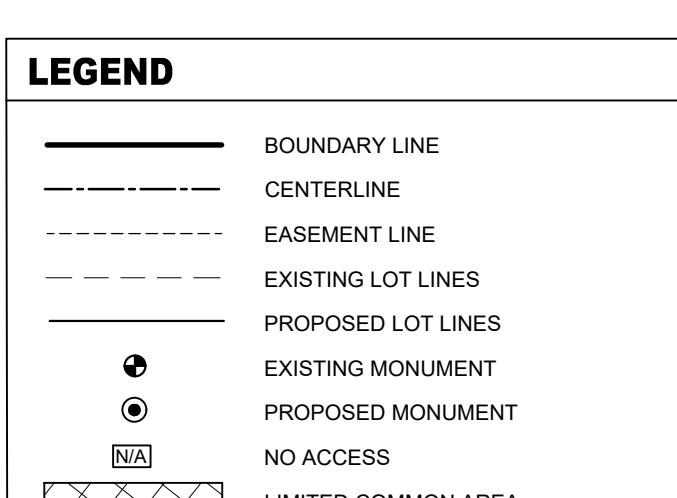
BUILDING 6



BUILDING UNITS 4555 THRU 4



BUILDING 8
UNITS 4562 THRU 4564



WILDFLOWER VILLAGE 9 PLAT W-1

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

Per the building department, the Plat W-2 and W-3 drainage channel fill must be documented, or overexcavated/replaced with engineered fill at the time of townhouse construction.

WILDFLOWER VILLAGE 9 PLAT W-2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,
SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT LOCATED N89°09'05" W ALONG THE QUARTER SECTION LINE 1214.24 FEET AND SOUTH 535.40 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S88°52'41"E 535.27 FEET; THENCE S01°07'39"W 52.81 FEET; THENCE S88°52'21"E 21.46 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 30.00 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 86°23'57" CHORD: S47°59'40"W 27.38 FEET; THENCE S01°07'39"W 5.00 FEET; THENCE S01°12'28"E 30.02 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 28.77 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 82°25'12" CHORD: S47°39'45"E 26.35 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 21.67 FEET WITH A RADIUS OF 12.00 FEET THROUGH A CENTRAL ANGLE OF 10°20'46" CHORD: S11°37'32"E 21.64 FEET; THENCE N73°12'05"E 40.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 37.16 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 10°7'53"44; CHORD: N37°09'22"E 32.35 FEET; THENCE S88°52'21"E 81.00 FEET; THENCE S01°07'39"W 208.00 FEET; THENCE N88°52'21"E 692.60 FEET; THENCE N01°07'39"E 89.50 FEET; THENCE S88°52'21"E 82.73 FEET; THENCE N01°07'39"E 40.00 FEET; THENCE N00°41'22"W 16.83 FEET; THENCE S88°52'21"E 2.11 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 20.00 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 80°52'46"E 2.00 FEET; THENCE S76°48'40"E 5.38 FEET; THENCE S88°52'21"E 20.04 FEET; THENCE N00°41'27"W 15.76 FEET; THENCE N01°07'39"E 5.00 FEET; THENCE N00°20'38"E 30.00 FEET; THENCE N01°07'39"E 47.00 FEET; THENCE N00°41'27"W 15.76 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 51.91 FEET WITH A RADIUS OF 341.30 FEET THROUGH A CENTRAL ANGLE OF 08°4'23"; CHORD: N06°02'13"W 51.88 FEET TO THE POINT OF BEGINNING.

206.972 SF
ACRES: 4.75
OF LOTS: 70

OF PARCELS: 6

DATE

SURVEYOR
(See Seal Below)

LICENSE NO. 6310734

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HERAFTER KNOWN AS:

WILDFLOWER VILLAGE 9 PLAT W-2

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCEL LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS, RIGHTS-OF-WAY, OR ENCUMBRANCES, WHETHER GRANTED, IMPOSED, OR AGREED UPON, THAT WILL NOT INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS. THE OWNER HEREBY CONVEYS THE COMMON AREA, AS INDICATED HEREON, TO THE WILDFLOWER MASTER HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF 138 EAST 12300 SOUTH, C-480, DRAPER, UTAH 84020.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF _____, A.D. 20 ____.

SIGNATURE PRINT NAME TITLE & ENTITY

SIGNATURE PRINT NAME TITLE & ENTITY

OWNERS ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH } S.S.

ON THIS ____ DAY OF _____, 20 PERSONALLY APPEARED BEFORE ME

PRINT NAME TITLE ENTITY

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE WITNESS INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE(S) / SHE(S) EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE COMMISSION NUMBER

PRINT NAME AS COMMISSIONED MY COMMISSION EXPIRES

A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

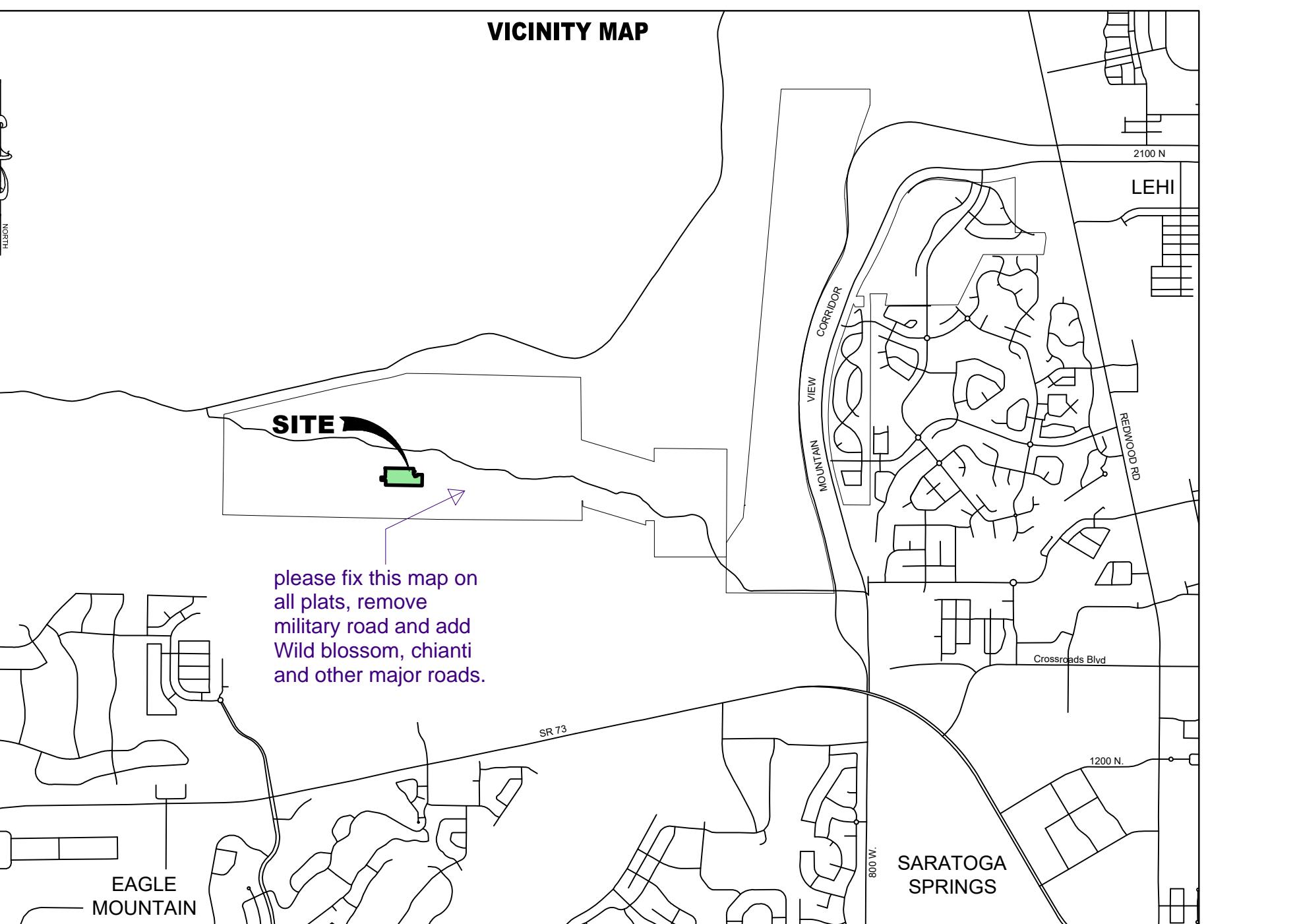
THIS ____ DAY OF _____, A.D. 20 ____.

CITY MAYOR ATTEST CITY RECORDER (See Seal Below)

WILDFLOWER VILLAGE 9 PLAT W-2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 3



DATA TABLE

PLAT W-2

SINGLE FAMILY LOTS	0 LOTS
TOWNHOME LOTS	66 LOTS
BUILDINGS	10 BUILDINGS
DWELLINGS	66 DWELLINGS
PARCELS	6 PARCELS
DENSITY	13.89 UNITS/ACRE
MINIMUM LOT SIZE	0.03 ACRES / 1,201 SF
MAXIMUM LOT SIZE	0.03 ACRES / 1,205 SF
AVERAGE LOT SIZE	0.03 ACRES / 1,202 SF
	ACRES
	SQ. FT.
	PERCENT
TOTAL PROJECT AREA	4.75
LOT AREA	1.82
OPEN SPACE	1.81
LANDSCAPED COMMON SPACE	0.80
LIMITED COMMON SPACE	1.00
PRIVATE RIGHT-OF-WAY AREA	1.12
PUBLIC RIGHT-OF-WAY AREA	0.00
LANDSCAPE AREA (PUBLIC ROW)	0.00
HARDSCAPE AREA (PUBLIC ROW)	0.00
BUILDABLE LAND	4.75
SENSITIVE LANDS	0.00
NON-SENSITIVE LANDS	4.75
	206.972
	100%

NUMBER OF GARAGE PARKING SPACES 132
NUMBER OF DRIVEWAY PARKING SPACES 132
NUMBER OF STRIPED PARKING SPACES 5
NUMBER OF GUEST PARKING SPACES PROVIDED 5

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS CONCERNING THE OPERATION OF THE FACILITY WITHIN THE RIGHT-OF-WAY; AND EASEMENT GRANTS OF RECORD UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-6(3)(C)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF _____, A.D. 20 ____.

CENTURY LINK

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF _____, A.D. 20 ____.

COMCAST CABLE TELEVISION

APPROVED BY COMCAST CABLE TELEVISION ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF _____, A.D. 20 ____.

LAND USE AUTHORITY

APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF _____, A.D. 20 ____.

SARATOGA SPRINGS ATTORNEY

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF _____, A.D. 20 ____.

LAND USE AUTHORITY

APPROVED BY LAND USE AUTHORITY ON THIS ____ DAY OF _____, A.D. 20 ____.

SARATOGA SPRINGS ATTORNEY

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF _____, A.D. 20 ____.

FIRE CHIEF

APPROVED BY FIRE CHIEF ON THIS ____ DAY OF _____, A.D. 20 ____.

LEHI CITY POST OFFICE

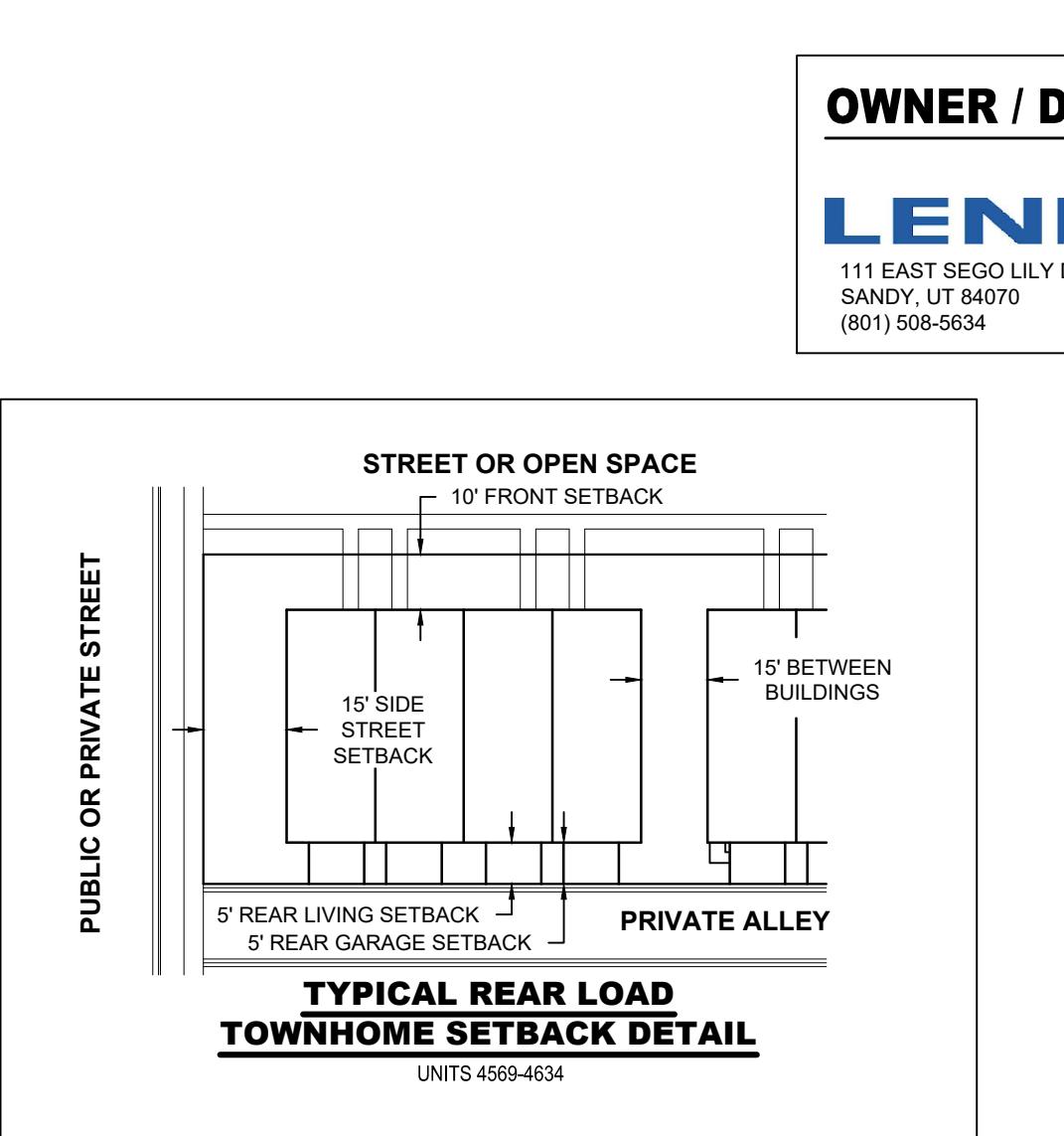
APPROVED BY LEHI CITY POST OFFICE ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY FIRE CHIEF

APPROVED BY CITY FIRE CHIEF ON THIS ____ DAY OF _____, A.D. 20 ____.

LEHI CITY POST OFFICE REPRESENTATIVE

APPROVED BY LEHI CITY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF _____, A.D. 20 ____.



CENTER OF SECTION 8, T5S R1W SLB&M
EQUID. (UTAH COUNTY MONUMENT 2024)

FOUND: (UTAH COUNTY MONUMENT, 2001)

**QUARTER SECTION LINE - BASIS OF BEARING
N89°08'06"W 2675.21**

N89°08'06"W 1214.24

Plat W-1 must record prior to or simultaneous with this Plat

4 is to record first, entry number,

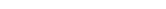
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SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

CATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

WILDFLOWER VILLAGE 9 PLAT W-2

CATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

1. **What is the primary purpose of the study?**

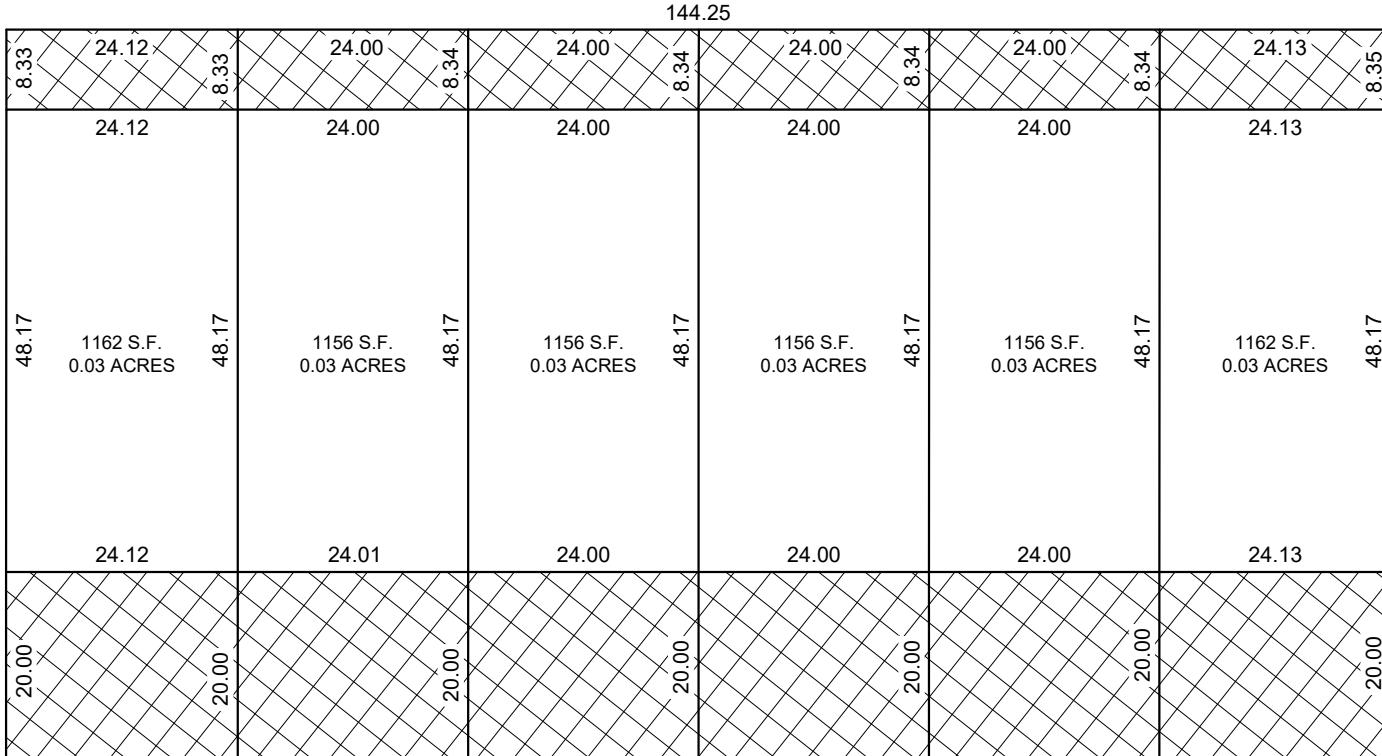
CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	20.00	86°23'57"	30.16	S47°55'40"W 27.3
C2	20.00	82°25'12"	28.77	S47°39'45"E 26.35
C3	120.00	10°20'46"	21.67	S11°37'32"E 21.64
C4	20.00	107°55'34"	37.67	N37°09'52"E 32.35
C5	100.00	5°28'01"	9.54	S19°31'56"E 9.54
C6	100.00	23°23'35"	40.83	N10°34'09"W 40.5
C7	120.00	5°28'01"	11.45	S19°31'56"E 11.45
C8	120.00	15°48'47"	33.12	S14°21'33"E 33.0
C9	80.00	1°25'50"	2.00	N21°33'01"W 2.00
C10	20.00	111°57'45"	39.08	N35°08'46"E 33.15
C11	80.00	5°28'01"	7.63	S19°31'56"E 7.63
C12	120.00	23°23'35"	48.99	N10°34'09"W 48.6
C13	120.00	5°30'22"	11.53	S19°30'45"E 11.53
C14	120.00	11°44'11"	24.58	S10°53'28"E 24.54
C15	120.00	6°09'01"	12.88	S1°56'52"E 12.88
C16	20.00	90°00'00"	31.42	N43°52'21"W 28.2
C17	20.00	5°44'21"	2.00	S86°00'11"E 2.00
C18	20.00	80°16'59"	28.02	N50°59'10"E 25.79
C19	20.00	77°43'52"	27.13	S50°00'25"E 25.10
C20	20.00	18°02'44"	6.30	S7°46'33"E 6.27

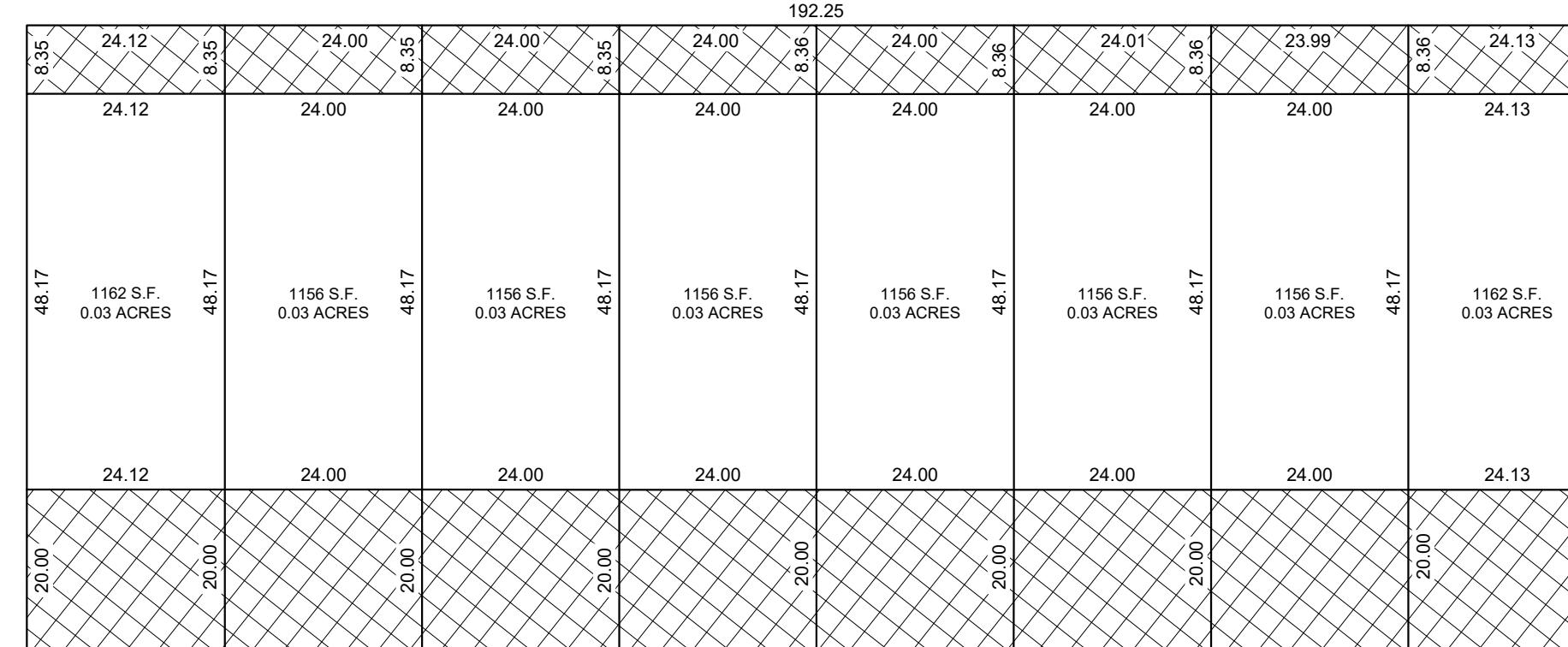
C3	120.00	10°20'46"'	21.67	S11°37'32"E 21.64
C4	20.00	102°55'34"'	27.67	N27°00'52"E 22.35

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S19°51'30"W	21.12
L2	S88°52'21"E	15.00
L3	S88°52'21"E	15.00
L4	S34°23'06"E	24.57
L5	N15°33'15"W	20.88
L6	S88°52'21"E	15.00
L7	S88°52'21"E	23.10
L8	N22°22'25"E	21.46
L9	N60°06'17"W	41.56
L10	S88°52'44"E	15.00
L11	S88°52'44"E	15.00
L12	S88°52'21"E	17.92
L13	N33°00'01"W	24.11
L14	S51°42'16"W	25.89

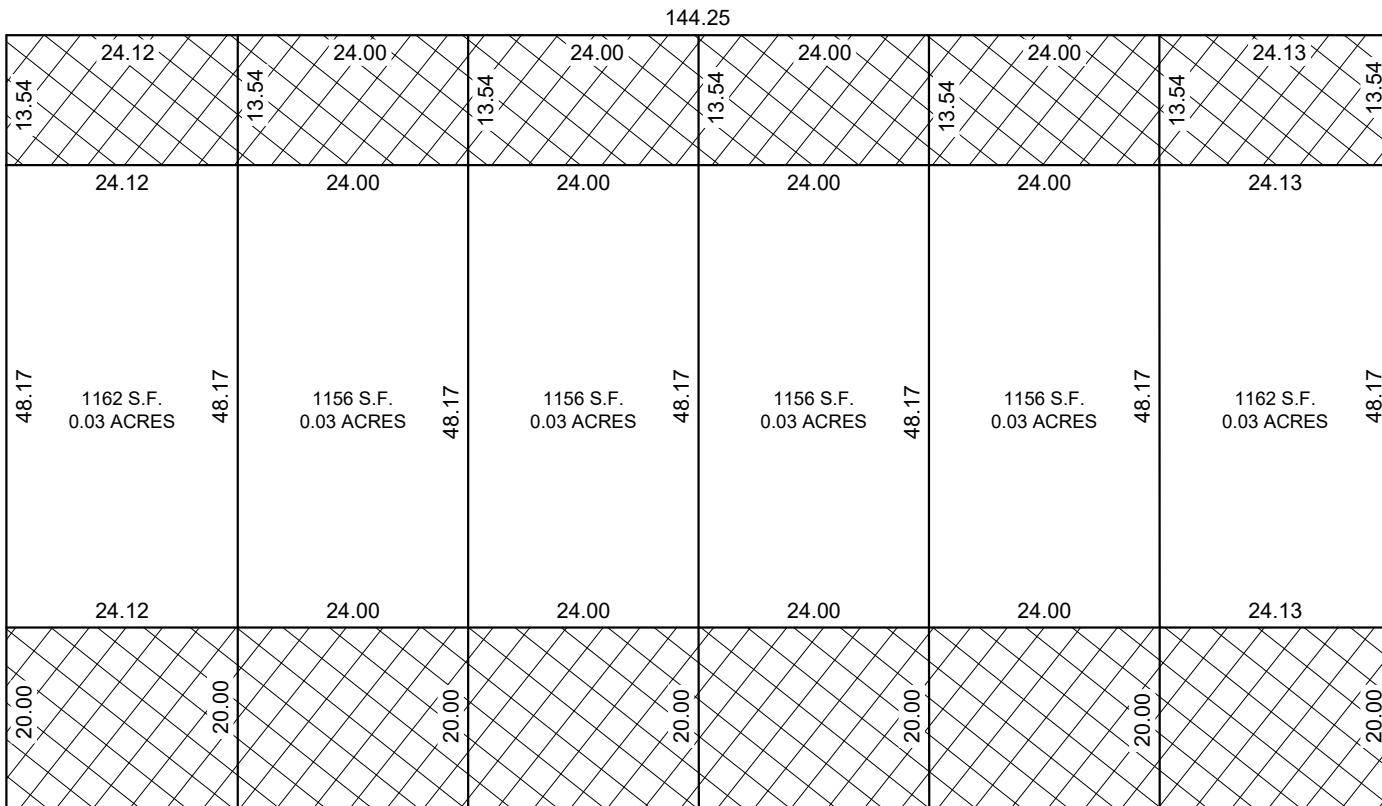
This technical drawing illustrates the dimensions of a fire hydrant easement. The overall width of the easement is 14.00 units. The top edge is a stepped line, and the bottom edge is a horizontal line. A vertical dimension line on the left indicates a height of 14.00 units from the bottom line to the top edge. A vertical dimension line on the right indicates a height of 10.00 units from the bottom line to the top edge. A central vertical line is labeled 4.00, representing the height of the fire hydrant itself. A horizontal dimension line across the top of the hydrant is labeled 4.00. A small circle at the base of the hydrant indicates the point of connection to the pipe system.



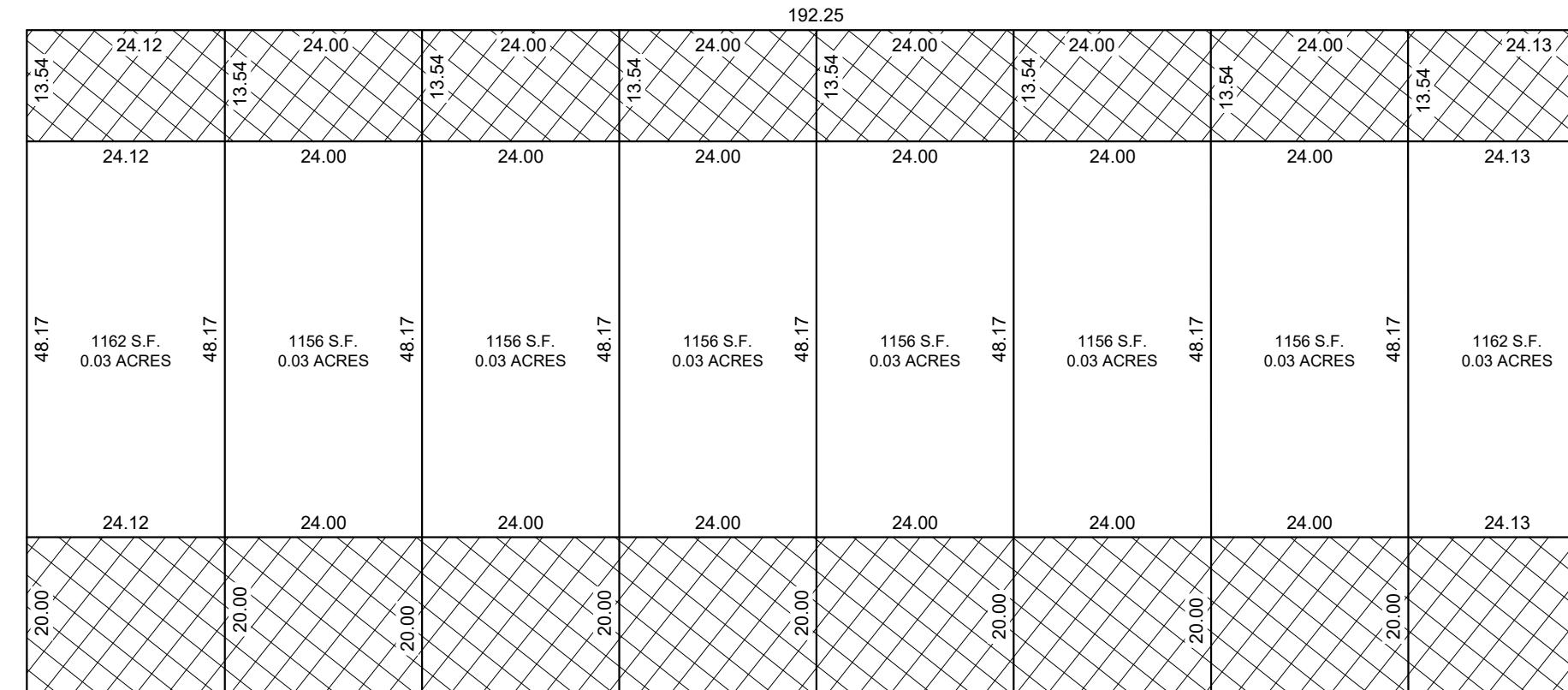
BUILDING 9,11
LOTS 4615 THRU 4620
4623 THRU 4634



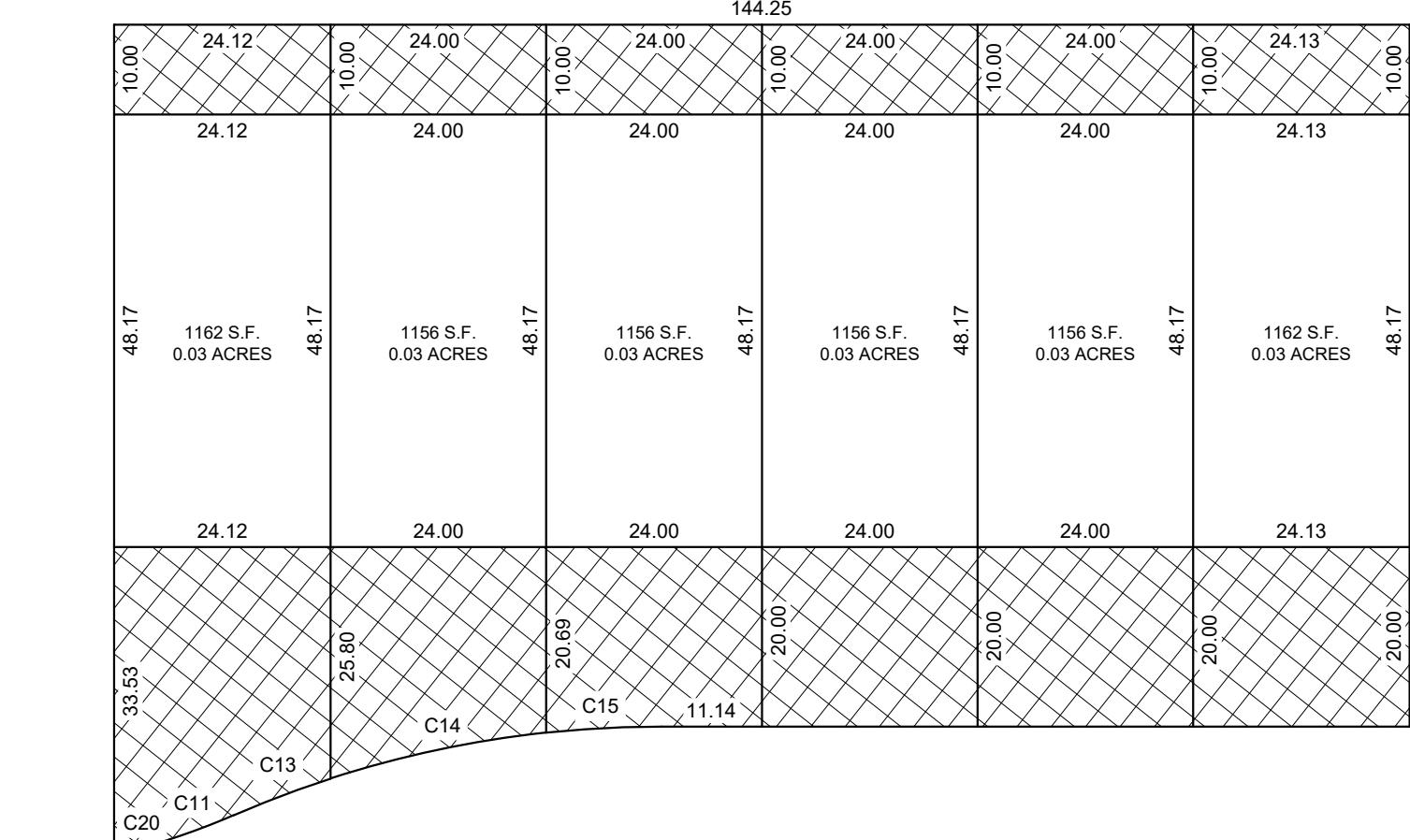
BUILDING 10
LOTS 4621 THRU 4628



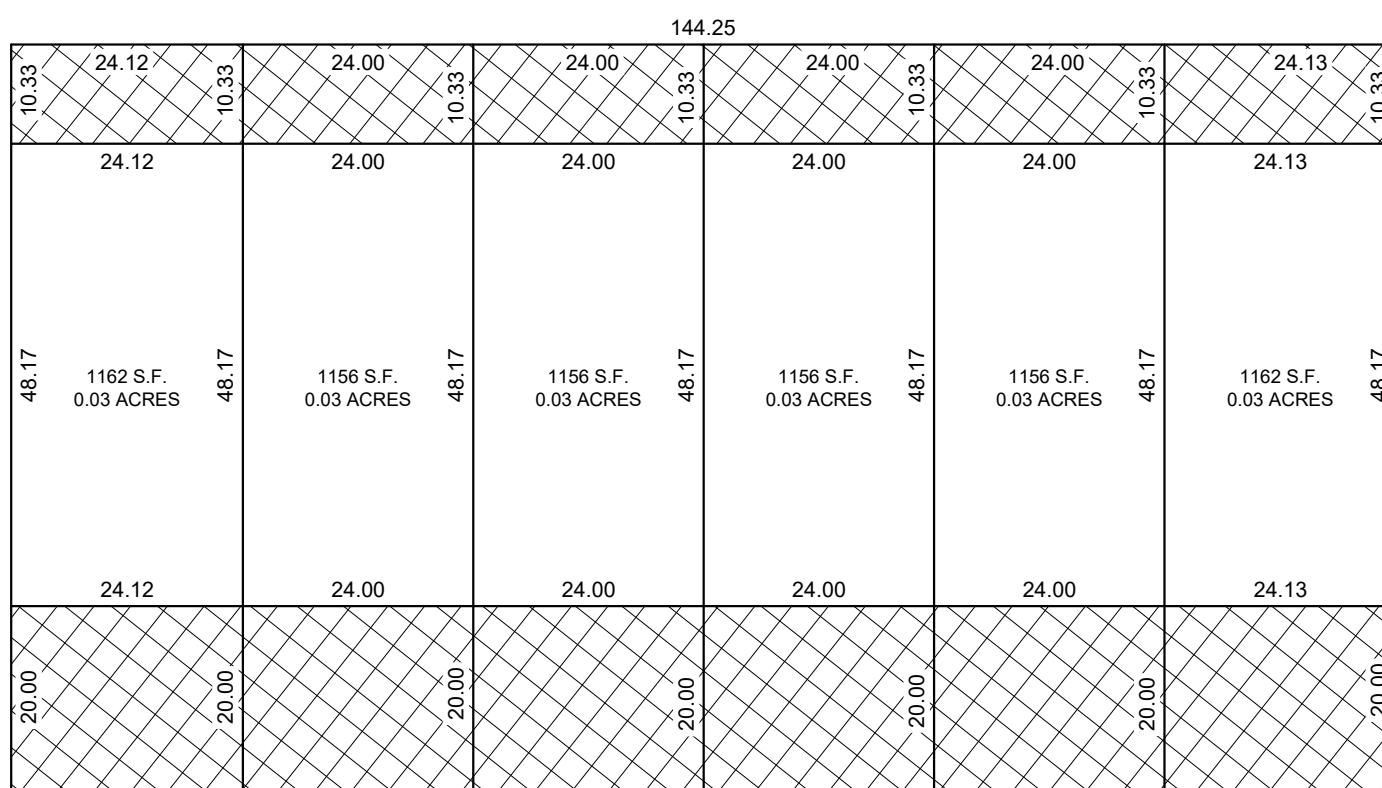
BUILDING 12,14
LOTS 4595 THRU 4600
4609 THRU 4614



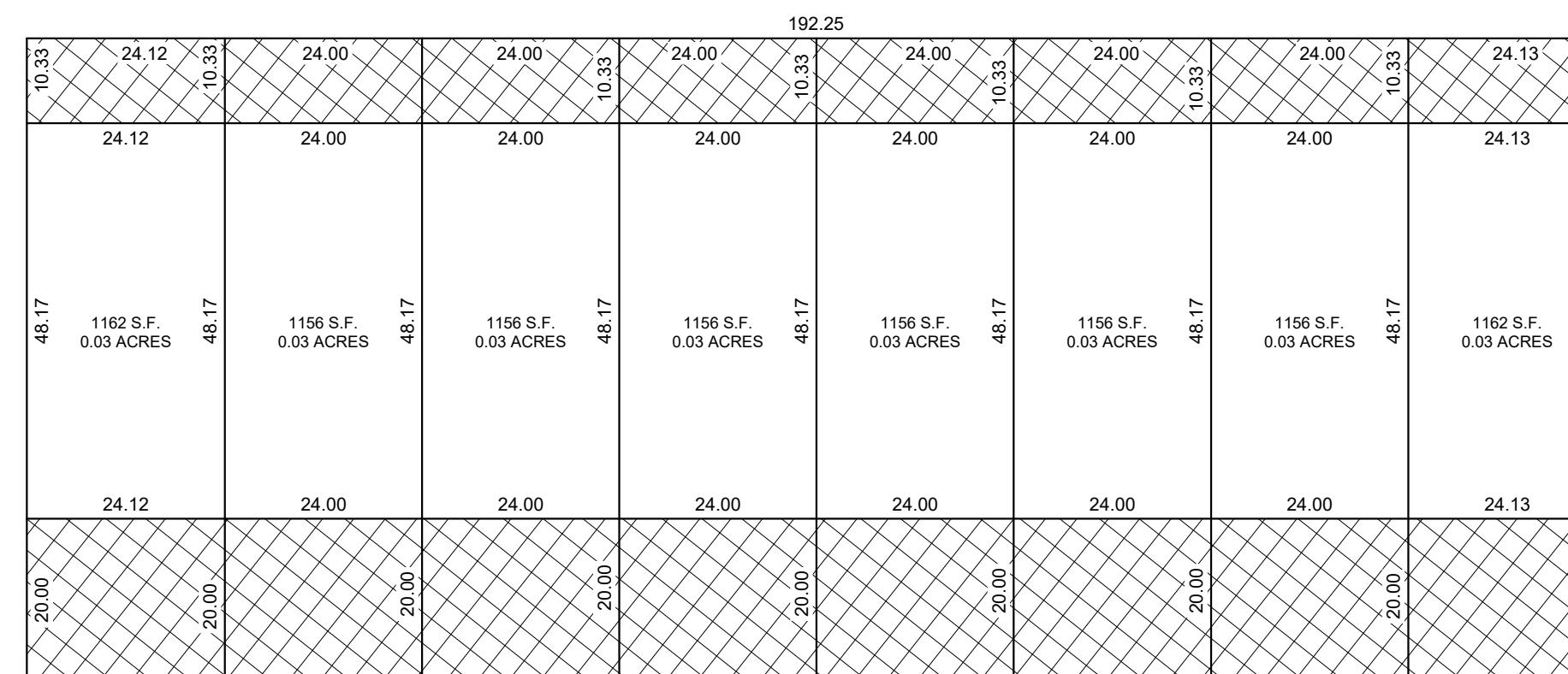
BUILDING 13
LOTS 4601 THRU 4608



BUILDING 15
LOTS 4569 THRU 4574



BUILDING 16,18
LOTS 4575 THRU 4580
4589 THRU 4594



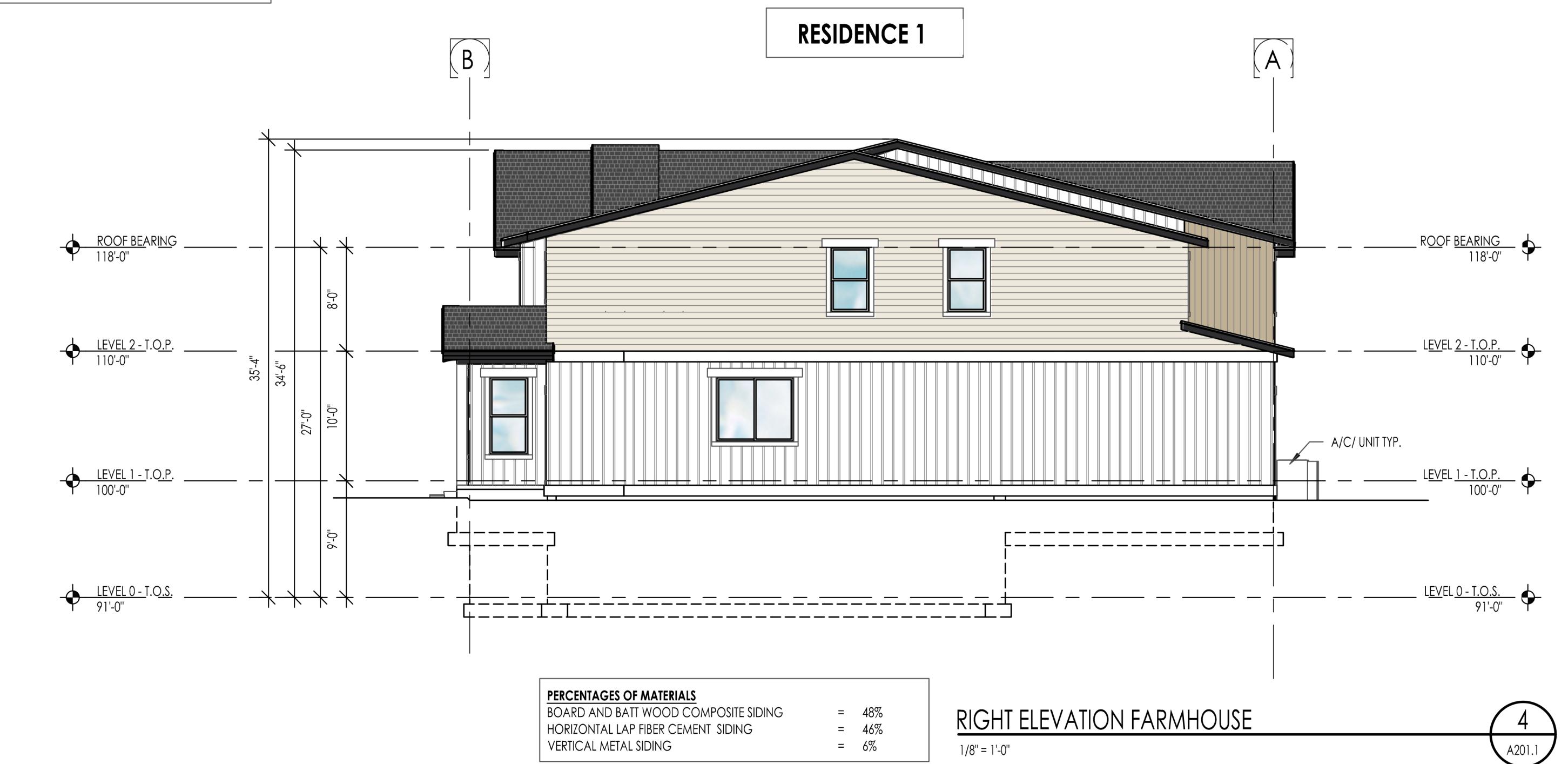
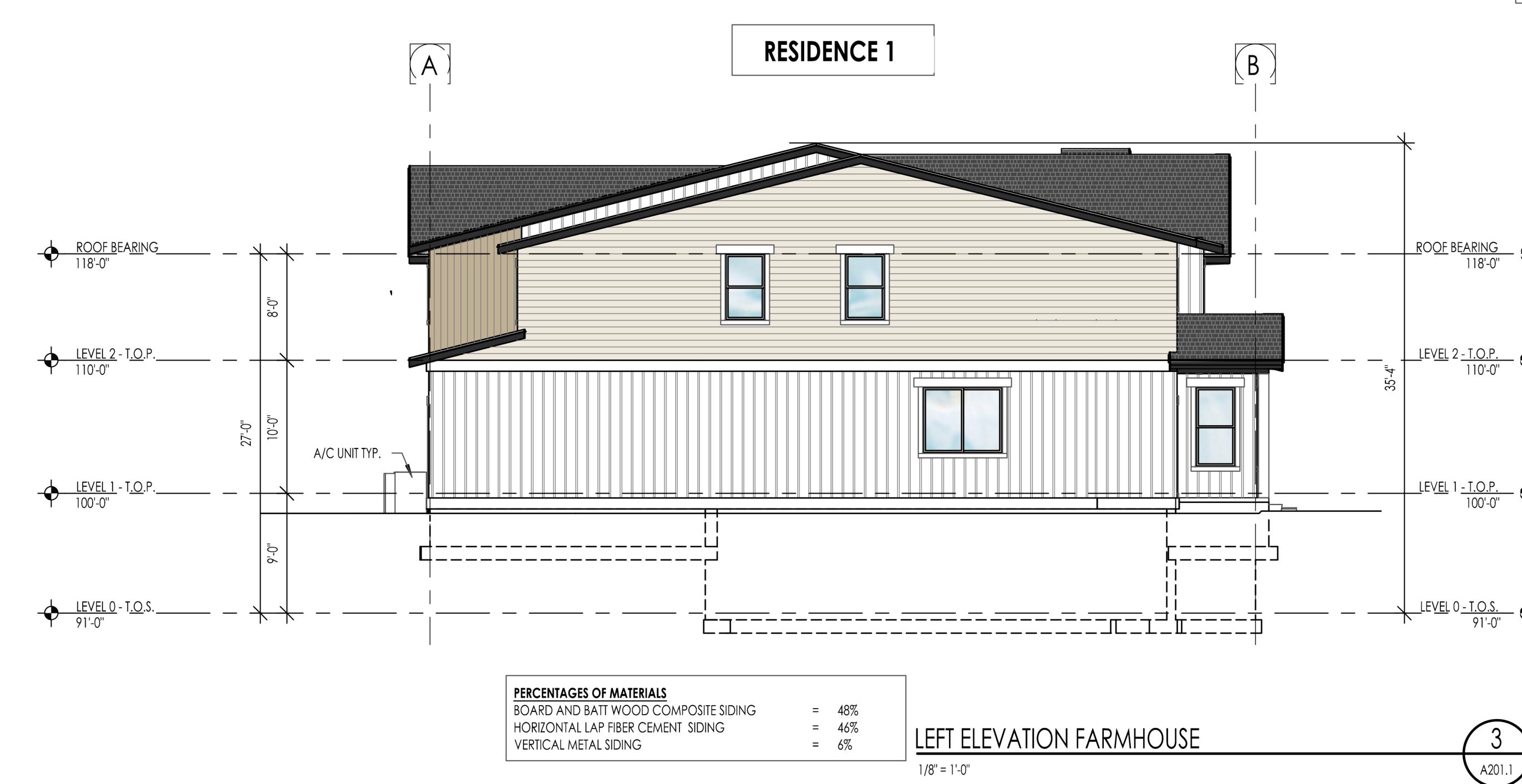
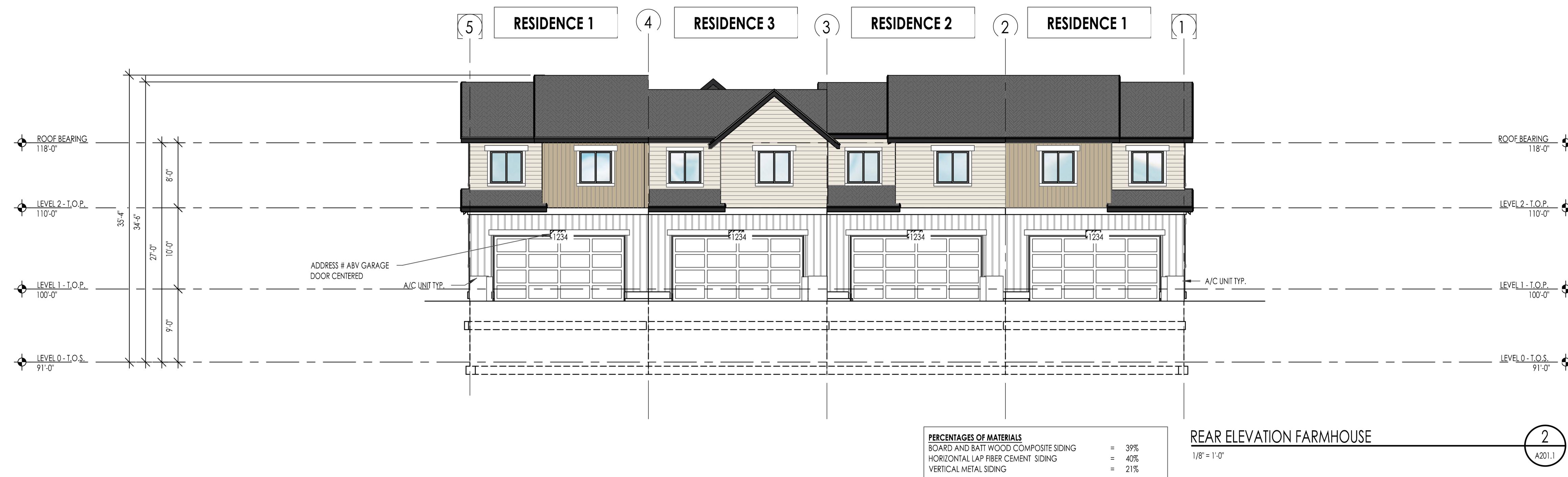
BUILDING 17
LOTS 4581 THRU 4588

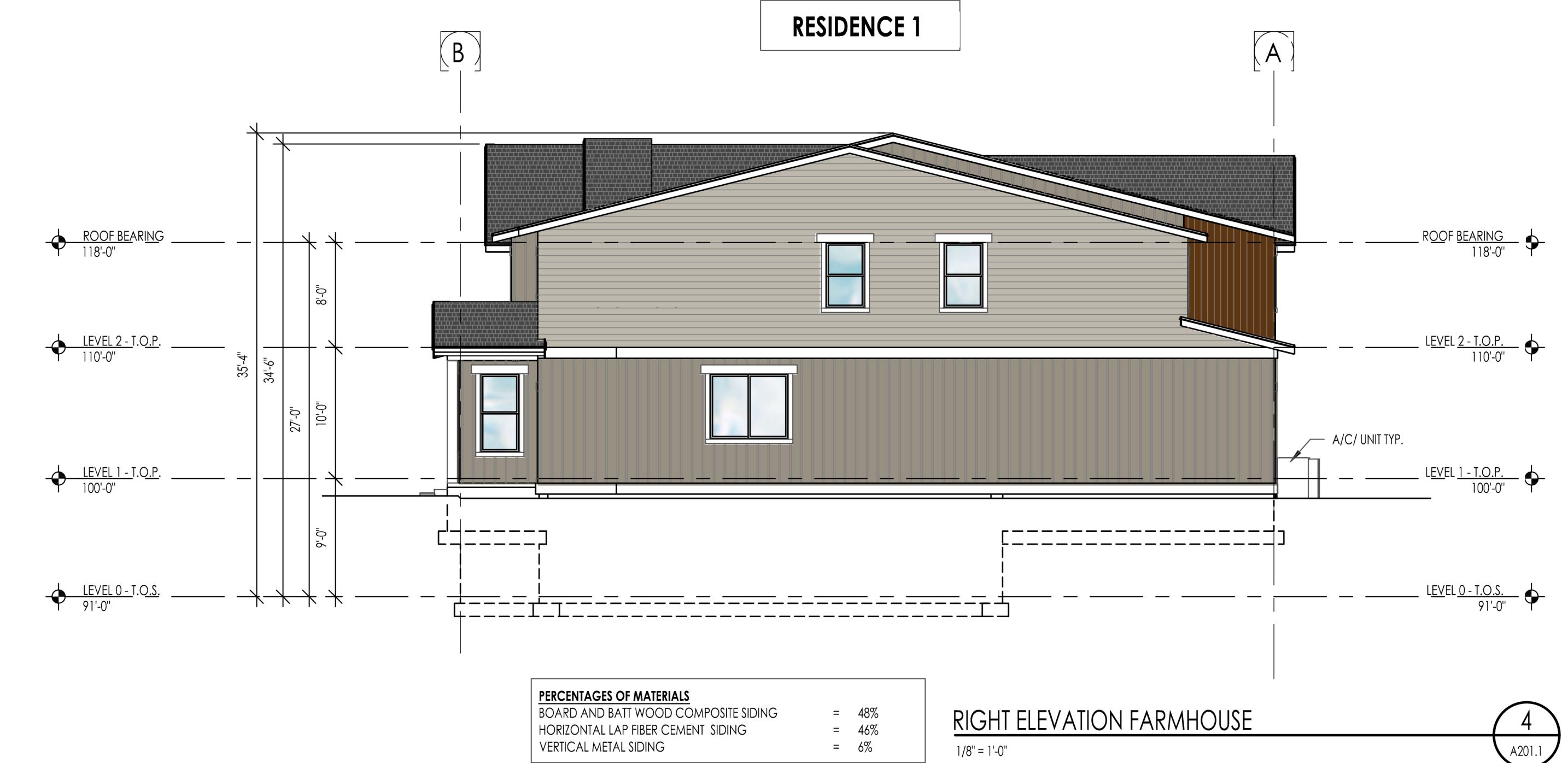
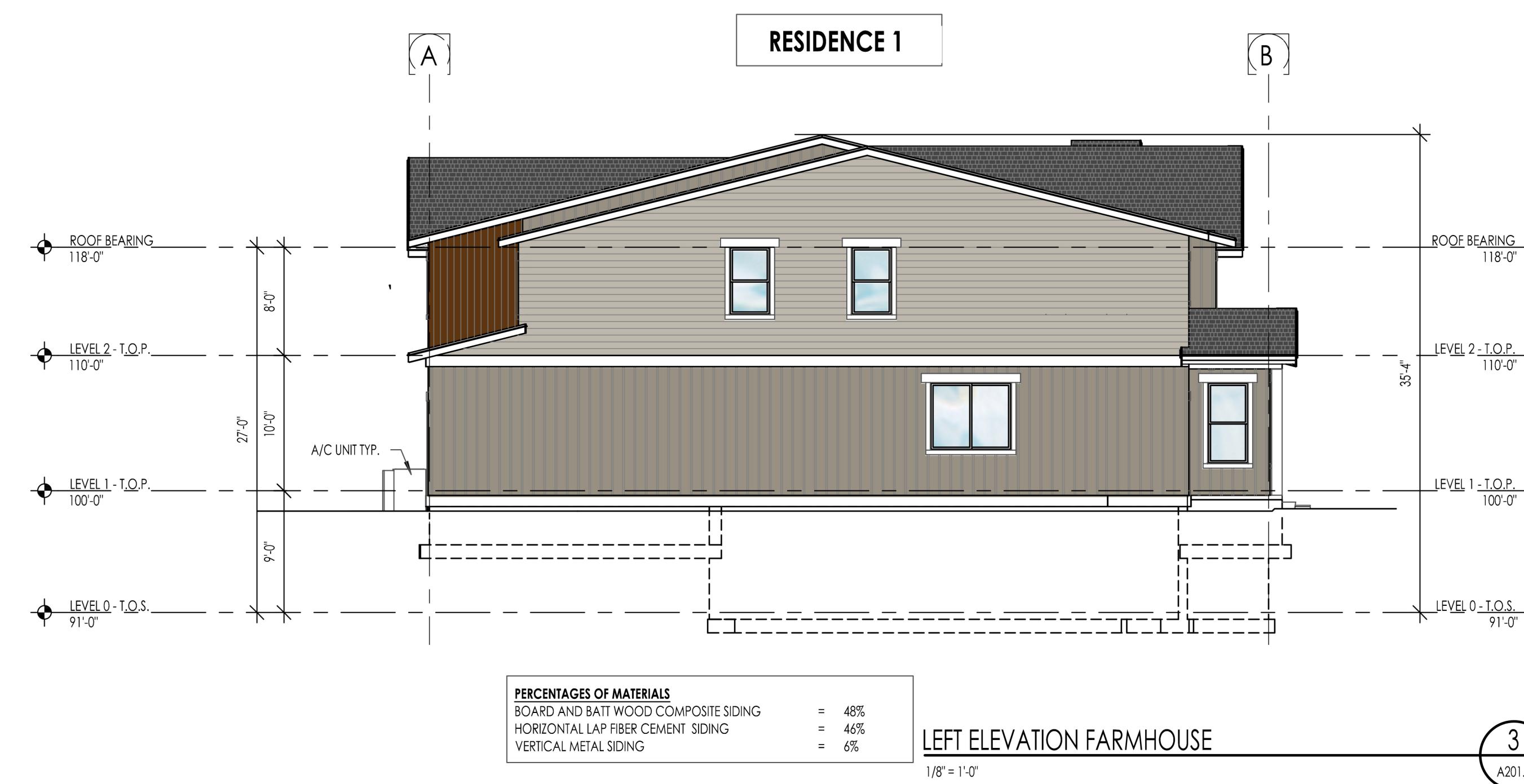
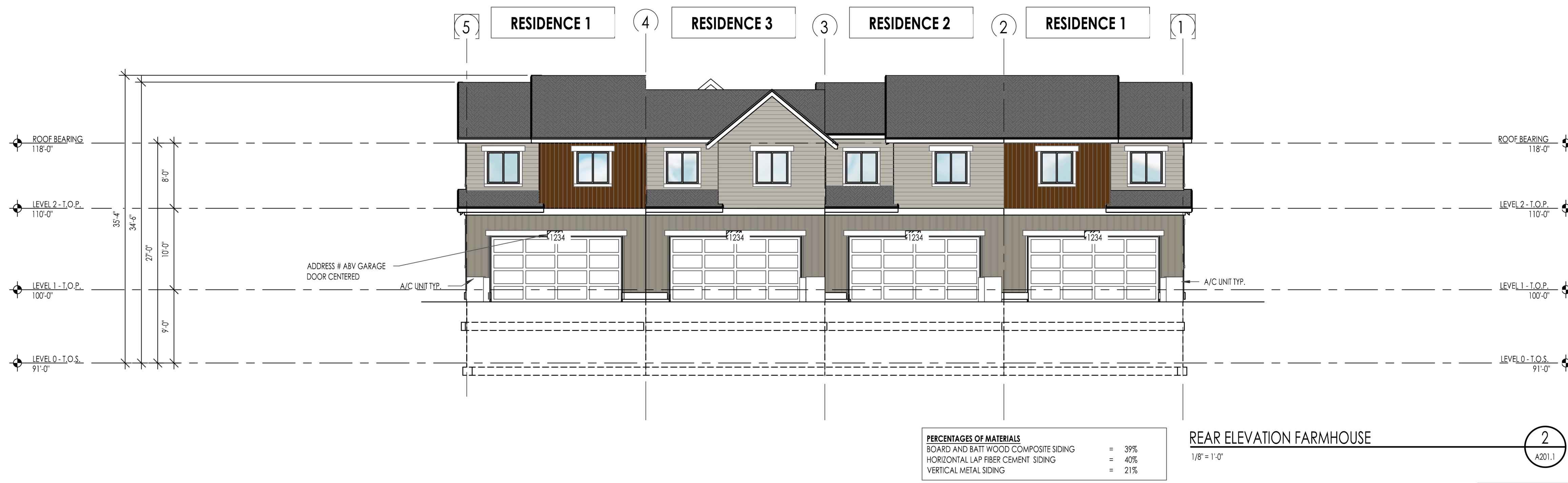
LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS
	LIMITED COMMON AREA

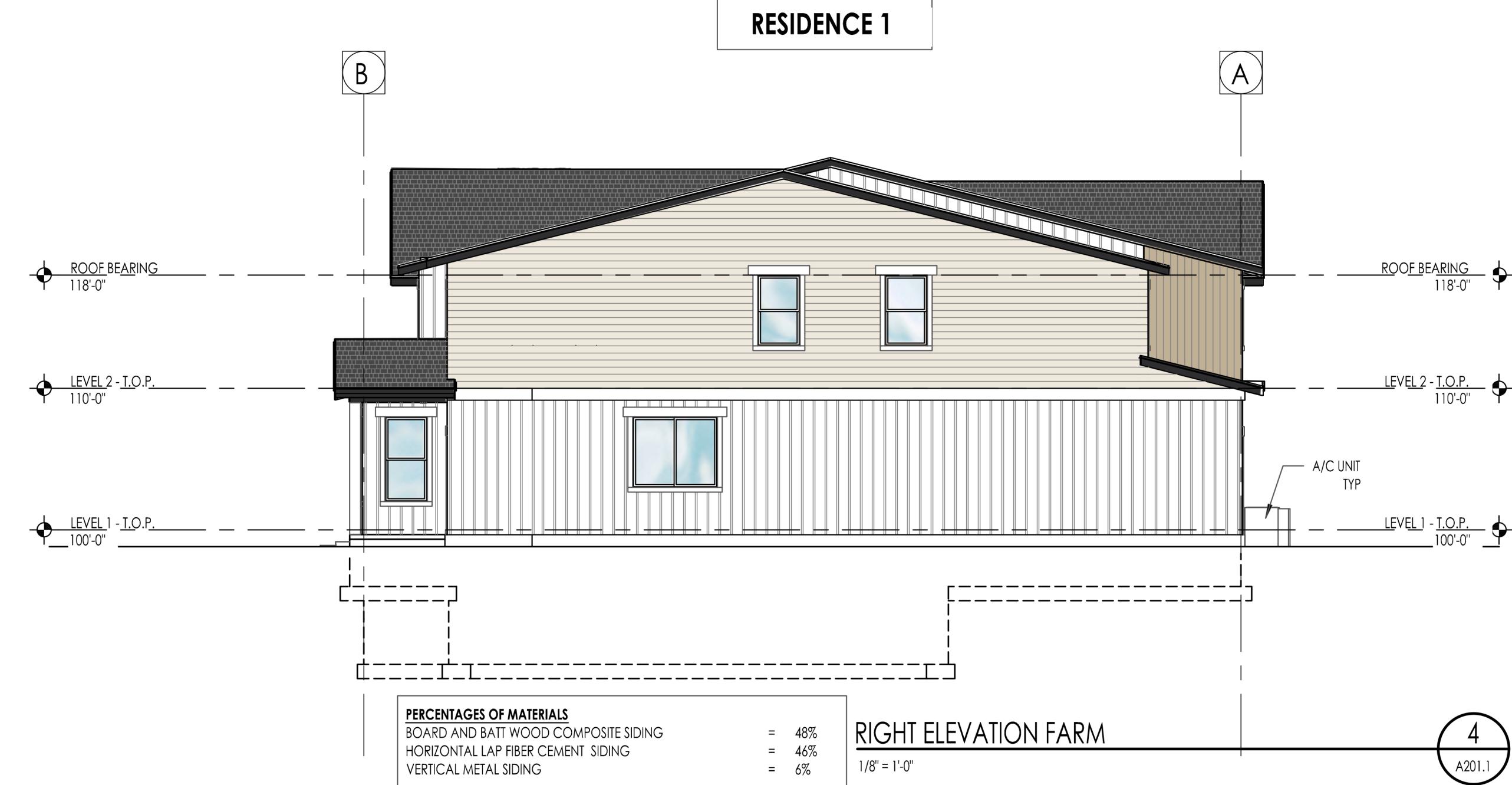
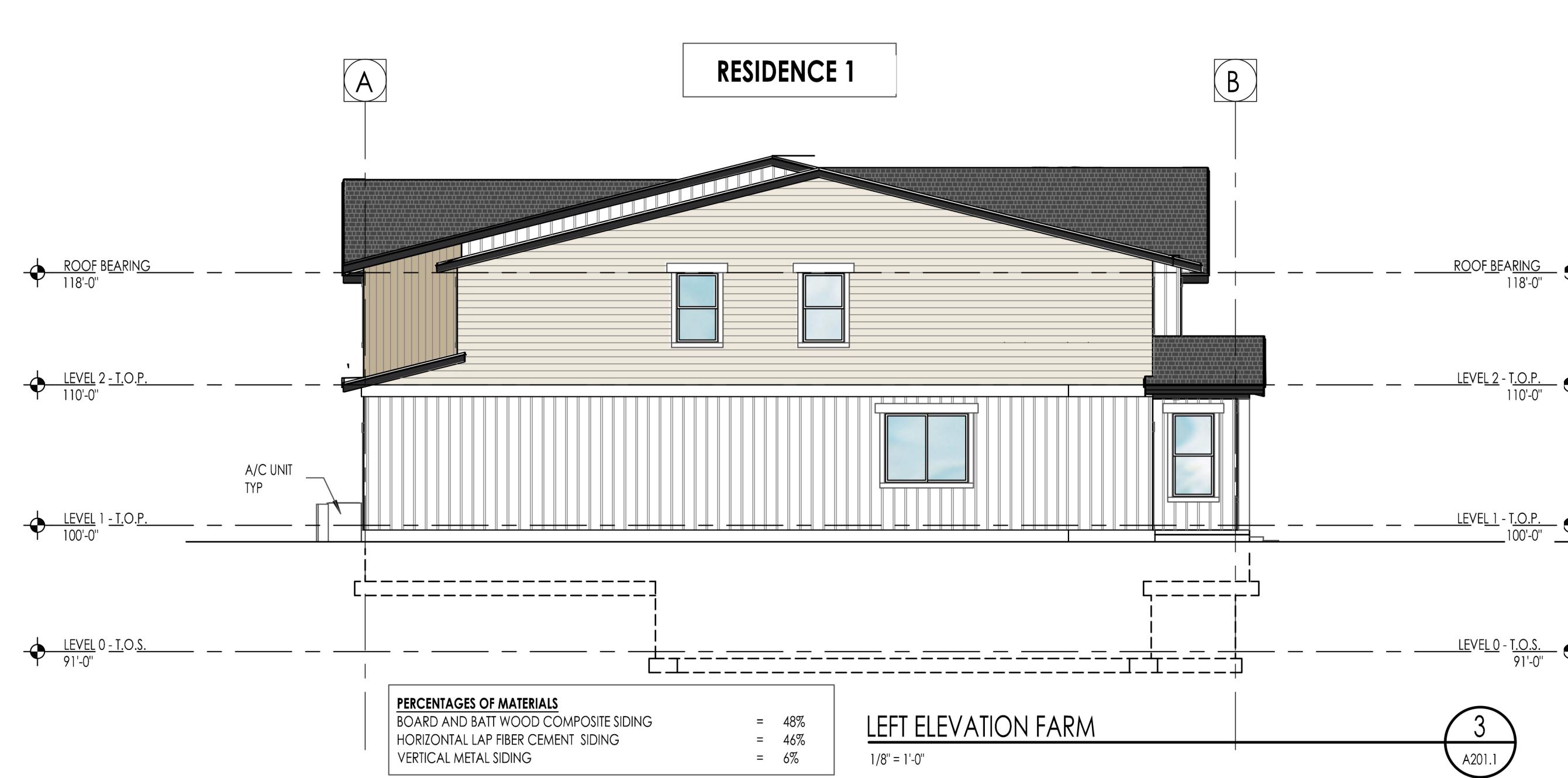
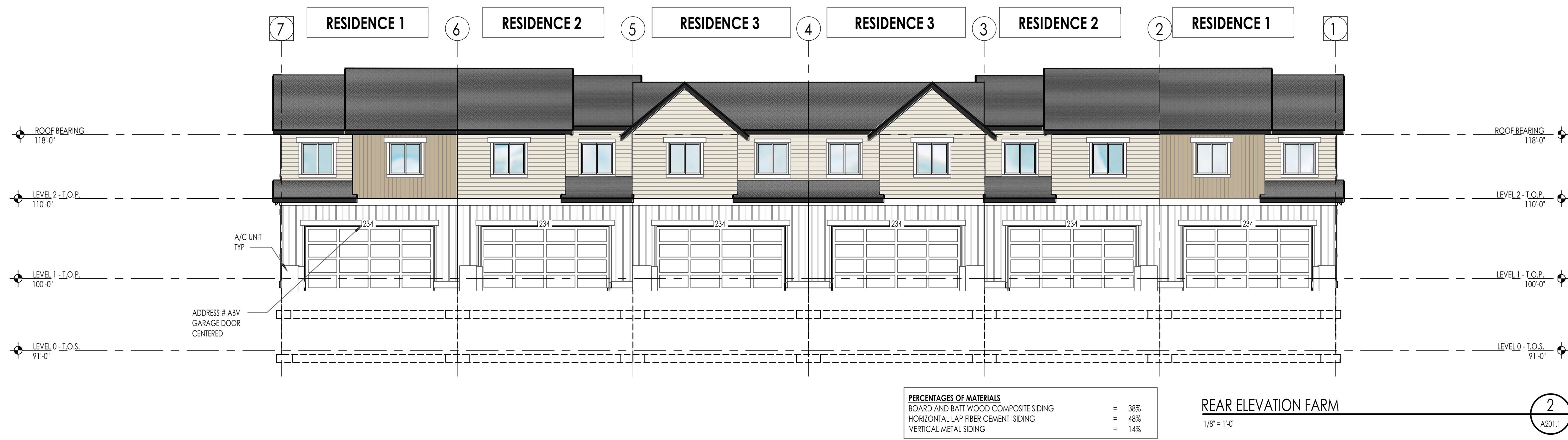
WILDFLOWER VILLAGE 9 PLAT W-2

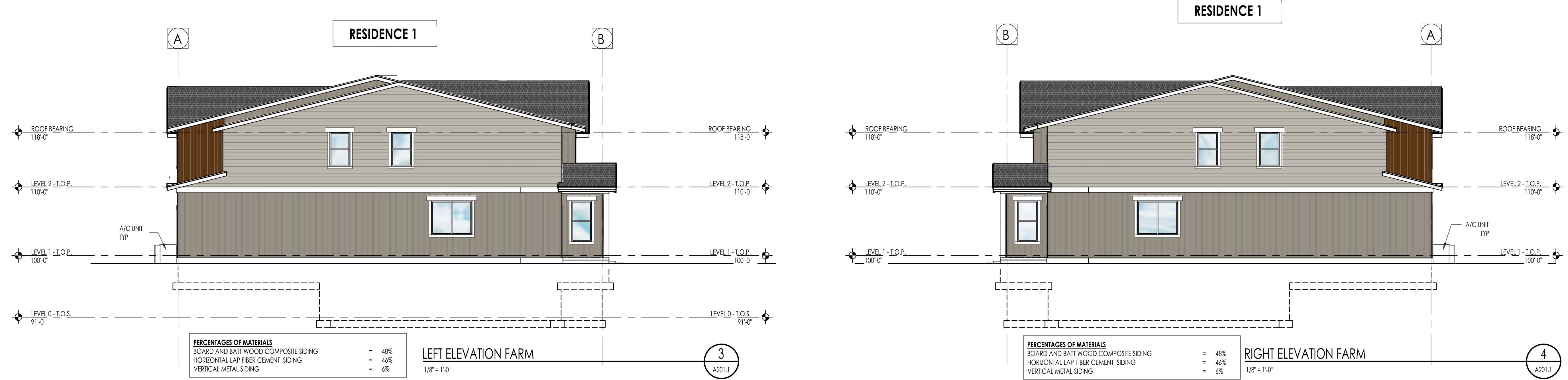
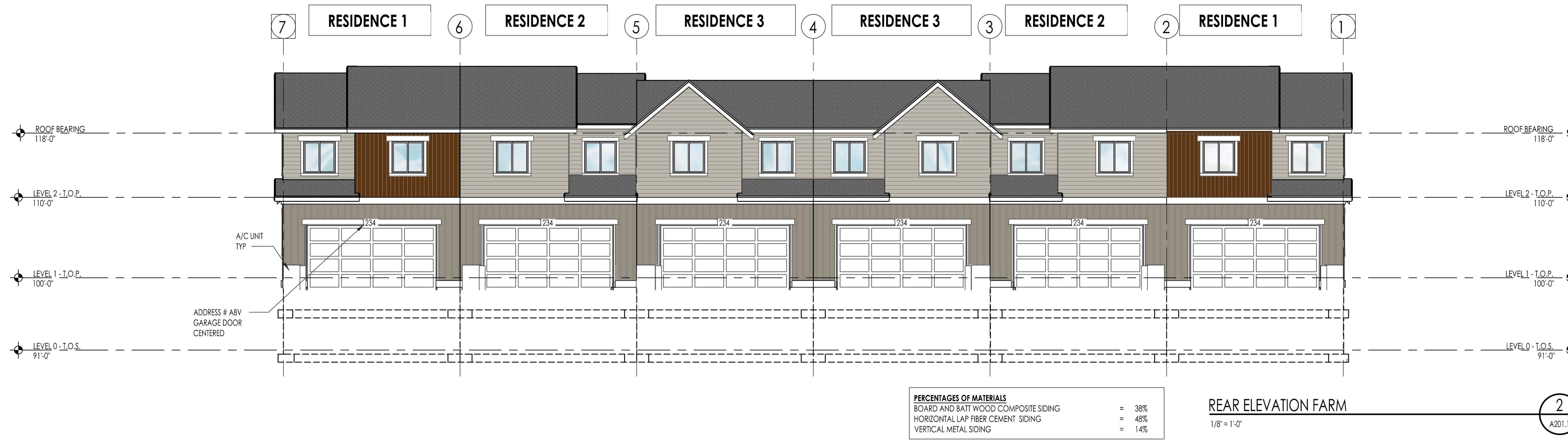
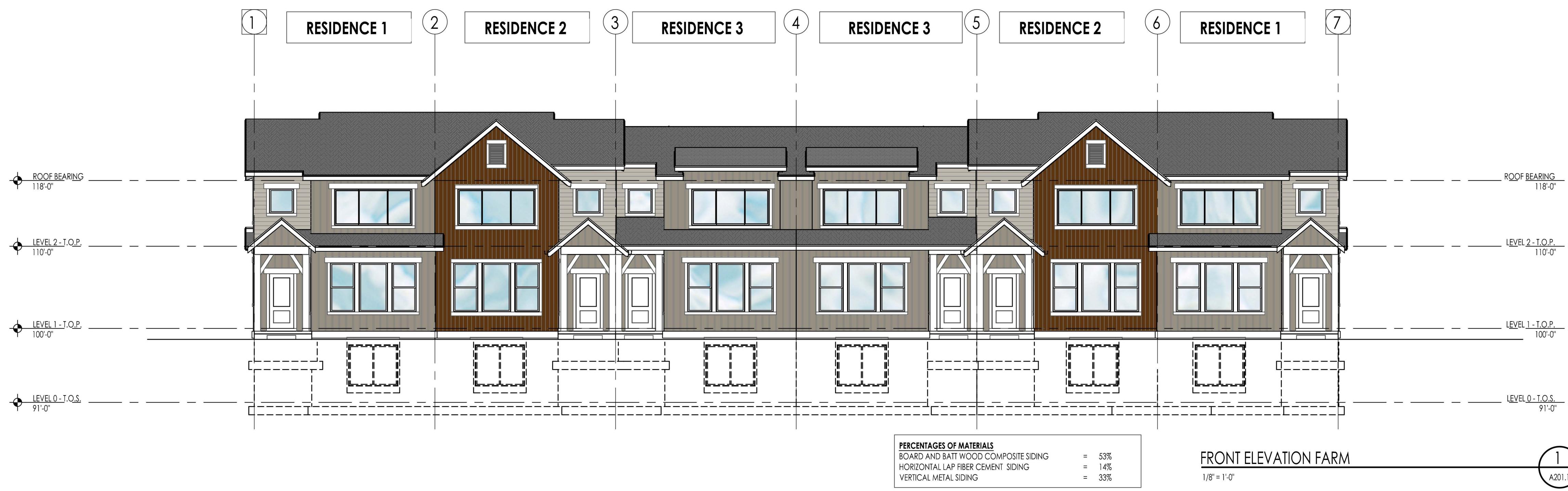
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

This form approved by Utah County and the municipalities therein.







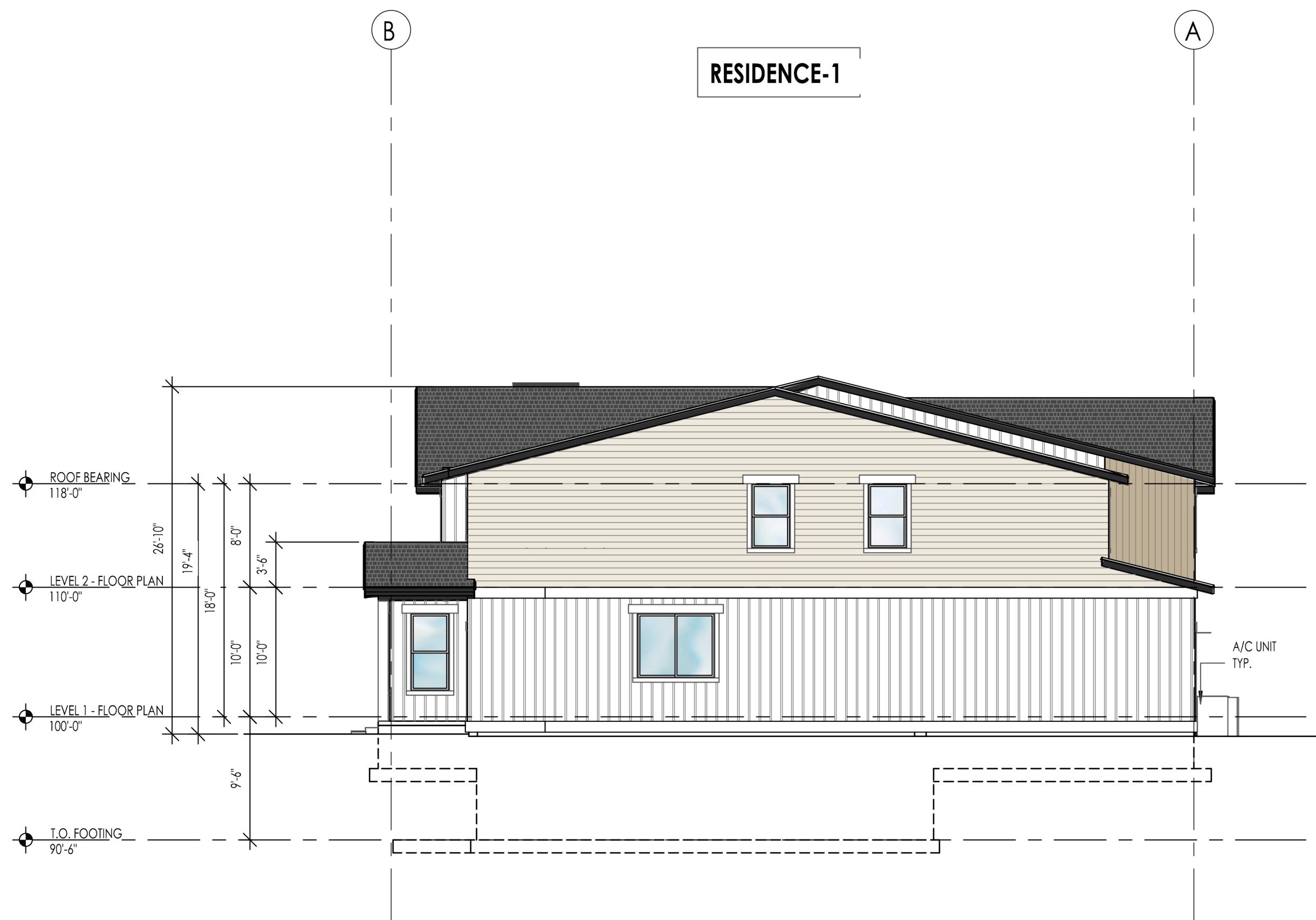




PERCENTAGES OF MATERIALS		
BOARD AND BATT WOOD COMPOSITE SIDING	=	40%
HORIZONTAL LAP FIBER CEMENT SIDING	=	14%
VERTICAL METAL SIDING	=	46%

FRONT ELEVATION FARMHOUSE

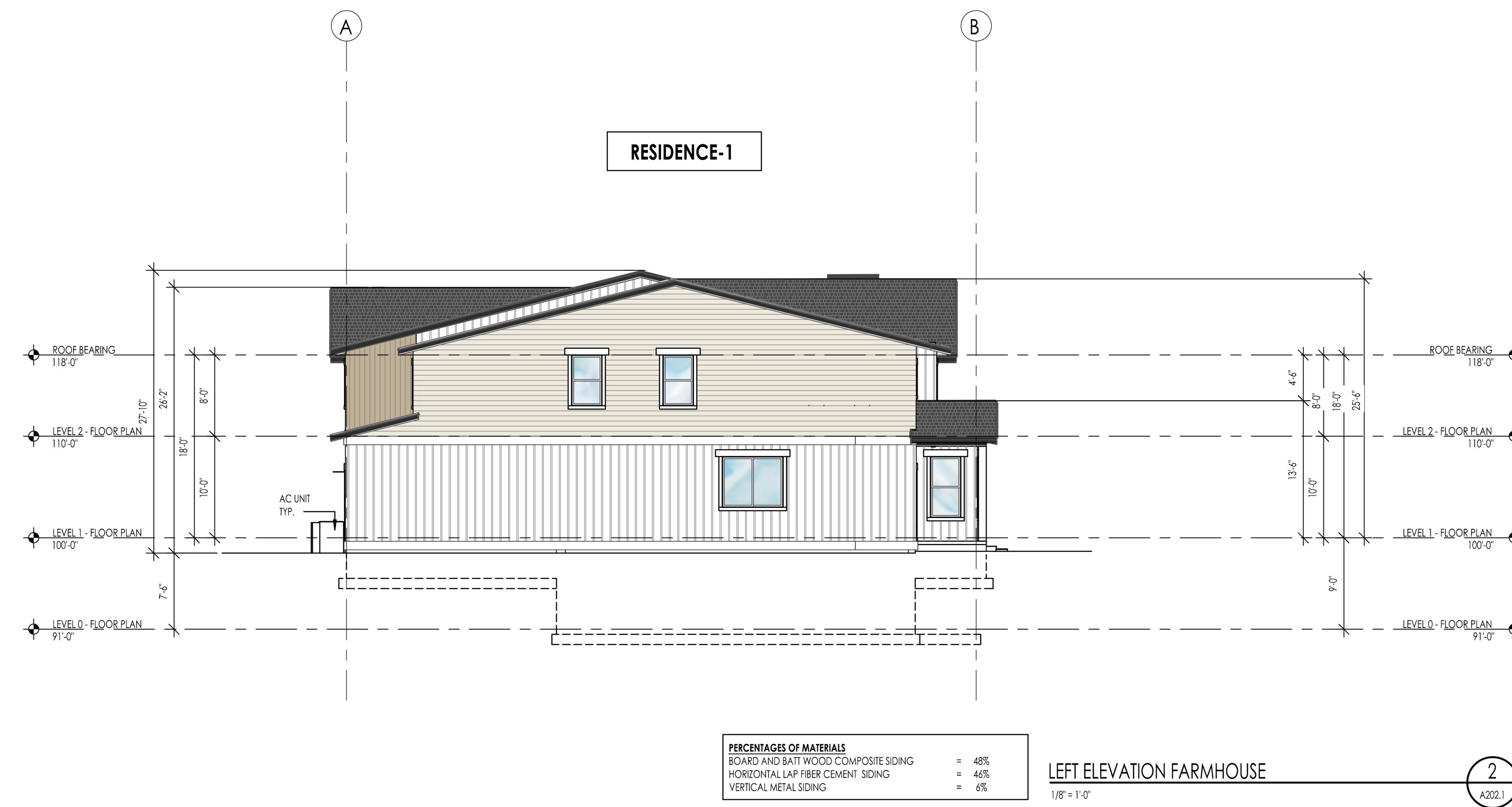
1
A201.1



PERCENTAGES OF MATERIALS		
BOARD AND BATT WOOD COMPOSITE SIDING	=	48%
HORIZONTAL LAP FIBER CEMENT SIDING	=	46%
VERTICAL METAL SIDING	=	6%

RIGHT ELEVATION FARMHOUSE

2
A201.1



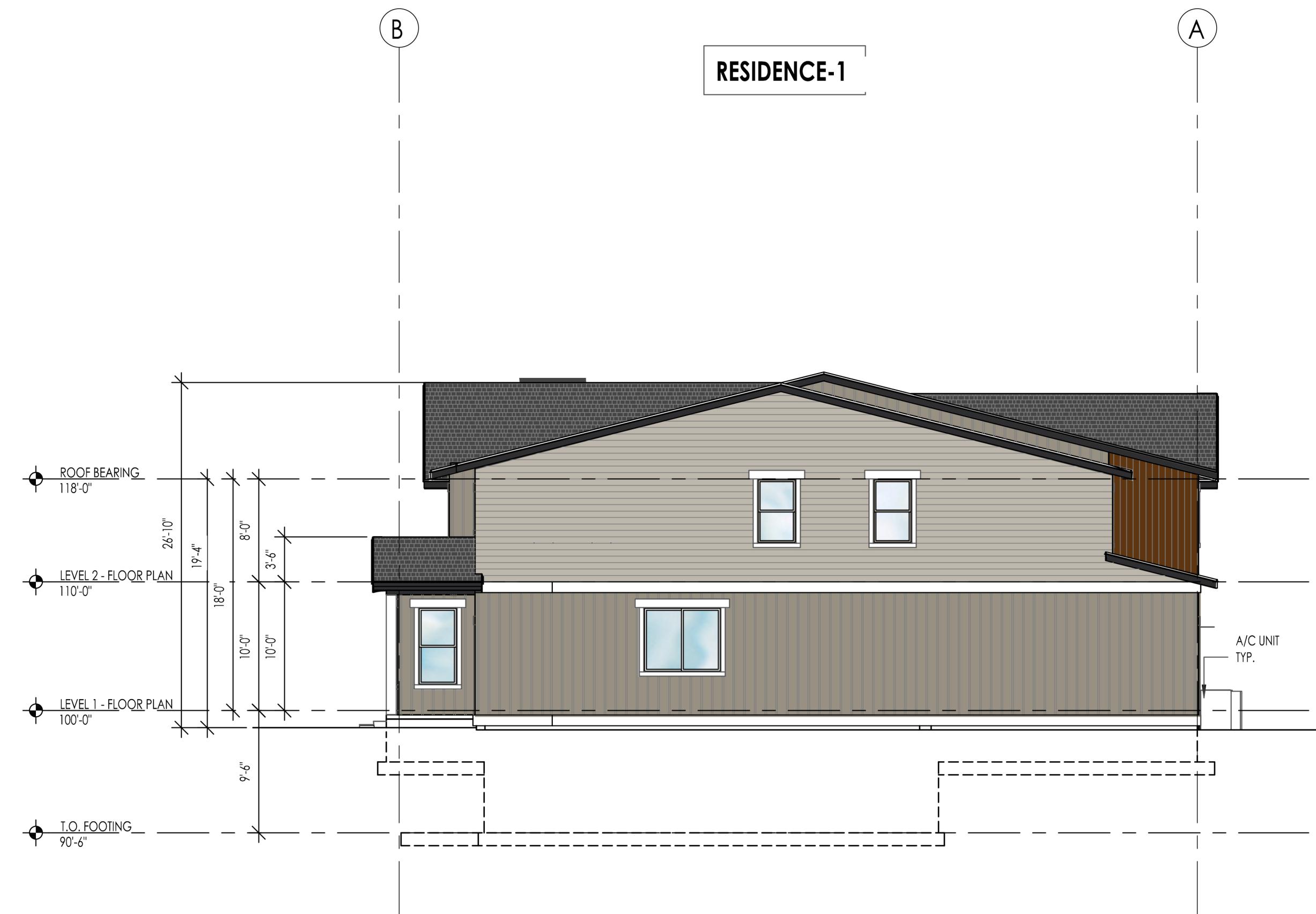


PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 40%
HORIZONTAL LAP FIBER CEMENT SIDING	= 14%
VERTICAL METAL SIDING	= 46%

1/8" = 1'-0"

FRONT ELEVATION FARMHOUSE

1
A201.1



PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 46%
HORIZONTAL LAP FIBER CEMENT SIDING	= 46%
VERTICAL METAL SIDING	= 8%

1/8" = 1'-0"

RIGHT ELEVATION FARMHOUSE

2
A201.1

