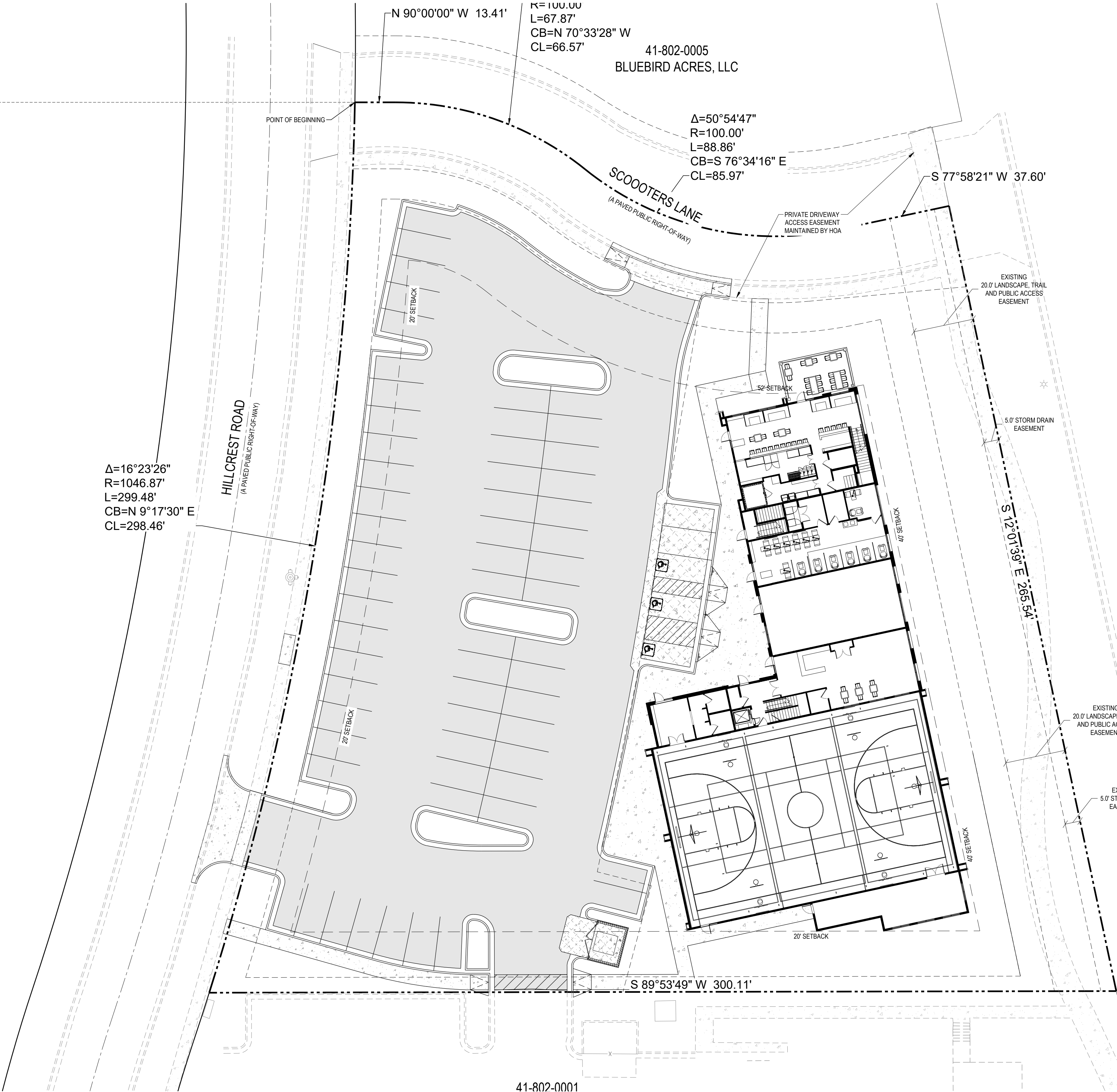
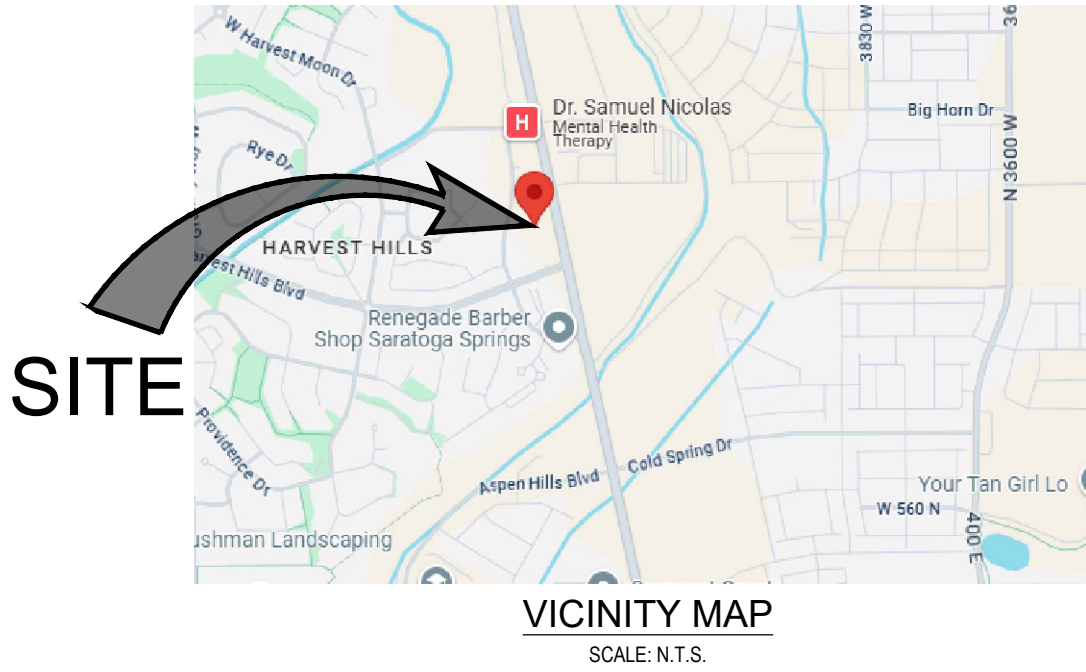
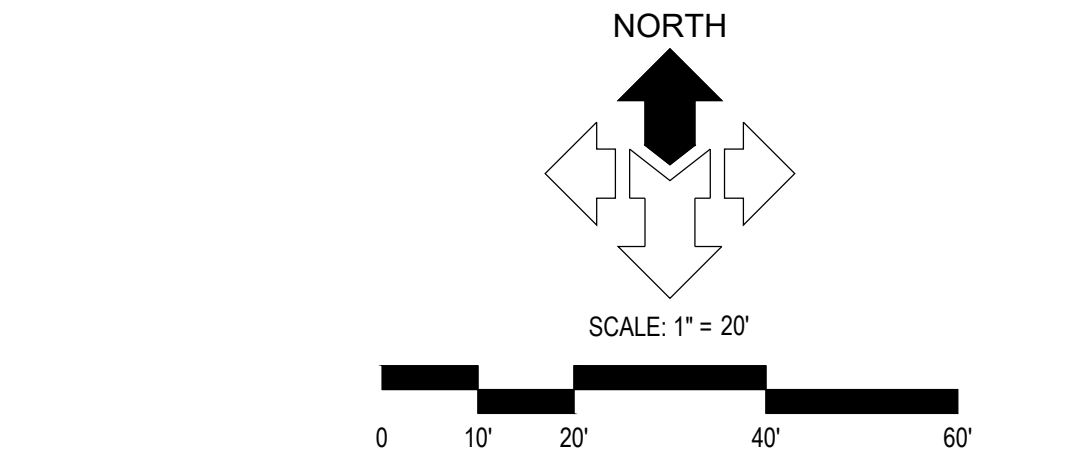


REDWOOD SPORTS FACILITY
CONSTRUCTION PLANS

2107 NORTH REDWOOD ROAD
SARATOGA SPRINGS, UTAH, 84045
LOCATED IN SECTION 2, TOWNSHIP 5 S, RANGE 1 W, S.L.B. & M.



DRAWING INDEX	
SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	CIVIL SITE PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.10	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	CIVIL DETAILS
C5.02	CIVIL DETAILS
C5.03	CIVIL DETAILS

ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO SARATOGA
SPRINGS STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO SARATOGA
SPRINGS STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO SARATOGA SPRINGS
STANDARDS AND SPECIFICATIONS

CORE
ARCHITECTURE

233 SOUTH PLEASANT GROVE BLVD.
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PROFESSIONAL STAMP

CONSULTANT INFORMATION

McNEIL
ENGINEERING™

8610 SOUTH SANDY PARKWAY, SUITE 200
SANDY, UTAH 84070
(801) 255-7700
mcneilengineering.com

PROJECT TITLE AND ADDRESS

**REDWOOD SPORTS
FACILITY**

HARVEST POINT COMMERCIAL PLAT "A" LOT 3

REVISIONS	
Δ DESCRIPTION	DATE

PROJECT INFORMATION	
DATE:	14 JULY 2025
PROJECT #:	25-040
DRAWN BY:	CBN AND CCW
PM / PA:	CCW

DRAWING SET STATUS
SCHEMATIC DESIGN
DRAWINGS

THIS DRAWING SET IS INTENDED
TO BE PRINTED IN COLOR

SHEET TITLE

CIVIL COVER
SHEET

SHEET NUMBER
C0.00

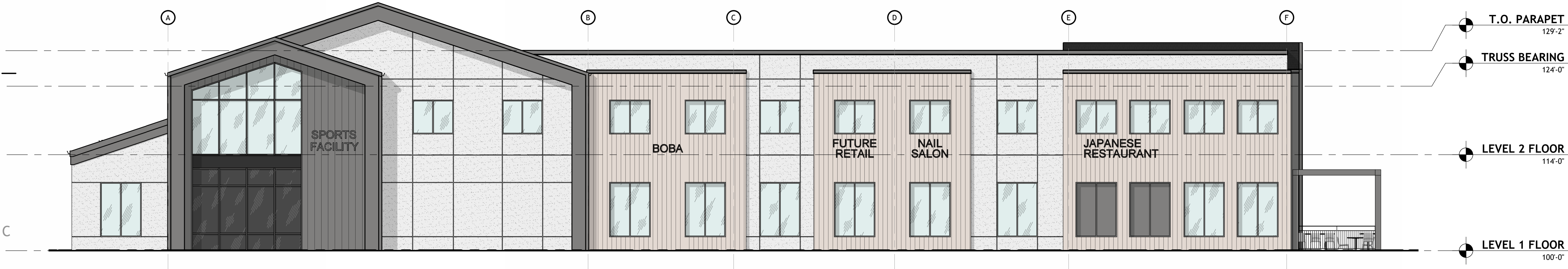


B1

WEST ELEVATION

A201 | SCALE: 1/8" = 1'-0"

B



C1

EAST ELEVATION

A201 | SCALE: 1/8" = 1'-0"

D

KEYNOTES



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CONSTRUCTION

CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS

REDWOOD SPORTS
FACILITY

HARVEST POINT COMMERCIAL PLAT 'A' LOT 3

REVISIONS

△ DESCRIPTION	DATE

PROJECT INFORMATION

DATE: 27 JUNE 2025
PROJECT #: 25-040
DRAWN BY: ZC
PM / PA: NB

DRAWING SET STATUS

DESIGN DEVELOPMENT
DRAWINGS

THIS DRAWING SET IS INTENDED
TO BE PRINTED IN COLOR

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A201

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWN SPOUT LOCATIONS ALONG EXTERIOR WALLS.
- SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

1
A

2

3

4

5

6

KEYNOTES



B2 SOUTH ELEVATION
A202 | SCALE: 1/8" = 1'-0"

B



C2 NORTH ELEVATION
A202 | SCALE: 1/8" = 1'-0"

C

D



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CONSULTANT INFORMATION

PROJECT TITLE AND ADDRESS
**REDWOOD SPORTS
FACILITY**

HARVEST POINT COMMERCIAL PLAT 'A' LOT 3

REVISIONS

△ DESCRIPTION	DATE

PROJECT INFORMATION

DATE:	27 JUNE 2025
PROJECT #:	25-040
DRAWN BY:	ZC
PM / PA:	NB

DRAWING SET STATUS

**DESIGN DEVELOPMENT
DRAWINGS**

THIS DRAWING SET IS INTENDED
TO BE PRINTED IN COLOR

SHEET TITLE

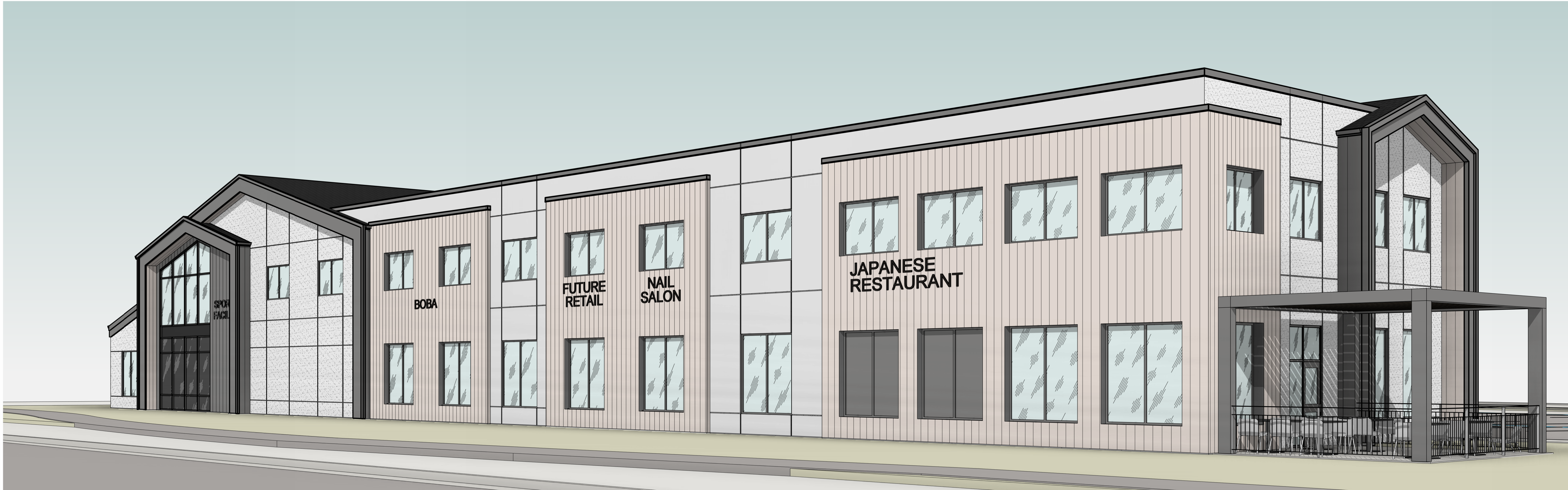
**EXTERIOR
ELEVATIONS**

SHEET NUMBER

A202

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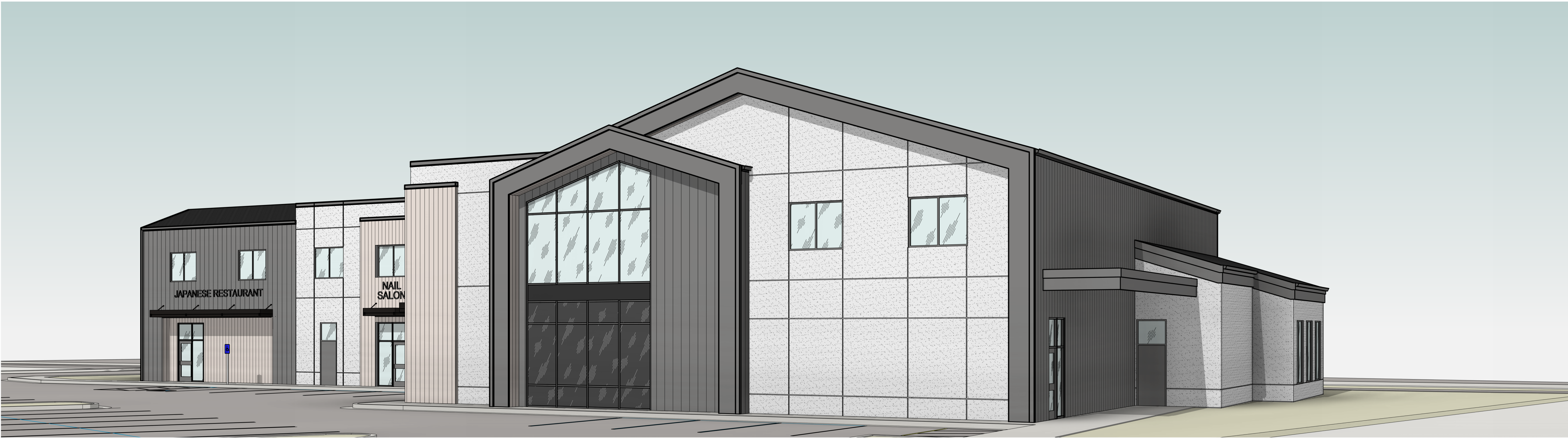
REDWOOD SPORTS FACILITY

HARVEST POINT COMMERCIAL PLAT 'A'
LOT 3

27 JUNE 2025



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**REDWOOD SPORTS
FACILITY**

HARVEST POINT COMMERCIAL PLAT 'A'
LOT 3

27 JUNE 2025




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ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP			DRAWING INFO		
8/18/2025			UT25127			** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 07/18/25															P.L: JTA		
																					DRAWN: ACP		
																					CHECKED: KBA		
																					PLOT DATE: 8/18/2025		


NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		



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NORTH



0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

REDWOOD SPORTS TRAINING FACILITY


HILLCREST LANE

SARATOGA SPRINGS, UTAH

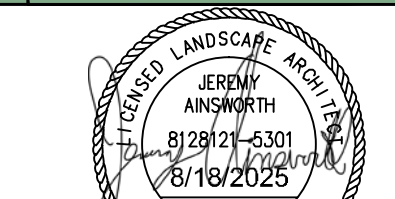
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