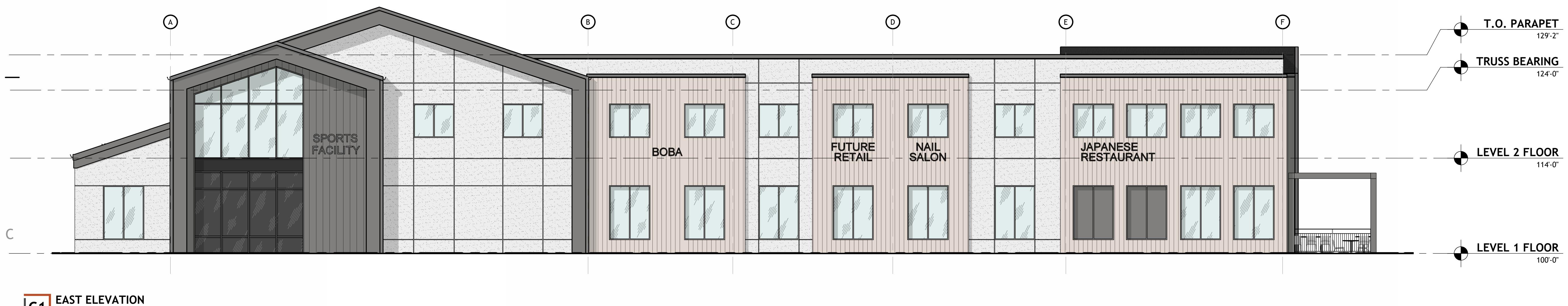




## KEYNOTES



B



D

## GENERAL NOTES

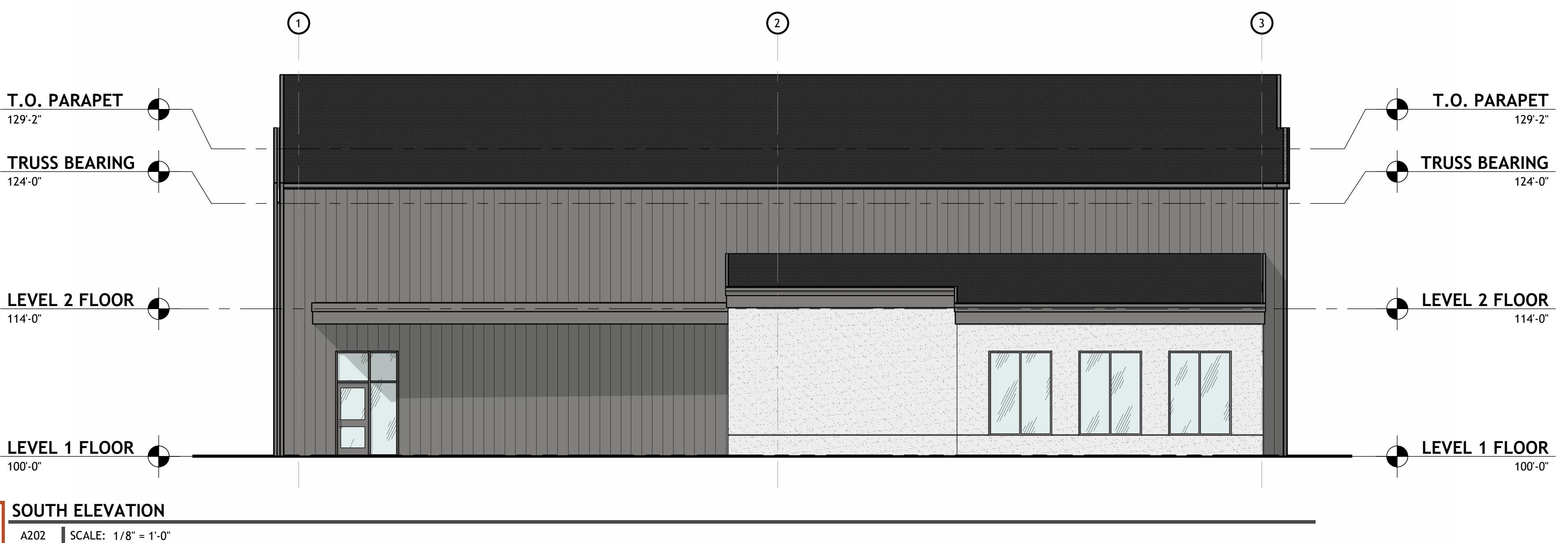
- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWN SPOUT LOCATIONS ALONG EXTERIOR WALLS.
- G. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- H. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- J. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

EXTERIOR  
ELEVATIONS

SHEET NUMBER

A201

## **KEYNOTES**



## **B2** SOUTH ELEVATION

A202 | SCALE: 1/8" = 1'-0"



## C2 NORTH ELEVATION

A202 | SCALE: 1/8" = 1'-0"

## GENERAL NOTES

**GENERAL NOTES**

- A. GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO CONSTRUCTION. REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ARCHITECT.
- B. ALL MASONRY WALLS TO HAVE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM. VERIFY WITH STRUCTURAL.
- C. EXPOSED CONCRETE FOUNDATION AND RETAINING WALLS TO RECEIVE RUBBED FINISH.
- D. CONCRETE WALL RETAINING EARTH TO RECEIVE TWO COATS OF BITUMINOUS DAMP PROOFING MATERIAL.
- E. PROVIDE PRE-FINISHED NUMBERS ON THE FRONT, EXTERIOR OF THE BUILDING INDICATING THE BUILDING ADDRESS NUMBER ASSIGNED BY THE CITY IN ACCORDANCE WITH CURRENT CITY ORDINANCE. COLOR OF PRE-FINISHED NUMBERS TO CONTRAST SIGNIFICANTLY WITH BACKGROUND COLOR OF EXTERIOR WALL. THAT ADDRESS MUST BE PERMANENTLY FASTENED TO THE EXTERIOR OF THE BUILDING PRIOR TO OCCUPANCY.
- F. SEE PLUMBING SHEETS AND ROOF DRAINAGE PLAN FOR SECONDARY ROOF DRAINAGE BRASS SCUPPER AND ROOF SCUPPER WITH PRE-FINISHED ALUMINUM DOWN SPOUT LOCATIONS ALONG EXTERIOR WALLS.
- G. SEE PLUMBING SHEETS FOR LOCATION OF GAS METER ALONG EXTERIOR WALL.
- H. SEE ELECTRICAL SHEETS FOR ELECTRICAL FIXTURE LOCATIONS ALONG EXTERIOR WALLS.
- I. EXTERIOR SIGNAGE: THE OWNER IS RESPONSIBLE TO OBTAIN A SEPARATE PERMIT FOR ANY EXTERIOR SIGNS IN ACCORDANCE WITH CURRENT CITY SIGN ORDINANCE. THE OWNER IS RESPONSIBLE TO CONTRACT DIRECTLY WITH SIGN VENDORS. SIGN VENDORS SHALL INSTALL THEIR RESPECTIVE SIGNAGE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AND COORDINATE ALL BACKING AND POWER REQUIREMENTS FOR EACH SIGN.
- J. NOT ALL SHEET NOTES ARE NECESSARILY USED ON EACH SHEET.

# REDWOOD SPORTS FACILITY

# REDWOOD

# REDWOOD SPO

PROJECT INFORMATION  
27 JUNE 20  
CT #: 25-0  
N BY:

A: **DRAWING SET STATUS**  
**IGN DEVELOPMENT**  
**DRAWINGS**

---

**DRAWING SET IS INTENDED**  
**TO BE PRINTED IN COLOR**

THIS DRAWING SET IS INTENDED  
TO BE PRINTED IN COLOR.

## EXTERIOR

SHEET NUMBER

**SHEET NUMBER**



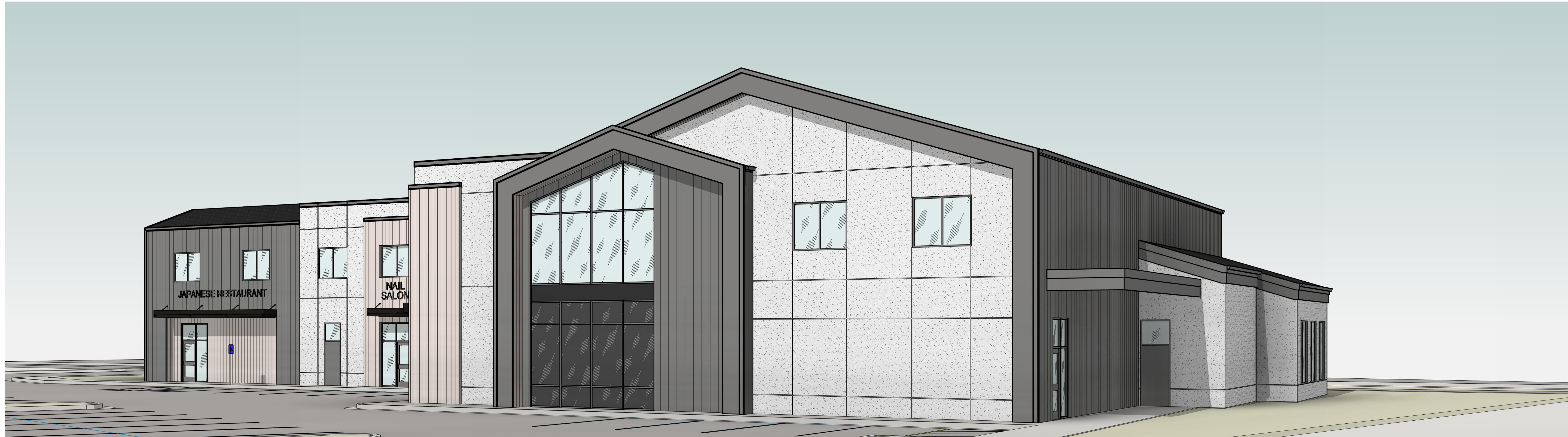
**REDWOOD SPORTS  
FACILITY**

HARVEST POINT COMMERCIAL PLAT 'A'  
LOT 3

27 JUNE 2025

**CORE**  
ARCHITECTURE

233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
PLEASANT GROVE, UTAH 84062  
PHONE: (801) 769-3000  
core@coreutah.com



**REDWOOD SPORTS  
FACILITY**

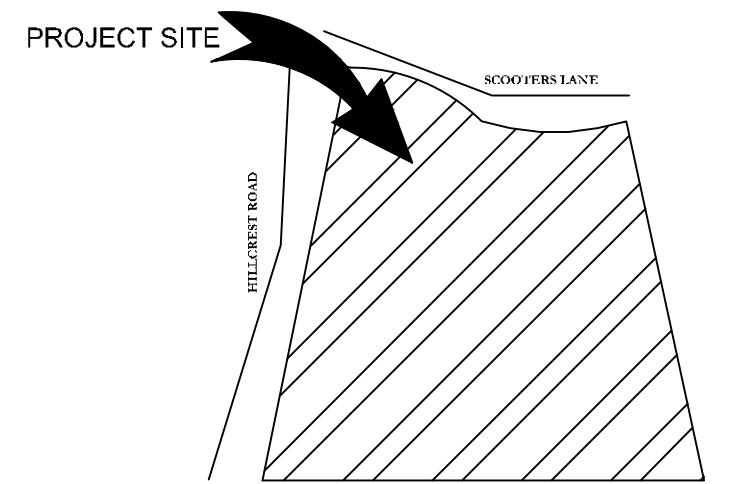
HARVEST POINT COMMERCIAL PLAT 'A'  
LOT 3

27 JUNE 2025



233 SOUTH PLEASANT GROVE BLVD.  
SUITE #105  
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PHONE: (801) 769-3000  
core@coreutah.com

## VICINITY MAP



41-802-0005  
BLUEBIRD ACRES, L



41-802-0001

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION
8/18/2025	 UT25127	** THIS PRINT FROM PKJ DESIGN GROUP IS BASED ON CIVIL AND ARCHITECT INFORMATION ISSUED ON 07/18/25
NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		

REDWOOD SPORTS TRAINING FACILITY  
HILLCREST LANE  
SARATOGA SPRINGS, UTAH

CORE ARCHITECTURE  
ATT: NATHAN BROWN  
801-769-3028  
NATHANB@COREARCH.COM

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## COLOR ILLUSTRATION

 **CITY PERMIT SET**  
**1-P. COLOR**

## LP-COLOR