

Acceptance of Plans

The City of Saratoga Springs hereby accepts these plans for construction as being in general compliance with the plans preparation requirements of the City. Responsibility for the completeness and accuracy of these plans and related designs resides with the Project Engineer and Engineering Firm of Record. The City assumes no responsibility or liability whatsoever for the plans or designs submitted.

By name Jeff Pearson Engineering

By name David Jellen Date 12/03/2025 Planning\*As redlined

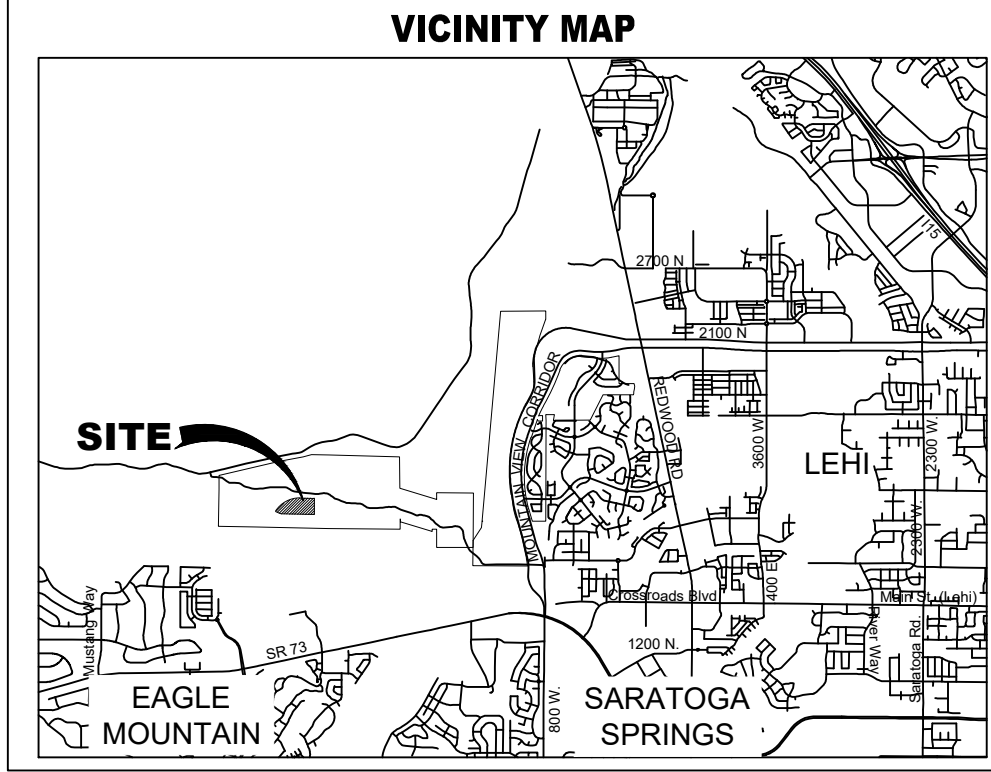
Acceptance not valid without Planning and Engineering signatures.

Acceptance expires 12 months after this date if construction has not begun or if Planning approval has expired.

ACCEPTED AS NOTED:  
See Signing & Striping Plan and Plat  
The construction of this development cannot be phased due to interdependence of utilities.

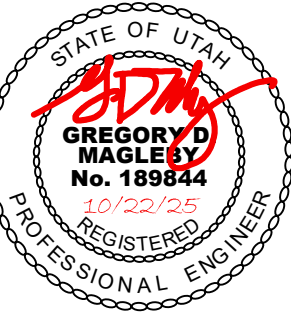
WILDFLOWER VILLAGE 9 SITE W

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8,  
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



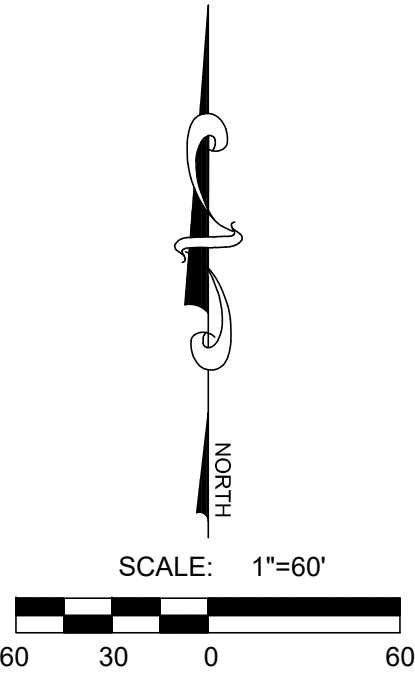
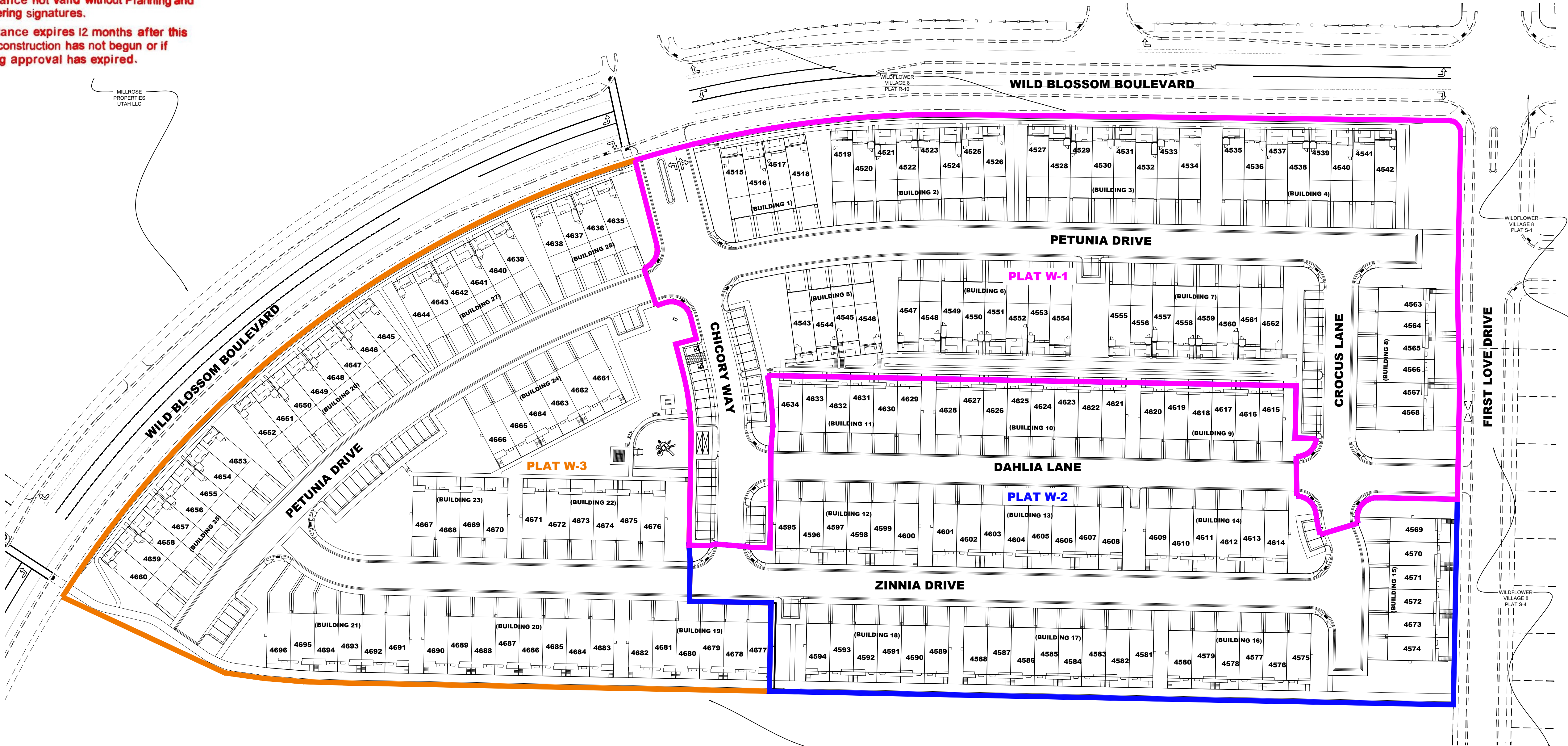
CIVIL  
STRUCTURAL  
SURVEY

3302 N. Main Street  
Spanish Fork, UT 84660  
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WILDFLOWER VILLAGE 9 SITE W  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

COVER



LEGEND	
EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
STREET CENTERLINE	STREET CENTERLINE
EASEMENT LINE	EASEMENT LINE
LOT LINES	LOT LINES
SEWER PIPE	SS-1, ST-7, (*2)
SEWER MANHOLE	SS-2, SS-2A, (*2)
4" SEWER CLEANOUT	SS-3, (*5)
STORM DRAIN PIPE (RCP)	SD-1, ST-7, (*2)
STORM DRAIN MANHOLE	SS-2, (*2)
CURB INLET	SD-2
COMBO BOX	SD-4
4x4' CATCH BASIN	(*2)
3x3' CATCH BASIN	(*2)
INLET/OUTLET W/ GRATE	SD-5
CULINARY WATER PIPE	DW-1, DW-2, DW-3, ST-7, (*2)
45" PIPE ELBOW (W)	DW-2, DW-3, (*2)
22.5" PIPE ELBOW (W)	DW-2, DW-3, (*2)
11.25" PIPE ELBOW (W)	DW-2, DW-3, (*2)
1" SINGLE SW SERVICE	DW-4
1-1/2" DUAL SW SERVICE	DW-5
3/4" SERVICE TO PARKS	DW-10A, DW-10B, DW-15
AIR-VAC VALVE (W)	DW-12, DW-15
2" BLOW-OFF (W)	DW-13A, DW-15
VALVE (W & SW)	(*1)(*2)
TEE	DW-2, (*2)
CROSS	DW-2, (*2)
SECONDARY WATER PIPE	PI-1, PI-2, ST-7, (*2)
45" PIPE ELBOW (SW)	PI-2, (*2)
22.5" PIPE ELBOW (SW)	PI-2, (*2)
11.25" PIPE ELBOW (SW)	PI-3, PI-5A, PI-5C
1" SINGLE SW SERVICE	PI-3, PI-5B, PI-5C
1-1/2" DUAL SW SERVICE	PI-4
SW SERVICE TO PARKS	PI-8, PI-13
AIR-VAC VALVE (SW)	PI-11
BACKFLOW PREVENTER	PI-12A, PI-13
2" BLOW-OFF (SW)	ST-1, ST-2A
30" C&G (COLLECTOR)	ST-1, ST-2C
24" C&G (LOCAL)	ST-1, ST-2F
24" SHED C&G	ST-1
SIDEWALK	
STOP SIGN	ST-28
STREET SIGN	ST-28
MONUMENT	ST-29
SPRINKLER CONDUIT	ST-9, (*3)
FENCE	LS-14, LS-15, DET. 1 SH. D-4
STREET LIGHT LOCAL	LP-1, LP-1B, LP-1C, LP-4, LP-6
STREET LIGHT COLLECTOR	LP-2, LP-2B, LP-2C, LP-5, LP-6
POWER POLE	
DITCH	
FIBER OPTIC	
C&S	
OVERHEAD POWER	
FLOW ARROW	
CONTOURS	
100 YEAR FLOOD ROUTE	
MATCH LINE	
DRIVE APPROACH	ST-4
ADA RAMP	ST-5A, ST-5B, ST-5C, ST-5E
TRAIL	ST-15A, ST-34, (*4)

(\*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES  
(\*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL  
(\*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES  
(\*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS  
(\*5) SEWER SERVICE MINIMUM SLOPE 2%

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C-409 DW	ZINNIA DR. PLAN & PROFILE - DRINKING WATER
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C-413 SS	CROCUS LN. PLAN & PROFILE - SEWER
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C-415 SS	PETUNIA DR. PLAN & PROFILE - SEWER
C-416 SS	PETUNIA DR. PLAN & PROFILE - SEWER
C-417 SS	DAHLIA LN. PLAN & PROFILE - SEWER
C-418 SS	DAHLIA LN. PLAN & PROFILE - SEWER
C-419 SS	ZINNIA DR. PLAN & PROFILE - SEWER
C-420 SS	ZINNIA DR. PLAN & PROFILE - SEWER
C-421 SS	ZINNIA DR. PLAN & PROFILE - SEWER
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C-426 SD	PETUNIA DR. PLAN & PROFILE - STORM DRAIN
C-427 SD	DAHLIA LN. PLAN & PROFILE - STORM DRAIN
C-428 SD	DAHLIA LN. PLAN & PROFILE - STORM DRAIN
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C-907	DETAILS
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OWNER / DEVELOPER

LENNAR  
111 EAST SEGO LILY DR, SUITE 150  
SANDY, UT 84070  
(801) 508-9634

CITY OF SARATOGA SPRINGS  
1307 N. COMMERCE DR. #200  
SARATOGA SPRINGS, UTAH 84045

PLANNING DEPT: 801-766-9793  
ENGINEERING DEPT: 801-766-6506

ROCKY MOUNTAIN POWER  
111 EAST SEGO LILY DR, SUITE 150  
SANDY, UT 84070  
(801) 508-9634

ENBRIDGE GAS UTAH  
PHONE: 800-366-8532

ENGINEER

LEI CONSULTING ENGINEERS  
AND SURVEYORS  
3302 NORTH MAIN  
SPANISH FORK, UTAH 84660  
801-798-0555



REVISIONS

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

LEI PROJECT #:

2023-0055

DRAWN BY:

BLS

DESIGNED BY:

GDM

SCALE:

1"=60'

DATE:

10/22/2025

SHEET

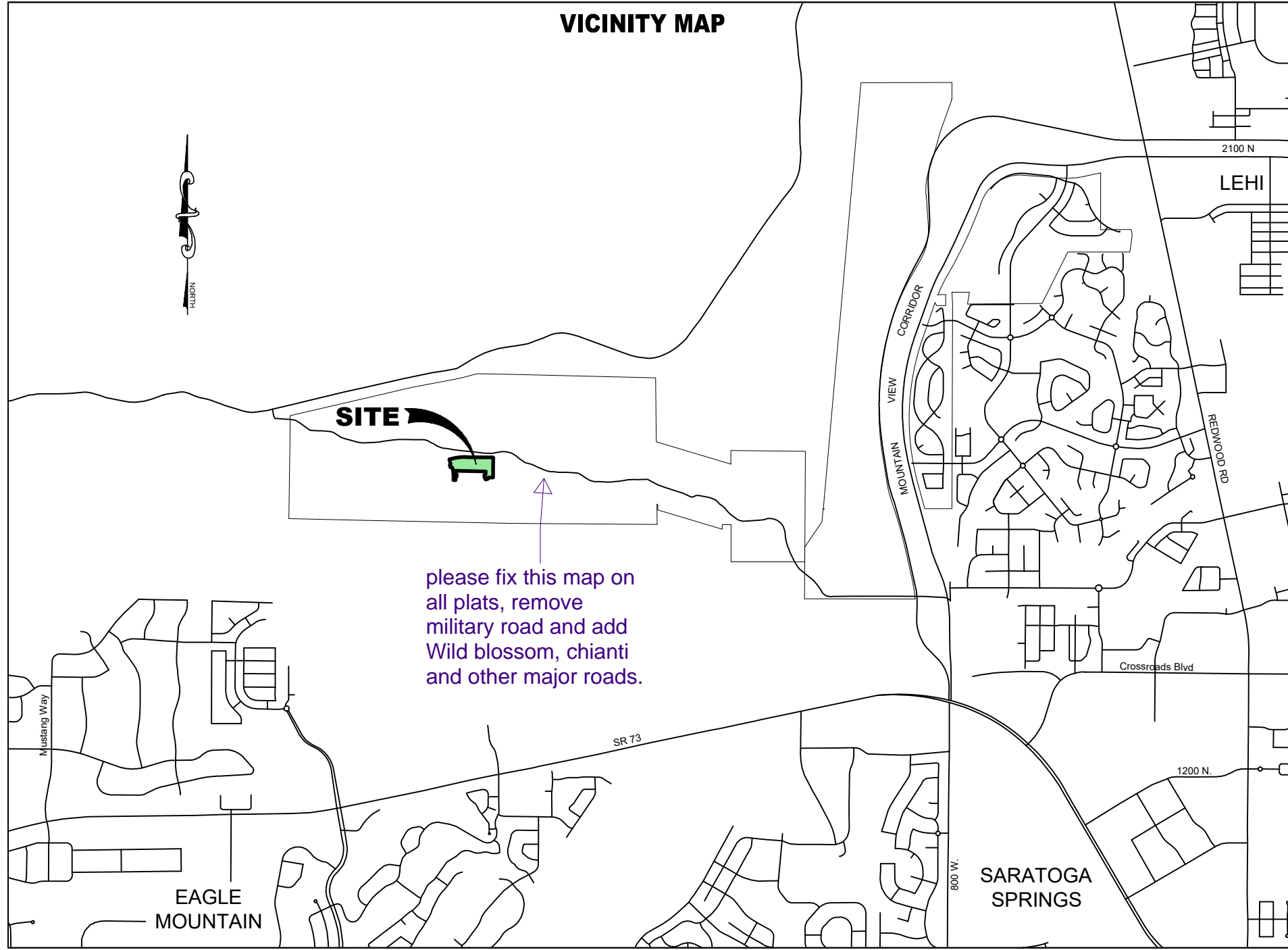
COVER

# WILDFLOWER VILLAGE 9 PLAT W-1

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

## NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. \_\_\_\_\_," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY GEOSTRATA DATED SEPTEMBER 4, 2020 AND CMT ENGINEERING LABORATORIES DATED FEBRUARY 8 2013, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING, EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. ANY UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS THE UTILITIES ARE OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
12. ALL OPEN SPACE, COMMON AREA, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY THE WILDFLOWER MASTER HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
13. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.
14. COMMON AREAS ARE CONVEYED TO THE WILDFLOWER MASTER HOMEOWNERS ASSOCIATION WITH A REGISTERED ADDRESS OF 138 EAST 12300 SOUTH, C-480, DRAPER, UTAH, 84020.
15. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.
16. SHALLOW SEWER DEPTHS, CONTRACTOR SHALL VERIFY SEWER DEPTHS BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS. HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
17. BUILDING LIGHTING SHALL BE FULL CUTOFF AND DOWNWARD DIRECTED, AND ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS BUILDINGS FACADES AND SIGNS, AND SHALL NOT CAST ILLUMINATION BEYOND THE SURFACE BEING ILLUMINATED.
18. ANY LOT WITH A 15 FOOT OR LESS SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.
19. THIS AREA IS LOCATED NEAR CAMP WILLIAMS STATE MILITARY RESERVATION AND IS SUBJECT TO SOUNDS, VIBRATIONS, SIGHTS, EQUIPMENT, FACILITIES, MILITARY OPERATIONS, AND ALL OTHER ASPECTS ASSOCIATED WITH ITS PROXIMITY.
20. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1899 UTAH COUNTY MONUMENT AT THE NORTH QUARTER CORNER OF SECTION 10, WITH A PUBLISHED UTAH COUNTY (NVC20) ELEVATION OF 4,886.76 FEET.
21. AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 49049C0150F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
22. A TITLE REPORT PREPARED BY \_\_\_\_\_, FILE NO. \_\_\_\_\_, WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
23. PARKSTRIPS SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER WHO ABUTS THE PARKSTRIP, UNLESS OTHERWISE NOTED ON AN APPROVED AND RECORDED SUBDIVISION PLAT.



## DATA TABLE

PLAT W-1	
SINGLE FAMILY LOTS .....	0 LOTS
TOWNHOME LOTS .....	54 LOTS
BUILDINGS .....	8 BUILDINGS
DWELLINGS .....	54 DWELLINGS
PARCELS .....	4 PARCELS
DENSITY .....	9.52 UNITS/ ACRE
MINIMUM LOT SIZE .....	0.03 ACRES / 1,201 SF
MAXIMUM LOT SIZE .....	0.03 ACRES / 1,386 SF
AVERAGE LOT SIZE .....	0.03 ACRES / 1,265 SF

	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	5.67	246,831	100%
LOT AREA	1.62	70,440	28.5%
OPEN SPACE (COMMON / LIMITED)	2.54	110,694	44.8%
COMMON SPACE	1.60	69,553	28.2%
LIMITED COMMON SPACE	0.94	41,141	0.2%
OPEN SPACE (LANDSCAPE)	2.54	110,694	1.6%
LAWN (TURF GRASS)	0.70	30,673	0.3%
SEEDED AREA (UNIRRIGATED)	0.00	0	0.0%
PLANTING BEDS W/ STONE MULCH	0.69	29,842	0.7%
HARDSCAPE (SIDEWALK, PATIO)	1.15	50,179	0.5%
PRIVATE RIGHT-OF-WAY AREA	1.51	65,697	26.6%
PUBLIC RIGHT-OF-WAY AREA	0.00	0	0%
LANDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
HARDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
BUILDABLE LAND	5.67	246,831	100%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	5.67	246,831	100%
NUMBER OF GARAGE PARKING SPACES			108
NUMBER OF DRIVEWAY PARKING SPACES			108
NUMBER OF STRIPED PARKING SPACES			48
NUMBER OF GUEST PARKING SPACES PROVIDED			48

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(B)(1)(IV). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

## PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## LAND USE AUTHORITY

APPROVED BY THE LAND USE AUTHORITY ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## FIRE CHIEF

APPROVED BY THE FIRE CHIEF ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## CITY FIRE CHIEF

## CENTURY LINK

APPROVED THIS \_\_\_\_ DAY  
OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## COMCAST CABLE TELEVISION

APPROVED THIS \_\_\_\_ DAY  
OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## SARATOGA SPRINGS ATTORNEY

APPROVED BY SARATOGA SPRINGS ATTORNEY ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## LEHI CITY POST OFFICE

APPROVED BY POST OFFICE REPRESENTATIVE ON  
THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

## SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

## BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY RIGHT-OF-WAY LINE OF WILD BLOSSOM BOULEVARD, LOCATED N89°08'06"W ALONG THE QUARTER SECTION LINE 1026.65 FEET AND SOUTH 268.46 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG SAID SOUTHERLY LINE S89°17'44"E 502.30 FEET TO THE SOUTHWEST CORNER OF WILDFLOWER VILLAGE 8, PLAT R-7 ROADWAY DEDICATION PLAT, ENTRY NUMBER 8776:2025, IN THE OFFICIAL RECORDS OF THE UTAH COUNTY RECORDER; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 18.94 FEET WITH A RADIUS OF 12.00 FEET THROUGH A CENTRAL ANGLE OF 90°25'23", CHORD: S44°03'03"E 17.03 FEET; THENCE S01°07'39"W 161.92 FEET; THENCE S01°09'47"E 100.08 FEET; THENCE S01°07'39"W 109.03 FEET; THENCE N88°52'21"W 81.03 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 37.67 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 107°55'34", CHORD: S37°09'52"W 32.35 FEET; THENCE S73°12'05"W 40.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 21.67 FEET WITH A RADIUS OF 120.00 FEET THROUGH A CENTRAL ANGLE OF 10°20'46", CHORD: N11°37'32"W 21.64 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 28.77 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 82°25'12", CHORD: N47°39'45"W 26.35 FEET; THENCE N01°07'39"E 5.00 FEET; THENCE N01°12'28"W 30.02 FEET; THENCE N01°07'39"E 5.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 30.16 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 86°23'57", CHORD: N47°55'40"E 27.38 FEET; THENCE N88°52'21"W 21.46 FEET; THENCE N01°07'39"E 52.81 FEET; THENCE N88°52'41"W 535.27 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 51.91 FEET WITH A RADIUS OF 341.50 FEET THROUGH A CENTRAL ANGLE OF 08°42'34", CHORD: S06°02'13"E 51.86 FEET; THENCE S05°24'28"W 20.10 FEET; THENCE S01°07'39"W 5.00 FEET; THENCE S00°20'38"W 30.00 FEET; THENCE S01°07'39"W 5.00 FEET; THENCE S00°41'27"E 15.76 FEET; THENCE S01°07'39"W 47.00 FEET; THENCE N88°52'21"W 20.04 FEET; THENCE N76°48'06"W 5.36 FEET; THENCE S85°56'46"W 2.30 FEET; THENCE N85°11'53"W 26.32 FEET; THENCE N85°17'15"W 2.00 FEET; THENCE S72°02'29"W 6.54 FEET; THENCE N88°52'21"W 21.21 FEET; THENCE N01°07'39"E 105.18 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 70.18 FEET WITH A RADIUS OF 258.50 FEET THROUGH A CENTRAL ANGLE OF 15°33'17", CHORD: N06°38'59"W 69.96 FEET; THENCE N14°25'38"W 29.87 FEET; THENCE N75°34'22"E 21.50 FEET; THENCE N14°25'38"W 23.24 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 32.62 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 93°27'10", CHORD: N61°09'13"W 29.12 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 9.57 FEET WITH A RADIUS OF 905.75 FEET THROUGH A CENTRAL ANGLE OF 00°36'19", CHORD: S71°49'02"W 9.57 FEET; THENCE N18°29'07"W 40.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 30.00 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 85°56'30", CHORD: N28°32'37"E 27.27 FEET; THENCE N14°25'38"W 88.09 FEET TO SAID SOUTHERLY RIGHT-OF-WAY LINE OF WILD BLOSSOM BOULEVARD; THENCE ALONG SAID SOUTHERLY LINE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 326.34 FEET WITH A RADIUS OF 1052.50 FEET THROUGH A CENTRAL ANGLE OF 17°45'56", CHORD: N81°49'18"E 325.04 FEET TO THE POINT OF BEGINNING.

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_  
(See Seal Below)  
LICENSE NO. 6310734

## OWNERS ACKNOWLEDGMENT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

## WILDFLOWER VILLAGE 9 PLAT W-1

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS. THE OWNER HEREBY CONVEYS THE COMMON AREA, AS INDICATED HEREON, TO THE WILDFLOWER MASTER HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF 138 EAST 12300 SOUTH, C-480, DRAPER, UTAH 84020.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTITY \_\_\_\_\_

SIGNATURE \_\_\_\_\_ PRINT NAME \_\_\_\_\_ TITLE & ENTITY \_\_\_\_\_

## OWNERS ACKNOWLEDGMENT

STATE OF UTAH ) S.S

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ PERSONALLY APPEARED BEFORE ME

PRINT NAME \_\_\_\_\_ TITLE \_\_\_\_\_ ENTITY \_\_\_\_\_

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/S/HE/THY/EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE \_\_\_\_\_ COMMISSION NUMBER \_\_\_\_\_

PRINT NAME AS COMMISSIONED \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

A NOTARY PUBLIC COMMISSIONED IN UTAH

# WILDFLOWER VILLAGE 9 PLAT W-1

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 3

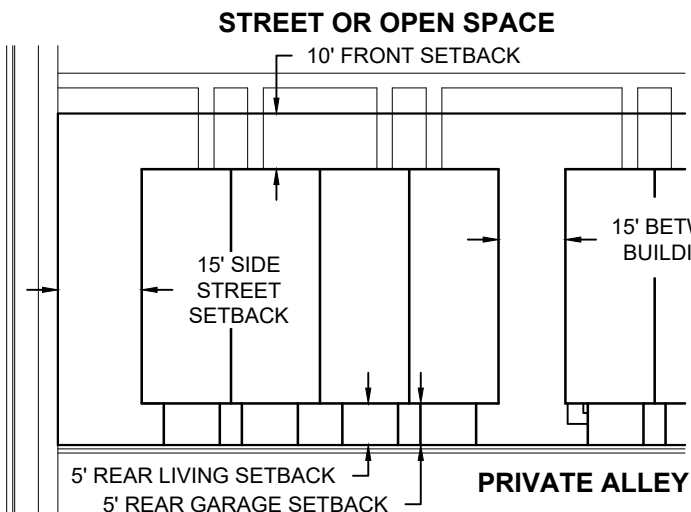
SURVEYOR'S SEAL \_\_\_\_\_ CITY ENGINEER SEAL \_\_\_\_\_ CLERK-RECORDER SEAL \_\_\_\_\_

## OWNER / DEVELOPER

**LENNAR**

111 EAST SEGO LILY DR, SUITE 150  
SANDY, UT 84070  
(801) 508-5634

PUBLIC OR PRIVATE STREET



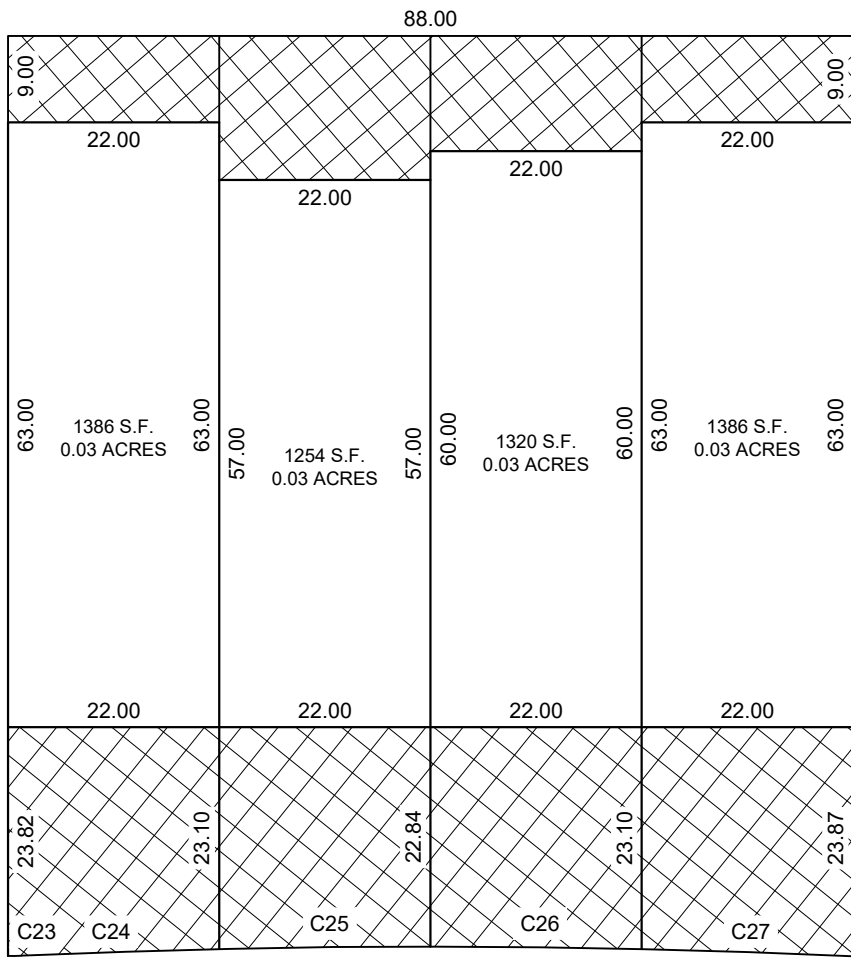
TYPICAL REAR LOAD  
TOWNHOME SETBACK DETAIL  
UNITS 4515-4568



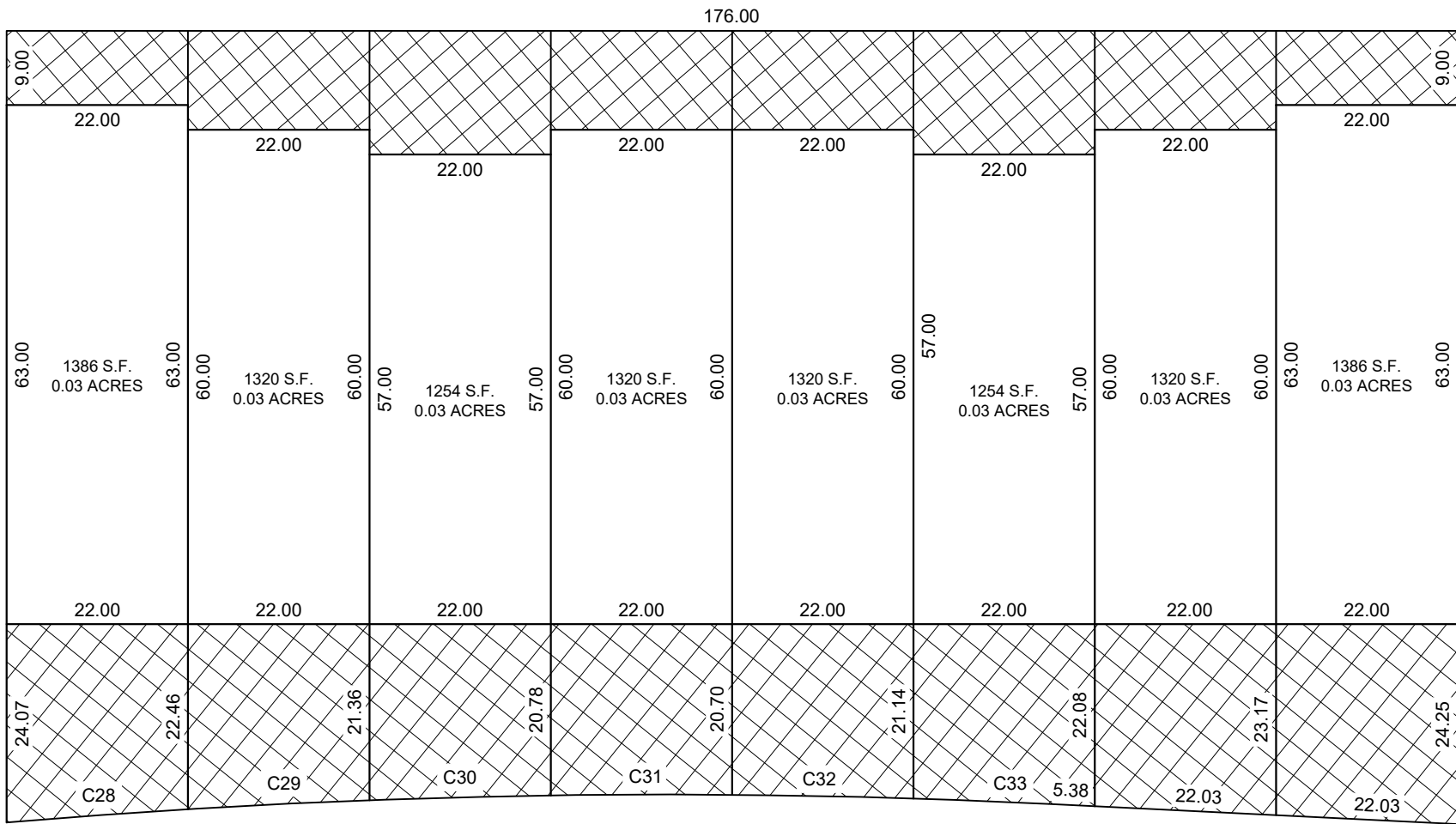
CIVIL  
STRUCTURAL  
SURVEY

3302 N. Main Street  
Spanish Fork, UT 84660  
Phone: 801.798.0555  
Fax: 801.798.9353  
office@lei-eng.com  
www.lei-eng.com

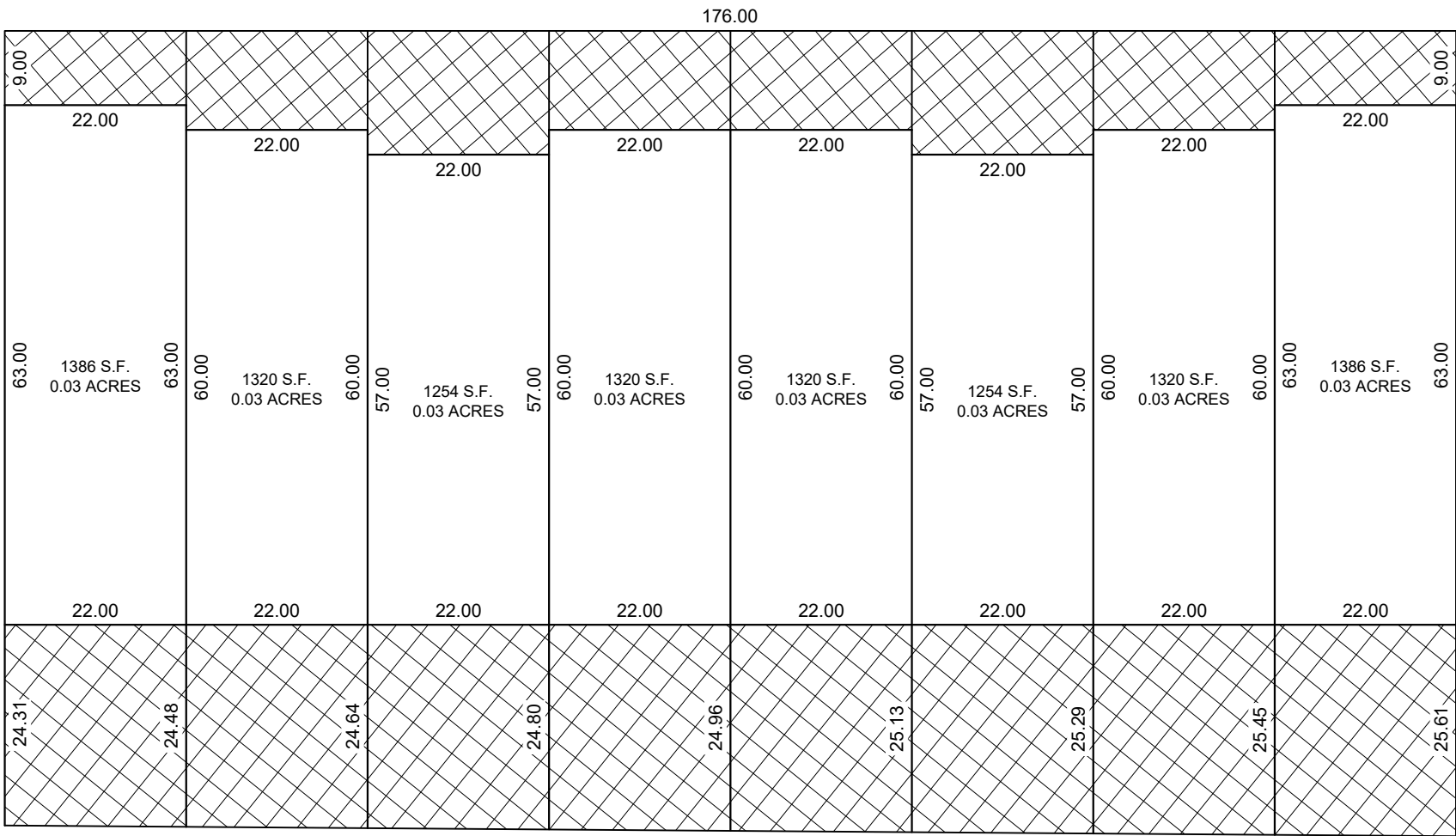




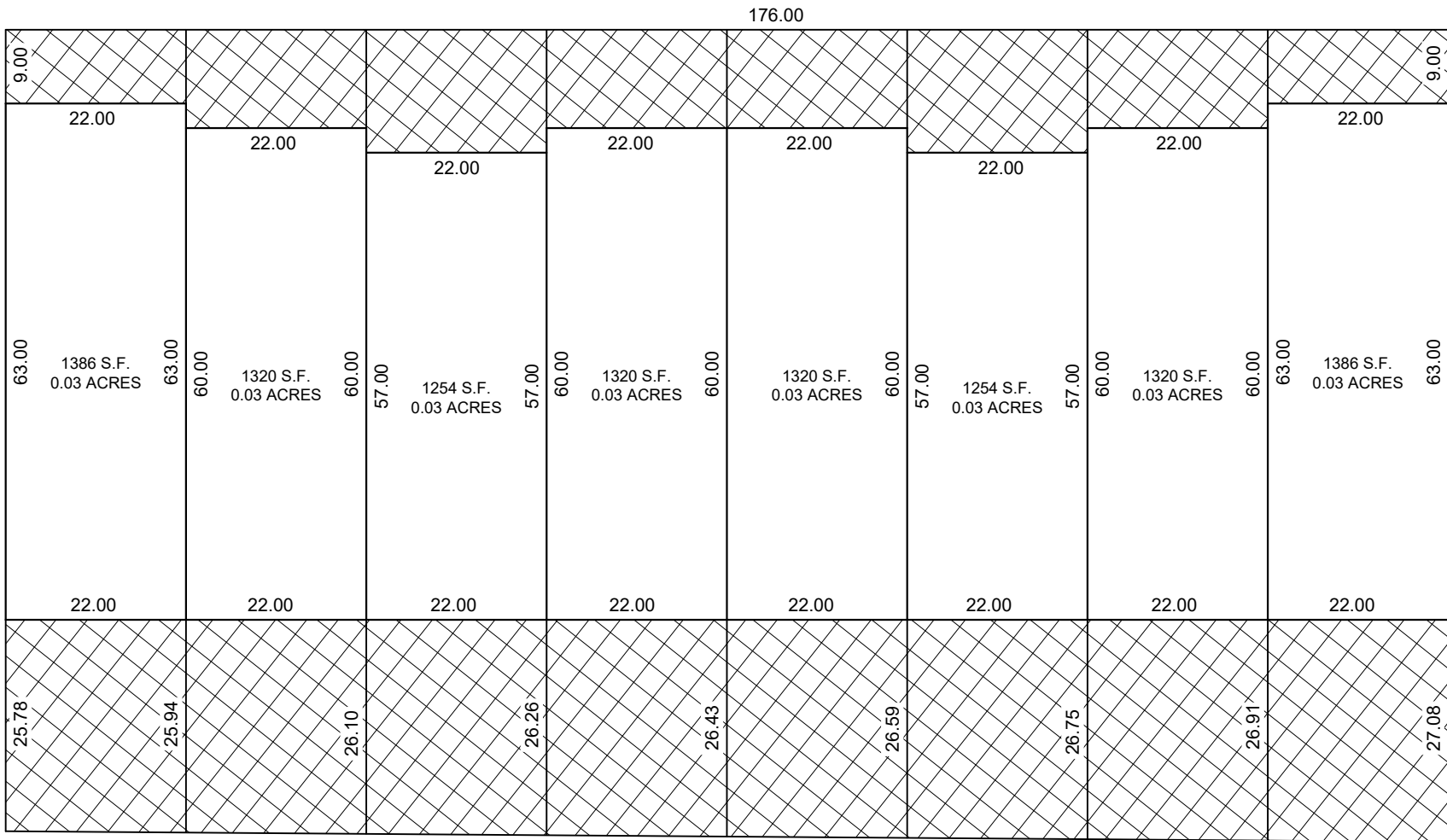
**BUILDING 1**  
LOTS 4515 THRU 4518



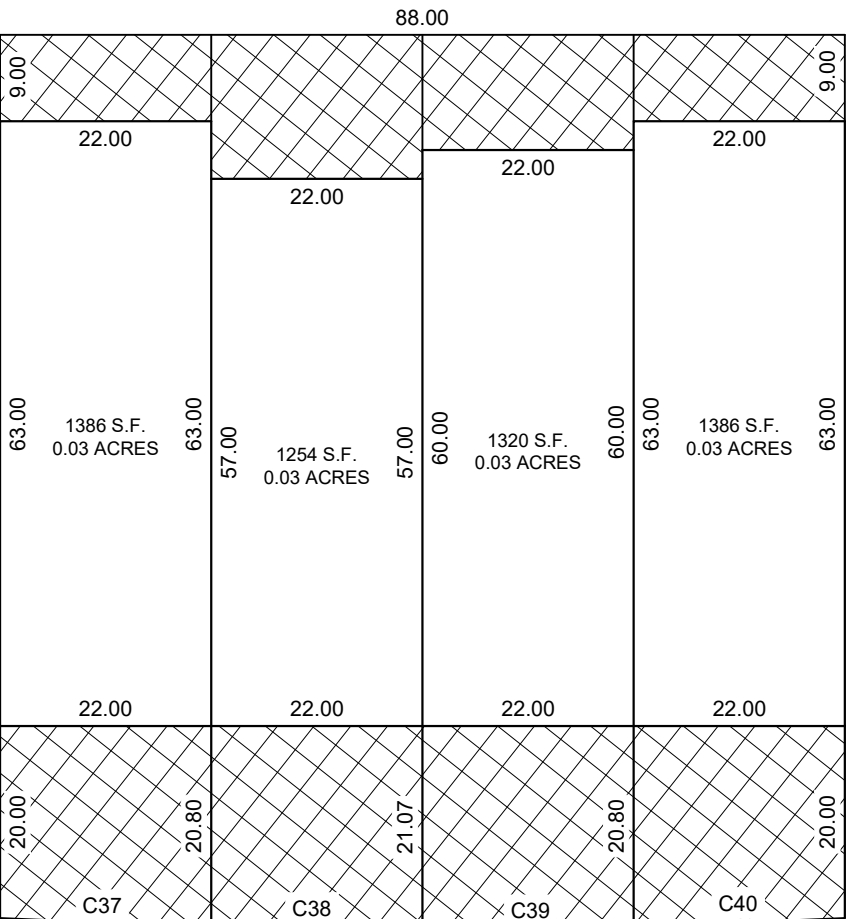
**BUILDING 2**  
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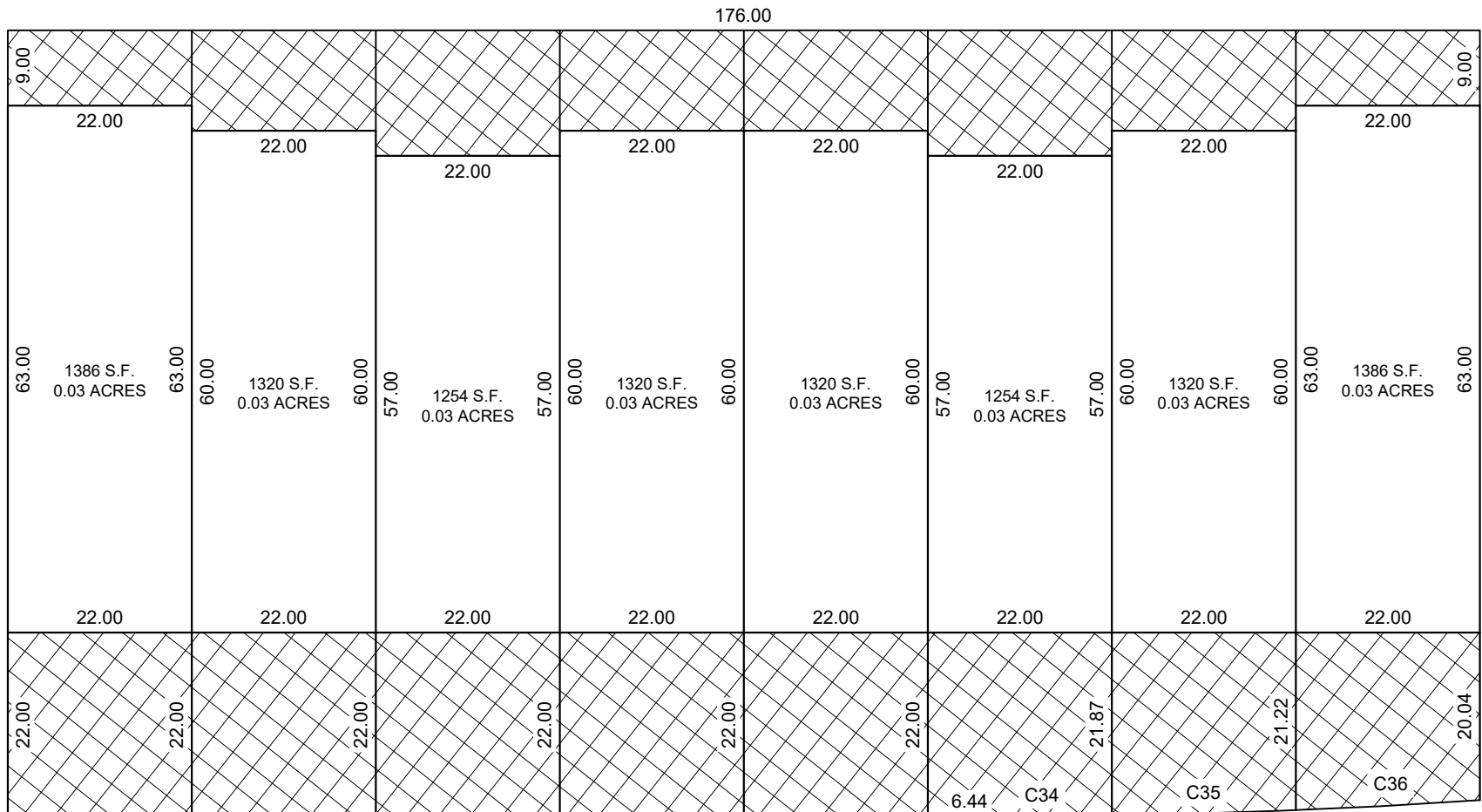
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LOTS 4527 THRU 4534



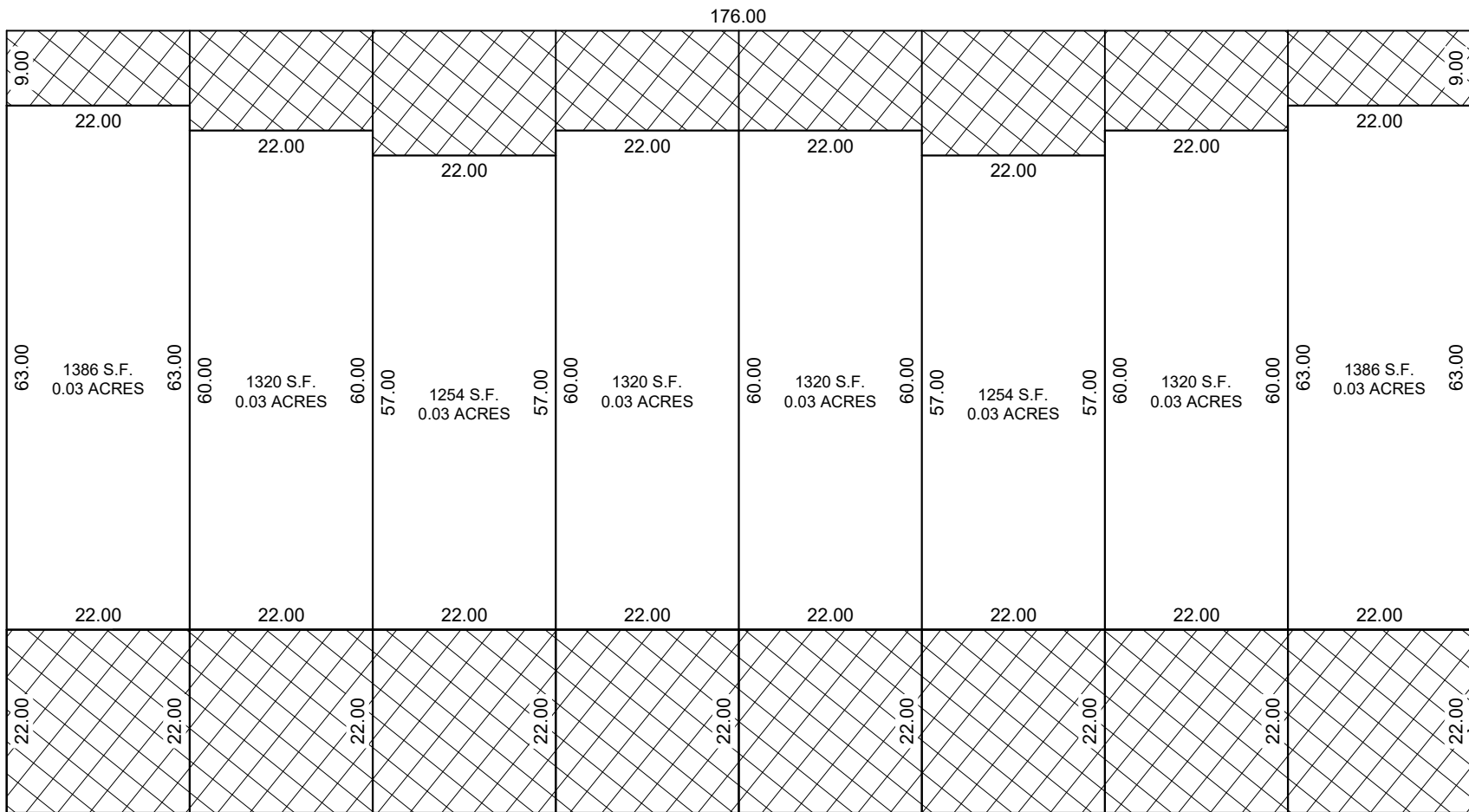
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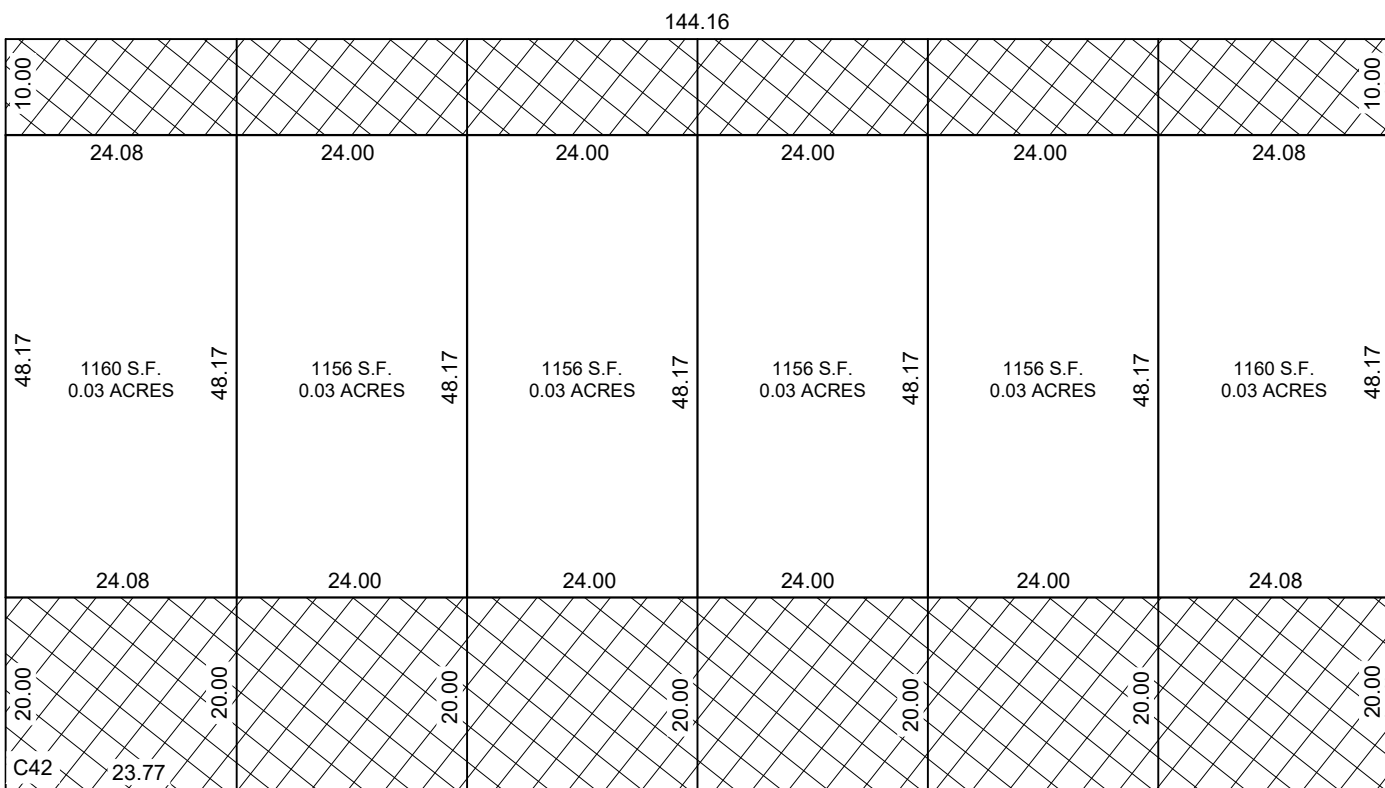
**BUILDING 5**  
LOTS 4543 THRU 4546



**BUILDING 6**  
LOTS 4547 THRU 4554



**BUILDING 7**  
UNITS 4555 THRU 4562



**BUILDING 8**  
UNITS 4563 THRU 4568

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS
	LIMITED COMMON AREA

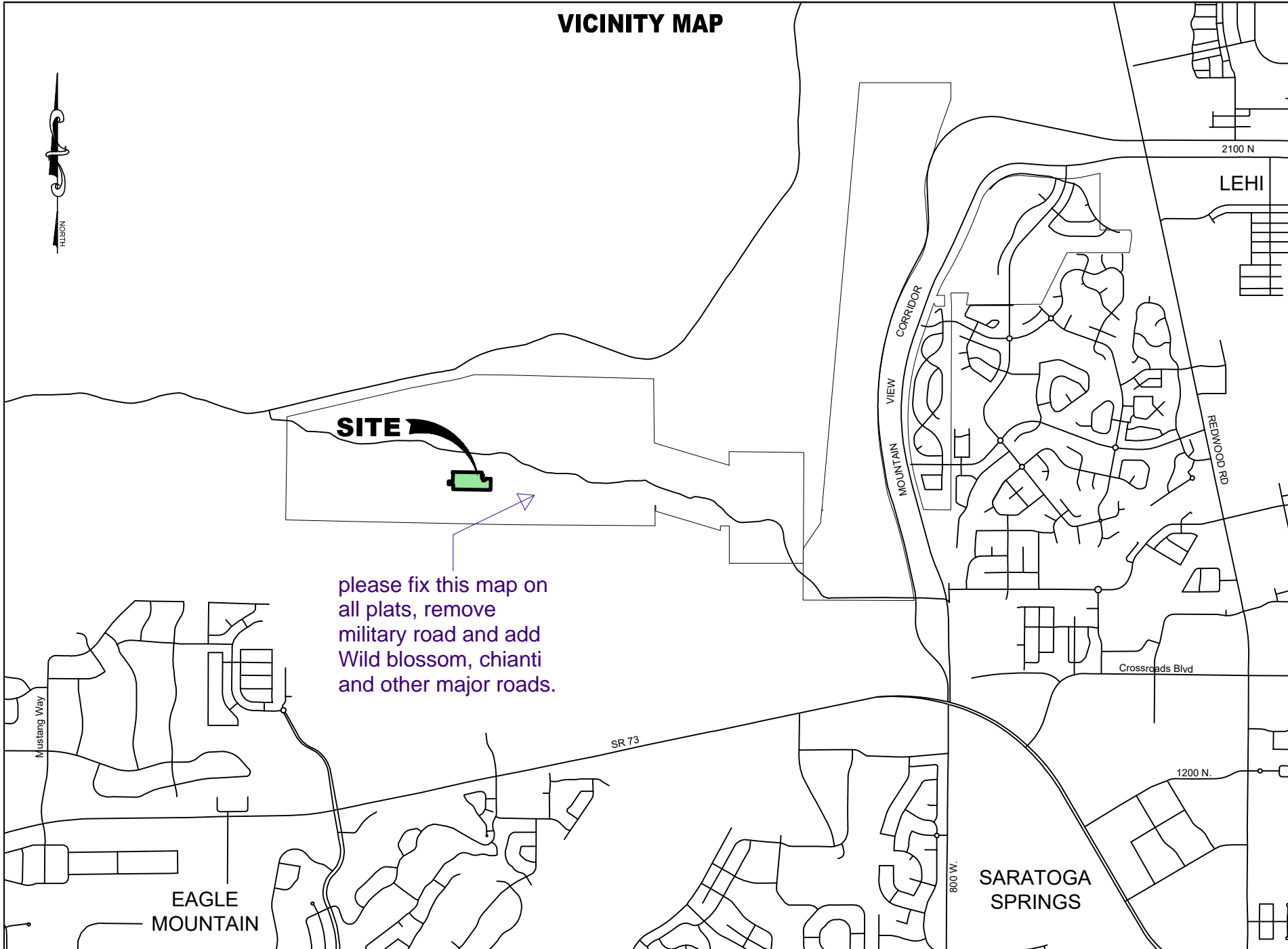
## WILDFLOWER VILLAGE 9 PLAT W-1

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

Per the building department, the Plat W-2 and W-3 drainage channel fill must be documented, or overexcavated/replaced with engineered fill at the time of townhouse construction.

## WILDFLOWER VILLAGE 9 PLAT W-2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST,  
SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



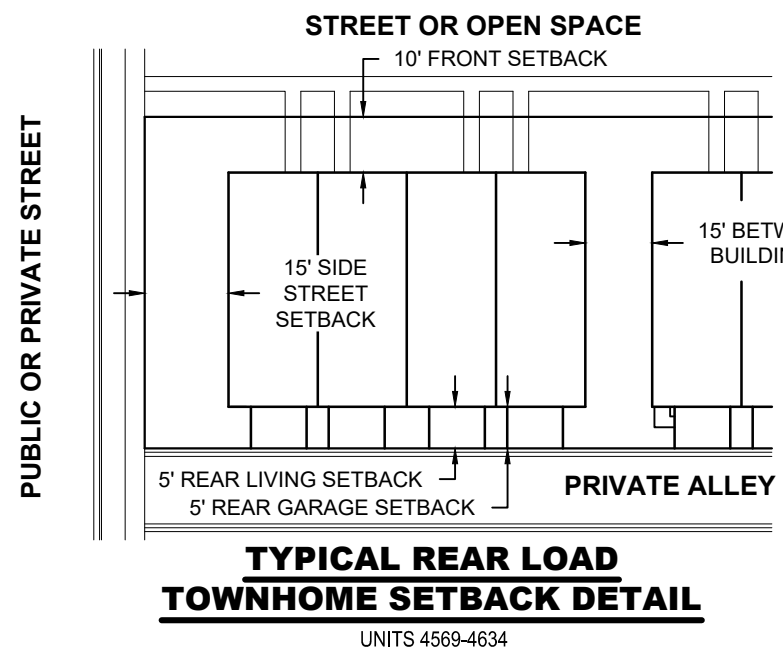
### NOTES

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORATION OF MOST RECENT PHASE, THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. \_\_\_\_\_," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY GEOSTRATA DATED SEPTEMBER 4, 2020 AND CMT ENGINEERING LABORATORIES DATED FEBRUARY 8 2013, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- ANY UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS THE UTILITIES ARE OTHERWISE SPECIFIED ON THE PLAT AND ACCOMPANIED BY RECORDED MAINTENANCE EASEMENTS IN FAVOR OF THE CITY.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY THE WILDFLOWER MASTER HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND C&M'S.
- COMMON AREAS ARE CONVEYED TO THE WILDFLOWER MASTER HOMEOWNERS ASSOCIATION WITH A REGISTERED ADDRESS OF 138 EAST 12300 SOUTH, C-480, DRAPER, UTAH, 84020.
- COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.
- SHALLOW SEWER DEPTHS, CONTRACTOR SHALL VERIFY SEWER DEPTHS BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS, HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
- BUILDING LIGHTING SHALL BE FULL CUTOFF AND DOWNWARD DIRECTED, AND ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS BUILDINGS FACADES AND SIGNS, AND SHALL NOT CAST ILLUMINATION BEYOND THE SURFACE BEING ILLUMINATED.
- ANY LOT WITH A 15 FOOT OR LESS SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.
- THIS AREA IS LOCATED NEAR CAMP WILLIAMS STATE MILITARY RESERVATION AND IS SUBJECT TO SOUNDS, VIBRATIONS, SIGHTS, EQUIPMENT, FACILITIES, MILITARY OPERATIONS, AND ALL OTHER ASPECTS ASSOCIATED WITH ITS PROXIMITY.
- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH QUARTER CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,896.76 FEET.
- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4904050150F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
- A TITLE REPORT PREPARED BY \_\_\_\_\_ FILE NO. \_\_\_\_\_, EFFECTIVE DATE: \_\_\_\_\_, WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
- PARKSTRIPS SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER WHO ABUTS THE PARKSTRIP, UNLESS OTHERWISE NOTED ON AN APPROVED AND RECORDED SUBDIVISION PLAT.

### OWNER / DEVELOPER

**LENNAR**

111 EAST SEGO LILY DR, SUITE 150  
SANDY, UT 84070  
(801) 508-5634



### ENBRIDGE GAS UTAH ACCEPTANCE

QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

BY: \_\_\_\_\_

QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH TITLE: \_\_\_\_\_

### ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 10-9A-601 ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
  - A RECORDED EASEMENT OR RIGHT-OF-WAY
  - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
  - TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
  - ANY OTHER PROVISION OF LAW

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

ROCKY MOUNTAIN POWER

### PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### LAND USE AUTHORITY

APPROVED BY THE LAND USE AUTHORITY ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### FIRE CHIEF

APPROVED BY THE FIRE CHIEF ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

CITY FIRE CHIEF

### CENTURY LINK

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### COMCAST CABLE TELEVISION

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### SARATOGA SPRINGS ATTORNEY

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

### LEHI CITY POST OFFICE

APPROVED BY POST OFFICE REPRESENTATIVE ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

LEHI CITY POST OFFICE REPRESENTATIVE

### SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734. IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE, I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

### BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, DESCRIBED AS FOLLOWS:  
BEGINNING AT POINT LOCATED N89°08'06"W ALONG THE QUARTER SECTION LINE 1214.24 FEET AND SOUTH 535.40 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S88°52'41"E 535.27 FEET; THENCE S01°07'39"W 52.81 FEET; THENCE S88°52'21"E 21.46 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 30.16 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 89°23'57" CHORD: S47°55'40"W 27.38 FEET; THENCE S01°07'39"W 5.00 FEET; THENCE S01°12'28"E 30.02 FEET; THENCE S01°07'39"W 5.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 28.77 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 82°25'12"; CHORD: S47°39'45"E 26.35 FEET TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 21.67 FEET WITH A RADIUS OF 120.00 FEET THROUGH A CENTRAL ANGLE OF 10°20'46"; CHORD: S11°37'32"E 21.84 FEET; THENCE N73°12'05"E 40.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 31.07 FEET WITH A RADIUS OF 20.00 FEET THROUGH A CENTRAL ANGLE OF 107°55'34"; CHORD: N37°09'52"E 32.35 FEET; THENCE S88°52'21"E 81.03 FEET; THENCE S01°07'39"W 208.00 FEET; THENCE N88°52'21"W 692.60 FEET; THENCE N01°07'39"E 89.50 FEET; THENCE N88°52'21"W 82.73 FEET; THENCE N01°07'39"E 40.00 FEET; THENCE N04°01'42"W 16.69 FEET; THENCE S88°52'21"E 21.21 FEET; THENCE N72°02'29"E 5.54 FEET; THENCE S89°17'19"E 2.00 FEET; THENCE S86°11'53"E 26.32 FEET; THENCE N89°56'48"E 2.00 FEET; THENCE S76°48'06"E 5.38 FEET; THENCE S88°52'21"E 20.04 FEET; THENCE N01°07'39"E 47.00 FEET; THENCE N00°41'27"W 15.76 FEET; THENCE N01°07'39"E 5.00 FEET; THENCE N00°20'38"E 30.00 FEET; THENCE N01°07'39"E 5.00 FEET; THENCE N05°24'26"E 20.10 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 51.91 FEET WITH A RADIUS OF 341.50 FEET THROUGH A CENTRAL ANGLE OF 08°42'34"; CHORD: N06°02'13"W 51.86 FEET TO THE POINT OF BEGINNING.

206.972 SF  
ACRES: 4.75  
# OF LOTS: 70  
# OF PARCELS: 6

DATE

SURVEYOR

(See Seal Below)

LICENSE NO. 6310734

### OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

### WILDFLOWER VILLAGE 9 PLAT W-2

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS. THE OWNER HEREBY CONVEYS THE COMMON AREA, AS INDICATED HEREON, TO THE WILDFLOWER MASTER HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF 138 EAST 12300 SOUTH, C-480, DRAPER, UTAH 84020.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

SIGNATURE

PRINT NAME

TITLE & ENTITY

SIGNATURE

PRINT NAME

TITLE & ENTITY

### OWNERS ACKNOWLEDGMENT

STATE OF UTAH } S.S  
COUNTY OF UTAH }

ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ PERSONALLY APPEARED BEFORE ME

PRINT NAME

TITLE

ENTITY

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/IT/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE

COMMISSION NUMBER

PRINT NAME AS COMMISSIONED

MY COMMISSION EXPIRES

A NOTARY PUBLIC COMMISSIONED IN UTAH

### APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS \_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20 \_\_\_\_.

ATTEST

CITY MAYOR

CITY RECORDER (See Seal Below)

## WILDFLOWER VILLAGE 9 PLAT W-2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 3









SURVEYOR'S SEAL

CITY ENGINEER SEAL

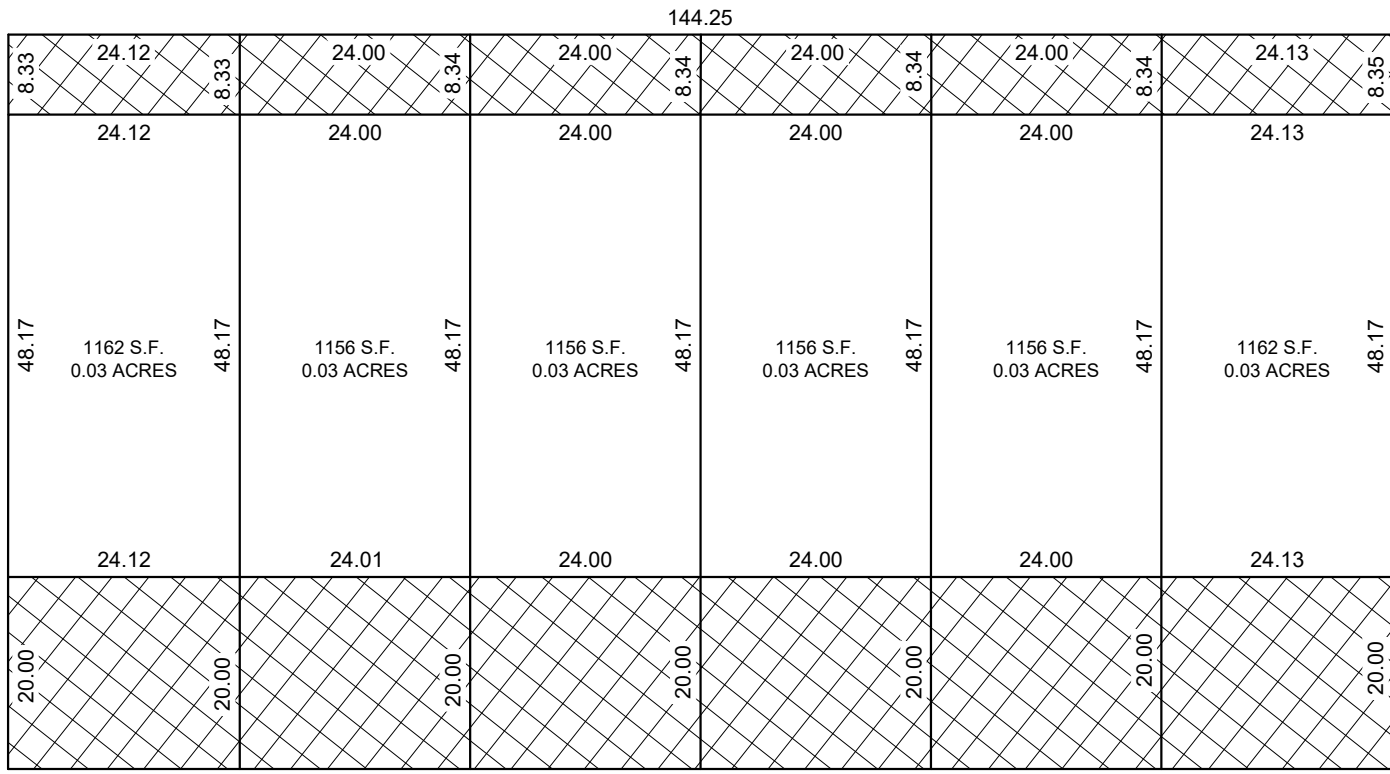
CLERK-RECORDER SEAL



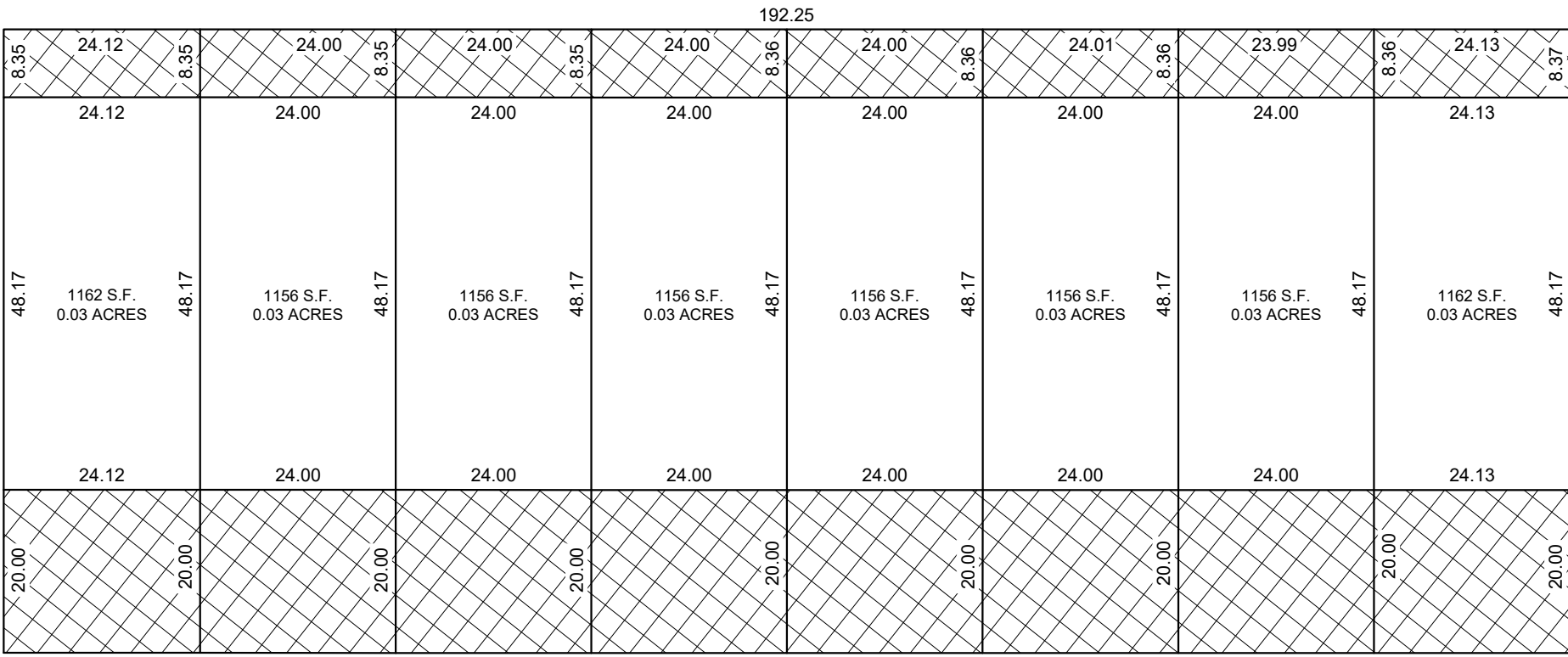
LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S19°51'30"W	21.12
L2	S88°52'21"E	15.00
L3	S88°52'21"E	15.00
L4	S34°23'06"E	24.57
L5	N15°33'15"W	20.88
L6	S88°52'21"E	15.00
L7	S88°52'21"E	23.10
L8	N22°22'25"E	21.46
L9	N60°06'17"W	41.56
L10	S88°52'44"E	15.00
L11	S88°52'44"E	15.00
L12	S88°52'21"E	17.92
L13	N33°00'01"W	24.11
L14	S51°42'16"W	25.89

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

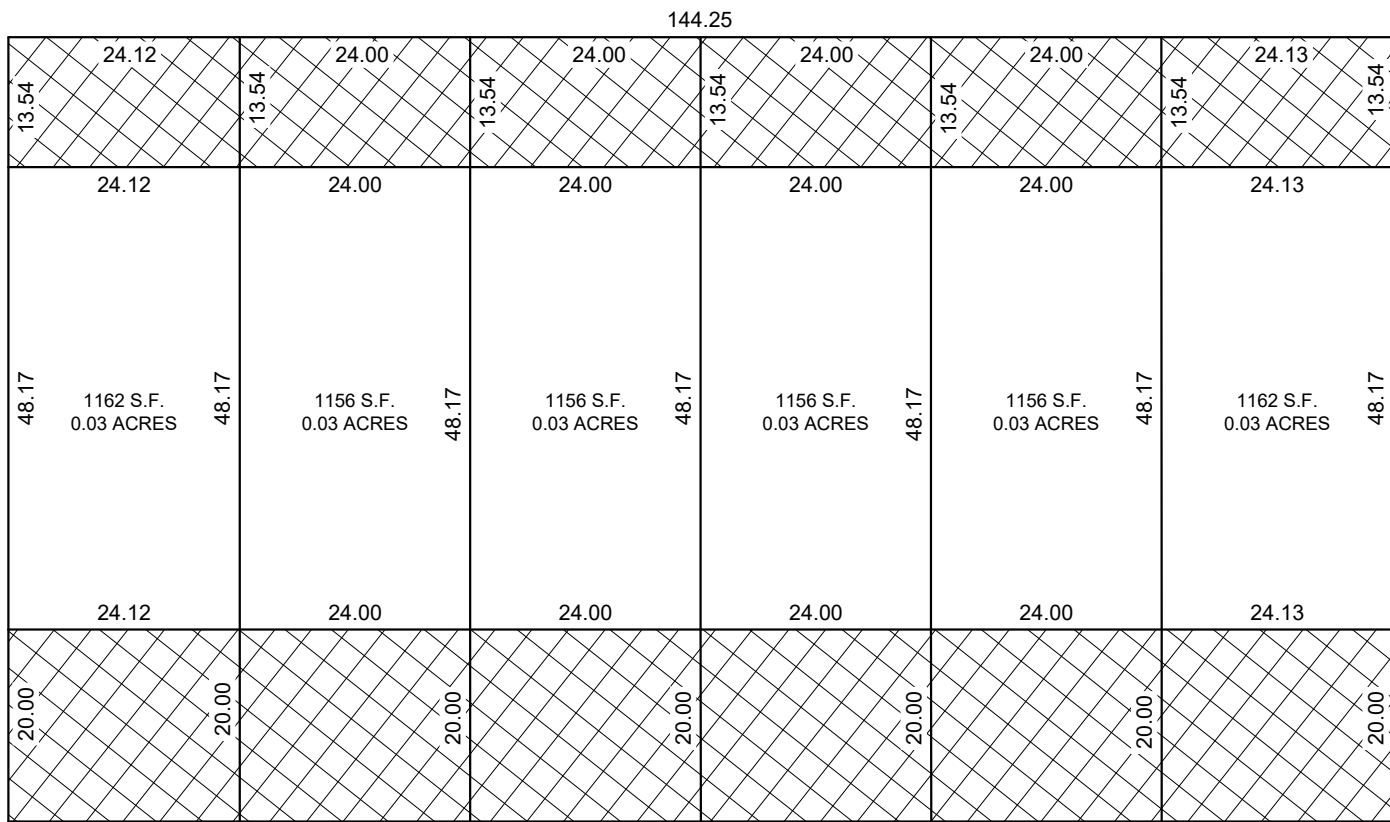
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



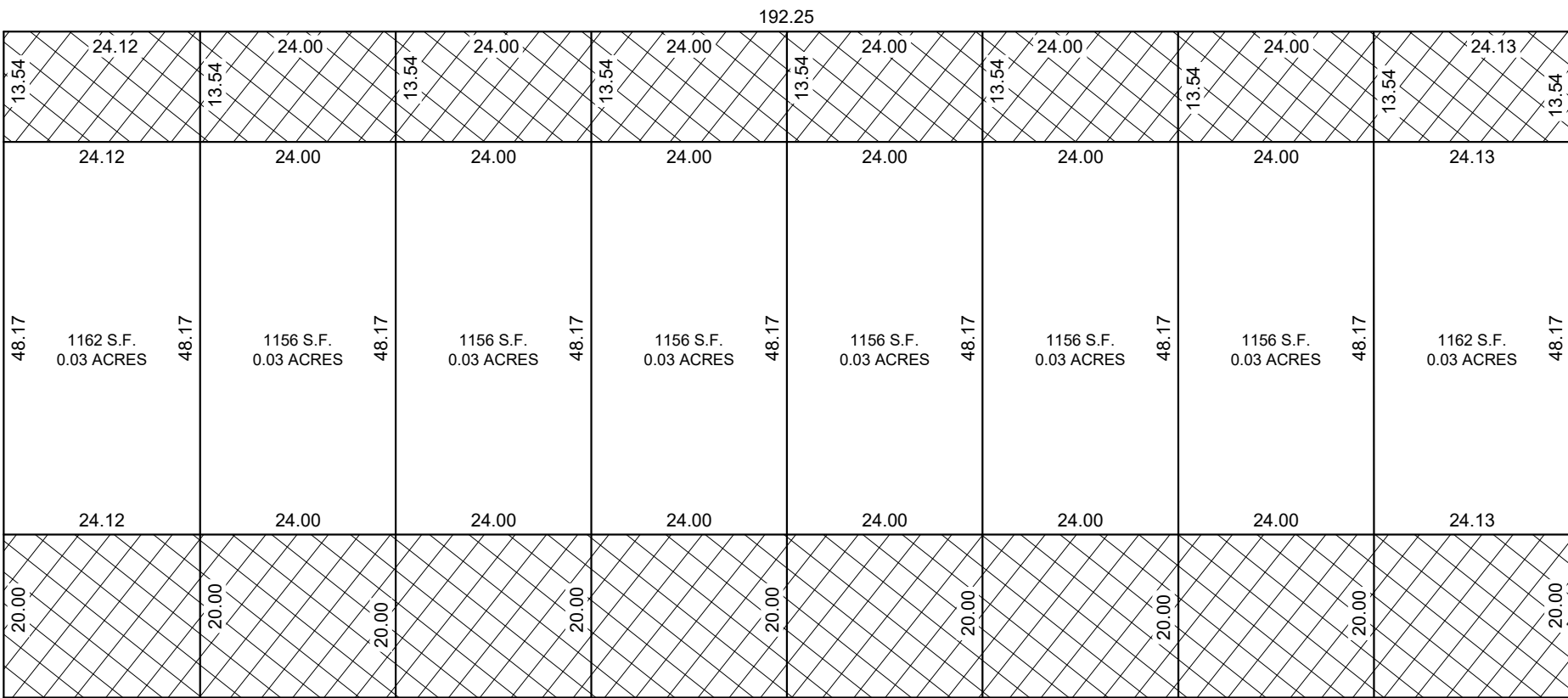
**BUILDING 9, 11**  
LOTS 4615 THRU 4620  
4629 THRU 4634



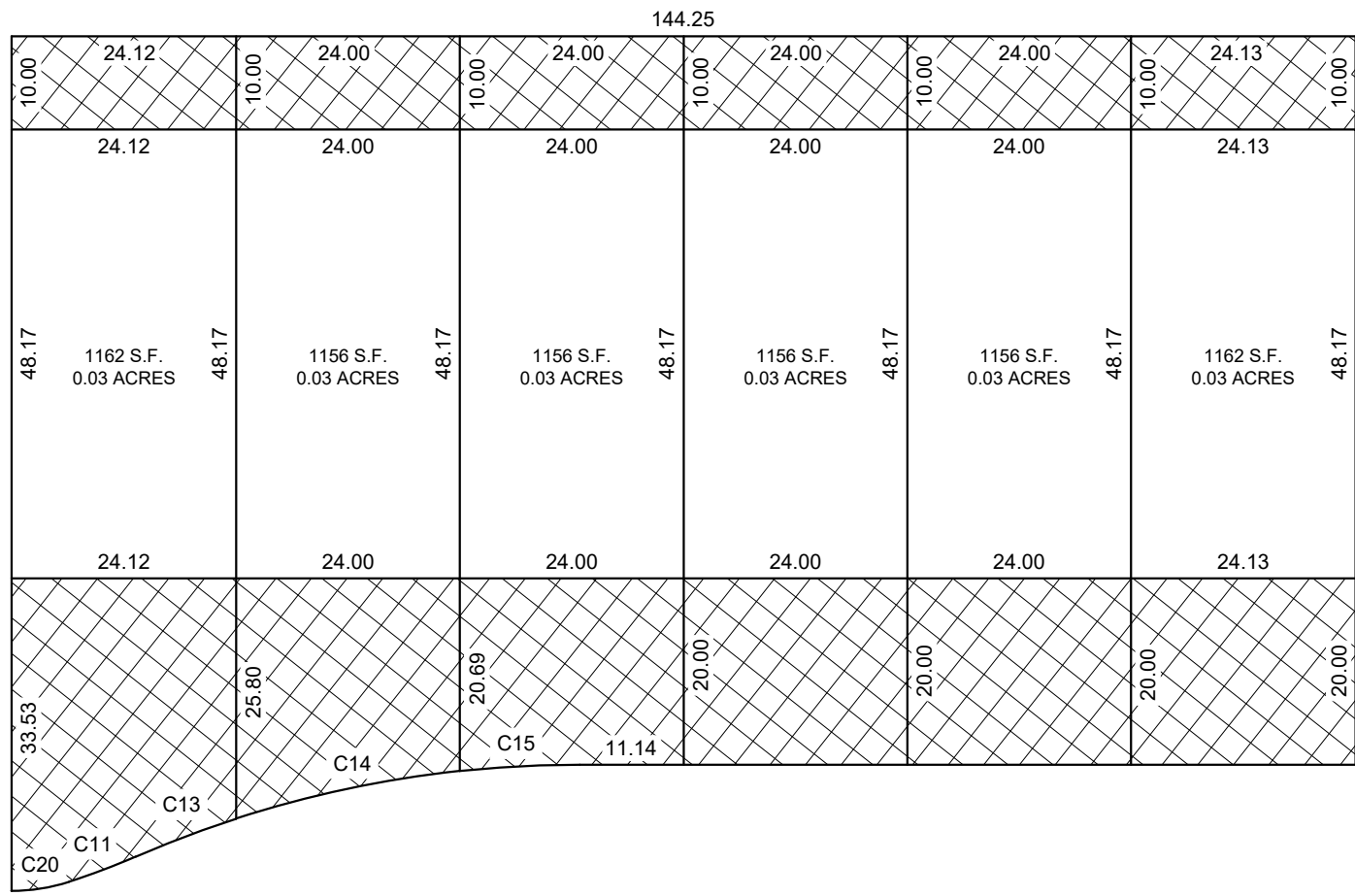
**BUILDING 10**  
LOTS 4621 THRU 4628



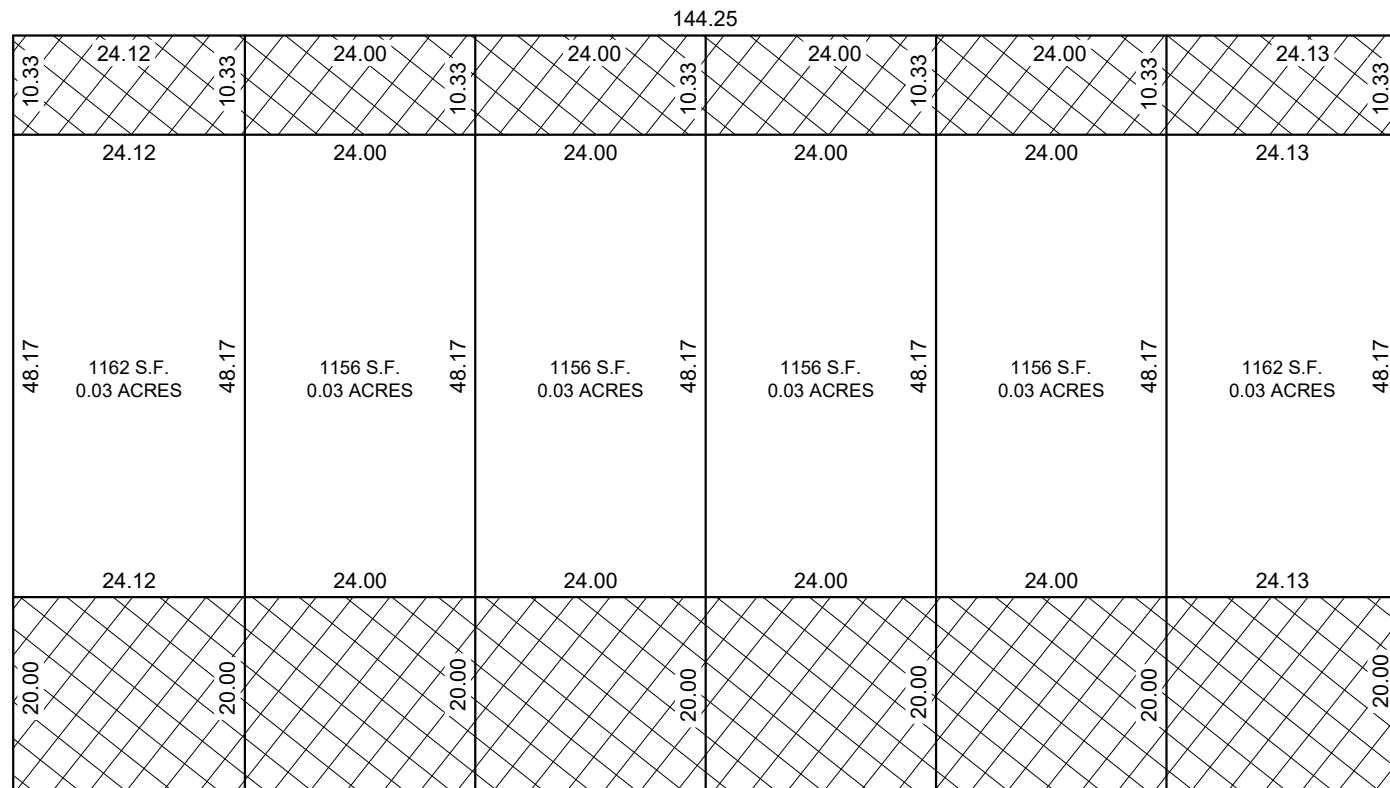
**BUILDING 12, 14**  
LOTS 4595 THRU 4600  
4609 THRU 4614



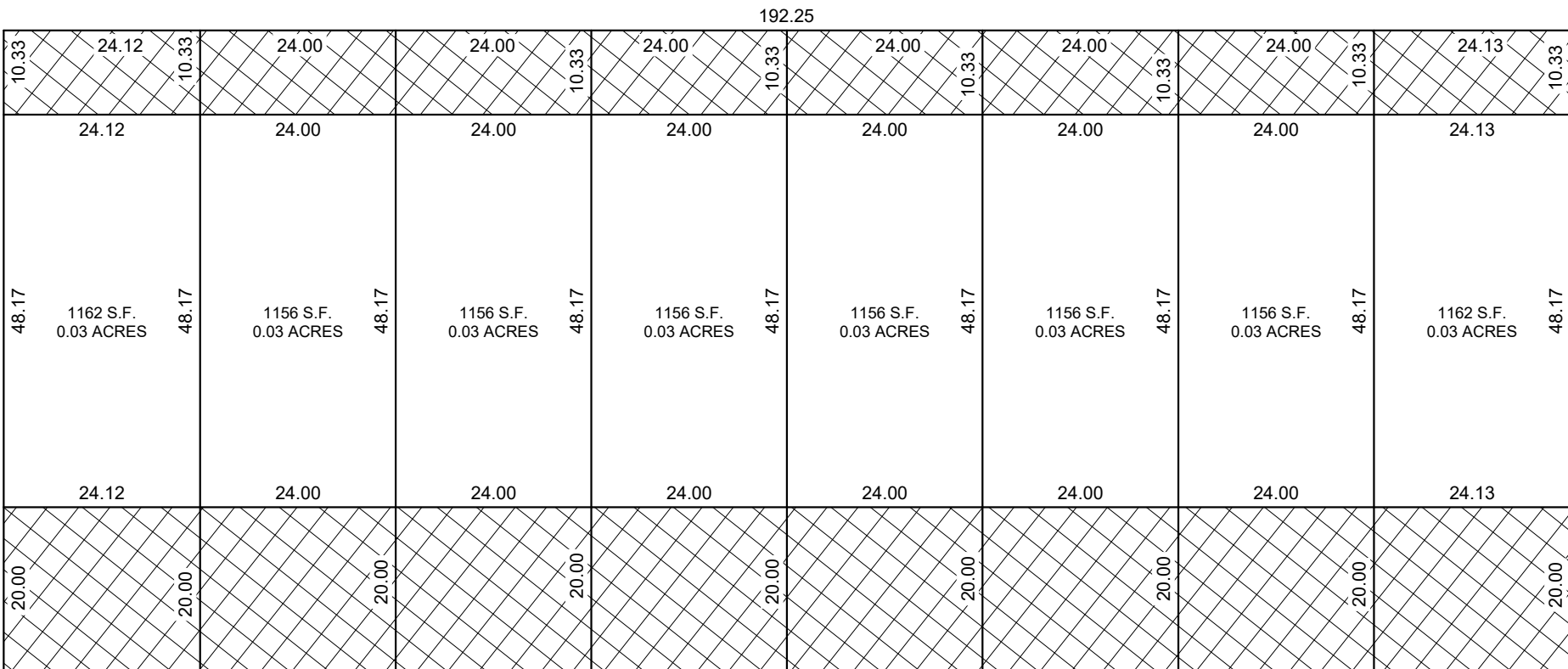
**BUILDING 13**  
LOTS 4601 THRU 4608



**BUILDING 15**  
LOTS 4569 THRU 4574



**BUILDING 16, 18**  
LOTS 4575 THRU 4580  
4589 THRU 4594



**BUILDING 17**  
LOTS 4581 THRU 4588

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS
	LIMITED COMMON AREA

## WILDFLOWER VILLAGE 9 PLAT W-2

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



CIVIL  
STRUCTURAL  
SURVEY

3302 N. Main Street  
Spencer Fork, UT 84660  
Phone: 801-798-0555  
Fax: 801-798-9353  
office@lei-eng.com  
www.lei-eng.com

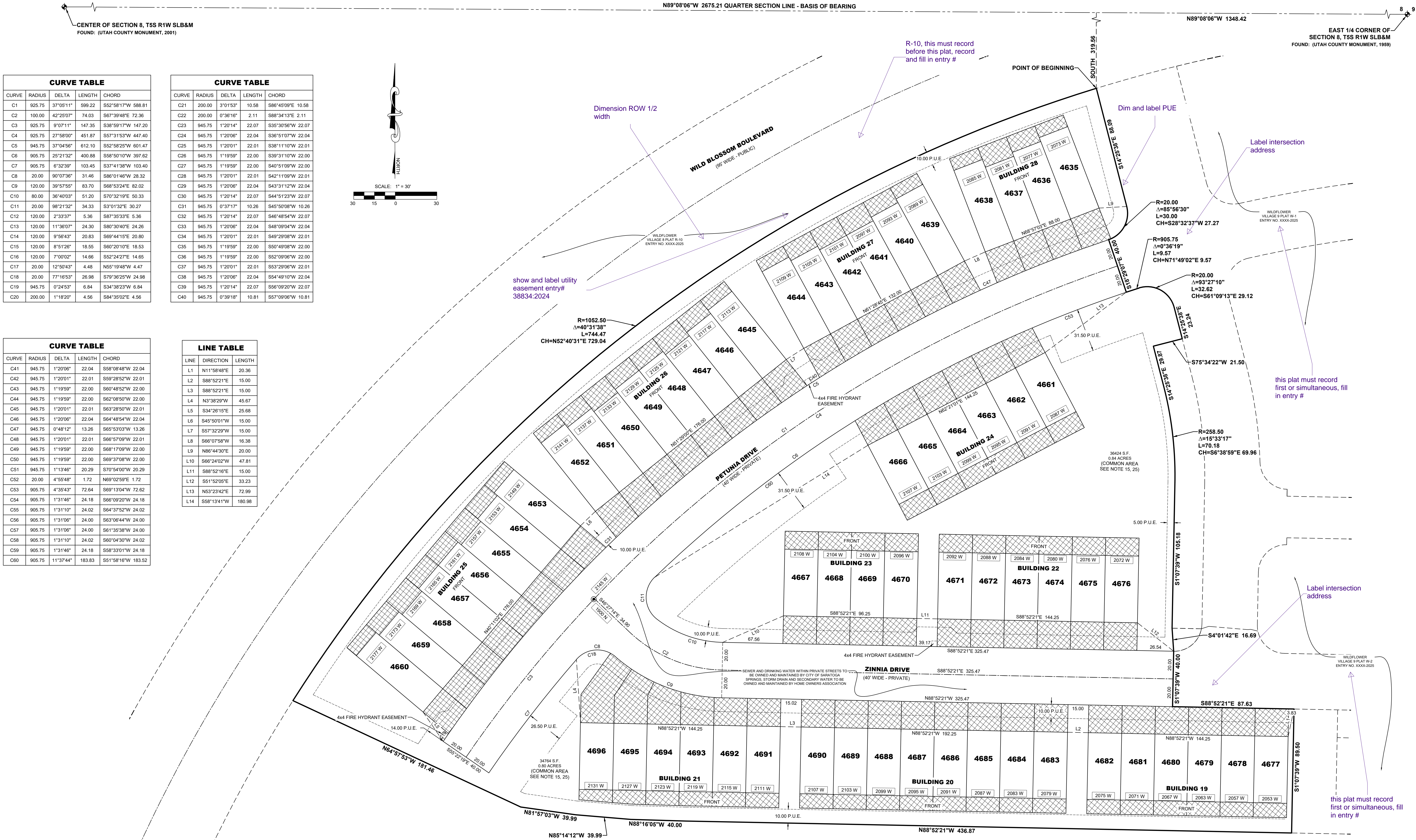
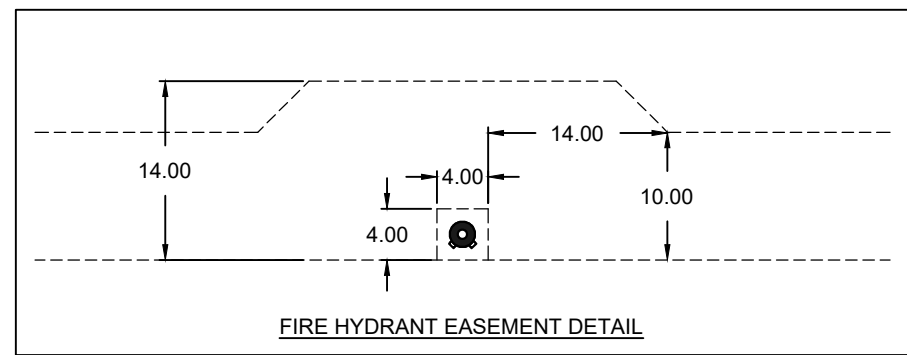


CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	925.75	37°05'11"	599.22	S52°58'17"W 588.81
C2	100.00	42°26'07"	74.03	S67°39'48"E 72.36
C3	925.75	9°07'11"	147.35	S38°59'17"W 147.20
C4	925.75	27°58'00"	451.87	S57°31'53"W 447.40
C5	945.75	37°04'56"	612.10	S52°58'25"W 601.47
C6	905.75	25°21'32"	400.88	S58°50'10"W 397.62
C7	905.75	6°32'39"	103.45	S37°41'38"W 103.40
C8	20.00	90°07'36"	31.46	S86°01'46"W 28.32
C9	120.00	39°57'55"	83.70	S68°53'24"E 82.02
C10	80.00	36°40'03"	51.20	S70°32'19"E 50.33
C11	20.00	98°21'32"	34.33	S3°01'32"E 30.27
C12	120.00	2°33'37"	5.36	S87°35'33"E 5.36
C13	120.00	11°36'07"	24.30	S80°30'40"E 24.26
C14	120.00	9°56'43"	20.83	S69°44'15"E 20.80
C15	120.00	8°51'26"	18.55	S60°20'10"E 18.53
C16	120.00	7°00'02"	14.66	S52°24'27"E 14.65
C17	20.00	12°50'43"	4.48	N55°19'48"W 4.47
C18	20.00	77°16'53"	26.98	S79°36'25"W 24.98
C19	945.75	0°24'53"	6.84	S34°38'23"W 6.84
C20	200.00	1°19'20"	4.56	S84°35'02"E 4.56

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C21	200.00	3°01'53"	10.58	S86°45'09"E 10.58
C22	200.00	0°36'16"	2.11	S88°34'13"E 2.11
C23	945.75	1°20'14"	22.07	S35°30'56"W 22.07
C24	945.75	1°20'06"	22.04	S36°51'07"W 22.04
C25	945.75	1°20'01"	22.01	S38°11'10"W 22.01
C26	945.75	1°19'59"	22.00	S39°31'10"W 22.00
C27	945.75	1°19'59"	22.00	S40°51'09"W 22.00
C28	945.75	1°20'01"	22.01	S42°11'09"W 22.01
C29	945.75	1°20'06"	22.04	S43°31'12"W 22.04
C30	945.75	1°20'14"	22.07	S44°51'23"W 22.07
C31	945.75	0°37'17"	10.26	S45°50'08"W 10.26
C32	945.75	1°20'14"	22.07	S46°48'54"W 22.07
C33	945.75	1°20'06"	22.04	S48°09'04"W 22.04
C34	945.75	1°20'01"	22.01	S49°29'08"W 22.01
C35	945.75	1°19'59"	22.00	S50°49'08"W 22.00
C36	945.75	1°19'59"	22.00	S52°09'06"W 22.00
C37	945.75	1°20'01"	22.01	S53°29'06"W 22.01
C38	945.75	1°20'06"	22.04	S54°49'10"W 22.04
C39	945.75	1°20'14"	22.07	S56°09'20"W 22.07
C40	945.75	0°39'18"	10.81	S57°09'06"W 10.81

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C41	945.75	1°20'06"	22.04	S58°08'48"W 22.04
C42	945.75	1°20'01"	22.01	S59°28'52"W 22.01
C43	945.75	1°19'59"	22.00	S60°48'52"W 22.00
C44	945.75	1°19'59"	22.00	S62°08'50"W 22.00
C45	945.75	1°20'01"	22.01	S63°28'50"W 22.01
C46	945.75	1°20'06"	22.04	S64°48'54"W 22.04
C47	945.75	0°48'12"	13.26	S65°53'03"W 13.26
C48	945.75	1°20'01"	22.01	S66°57'09"W 22.01
C49	945.75	1°19'59"	22.00	S68°17'09"W 22.00
C50	945.75	1°19'59"	22.00	S69°37'08"W 22.00
C51	945.75	1°13'46"	20.29	S70°54'00"W 20.29
C52	20.00	4°56'48"	1.72	N69°02'59"E 1.72
C53	905.75	4°35'43"	72.64	S69°13'04"W 72.62
C54	905.75	1°31'46"	24.18	S66°09'20"W 24.16
C55	905.75	1°31'10"	24.02	S64°37'52"W 24.02
C56	905.75	1°31'06"	24.00	S63°06'44"W 24.00
C57	905.75	1°31'06"	24.00	S61°35'38"W 24.00
C58	905.75	1°31'10"	24.02	S60°04'30"W 24.02
C59	905.75	1°31'46"	24.18	S58°33'01"W 24.18
C60	905.75	11°37'44"	183.83	S51°58'16"W 183.52

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N11°58'48"E	20.36
L2	S88°52'21"E	15.00
L3	S88°52'21"E	15.00
L4	N3°38'29"W	45.67
L5	S34°26'15"E	25.68
L6	S45°50'01"W	15.00
L7	S57°32'29"W	15.00
L8	S66°07'58"W	16.38
L9	N86°44'30"E	20.00
L10	S66°24'02"W	47.81
L11	S88°52'16"E	15.00
L12	S51°52'05"E	33.23
L13	N53°23'42"E	72.99
L14	S58°13'41"W	180.98



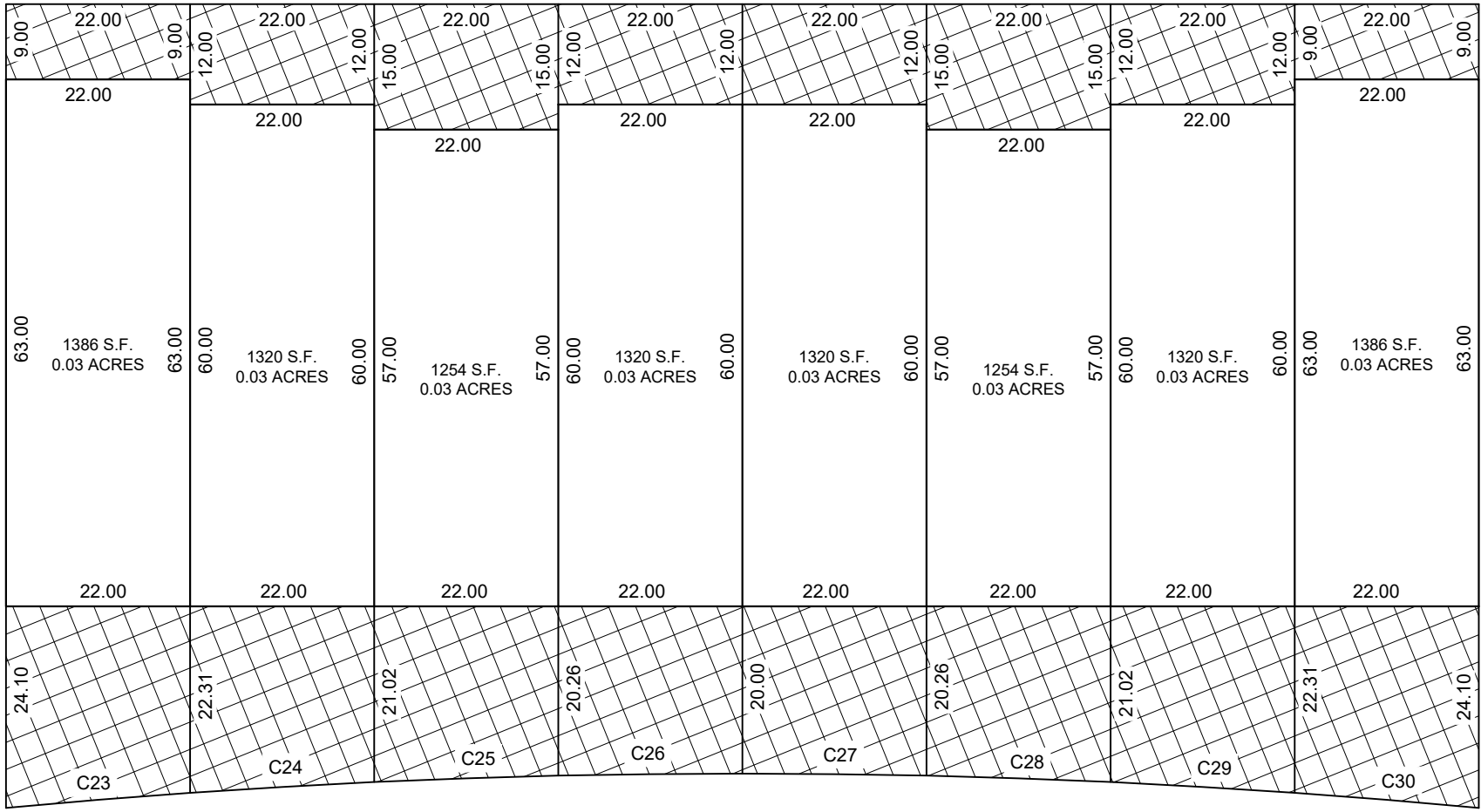
LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

## WILDFLOWER VILLAGE 9 PLAT W-3

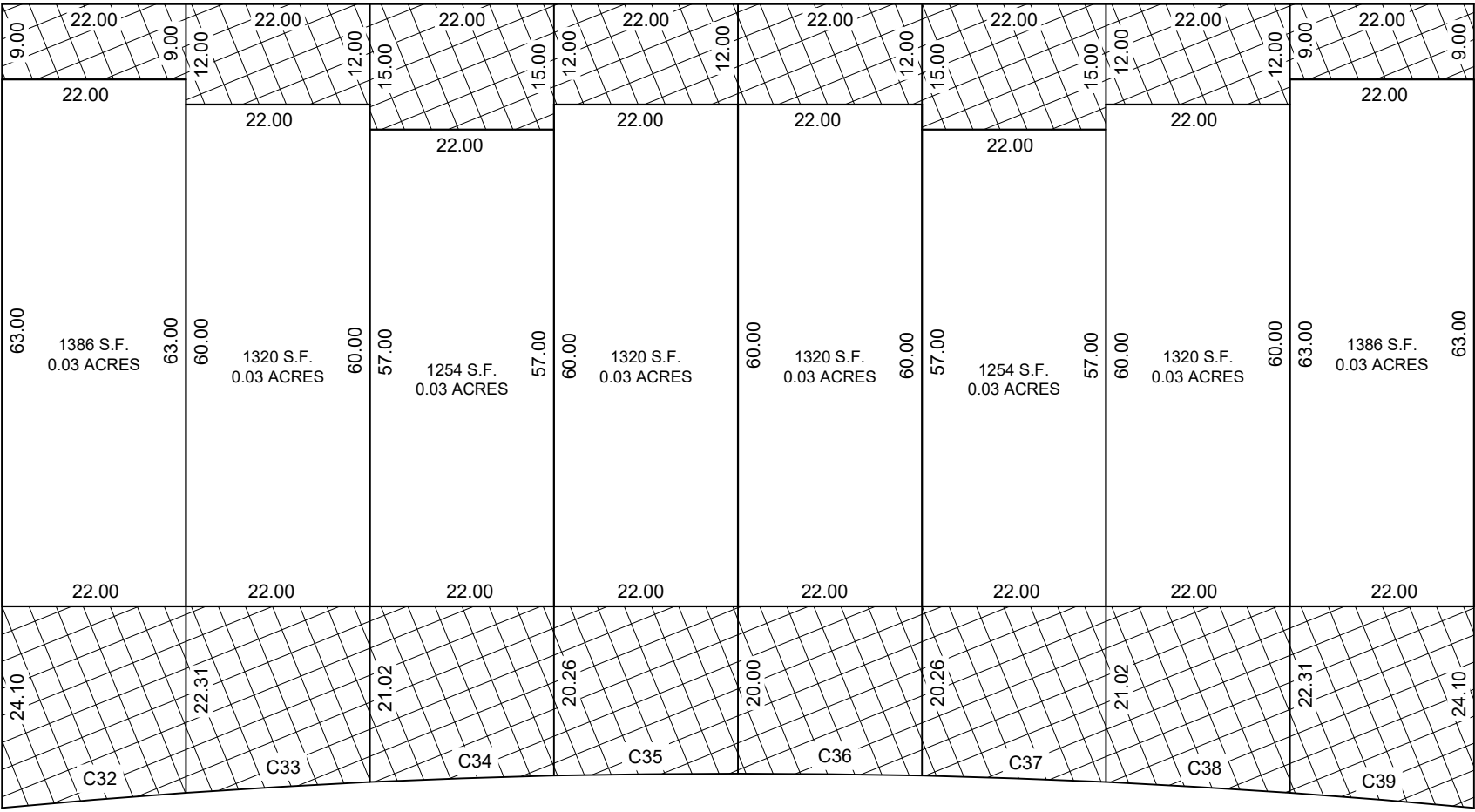
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

This form approved by Utah County and the municipalities therein.

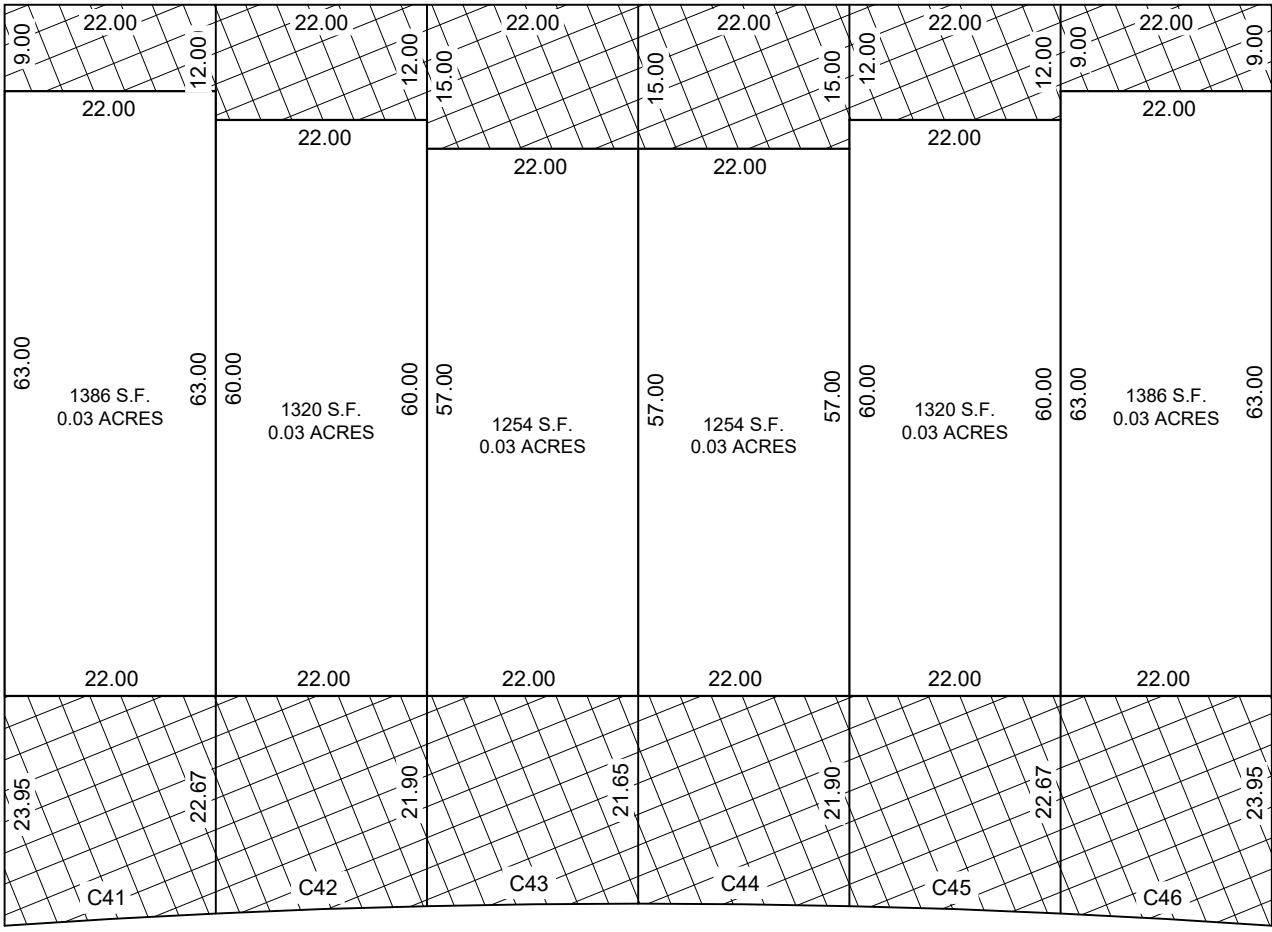
SHEET 2 OF 3  
LEI #23-0055



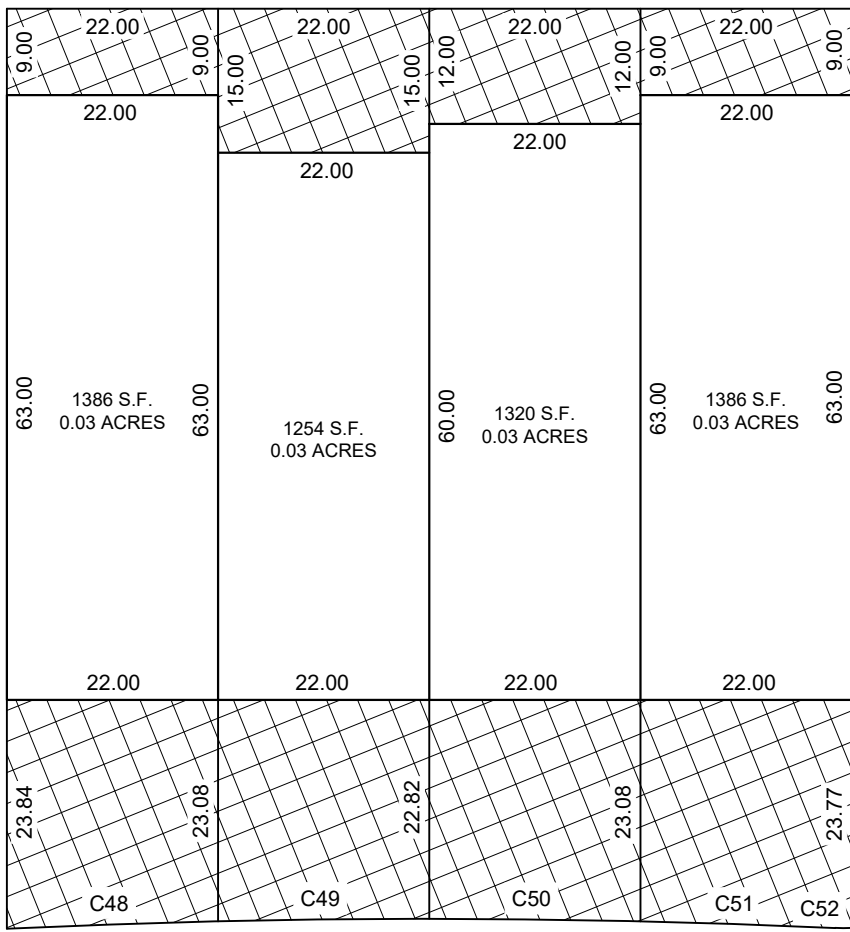
**BUILDING 25**  
LOTS 4653 THRU 4660



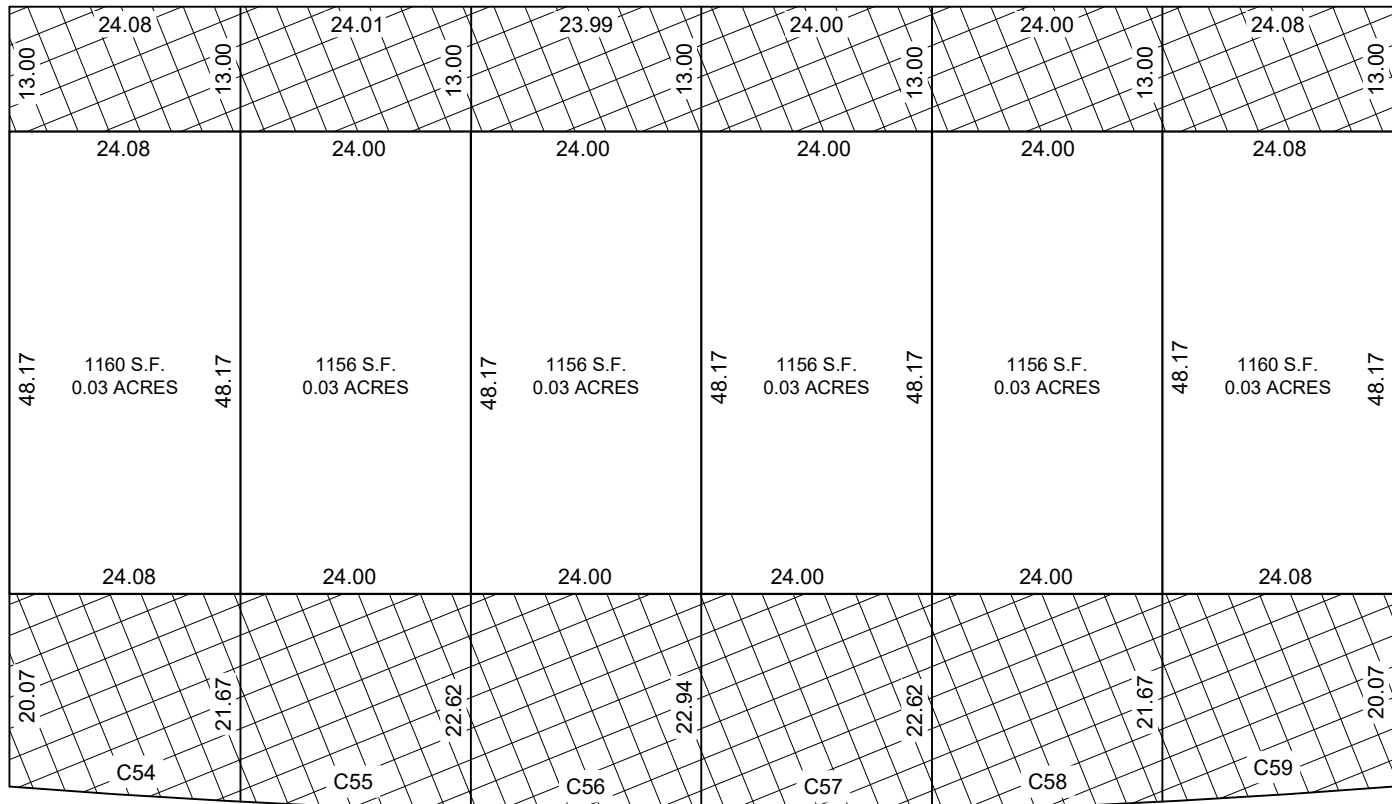
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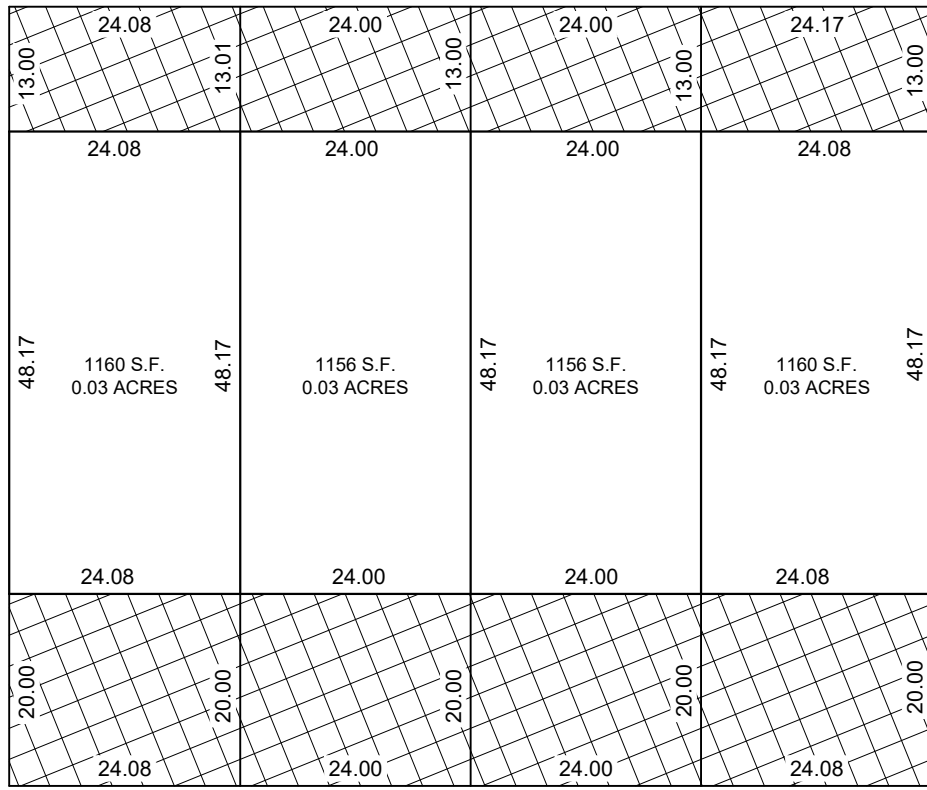
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LOTS 4639 THRU 4644



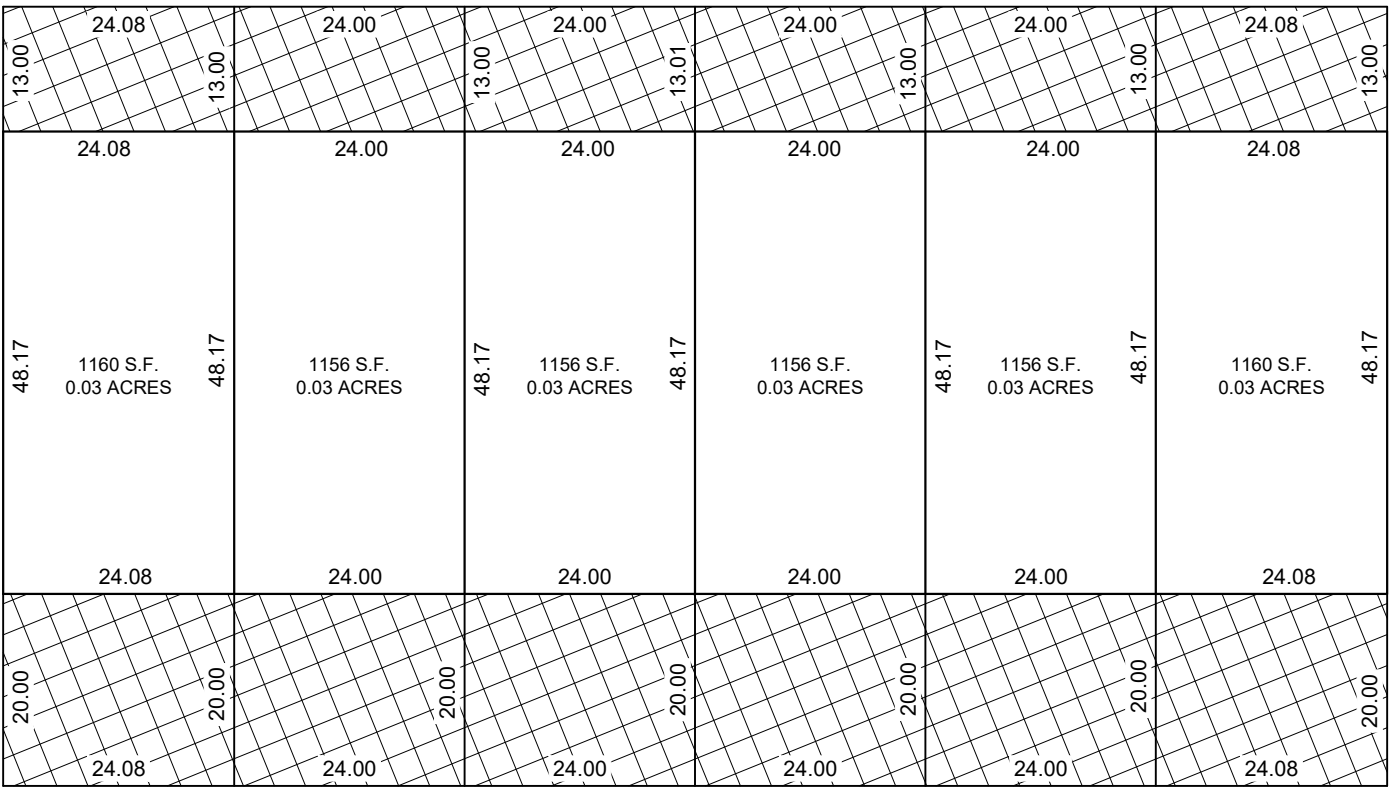
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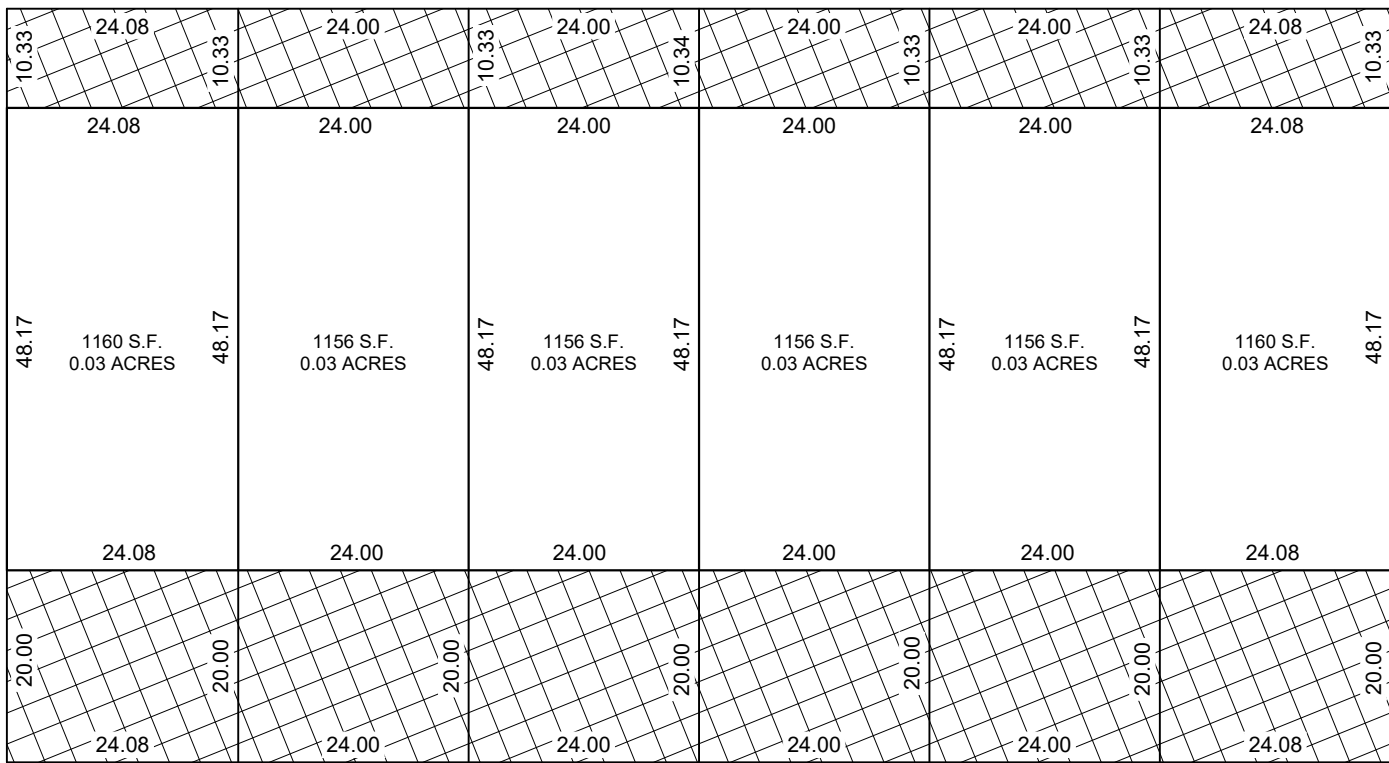
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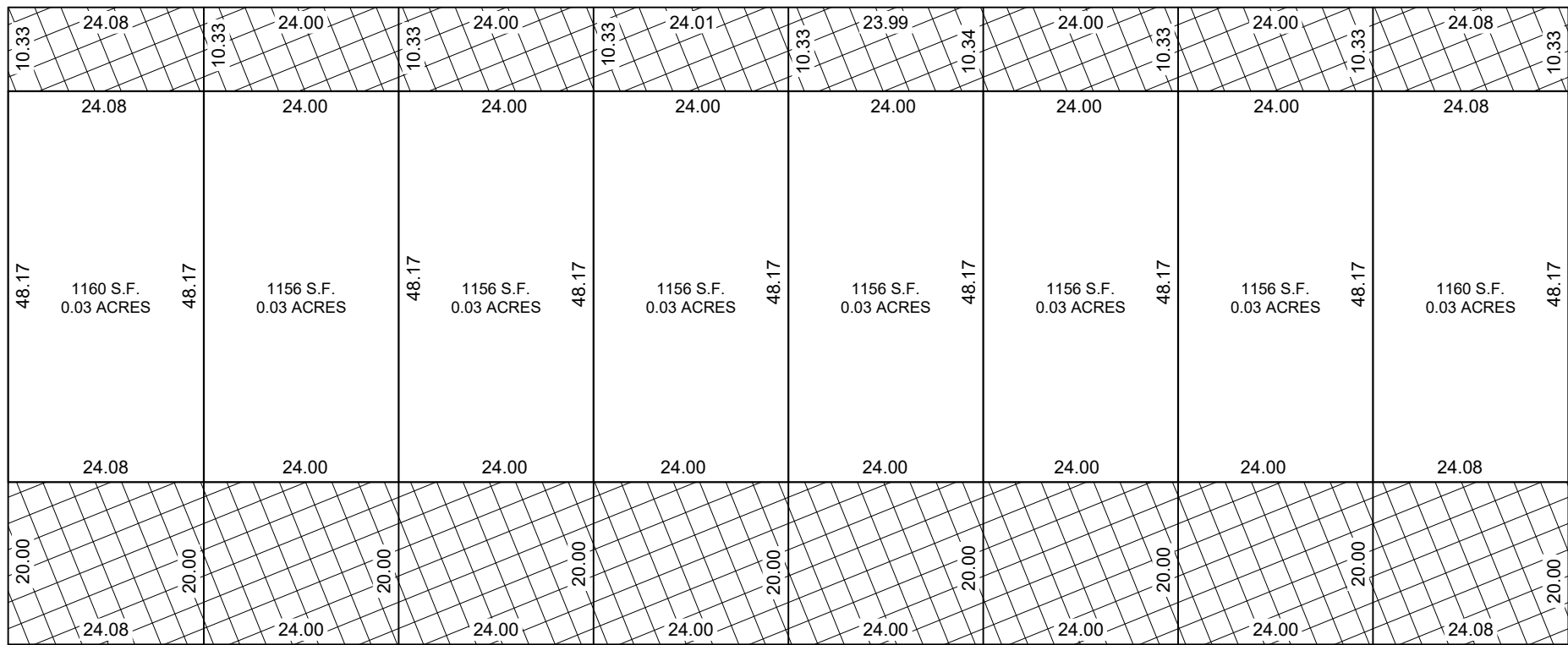
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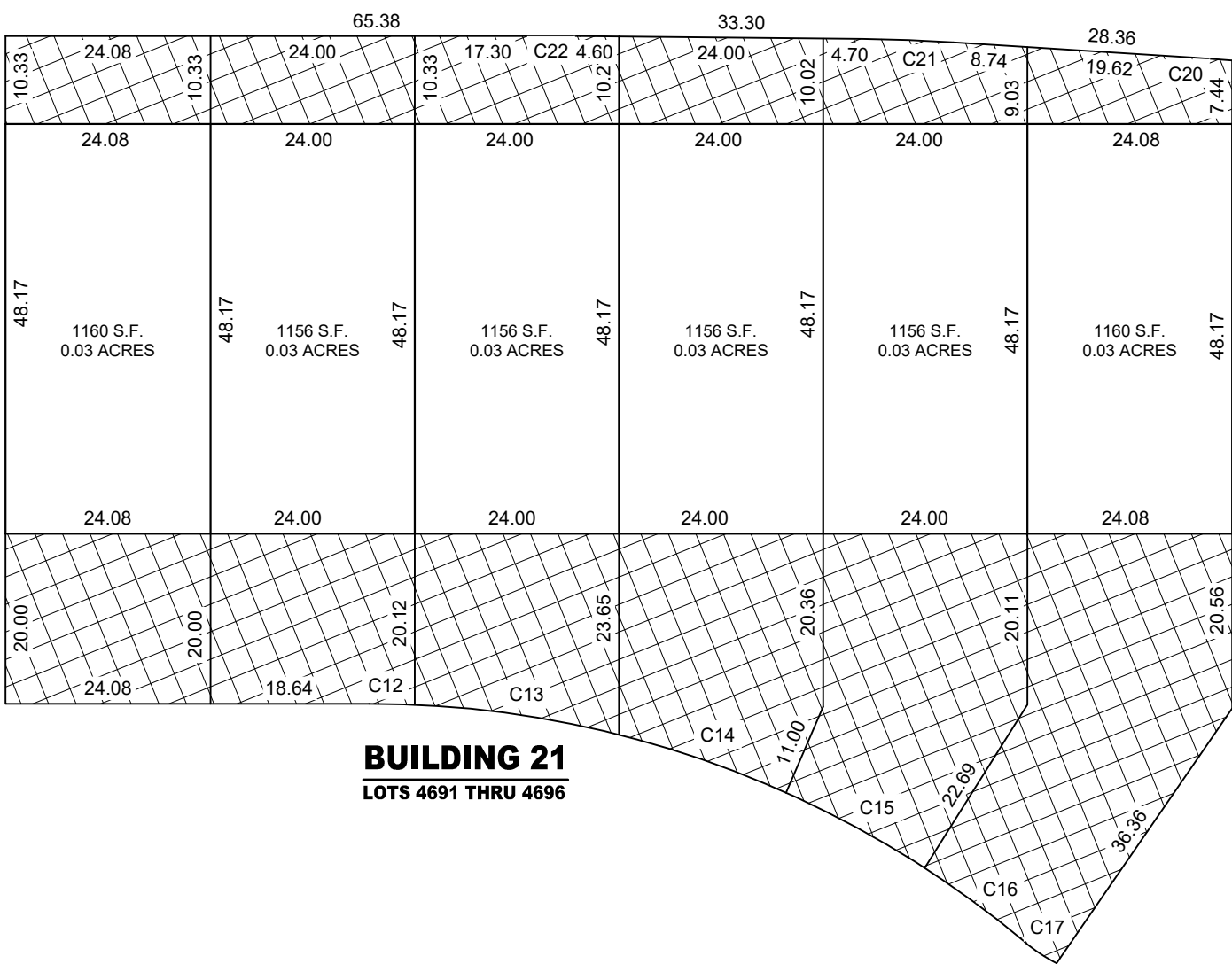
**BUILDING 22**  
LOTS 4671 THRU 4676  
4677 THRU 4682



**BUILDING 19**  
LOTS 4677 THRU 4682



**BUILDING 20**  
LOTS 4683 THRU 4690



**BUILDING 21**  
LOTS 4691 THRU 4696

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	EXISTING LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS
	LIMITED COMMON AREA

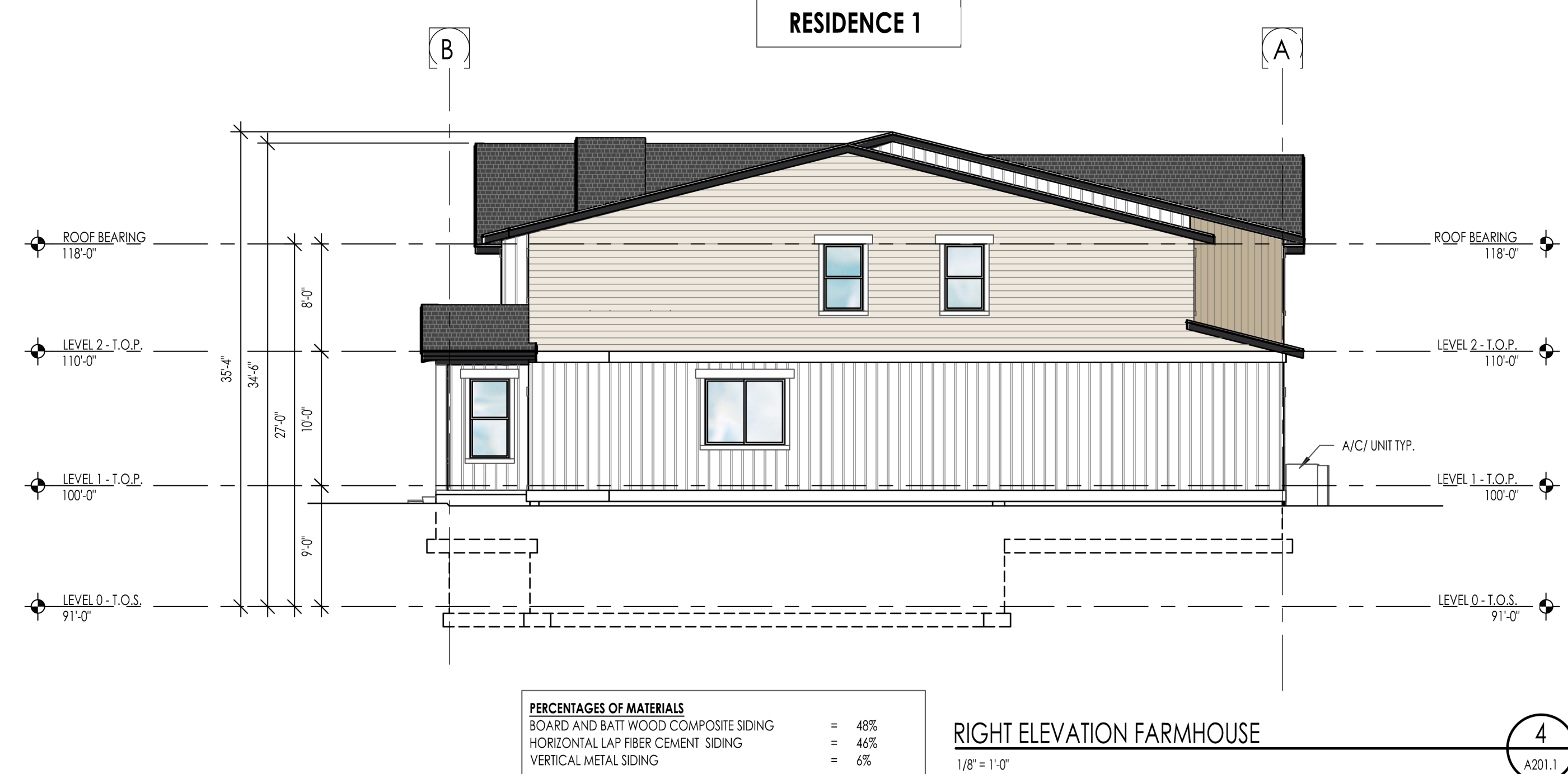
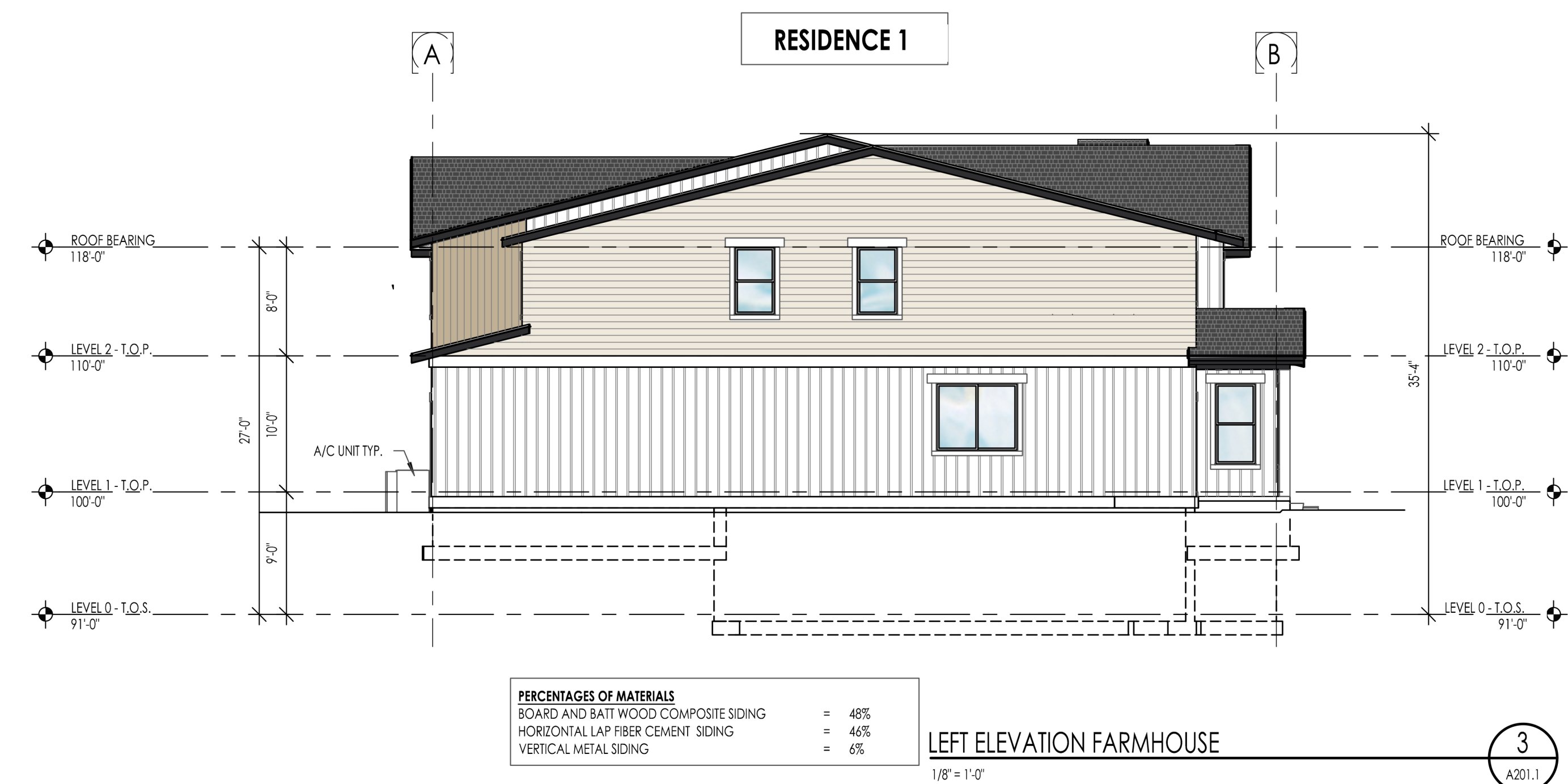
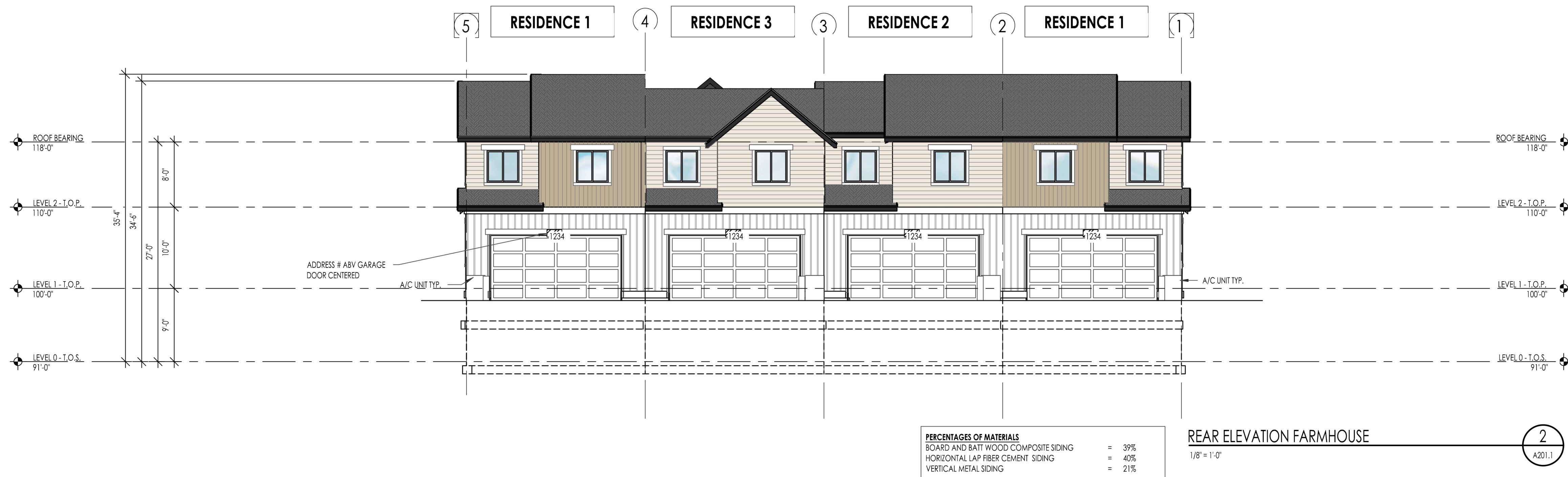
## WILDFLOWER VILLAGE 9 PLAT W-3

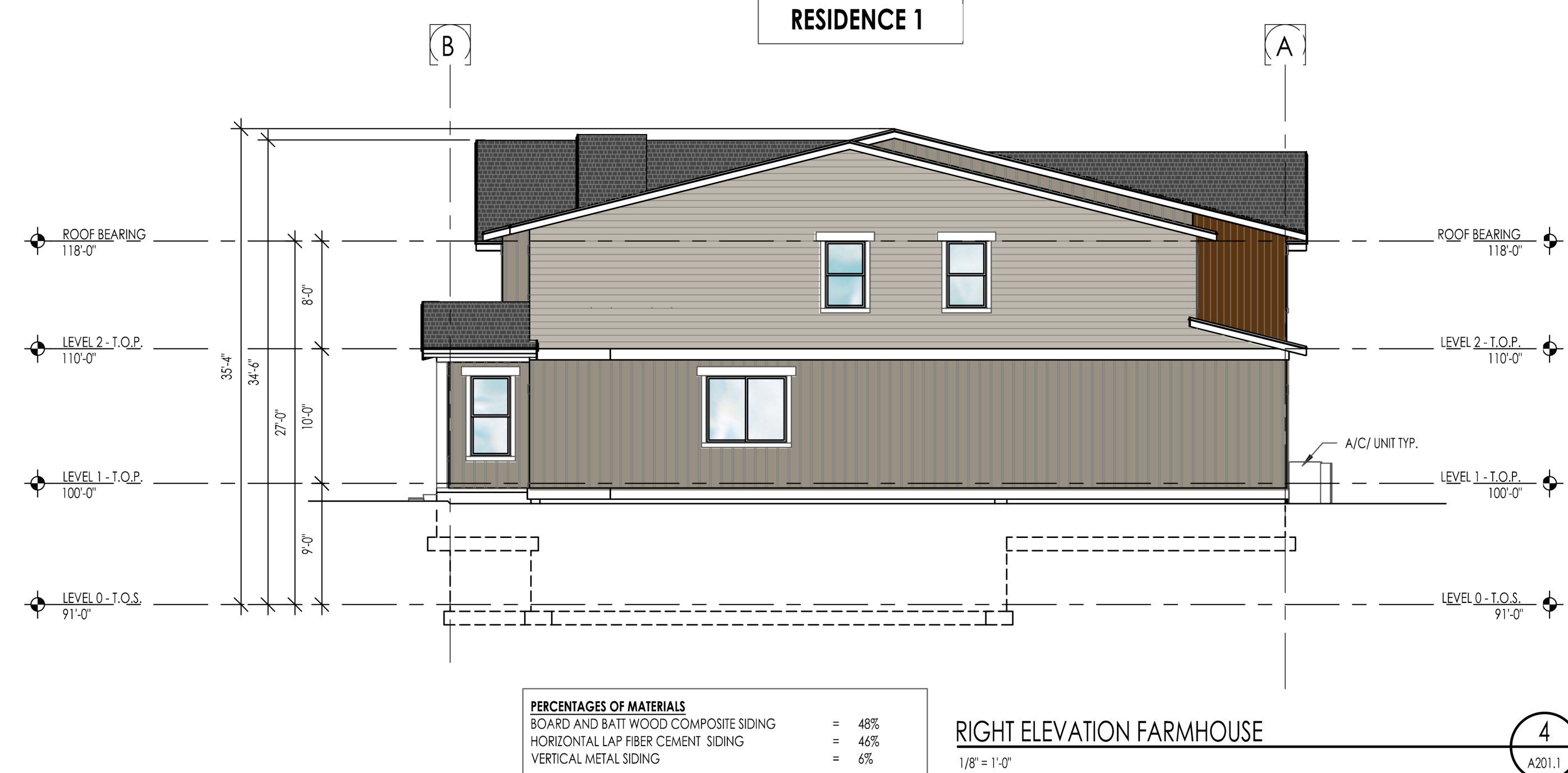
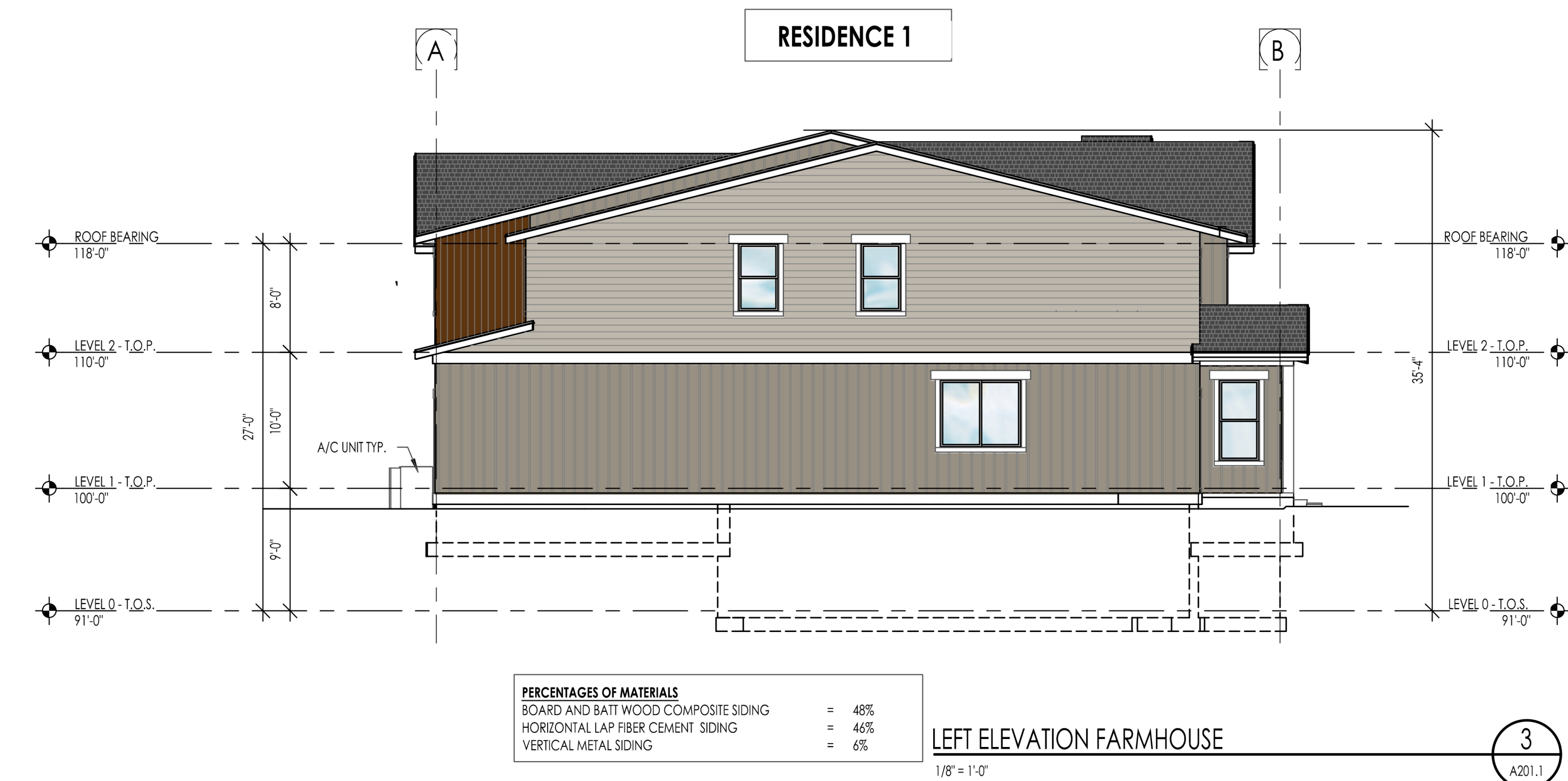
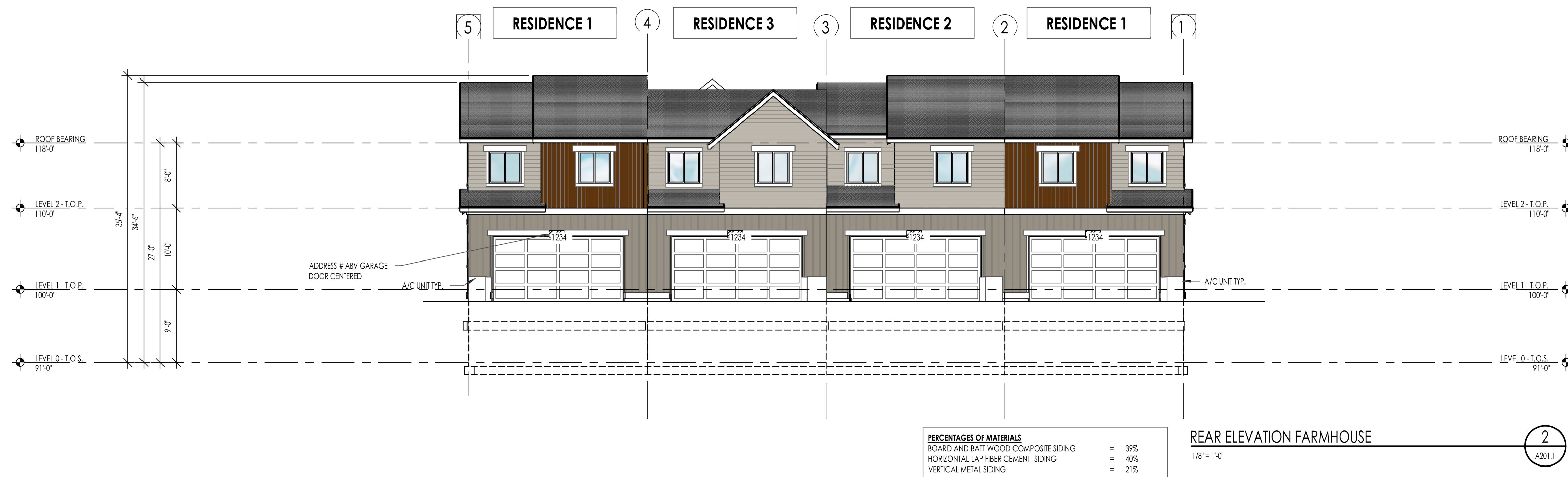
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH,  
RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN  
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

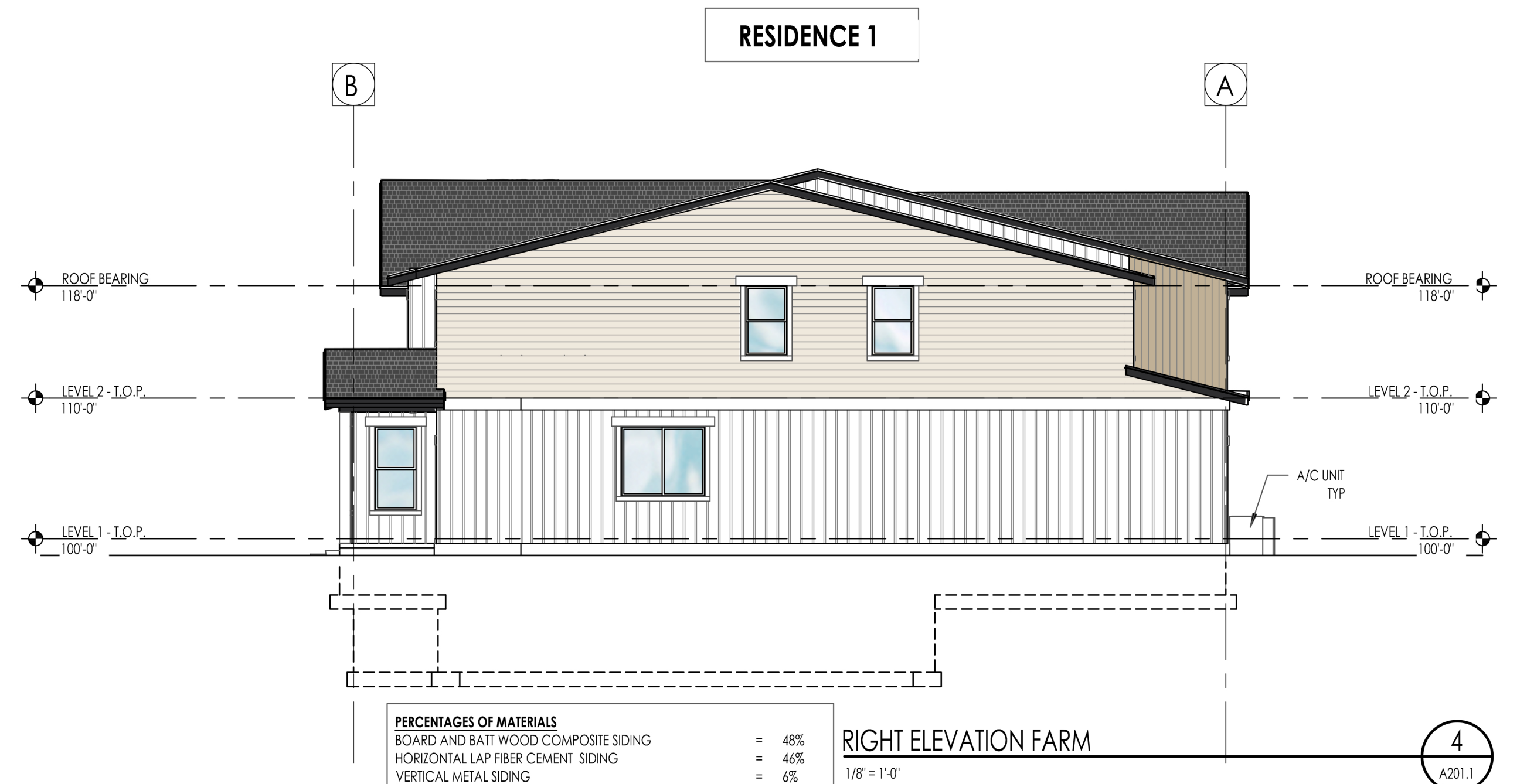
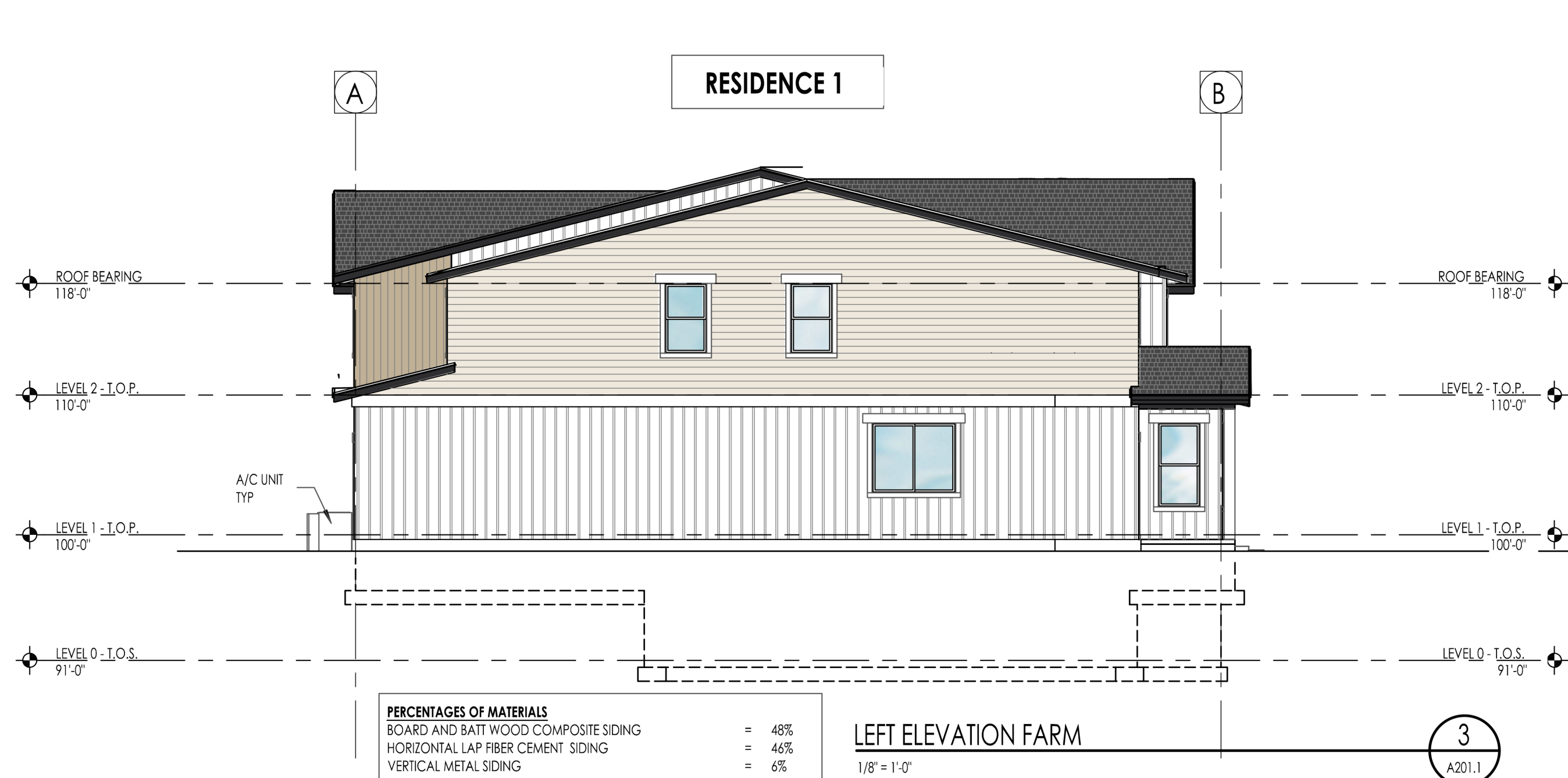
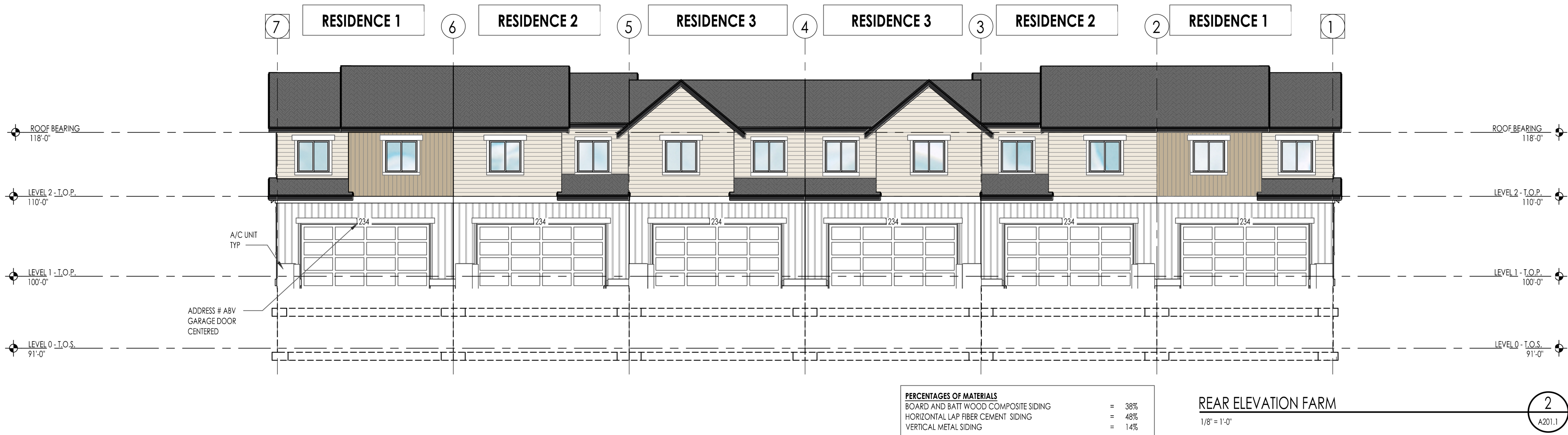
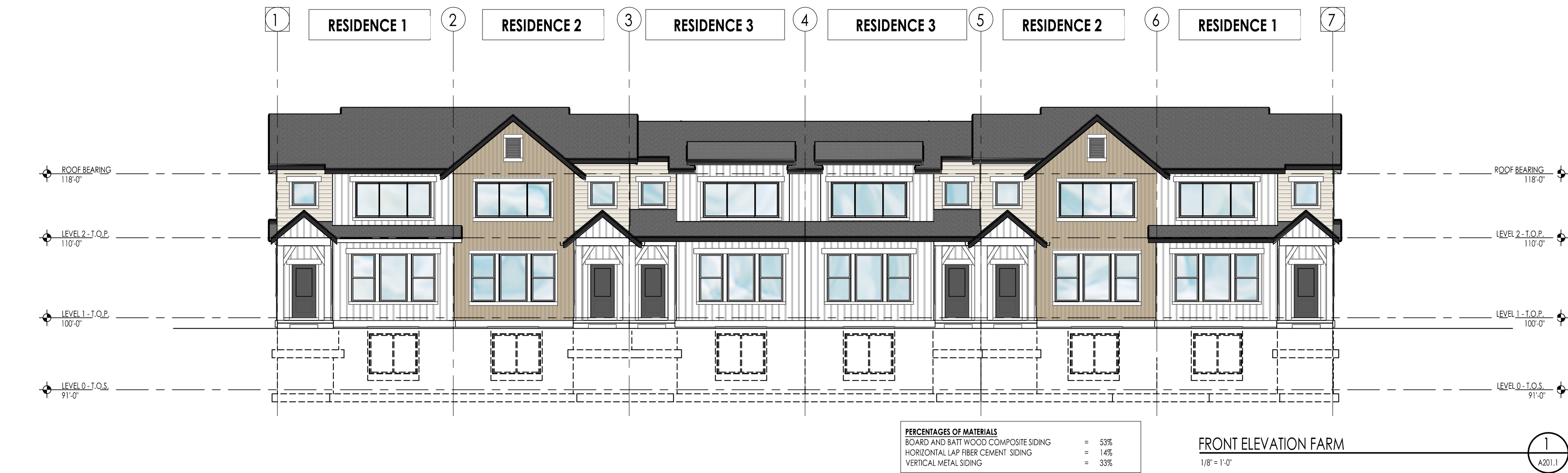


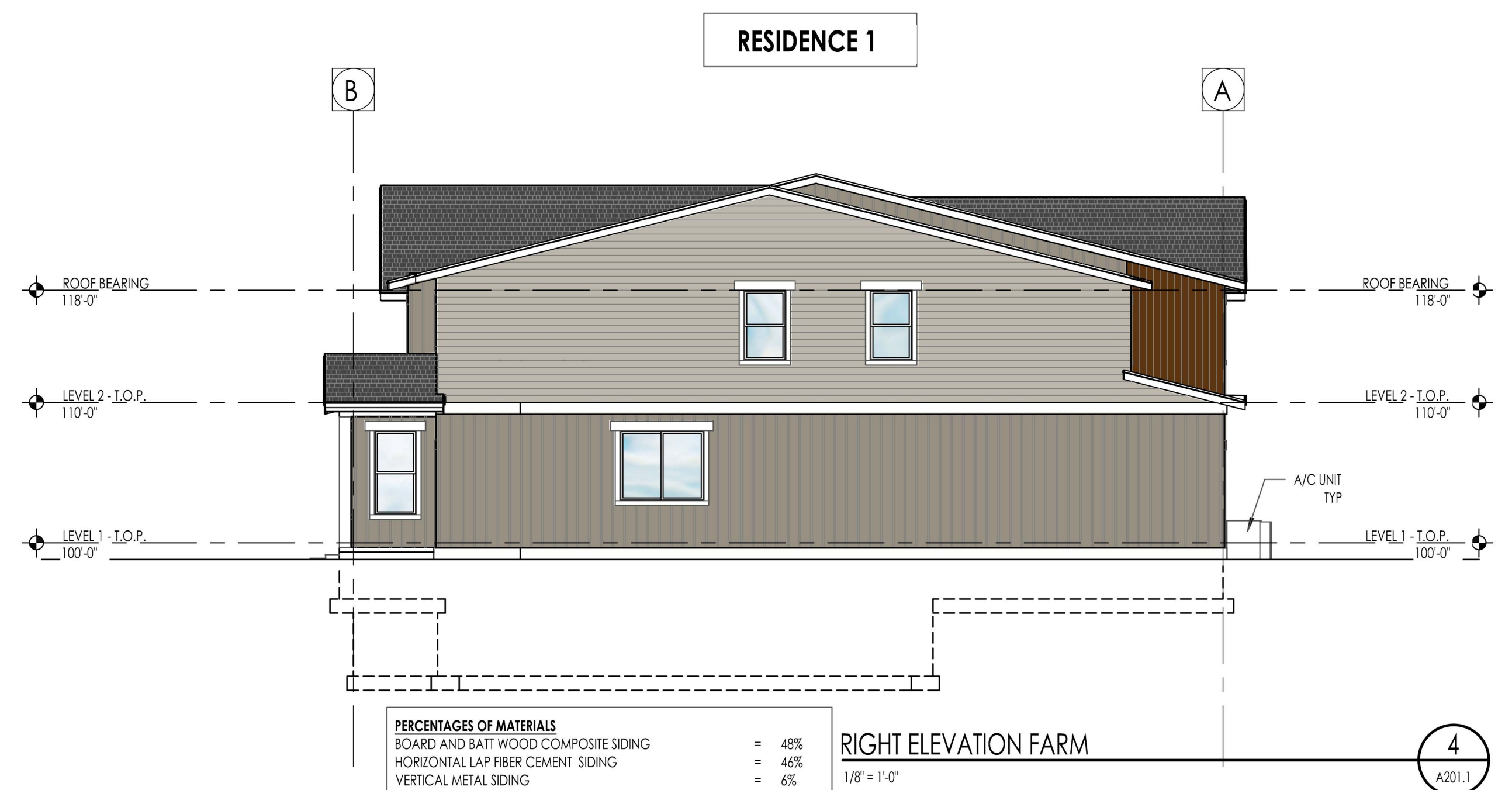
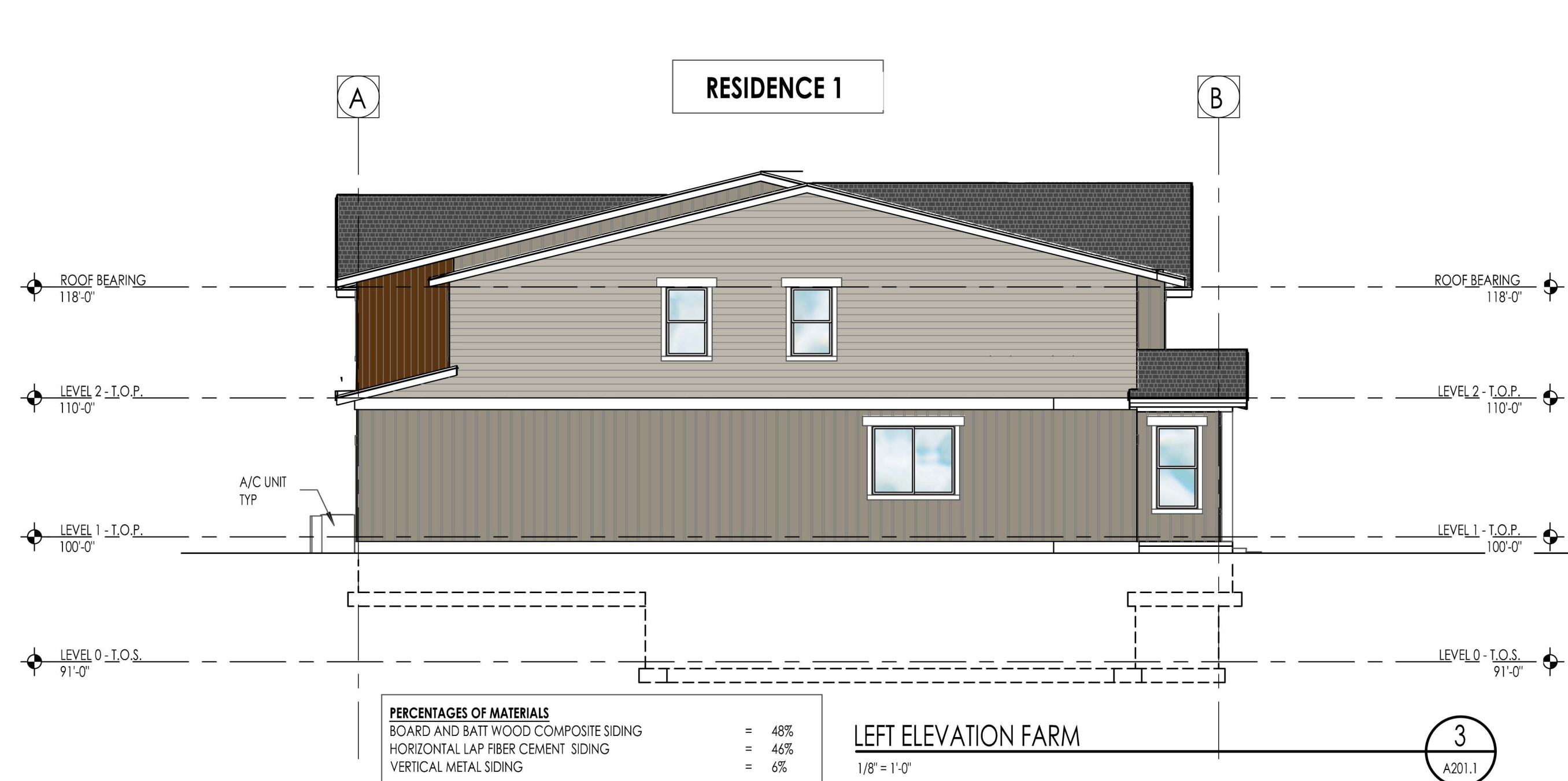
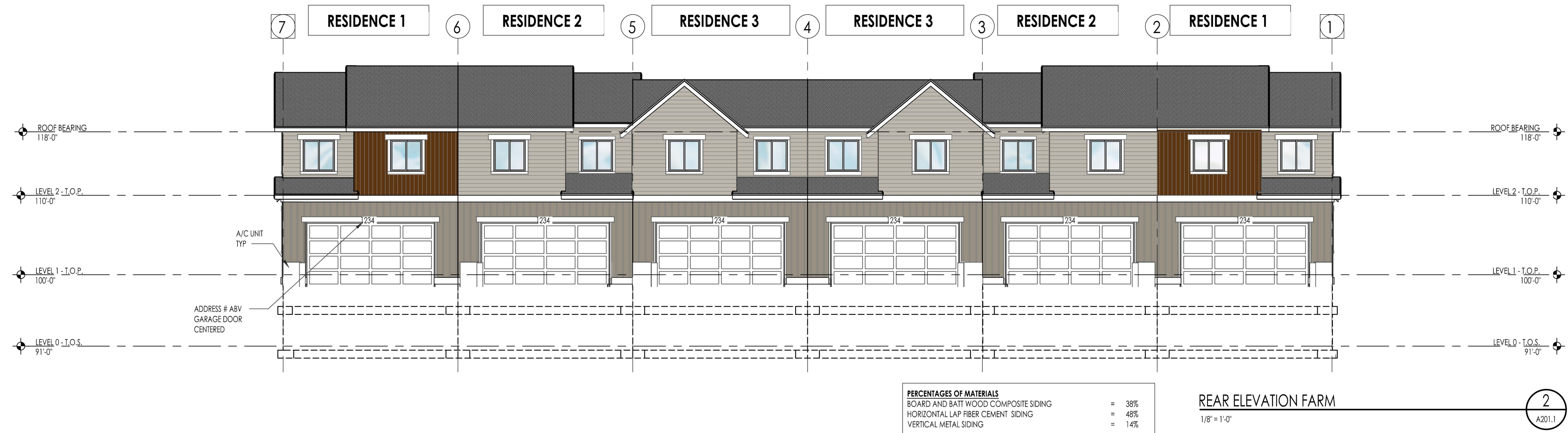
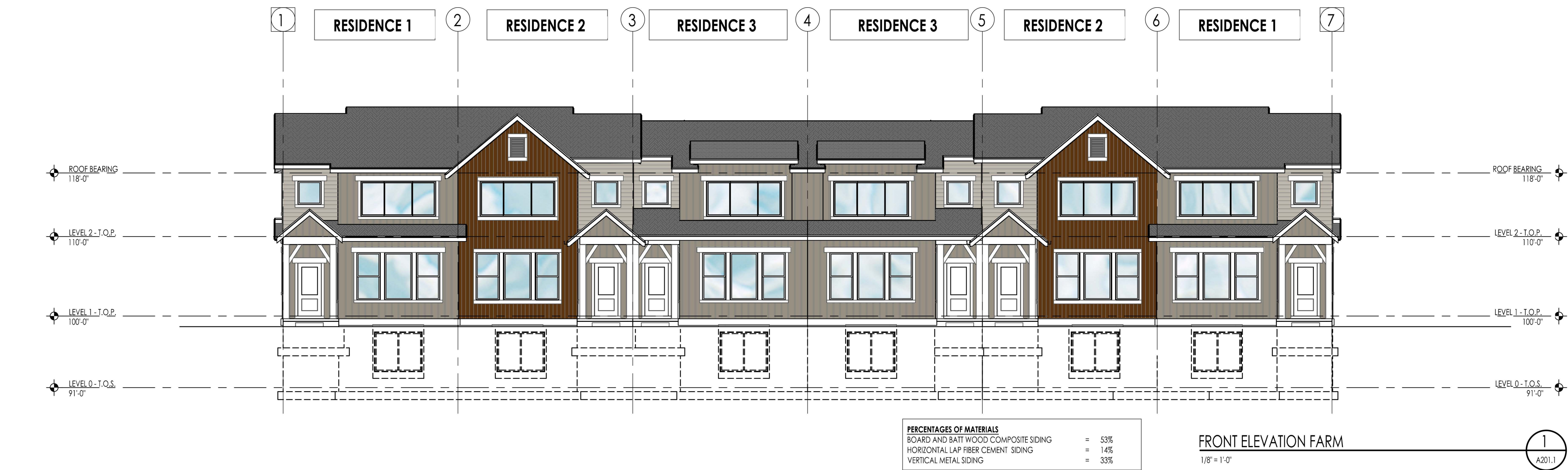
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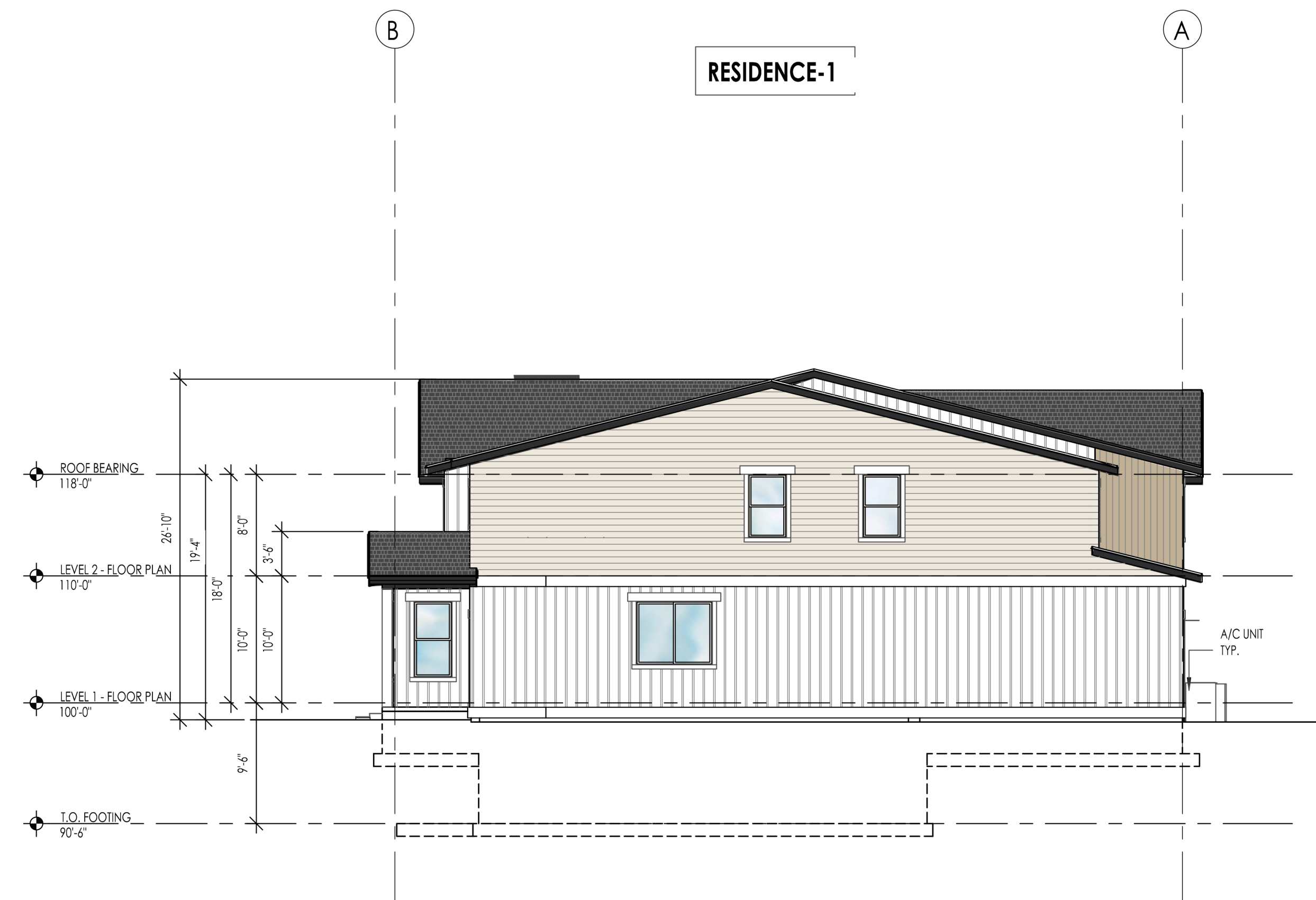


PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 40%
HORIZONTAL LAP FIBER CEMENT SIDING	= 14%
VERTICAL METAL SIDING	= 46%

FRONT ELEVATION FARMHOUSE

1/8" = 1'-0"

1  
A201.1

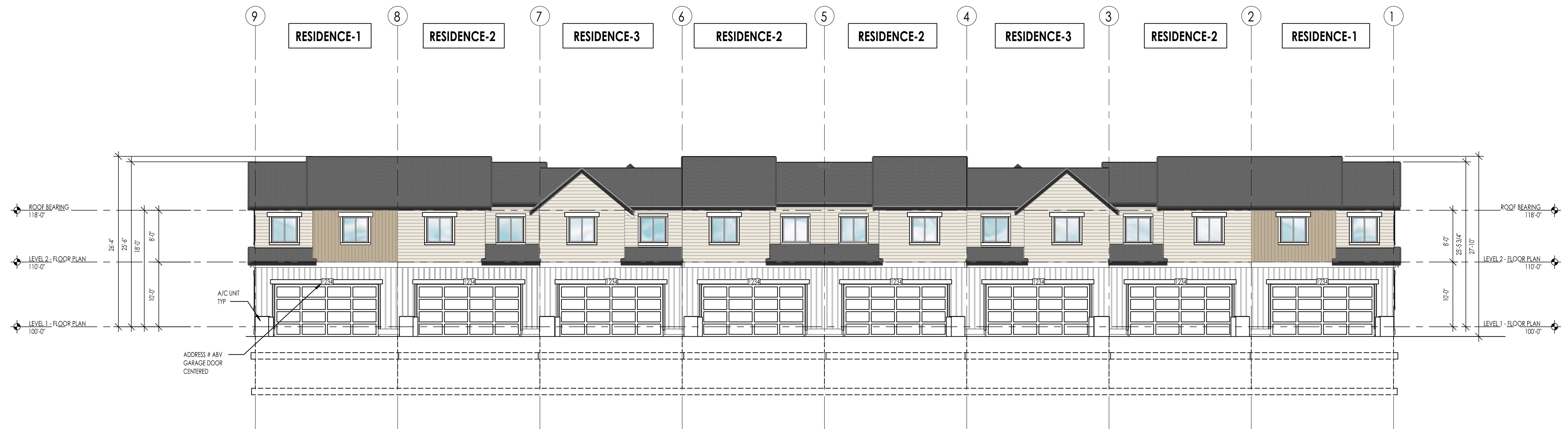


PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 48%
HORIZONTAL LAP FIBER CEMENT SIDING	= 46%
VERTICAL METAL SIDING	= 6%

RIGHT ELEVATION FARMHOUSE

1/8" = 1'-0"

2  
A201.1

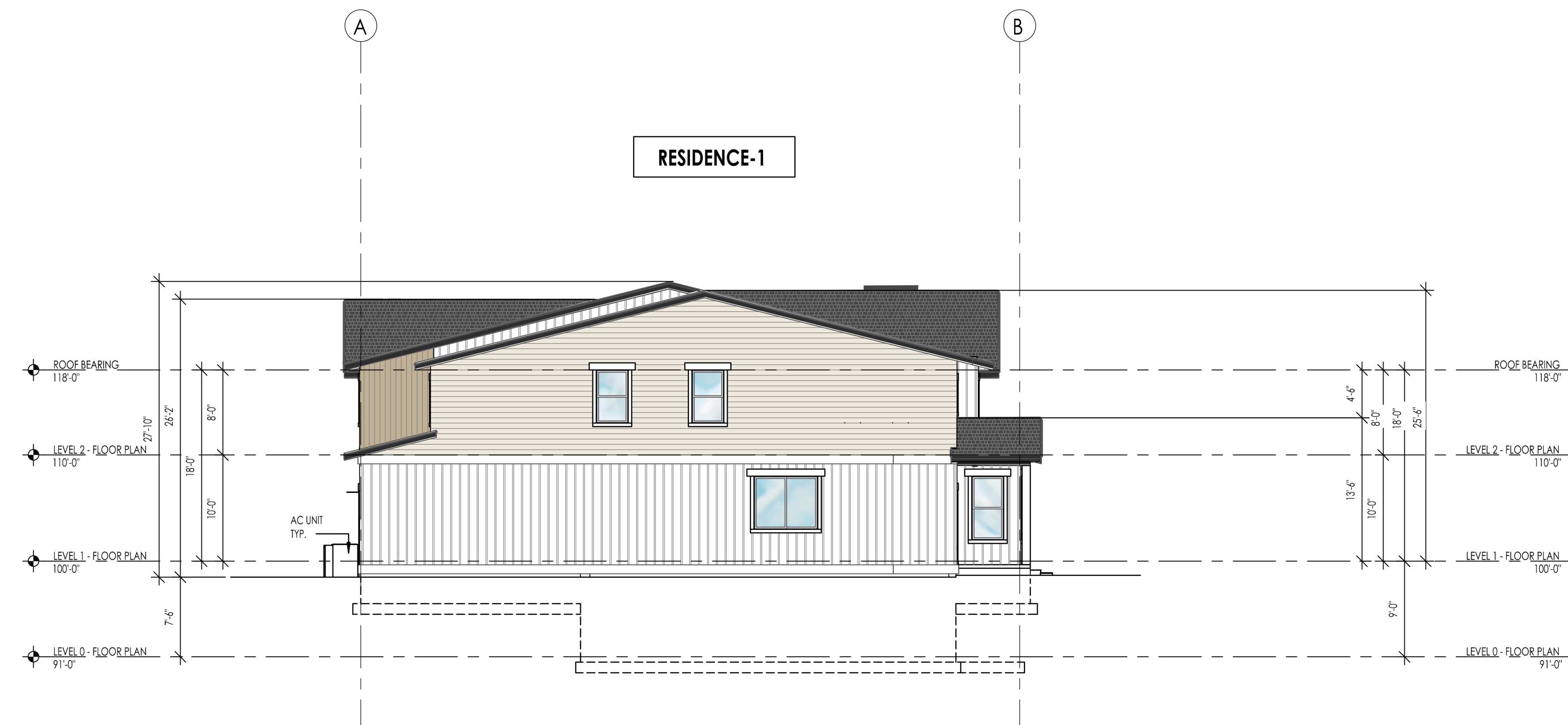


PERCENTAGES OF MATERIALS		
BOARD AND BATT WOOD COMPOSITE SIDING	=	39%
HORIZONTAL LAP FIBER CEMENT SIDING	=	51%
VERTICAL METAL SIDING	=	10%

REAR ELEVATION FARMHOUSE

1/8" = 1'-0"

1  
A202.1



PERCENTAGES OF MATERIALS		
BOARD AND BATT WOOD COMPOSITE SIDING	=	48%
HORIZONTAL LAP FIBER CEMENT SIDING	=	46%
VERTICAL METAL SIDING	=	6%

LEFT ELEVATION FARMHOUSE

1/8" = 1'-0"

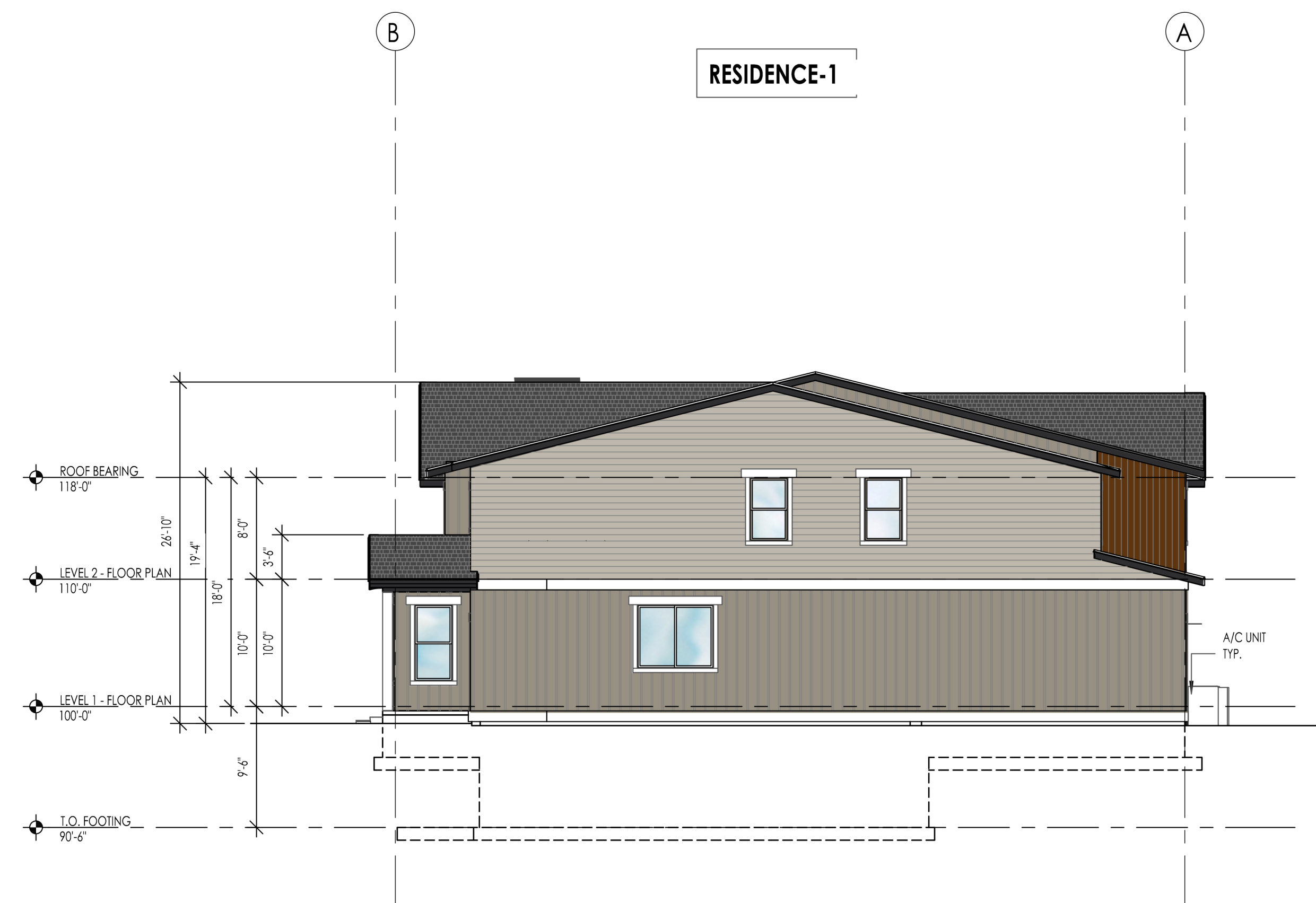
2  
A202.1



PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 40%
HORIZONTAL LAP FIBER CEMENT SIDING	= 14%
VERTICAL METAL SIDING	= 46%

FRONT ELEVATION FARMHOUSE  
1/8" = 1'-0"

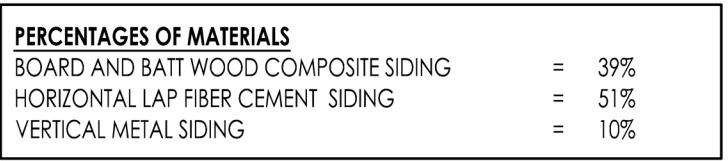
1  
A201.1



PERCENTAGES OF MATERIALS	
BOARD AND BATT WOOD COMPOSITE SIDING	= 48%
HORIZONTAL LAP FIBER CEMENT SIDING	= 46%
VERTICAL METAL SIDING	= 6%

RIGHT ELEVATION FARMHOUSE  
1/8" = 1'-0"

2  
A201.1

 $1/8'' = 1'-0''$ 

A202


$$1/8'' = 1'-0''$$

A202.