

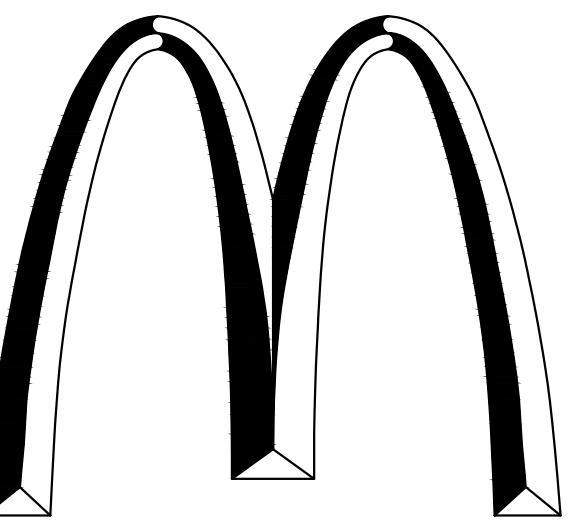
# CONSTRUCTION PLANS

FOR

## McDONALDS

LOCATED AT

1500 SOUTH REDWOOD RD  
SARATOGA SPRINGS, UT



### BASIS OF BEARING

THE BASIS OF BEARING IS NORTH 01°20' EAST, BETWEEN THE FOUND MONUMENTS AT THE SOUTHEAST CORNER AND THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH AS SHOWN. THE SURVEY CONTROL WAS ESTABLISHED WITH GPS. THE GPS DATA WAS MEASURED ON THE UTAH STATE PLANE CENTRAL ZONE USF NAD83 SYSTEM AND WAS THEN PROJECTED TO A LOW DISTORTION GROUND SYSTEM FOR THIS SURVEY. A UAS SYSTEM WAS USED TO ASSIST IN MEASURING AND MAPPING THE PROPERTY AND AN ORTHO-RECTIFIED PHOTO OF THE SITE WAS USED FOR MAPPING FEATURES SUCH AS ROADWAYS AND WATERWAYS.

### BENCHMARK

BENCHMARK 1:  
SET 1/8 REBAR AND "DIAMOND 152672" CAP IN THE SOUTHEASTERLY PORTION OF THIS SITE.  
ELEV. = 4609.403

BENCHMARK 2:  
SET NAIL IN THE EASTERLY PORTION OF THIS SITE.  
ELEV. = 4608.898

BENCHMARK 3:  
SET NAIL IN THE SOUTHEASTERLY PORTION OF THIS SITE, IN FRONT OF LOT 6  
ELEV. = 4613.970

### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SARATOGA SPRINGS, IN THE COUNTY OF UTAH, STATE OF UTAH, AND IS DESCRIBED AS FOLLOWS:

ALL OF FUTURE LOT 9 WITHIN THE FORTHCOMING JACOB'S RANCH COMMERCIAL SUBDIVISION, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 2, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, FROM WHICH THE SOUTHEAST QUARTER BEARS SOUTH 00°12'16" EAST 1099.71 FEET AND NORTH 89°47'42" WEST 593.37 FEET TO THE POINT OF BEGINNING AND RUNNING THENCE SOUTH 59°59'44" WEST 250.38 FEET; THENCE NORTH 20°36'51" WEST 193.44 FEET; THENCE NORTH 59°59'10" EAST 250.31 FEET; THENCE SOUTH 30°00'15" EAST 193.49 FEET TO THE POINT OF BEGINNING.

### SITE INFORMATION

TOTAL SITE AREA	1.11 ACRES (48,352 SF)
TOTAL BUILDING AREA	4,519 SF
PARKING REQUIREMENTS	1 STALL / 100 SF; UP TO 3 STACKING SPACES MAY BE COUNTED TOWARDS REQUIRED PARKING
PARKING STALLS REQUIRED	46 STALLS
PARKING STALLS PROVIDED ONSITE	36 STALLS (31 STALLS + 2 ADA STALLS + 3 DRIVE-THRU "STALLS")
SHARED PARKING STALLS PROVIDED	10 STALLS
TOTAL PARKING STALLS PROVIDED	46 STALLS

### CONSULTANTS

**DEVELOPER:**  
McDONALD'S CORPORATION  
1100 N. WHEELER STREET  
CHICAGO, IL 60607  
CONTACT: TODD WRIGHT  
PHONE: (773) 805-7114

**SURVEYOR:**  
DIAMOND LAND SURVEYING  
6091 S 700 W, SUITE 150  
MIDVALE, UTAH 84047  
CONTACT: NATE WEBER  
PHONE: (801) 266-5099

**GEOTECHNICAL ENGINEER:**  
477 PARKLAND DRIVE  
SANDY, UT 84070  
CONTACT: MARTIN JENSEN, P.E.  
PHONE: (801) 448-0322

**CIVIL ENGINEER:**  
KIRKBY-IRON  
111 EAST BROADWAY, SUITE 600  
SALT LAKE CITY, UT 84111  
CONTACT: JOANNA GRAHAM, P.E.  
PHONE: (385) 429-8103

**ARCHITECT:**  
135 N. 1500 ST., SUITE 201  
NAPERVILLE, IL 60540  
CONTACT: JOY VRCHOTA  
PHONE: (224) 585-4591

### AGENCY CONTACTS

**PLANNING**  
**ENGINEERING:**  
CITY OF SARATOGA SPRINGS  
1307 NORTH ST #200  
SARATOGA SPRINGS, UT 84045  
CONTACT: JEREMY LAPIN  
PHONE: (801) 766-9793

**ROCKY MOUNTAIN POWER:**  
635 N 1200  
LAYTON, UT 84041  
CONTACT: JACK PEHKONEN  
PHONE: (801) 756-1239

**UDOT REGION 3:**  
658 N 1500 W  
OREM, UTAH 84057  
PHONE: (801) 227-8000

**PUBLIC WORKS**  
**(WATER, STORM, SEWER):**  
CITY OF SARATOGA SPRINGS  
213 N 900 E  
SARATOGA SPRINGS, 84045  
CONTACT: JEREMY LAPIN  
PHONE: (801) 766-9793

**DOMINION ENERGY:**  
333 STATE STREET  
SALT LAKE CITY, UT 84111  
CONTACT: MIKE DAVIS  
PHONE: (304) 259-4024

THESE PLANS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.



### VICINITY MAP

NOT TO SCALE

### GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE CITY OF SARATOGA SPRINGS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS SHALL BE INSPECTED AND APPROVED BY THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AND WITH THE DEPARTMENT OF TRANSPORTATION INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY ENGINEER OF RECORD.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT, OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY OF SARATOGA SPRINGS AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURING.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, THEIR SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE M.U.T.C.D. TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE) FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY OF SARATOGA SPRINGS PUBLIC WORKS INSPECTOR AT ALL TIMES. AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
- DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
- ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
- THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- ALL WORK WITHIN REDWOOD ROAD IS SUBJECT TO THE JURISDICTION OF THE UTAH DEPARTMENT OF TRANSPORTATION, REGION 3.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTOR'S SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES EXCLUDING TAP FEES AND SYSTEM DEVELOPMENT FEES, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
- IN GENERAL, LIMITS OF SITE WORK ARE UP TO THE FACE OF BUILDING.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR TO MAINTAIN ALL SHRUB AND GROUND COVER AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIOD.



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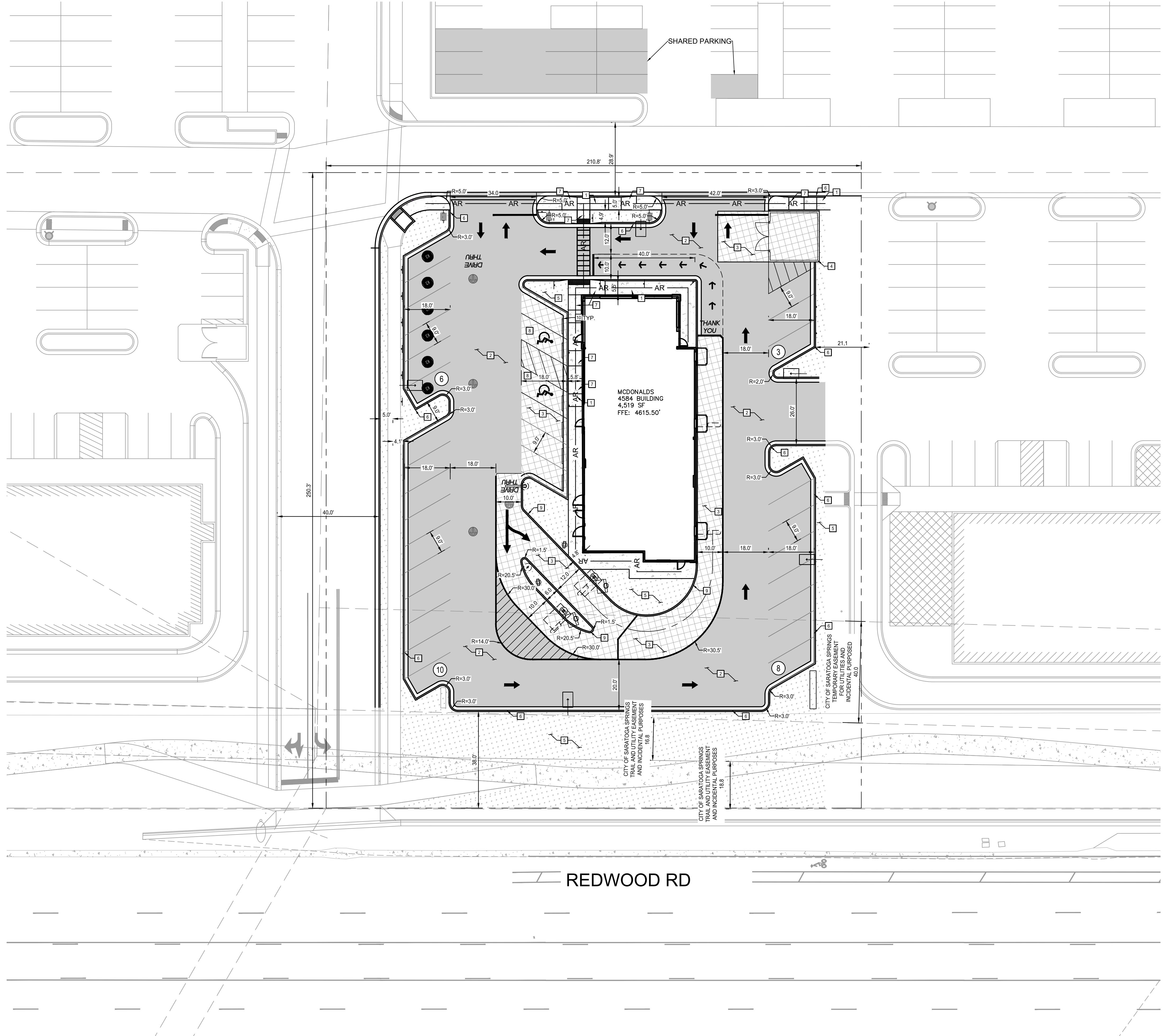
**Kimley»Horn**

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111 E BROADWAY SUITE 600, UTAH 84111  
PHONE: 385-212-3176  
WWW.KIMLEY-HORN.COM

**COVER SHEET**

**1500 SOUTH REDWOOD RD**  
PREPARED FOR  
MCDONALD'S USA, LLC  
SARATOGA SPRINGS, UTAH  
SHEET NUMBER  
**C0.00**

KHA PROJECT 093649016	LICENSED PROFESSIONAL MC
DATE 9/4/2025	AS SHOWN
DESIGNED BY EB	DRAWN BY JC
CHECKED BY JC	DATE JC



## GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED ON THE PLAN.
5. SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT. ACCESSIBLE ROUTES SHALL SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND 1:50 CROSS SLOPE.
6. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
7. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
8. THE PLACEMENT OF THE CODs AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
9. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALDS APPROVED SUPPLIERS.
10. THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IS PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING

## SITE INFORMATION

TOTAL SITE AREA	1.11 ACRES (48,325 SF)
PROPOSED BUILDING AREA	4,519 SF
PROPOSED LANDSCAPE AREA	10,064 SF
SITE ZONING	CG - GENERAL COMMERCIAL
PARKING STALLS REQUIRED	4,519 SF X 1 STALL / 100 SF = 46 STALLS
PARKING STALLS PROVIDED ONSITE	36 STALLS (31 STALLS + 2 ADA STALLS + 3 DRIVE-THRU "STALLS")
SHARED PARKING STALLS PROVIDED	10 STALLS
TOTAL PARKING STALLS PROVIDED	46 STALLS

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## SITE PLAN

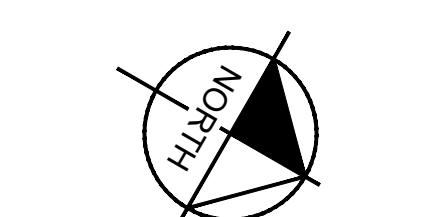
**1500 SOUTH REDWOOD RD**  
PREPARED FOR  
**MCDONALD'S USA, LLC**  
SARATOGA SPRINGS, UTAH

## CONSTRUCTION NOTES

1. FURNISH AND INSTALL 5" THICK CONCRETE SIDEWALK PER CITY OF SARATOGA DETAIL ON SHEET C6.10, WIDTH PER PLAN.
2. FURNISH AND INSTALL HEAVY-DUTY ASPHALT PAVEMENT PER DETAIL ON SHEET C6.10.
3. FURNISH AND INSTALL HEAVY DUTY CONCRETE PAVEMENT PER DETAIL ON SHEET C6.10.
4. DUMPSTER AND STORAGE ENCLOSURE. REFER TO STRUCTURAL PLANS FOR DETAILS.
5. LANDSCAPE AREA. REFER TO LANDSCAPE PLANS FOR DETAILS.
6. FURNISH AND INSTALL 6" VERTICAL CURB & GUTTER PER APWA PLAN 205.1 CURB TYPE A ON SHEET C6.11.
7. FURNISH AND INSTALL ADA ACCESSIBLE RAMP PER CITY OF SARATOGA DETAIL ST-5B ON SHEET C6.12. SLOPES SHOWN PER DETAIL ARE MAXIMUM SLOPES THAT SHALL NOT BE EXCEEDED. GUTTER COUNTERSLOPE AT RAMP LOCATIONS SHALL NOT EXCEED 1:20.
8. ADA PARKING STALL. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION. REFER TO DETAIL ON SHEET C6.12.
9. FURNISH AND INSTALL 6" VERTICAL CURB (NO GUTTER) PER APWA PLAN 209 CURB TYPE P ON SHEET C6.13.
10. CONCRETE WHEEL STOP. REFER TO DETAIL ON SHEET 6.13

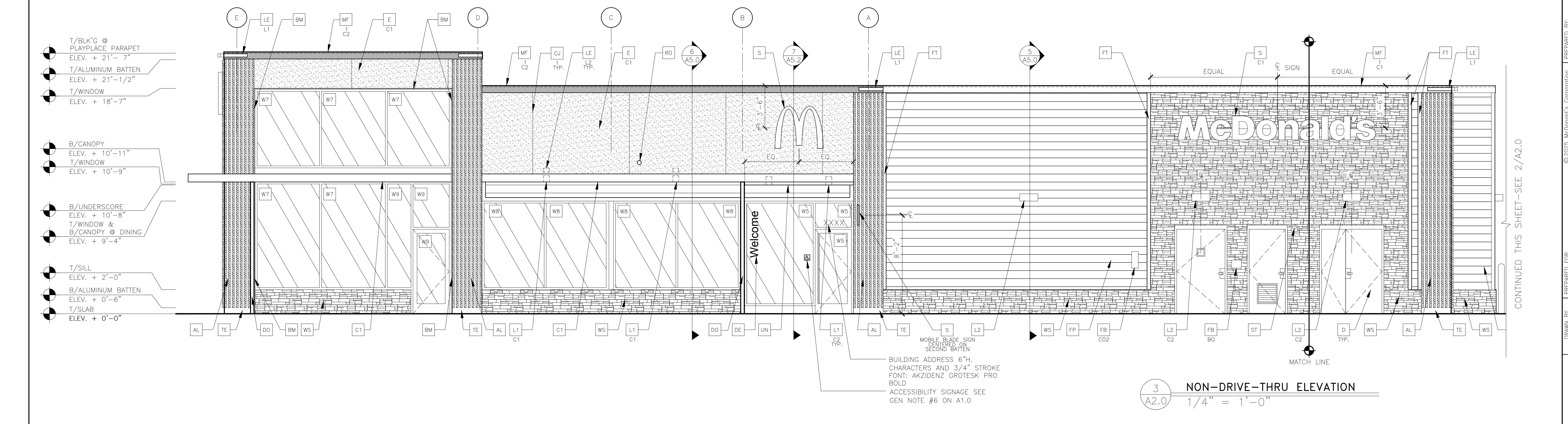
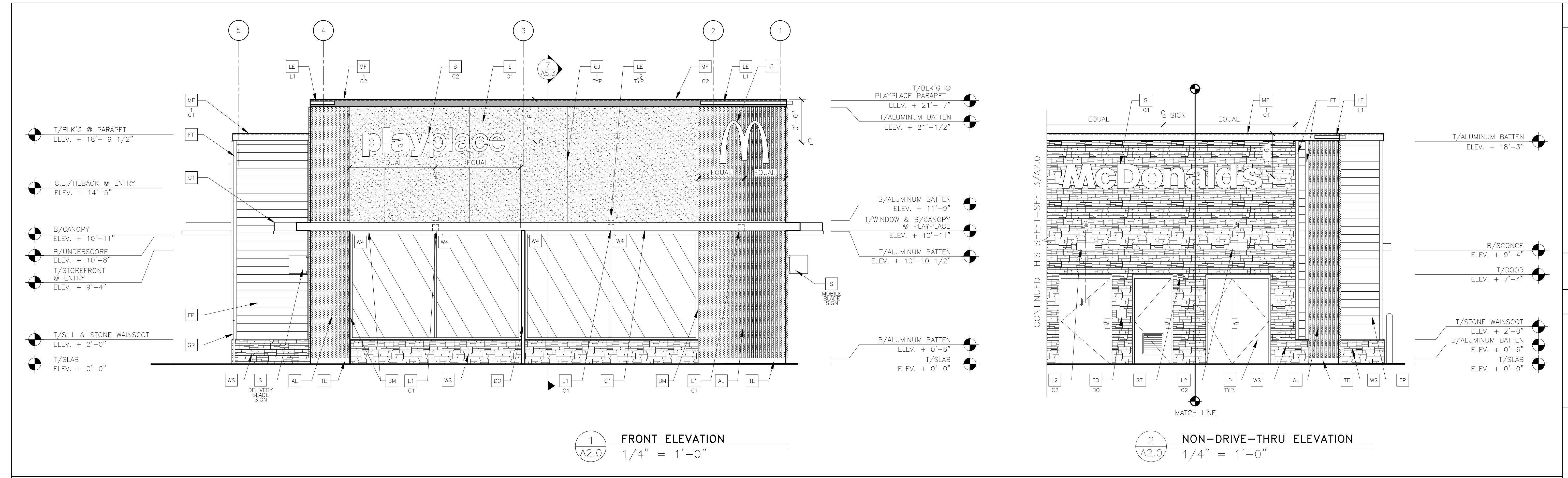
## LEGEND

PROPOSED MCDONALD'S DEVELOPMENT BOUNDARY	
EXISTING EASEMENT	
ADA PEDESTRIAN PATH	
PROPOSED HEAVY DUTY A.C. PAVEMENT	
PROPOSED HEAVY DUTY CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK	
PROPOSED LANDSCAPE	
PROPOSED LIGHT POLE	
PROPOSED CURB AND GUTTER	
PROPOSED SPILL CURB AND GUTTER	



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SHEET NUMBER  
**C3.00**



# EURO SALES

Group

**S USA, LLC**

These documents were prepared with its issue date and are to be used at a later time. Use of another project requires the services of engineers. Reproduction of this project is not authorized.

## KEY NOTES:

AL ALUMINUM BATTEN SYSTEM  
SIZE: 2"X2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH  
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,  
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.  
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH  
SIDES AND ALL EDGES PRIOR TO INSTALLATION.  
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

AP ALUMINUM COMPOSITE METAL PANEL (COLOR: DON GRAY)

**C1** ALUMINUM CANOPY SYSTEM  
COLOR: WHITE

**C2** ALUMINUM CANOPY SYSTEM

CJ CONTROL JOINT  
1 —TYPE: 1 = EIFS

D HOLLOW METAL DOOR  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS

DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com

DO DOWNSPOUT  
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER  
COLOR: RAL 7022

E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)  
C1 —COLOR:  
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

EJ EXPANSION JOINT, SEE DETAIL 7/A4.1

FB FILL BOX

C02 — C02 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)

FP FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ5  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS

FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1 5/8" AND 3 1/2" WIDTH, 3/4" THICK, HZ5  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS

GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS

L1 RECESSED DOWN LIGHT FIXTURE — SEE ELECTRICAL

C1—COLOR:  
C1= WHITE  
C2= GOLD

L2 RADIAL SCONCE LIGHT FIXTURE — SEE ELECTRICAL  
COLOR: PLATINUM SILVER

**LE** ACCENT LIGHTING — SEE ELECTRICAL

L1—LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = UP ONLY FLOOD FIXTURE

**MF** METAL FASCIA

C1 — TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = NOT USED  
3 = NOT USED

C1 — COLOR:  
C1 = WEATHERED ZINC  
C2 = RAL 7022

**PB** PIPE BOLLARD — PAINTED YELLOW

- G RAIN GUTTER (AT PLAYPLACE)
- D ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
- 1— COLOR:
  - C1= WEATHERED ZINC RACEWAY
  - C2= RAL 7022 RACEWAY
- T CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
- E TRU EXTERIOR 1"X6" TRIM, PAINTED ON SITE  
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- M METAL UNDERSCORE  
COLOR: GOLD

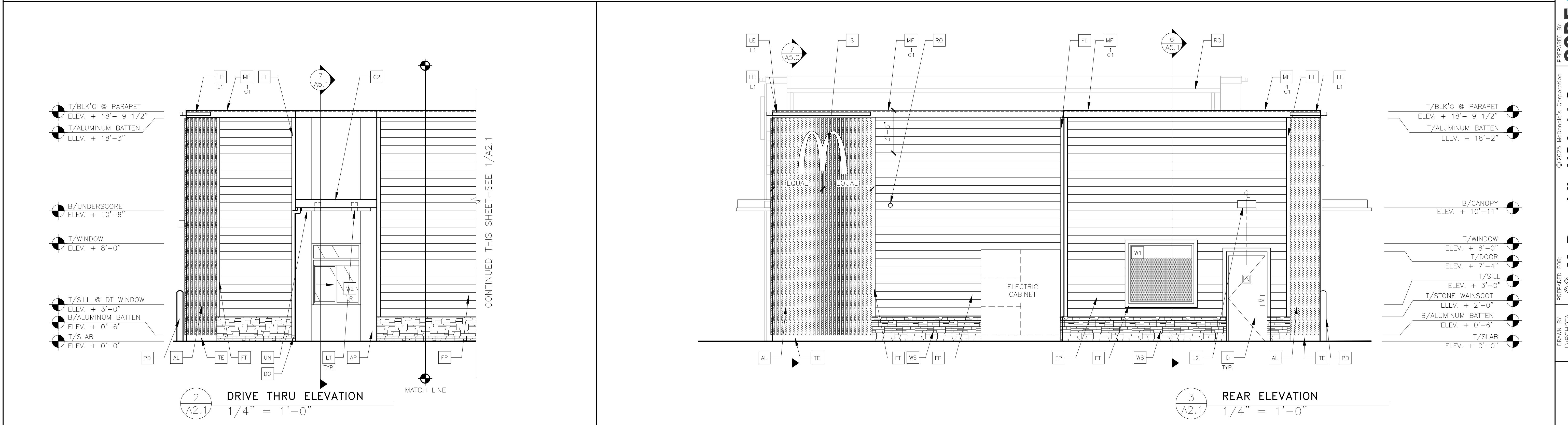
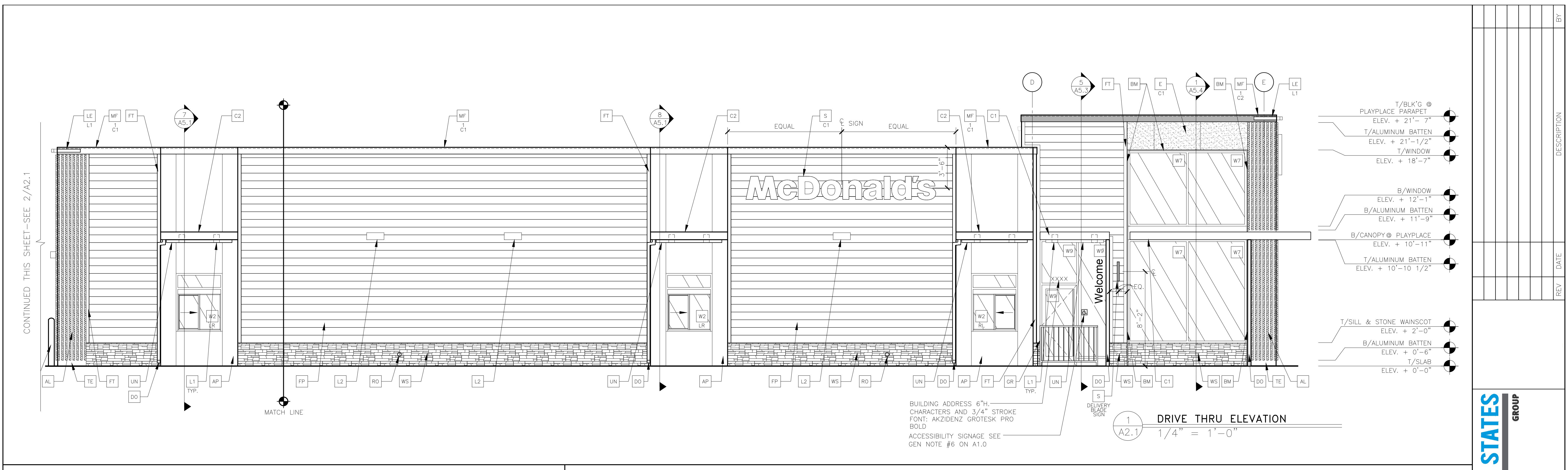
EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE

DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL  
OPEN; ELECTRONIC RELEASE  
COLOR: DEEP BRONZE

SLIDE DIRECTION:      RL = RIGHT TO LEFT  
                          LR = LEFT TO RIGHT

STONE WAINSCOT:  
CULTURED STONE BY BORAL - HEWN STONE

STREET NO.	2025	STANDARD	BU
	4584	PLAYPLACE	-V
		DESCRIPTION	
WOOD BEARING WALLS W/HARDIE			SAF
WOOD TRUSS ROOF FRAMING			
E.I.F. S./BATTEN/LAP SIDING EXTE			
NSN: 43155		SITE ADDRESS	
L/C: 043-03558		833HR+R8,	
043-0358.00.0			
A2.0			
ELEVATIONS			



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SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com  
DO 3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER  
COLOR: RAL 7022  
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JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, H25  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS  
FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH, 1  
5/8" AND 3 1/2" WIDTH, 3/4" THICK, H25  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS  
GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS  
L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
C1 COLOR:  
C1 = WHITE  
C2 = GOLD  
L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: PLATINUM SILVER

LE ACCENT LIGHTING - SEE ELECTRICAL  
L1 LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = UP ONLY FLOOD FIXTURE  
MF METAL FASCIA  
1 TYPE:  
C1 = 1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = NOT USED  
3 = NOT USED  
COLOR:  
C1 = WEATHERED ZINC  
C2 = RAL 7022  
RG RAIN GUTTER (AT PLAYPLACE)  
RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL  
S McDonald's SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
XX SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT  
ST C02 STROBE/ALARM. SEE MECHANICAL DRAWINGS  
FOR SPECIFICATION.  
TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE  
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS  
PB PIPE BOLLARD - PAINTED YELLOW  
UN METAL UNDERSCORE  
COLOR: GOLD

WF EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: DARK BRONZE  
W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL  
OPEN; ELECTRONIC RELEASE  
XX COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT  
WS STONE WAISNCOT;  
CULTURED STONE BY BORAL - HEWN STONE  
COLOR: SPAN

SHEET NO. A2.1  
TITLE 043-0358.00.00  
DESCRIPTION 2025 STANDARD BUILDING - BB20  
4584-PLAYPLACE-WOOD/WOOD  
WOOD BEARING WALLS/W/HARDIE BOARD EXTERIOR FINISH  
E.I.F.S./BATTEN/WAP SONG EXTERIOR FINISH  
NSN:4355 SITE ADDRESS  
L/C: 043-0358 83H4R8, SARATOGA SPRINGS, UT