

THE BASIS OF BEARING IS NORTH 0°12'08" EAST BETWEEN THE FOUND MONUMENTS AT THE SOUTHEAST CORNER AND THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH AS SHOWN. THE SURVEY CONTROL WAS ESTABLISHED WITH GPS. THE GPS DATA WAS MEASURED ON THE UTAH STATE PLANE CENTRAL ZONE USF NAD83 SYSTEM AND WAS THEN PROJECTED TO A LOW DISTORTION GROUND SYSTEM FOR THIS SURVEY. A UAS SYSTEM WAS USED TO ASSIST IN MEASURING AND MAPPING THE PROPERTY AND AN ORTHO-RECTIFIED PHOTO OF THE SITE WAS USED FOR MAPPING FEATURES SUCH AS ROADWAYS AND WATERWAYS.

BENCHMARK 1:
SET 5/8" REBAR AND "DIAMOND 5152672" CAP IN THE SOUTHEASTERLY PORTION OF THIS SITE.
ELEV. = 4608.403'

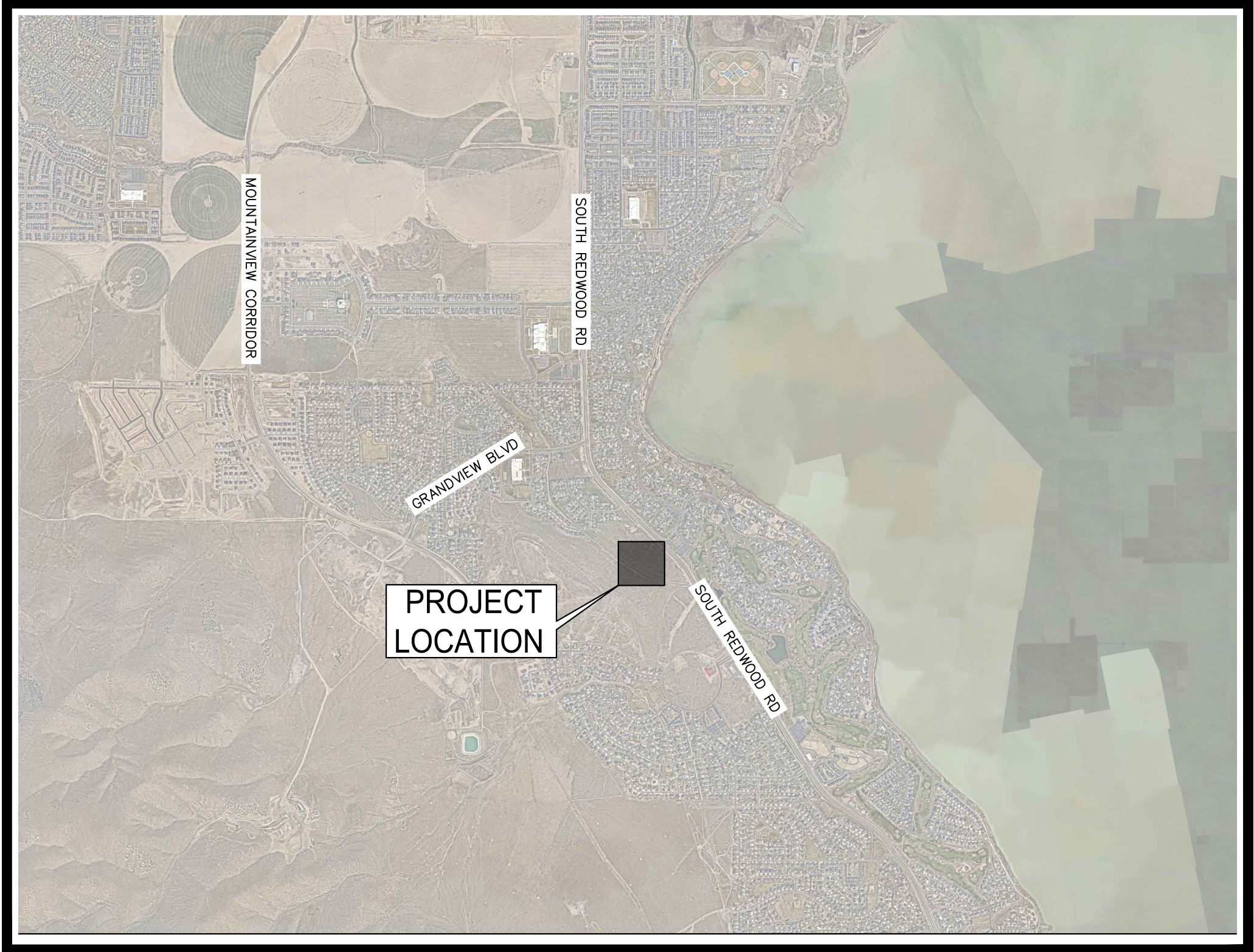
BENCHMARK 2:
SET NAIL IN THE EASTERLY PORTION OF THIS SITE.
ELEV. = 4608.898'

BENCHMARK 3:
SET NAIL IN THE SOUTHEASTERLY PORTION OF THIS SITE, IN FRONT OF LOT 6.
ELEV. = 4613.970'

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SARATOGA SPRINGS, IN THE COUNTY OF UTAH, STATE OF UTAH, AND IS DESCRIBED AS FOLLOWS:

ALL OF FUTURE LOT 9 WITHIN THE FORTHCOMING JACOB'S RANCH COMMERCIAL SUBDIVISION, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, FROM WHICH THE SOUTHEAST CORNER OF SAID SECTION BEARS SOUTH 00°12'08" EAST 2635.42 FEET, BEING THE BASIS OF BEARING FOR THIS DESCRIPTION, AND RUNNING THENCE FROM THE SAID QUARTER CORNER NORTH 00°12'18" EAST 1099.71 FEET AND NORTH 89°47'42" WEST 593.37 FEET TO THE POINT OF BEGINNING AND RUNNING THENCE SOUTH 59°59'44" WEST 250.38 FEET, THENCE NORTH 29°58'51" WEST 193.44 FEET, THENCE NORTH 59°59'10" EAST 250.31 FEET, THENCE SOUTH 30°00'15" EAST 193.49 FEET TO THE POINT OF BEGINNING.



NOT TO SCALE



SHEET LIST TABLE

SHEET LIST TABLE	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	GENERAL NOTES
1 OF 2	SHEET 1 OF 2 ALTA SURVEY (FOR REFERENCE ONLY)
2 OF 2	SHEET 2 OF 2 ALTA SURVEY (FOR REFERENCE ONLY)
C2.00	EROSION CONTROL COVER SHEET
C2.10	EROSION CONTROL PLAN
C2.20	EROSION CONTROL DETAILS
C3.00	SITE PLAN
C3.10	SIGNAGE AND STRIPING PLAN
C3.20	MCDONALD'S DRIVE-THRU DETAIL
C4.10	GRADING AND DRAINAGE PLAN
C5.10	UTILITY PLAN
C6.10	DETAILS
C6.11	DETAILS
C6.12	DETAILS
C6.13	DETAILS

DEVELOPER:
MCDONALD'S CORPORATION
110 NORTH CARPENTER STREET
CHICAGO, IL 60607
CONTACT: TODD WRIGHT
PHONE: 773-805-7114

CIVIL ENGINEER:
KIMLEY-HORN
111 EAST BROADWAY, SUITE 600
SALT LAKE CITY, UT 84111
CONTACT: JOANNA GRAHAM, P.E.
PHONE: (385) 429-8103

SURVEYOR:
DIAMOND LAND SURVEYING
6891 SOUTH 700 WEST SUITE 150
MIDVALE, UTAH 84047
CONTACT: NATE WEBER
PHONE: (801) 266-5099

ARCHITECT

CORE STATES
135 WATER ST, SUITE 201
NAPERVILLE, IL 60540
CONTACT: JOY VRCHOTA
PHONE: (224) 585-4591

GEOTECHNICAL ENGINEER
UES
477 PARKLAND DRIVE
SANDY, UT 84070
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PHONE: (801) 448-0322

**PLANNING
ENGINEERING:**
CITY OF SARATOGA SPRINGS
1307 NORTH ST #200
SARATOGA SPRINGS, UT 84045
CONTACT: JEREMY LAPIN
PHONE: (801) 766-9793

PUBLIC WORKS
(WATER, STORM, SEWER):
CITY OF SARATOGA SPRINGS
213 N 900 E
SARATOGA SPRINGS, 84045
CONTACT: JEREMY LAPIN
PHONE: (801) 766-9793

ROCKY MOUNTAIN FC
635 N 1200
LAYTON, UT 84041
CONTACT: JACK PEHKONEN
PHONE: (801) 756-1239

DOMINION ENERGY:

333 STATE STREET
SALT LAKE CITY, UT 84111
CONTACT: MIKE DAVIS
PHONE: (304) 259-4024


UDOT REGION 3:

658 N 1500 W
OREM, UTAH 84057
PHONE: (801) 227-8000


THESE PLANS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.


1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CITY OF SARATOGA SPRINGS SPRINGS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS SHALL BE INSPECTED AND APPROVED BY THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AND WITH THE DEPARTMENT OF TRANSPORTATION INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY ENGINEER OF RECORD.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT LOCATION OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF SARATOGA SPRINGS AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, THEIR SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE M.U.T.C.D., TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE) FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AT ALL TIMES. AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING, IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
14. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
16. ALL WORK WITHIN REDWOOD ROAD IS SUBJECT TO THE JURISDICTION OF THE UTAH DEPARTMENT OF TRANSPORTATION, REGION 3.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTOR'S SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES EXCLUDING TAP FEES AND SYSTEM DEVELOPMENT FEES, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
19. IN GENERAL, LIMITS OF SITE WORK ARE UP TO THE FACE OF BUILDING.
20. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
21. CONTRACTOR TO MAINTAIN ALL SHRUB AND GROUND COVER AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIOD.

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Dig Safely 



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CAUTION: NOTICE TO CONTRACTOR

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[illegible]

Kimley»»Horn

KIMLEY-HORN AND ASSOCIATES, INC.
ROADWAY SUITE 600, UT 84111
PHONE: 385-212-3176
WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL

KHA PROJECT 093649016	DATE 9/4/2025	SCALE AS SHOWN	DESIGNED BY MC	DRAWN BY EB	CHECKED BY JG
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COVER SHEET

1500 SOUTH
REDWOOD RD
PREPARED FOR
MCDONALD'S USA, LLC
CATOGA SPRINGS

SHEET NUMBER
C0.00



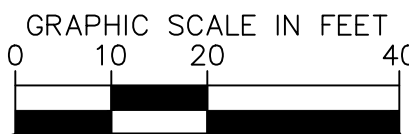
1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON THE PLAN.
5. SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. ACCESSIBLE ROUTES SHALL SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND 1:50 CROSS SLOPE.
6. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED," ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
7. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
8. THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
9. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.
10. THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING

TOTAL SITE AREA	1.11 ACRES (48,325 SF)
PROPOSED BUILDING AREA	4,519 SF
PROPOSED LANDSCAPE AREA	10,064 SF
SITE ZONING	CG - GENERAL COMMERCIAL
PARKING STALLS REQUIRED	4,519 SF X 1 STALL / 100 SF = 46 STALLS
PARKING STALLS PROVIDED ONSITE	36 STALLS (31 STALLS + 2 ADA STALLS + 3 DRIVE-THRU "STALLS")
SHARED PARKING STALLS PROVIDED	10 STALLS
TOTAL PARKING STALLS PROVIDED	46 STALLS

- 1 FURNISH AND INSTALL 5" THICK CONCRETE SIDEWALK PER CITY OF SARATOGA DETAIL ON SHEET C6.10. WIDTH PER PLAN.
- 2 FURNISH AND INSTALL HEAVY-DUTY ASPHALT PAVEMENT PER DETAIL ON SHEET C6.10.
- 3 FURNISH AND INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL ON SHEET C6.10.
- 4 DUMPSTER AND STORAGE ENCLOSURE. REFER TO STRUCTURAL PLANS FOR DETAILS.
- 5 LANDSCAPE AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.
- 6 FURNISH AND INSTALL 6" VERTICAL CURB & GUTTER PER APWA PLAN 205.1 CURB TYPE A ON SHEET C6.11.
- 7 FURNISH AND INSTALL ADA ACCESSIBLE RAMP PER CITY OF SARATOGA DETAIL ST-SB ON SHEET C6.12. SLOPES SHOWN PER DETAIL ARE MAXIMUM SLOPES THAT SHALL NOT BE EXCEEDED. GUTTER COUNTERSLOPE AT RAMP LOCATIONS SHALL NOT EXCEED 1:20.
- 8 ADA PARKING STALL. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION. REFER TO DETAIL ON SHEET C6.12.
- 9 FURNISH AND INSTALL 6" VERTICAL CURB (NO GUTTER) PER APWA PLAN 209 CURB TYPE P ON SHEET C6.13.
- 10 CONCRETE WHEEL STOP. REFER TO DETAIL ON SHEET 6.13

Diagram illustrating the proposed road layout and infrastructure elements:

- PROPOSED MCDONALD'S DEVELOPMENT BOUNDARY
- EXISTING EASEMENT
- ADA PEDESTRIAN PATH
- PROPOSED HEAVY DUTY A.C. PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPE
- PROPOSED LIGHT POLE
- PROPOSED CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER



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**Know what's below.
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PHONE: 385-212-3176
WWW.KIMLEY-HORN.COM

LICENSED PROFESSIONAL

KHA PROJECT
093649016

DATE
9/4/2025

SCALE AS SHOWN

DESIGNED BY	MC
DAVID BY	EE

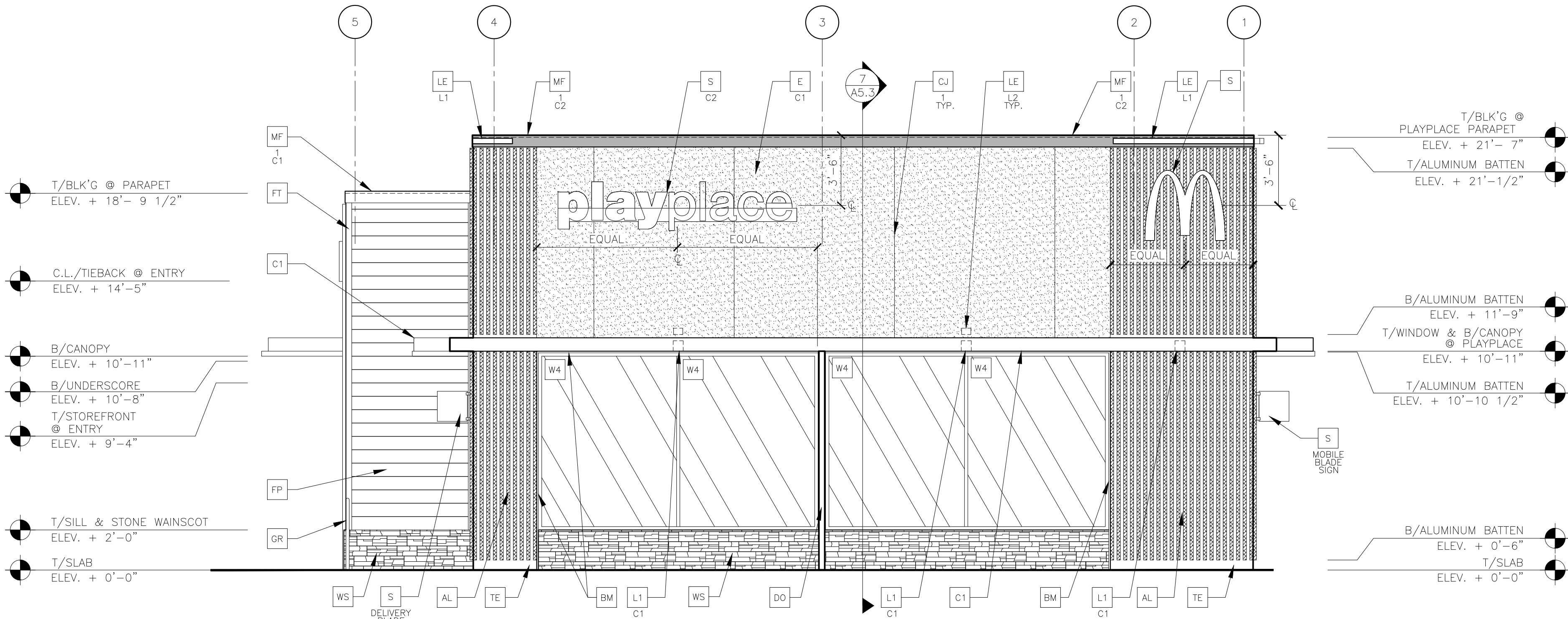
DRAWN BY	ED
CHECKED BY	JG
DATE:	

SITE PLAN

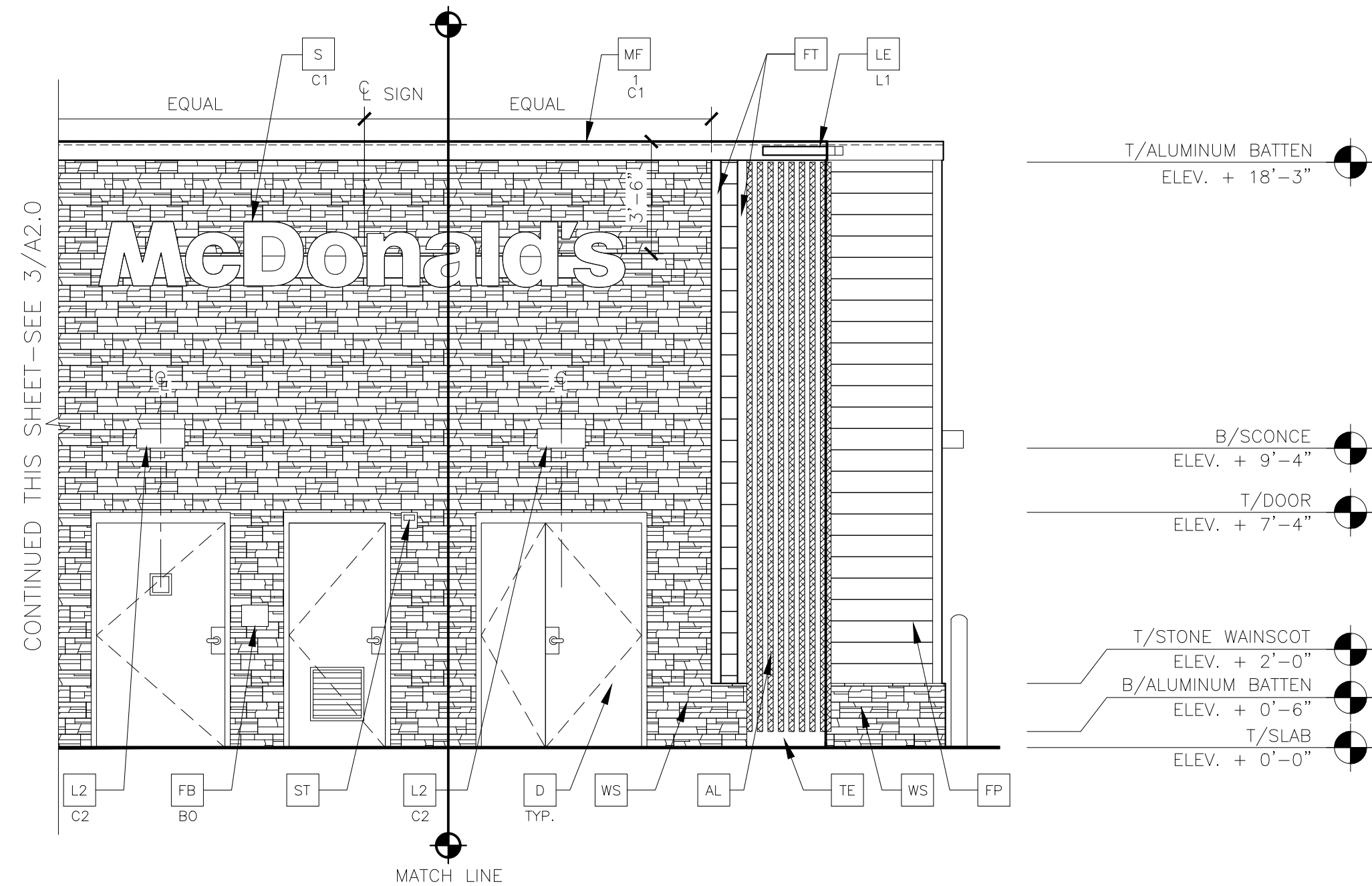
1500 SOUTH
REDWOOD RD
PREPARED FOR
MCDONALD'S USA, LLC

SHEET NUMBER
C3.00

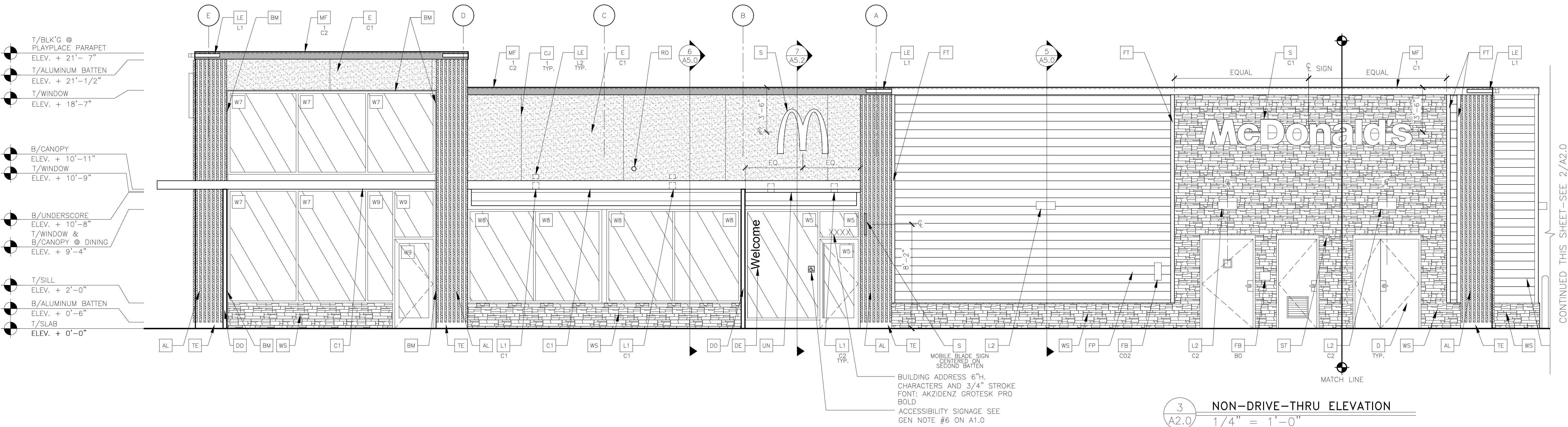
SARATOGA SPRINGS UTAH



1 FRONT ELEVATION
1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"



3 NON-DRIVE-THRU ELEVATION
1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALUMINUM COMPOSITE METAL PANEL (COLOR: DON GRAY)
- C1 ALUMINUM CANOPY SYSTEM
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- CJ CONTROL JOINT
1-TYPE: 1 = EIFS
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- DO DOWNSPOUT
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER
COLOR: RAL 7022
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C1-COLOR:
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- EU EXPANSION JOINT, SEE DETAIL 7/A4.1

- FB FILL BOX
C02 - C02 = BULK C02 FILL BOX (EQPM SCHEDULE ITEM 49.00)
B0 = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1
5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= GOLD
- L2 RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL
COLOR: PLATINUM SILVER

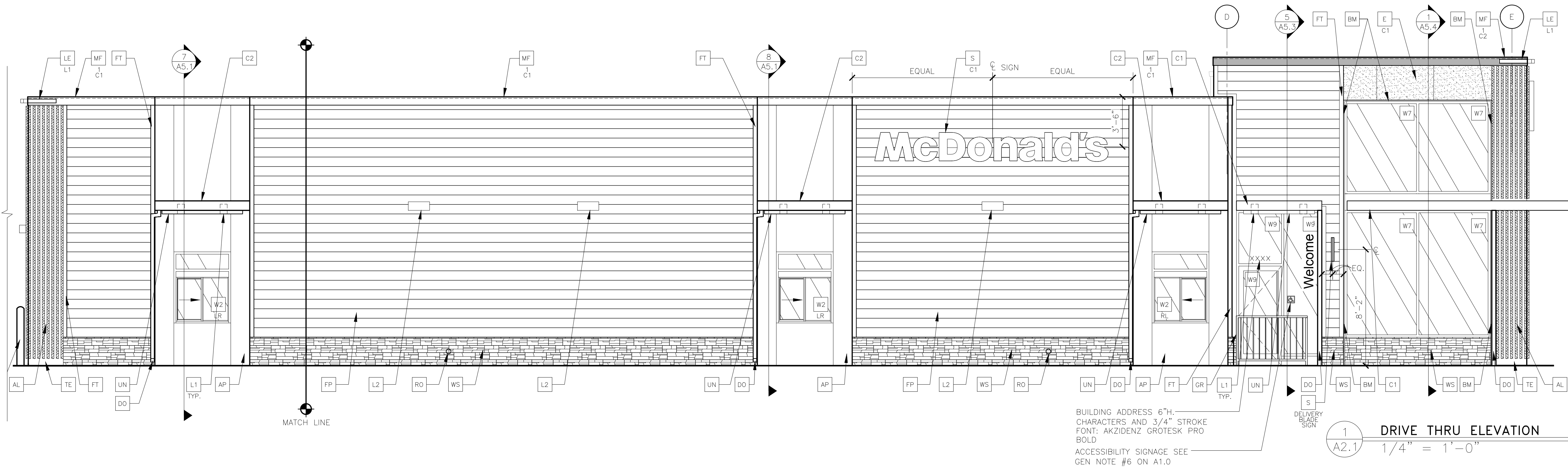
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = NOT USED
3 = NOT USED
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW

- RG RAIN GUTTER (AT PLAYPLACE)
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1= WEATHERED ZINC RACEWAY
C2= RAL 7022 RACEWAY
- ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD

- WF EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- WS STONE WAINSCOT:
CULTURED STONE BY BORAL - HEWN STONE
COLOR: SPAN

PREPARED BY:		CORE STATES GROUP		BY:	
138 W. Main Street Nashville, TN 37203 615.259.1444 www.corestates.com					
PREPARED FOR:		McDonald's USA, LLC		REV.	
DRAWN BY:		J.V.K.HOTA		DATE	
STD ISSUE DATE		2025 08			
REVIEWED BY:		M.PELINI			
DATE ISSUED		08/20/2025			
C.S.G. PROJECT #		MCD.38267			
SITE ADDRESS		B3HR48, SARATOGA SPRINGS, UT			
L/C: 043-0358					
TITLE		2025 STANDARD BUILDING - BB20 4584 PLAYPLACE-WOOD/WOOD			
DESCRIPTION		WOOD BEARING WALLS W/HARDE BOARD EXTERIOR FINISH WOOD TRUSS ROOF FRAMING E.I.F.S./BATTEN/LAP SIDING EXTERIOR FINISH			
SHEET NO.		A2.0			
ELEVATIONS					

CONTINUED THIS SHEET—SEE 2/A2.1

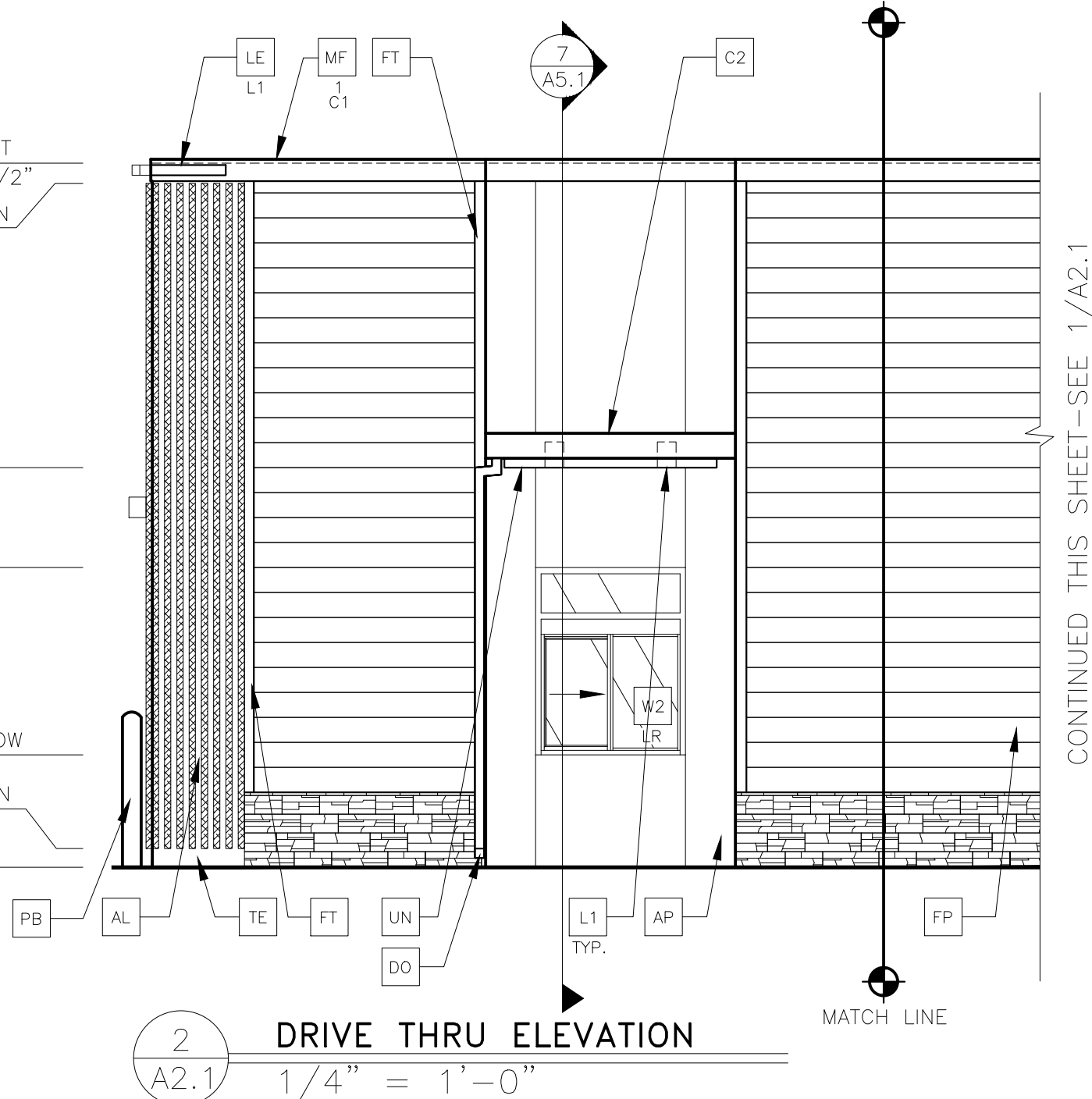


- T/BLK'G @ PLAYPLACE PARAPET
ELEV. + 21'-7"
- T/ALUMINUM BATTEN
ELEV. + 21'-1/2"
- T/WINDOW
ELEV. + 18'-7"
- B/WINDOW
ELEV. + 12'-1"
- B/ALUMINUM BATTEN
ELEV. + 11'-9"
- B/CANOPY @ PLAYPLACE
ELEV. + 10'-11"
- T/ALUMINUM BATTEN
ELEV. + 10'-10 1/2"
- T/SILL & STONE WAINSCOT
ELEV. + 2'-0"
- B/ALUMINUM BATTEN
ELEV. + 0'-6"
- T/SLAB
ELEV. + 0'-0"

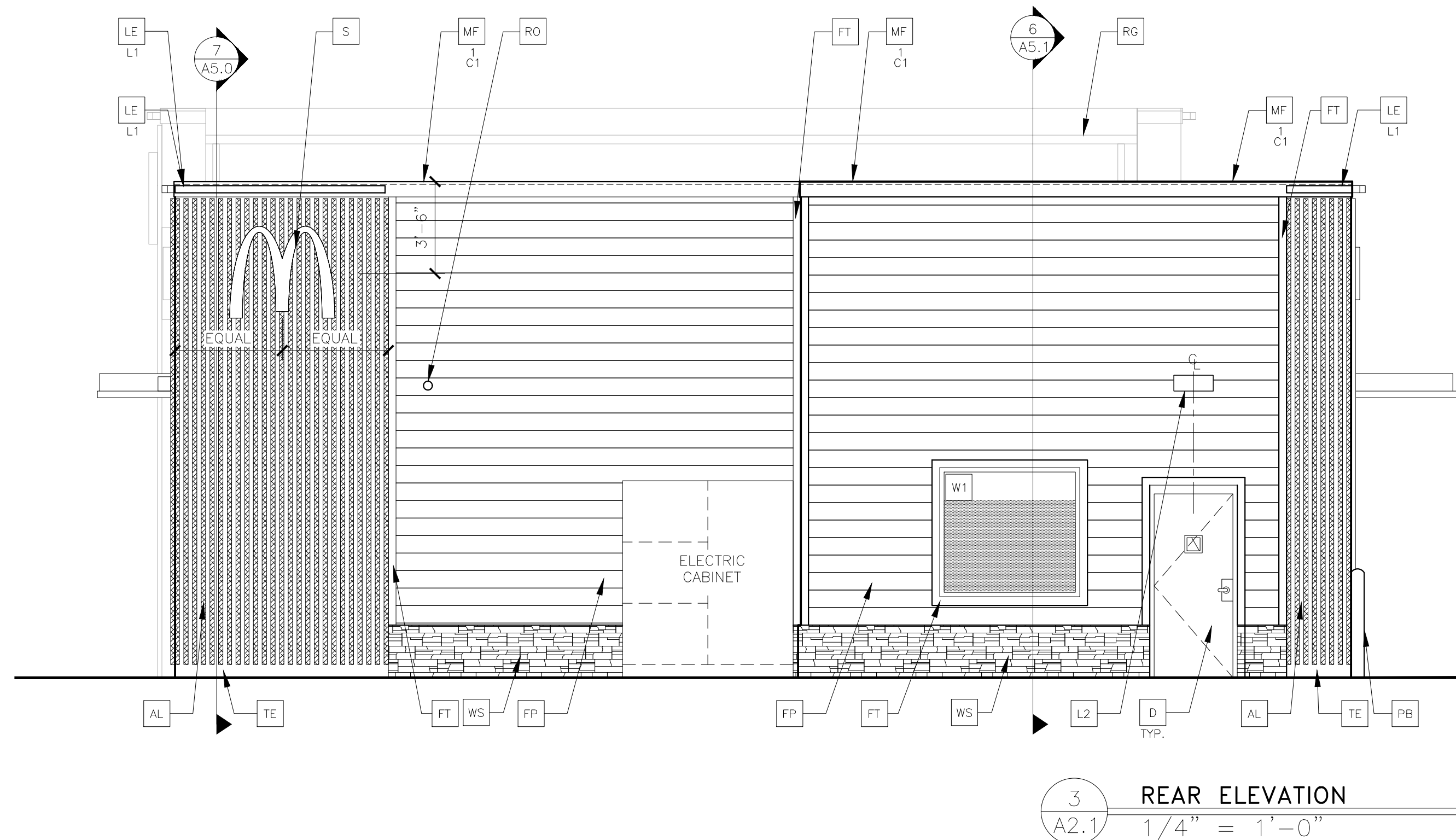
BUILDING ADDRESS 6"H.
CHARACTERS AND 3/4" STROKE
FONT: AKZIDENZ GROTESK PRO
BOLD
ACCESSIBILITY SIGNAGE SEE
GEN NOTE #6 ON A1.0

1
A2.1
1/4" = 1'-0"

- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/ALUMINUM BATTEN
ELEV. + 18'-3"
- B/UNDERSORE
ELEV. + 10'-8"
- T/WINDOW
ELEV. + 8'-0"
- T/SILL @ DT WINDOW
ELEV. + 3'-0"
- B/ALUMINUM BATTEN
ELEV. + 0'-6"
- T/SLAB
ELEV. + 0'-0"



CONTINUED THIS SHEET—SEE 1/A2.1



- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/ALUMINUM BATTEN
ELEV. + 18'-2"
- B/CANOPY
ELEV. + 10'-11"
- T/WINDOW
ELEV. + 8'-0"
- T/DOOR
ELEV. + 7'-4"
- T/SILL
ELEV. + 3'-0"
- T/STONE WAINSCOT
ELEV. + 2'-0"
- B/ALUMINUM BATTEN
ELEV. + 0'-6"
- T/SLAB
ELEV. + 0'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED,
COARSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH
SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALUMINUM COMPOSITE METAL PANEL (COLOR: DON GRAY)
- C1 ALUMINUM CANOPY SYSTEM
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- CJ CONTROL JOINT
1—TYPE: 1 = EIFS
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED,
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- DO DOWNSPOUT
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER
COLOR: RAL 7022
- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C1—COLOR:
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB FILL BOX
C02 — C02 = BULK C02 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
- FP FIBER CEMENT LAP SIDING: SMOOTH HARDI—BOARD PLANK BY
JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1
5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- GR GUARD RAIL —SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE — SEE ELECTRICAL
C1—COLOR:
C1 = WHITE
C2 = GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE — SEE ELECTRICAL
COLOR: PLATINUM SILVER
- LE ACCENT LIGHTING — SEE ELECTRICAL
L1—LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
C1—TYPE:
1 = PRE-FAB ANCHOR—TITE FASCIA
2 = NOT USED
3 = NOT USED
COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022
- PB PIPE BOLLARD — PAINTED YELLOW
- RG RAIN GUTTER (AT PLAYPLACE)
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS — UNDER SEPARATE PERMIT.
C1—COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- ST C02 STROBE/ALARM. SEE MECHANICAL DRAWINGS
FOR SPECIFICATION.
- TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- UN METAL UNDERSORE
COLOR: GOLD
- W# EXTERIOR WINDOW ASSEMBLY — TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSON, MANUAL
OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- WS STONE WAINSCOT:
CULTURED STONE BY BORAL — HEWN STONE
COLOR: SPAN

PREPARED BY: CORE STATES GROUP		138 Wabash Street Nashville, TN 37203 312.714.4100 www.corestates.com		REV. DATE		BY	
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DRAWN BY: J.V.RCHOTA		STD ISSUE DATE: 2025 08		REVIEWED BY: M.PELINI		DATE ISSUED: 08/20/2025	
TITLE: 2025 STANDARD BUILDING — BB20		DESCRIPTION: 4584 PLAYPLACE—WOOD/WOOD		C.S.G. PROJECT #		MCD_38267	
SHEET NO.		043-0358.00.0		ELEVATIONS		A2.1	