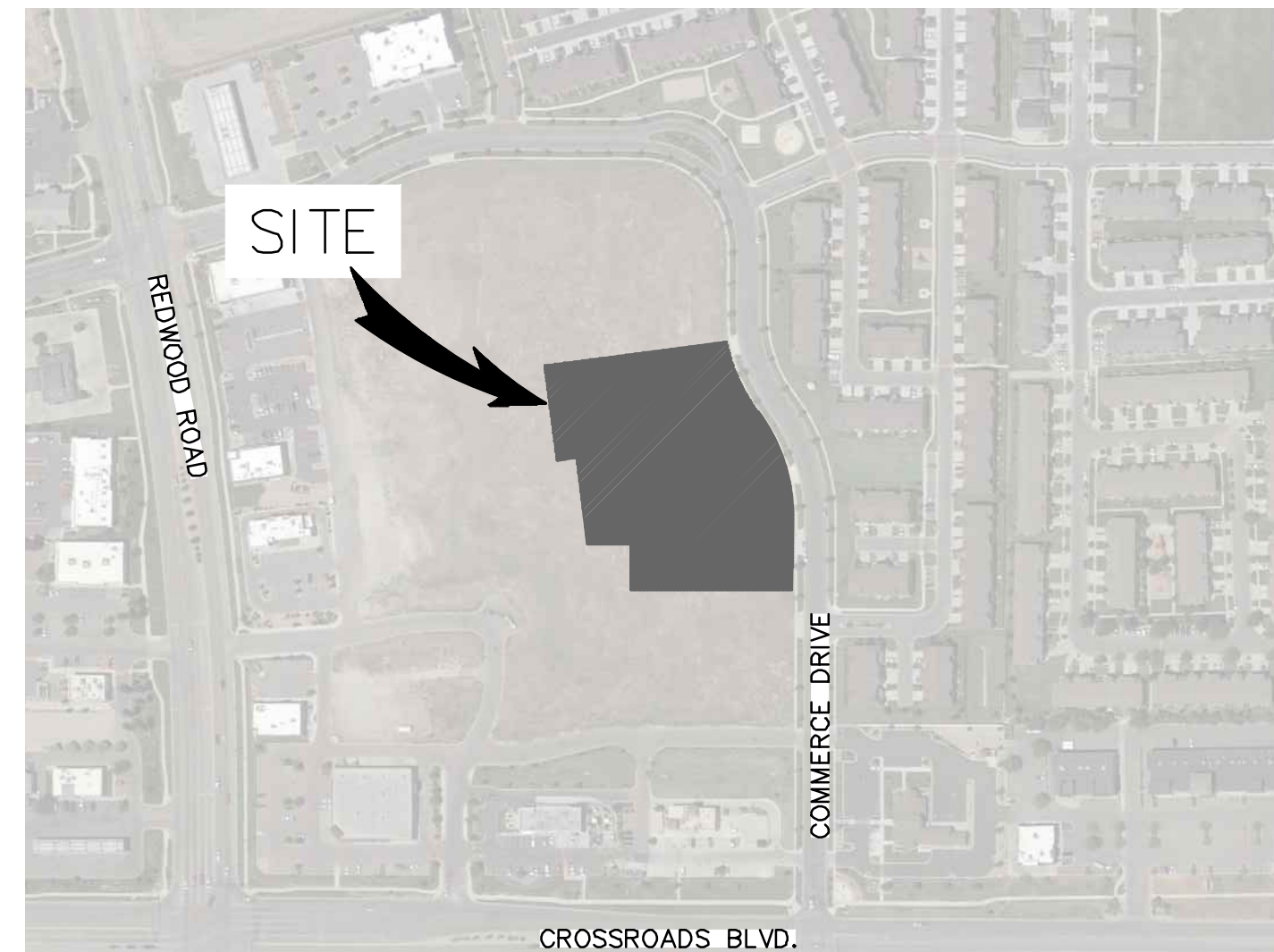


SARATOGA TOWN CENTER - LOT 305
LOT 305, SARATOGA TOWN CENTER NO. 3 SUBDIVISION PLAT
1509 NORTH COMMERCE DRIVE
SARATOGA SPRINGS, UTAH 84045

SEPTEMBER 19, 2024
REVISED NOVEMBER 18, 2024
REVISED DECEMBER 23, 2024
REVISED FEBRUARY 6, 2025
REVISED FEBRUARY 10, 2025
REVISED MAY 20, 2025
REVISED SEPTEMBER 5, 2025



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET INDEX
CV COVER SHEET
C0.1 EXISTING TOPO AND CONDITIONS PLAN
C0.2 EASEMENT PLAN
C0.3 RECORD OF SURVEY
C1.0 SITE PLAN
C2.0 GRADING PLAN
C2.1 DRAINAGE PLAN
C3.0 UTILITY PLAN
C4.0 DETAIL SHEET
C4.1 DETAIL SHEET
C4.2 DETAIL SHEET
C4.3 DETAIL SHEET
E010 ELECTRICAL COVER SHEET
E020 ENERGY COMPLIANCE CERTIFICATE
E050 ELECTRICAL SPECIFICATIONS
ES101 SITE ELECTRICAL PLAN
ES102 SITE PHOTOMETRIC PLAN
E101 POWER PLAN
E151 LIGHTING PLAN
E501 ELECTRICAL DIAGRAMS
E601 ELECTRICAL SCHEDULES
E602 PANEL SCHEDULES
E603 PANEL SCHEDULES
E701 BUILDING MOUNTED LIGHT FIXTURE CATALOG PAGES
E702 POLE MOUNTED LIGHT FIXTURE CATALOG PAGES
LP-100 LANDSCAPE OVERALL PLAN
LP-101 LANDSCAPE COVER
LP-501 LANDSCAPE DETAILS
IR-100 IRRIGATION OVERALL PLAN
IR-101 IRRIGATION COVER
IR-501 IRRIGATION DETAILS
IR-502 IRRIGATION DETAILS
IR-503 IRRIGATION DETAILS
A201 LOT #305 EXTERIOR ELEVATIONS
SP501 LOT #305 SITE DETAILS DUMPSTER ENCLOSURE

CITY STANDARD NOTES:

- i. Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- ii. Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- iii. All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- iv. Existing Utilities have been noted to the best of Engineers knowledge, however it is owner's and contractor's responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.
- v. Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- vi. The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- vii. All exterior lighting shall meet IESNA full-cutoff criteria.

FEMA NOTE:

THIS PROJECT LIES IN A FEMA
DESIGNATED ZONE X WHICH IS DEFINED
AS AREAS DETERMINED TO BE OUTSIDE
THE 0.2% ANNUAL CHANCE FLOODPLAIN.
PER PANEL 145 OF 1450
EFFECTIVE DATE: JUNE 19, 2020










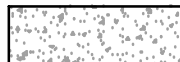



PROJECT SUMMARY			
LOT 305 PROJECT AREA	152,730 S.Q.F.T.	3.51 ACRES	110.02 %
LOT 305 LOT AREA	138,824 S.Q.F.T.	3.19 ACRES	100.00 %
LOT 305 IMPERVIOUS AREA	123,257 S.Q.F.T.	2.83 ACRES	88.79 %
LOT 305 BUILDING AREA	45,786 S.Q.F.T.	1.05 ACRES	32.97 %
LOT 305 LANDSCAPE AREA	15,668 S.Q.F.T.	0.36 ACRES	11.21 %
LOT 305 R.O.W. DEDICATION AREA	0 S.Q.F.T.	0.00 ACRES	0.00 %
LOT 305 SENSITIVE LANDS AREA	3,741 S.Q.F.T.	0.09 ACRES	2.69 %
LOT 305 SENSITIVE LANDS % OF OPEN SPACE	24.03 %		
LOT 305 NUMBER OF BUILDINGS	1		
LOT 305 NUMBER OF SURFACE PARKING	192		
LOT 305 NUMBER OF GARAGE PARKING	0		
LOT 305 NET DENSITY OF DWELLINGS	0.31 BUILDINGS/ACRE		
LOT 305 % OF BUILDABLE LAND	97.31 %		
LOT 305 PROPOSED PAVEMENT	74,685 S.Q.F.T.		
LOT 305 PROPOSED UNTREATED BASE COURSE	74,685 S.Q.F.T.		
LOT 305 PROPOSED GRANULAR BORROW	0 S.Q.F.T.		
LOT 305 CURB & GUTTER	2,278 LF		
LOT 305 SIDEWALK	1,032 LF		
LOT 305 ADA RAMPS	4 EACH		

SARATOGA TOWN CENTER LOT 305
1509 NORTH COMMERCE DRIVE, SARATOGA SPRINGS, UT 84045
COVER SHEET

PROFESSIONAL ENGINEER
No. 12072623
TREVOR L. HODGSON
STATE OF UTAH

SHEET NO.
CV
PROJECT ID: E24-004
DATE: 09/19/24
FILE NAME: 0511_T05
SCALE:

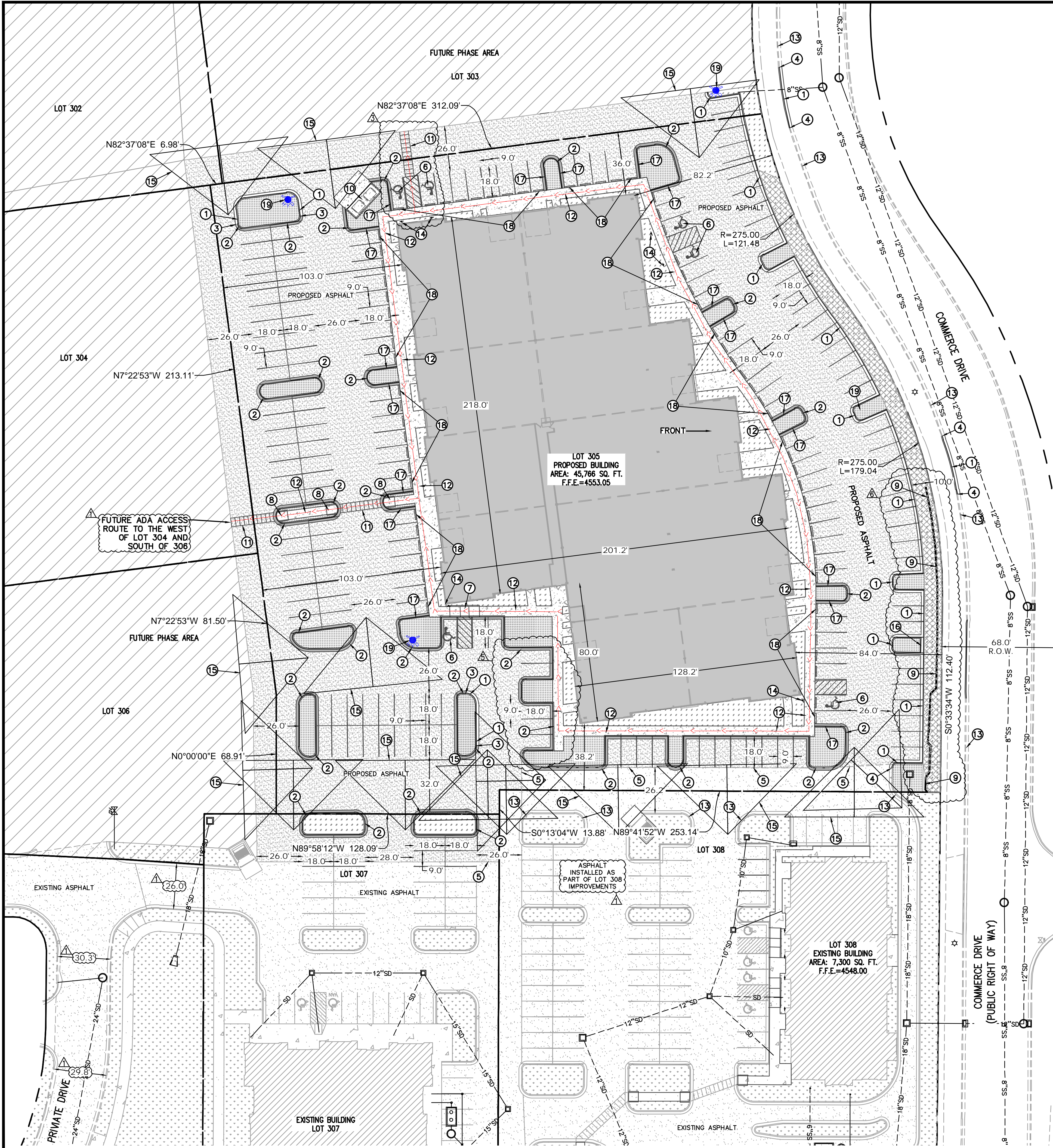
LEGEND

----	PROPERTY LINE		EXISTING FIRE HYDRANT
----	EASEMENT LINE		PROPOSED FIRE HYDRANT
-4240.0-	PROPOSED GRADE CONTOURS		EXISTING STREET LIGHT
-4240.0-	EXISTING GRADE CONTOURS		PROPOSED STREET LIGHT
=====	EXISTING CURB		PROPOSED PARKING LOT LIGHT
=====	PROPOSED CURB AND GUTTER		EXISTING WATER METER
=====	PROPOSED CURB WALL		EXISTING WATER VALVE
=====	REVERSE PAN CURB & GUTTER		EXISTING GATE VALVE
---SS---	EXISTING SEWER		EXISTING OVERHEAD POWER POLE
---SS---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
---W---	EXISTING WATER	FF	FINISHED FLOOR
---W---	PROPOSED WATER	HW	HIGH WATER
---F---	EXISTING FIRE LINE	TOG	TOP OF GRATE
---F---	PROPOSED FIRE LINE	TOL	TOP OF LID
---SD---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
---SD---	PROPOSED STORM DRAIN	EX	EXISTING
---RD---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---G---	EXISTING GAS	TA	TOP OF ASPHALT
---G---	PROPOSED GAS	TC	TOP OF CONCRETE
---OHP---	EXISTING OVERHEAD POWER	EC	EDGE OF CONCRETE
---UGP---	EXISTING UNDERGROUND POWER	EA	EDGE OF ASPHALT
---UGP---	PROPOSED UNDERGROUND POWER	TOW	TOP OF WALL
---T---	EXISTING TELEPHONE LINE	BOW	BOTTOM OF WALL
---T---	PROPOSED TELEPHONE LINE	FW	FRONT OF SIDEWALK
---FO---	EXISTING FIBER OPTIC LINE	BW	BACK OF SIDEWALK
---FO---	PROPOSED FIBER OPTIC LINE	TG	TOP OF GRAVEL
		TL	TOP OF LANDSCAPING
	PROPOSED CONCRETE	TS	TOP OF SIDEWALK
	PROPOSED ASPHALT	PROP	PROPOSED
	PROPOSED LANDSCAPING		TBC CALLOUT UNLESS OTHERWISE DESIGNATED

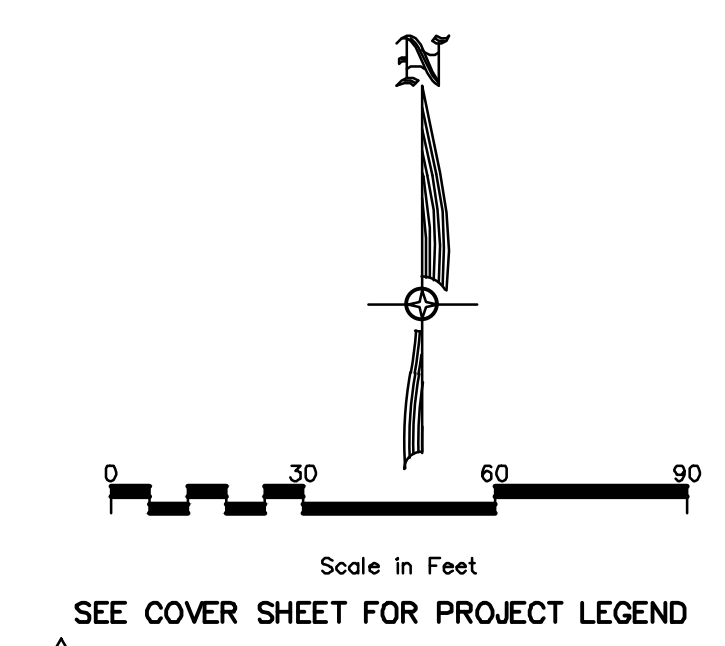
CIR
ENGINEERING, L.L.C.
10718 SOUTH BECKSTEAD LANE, SUITE 102
SOUTH JORDAN, UT 84095 - PH: 801-949-6296

ARCHITECT:
DIVERSIFIED DESIGN SERVICES
6236 SOUTH TURPIN STREET
MURRAY, UT 84107
CONTACT PERSON: BRANDON LUNDEEN
PH: (801) 347-2369

PROJECT ENGINEER: TLH



- SITE PLAN NOTES:**
- 1 PROPOSED 24" CURB & GUTTER. SEE CITY DETAIL ST-2B ON SHEET C4.3.
 - 2 PROPOSED 24" FALL-OUT CURB & GUTTER. SEE CITY DETAIL ST-2D ON SHEET C4.3.
 - 3 PROVIDE A SMOOTH TRANSITION FROM CURB & GUTTER TO FALL-OUT CURB & GUTTER. MIN LENGTH 3'.
 - 4 MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
 - 5 SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH INTO.
 - 6 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 6/C4.0.
 - 7 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 2/C4.0.
 - 8 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 1/C4.0.
 - 9 PROPOSED SIMPLYBILT RETAINING WALL. SEE SHEET C4.0 FOR DETAILS AND SEE SHEET C2.0 FOR ELEVATIONS
 - 10 INSTALL TRASH ENCLOSURE. SEE SHEET SP 501 OF THE ARCHITECTURAL DRAWINGS FOR DETAILS.
 - 11 INSTALL 5' WIDE PAINTED PEDESTRIAN WALKWAY.
 - 12 INSTALL 6' SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET 4.2.
 - 13 EXISTING CURB & GUTTER.
 - 14 PROPOSED ADA SIGN. SEE DETAIL 7/4.0.



SEE COVER SHEET FOR PROJECT LEGEND

SHEET LEGEND

- [Hatched Box] SENSITIVE LANDS
- [Red Arrow] ADA ROUTE

- 15 CLEAR SIGHT TRIANGLE.
- 16 CONTINUE GUTTER THROUGH PLANTER AREA PROVIDING A CONCRETE WATERWAY TO ALLOW STORM WATER TO FLOW THROUGH.
- 17 TAPER PROPOSED CURB & GUTTER TO ASPHALT, SEE DETAIL 5/C4.0.
- 18 INSTALL CONCRETE WHEEL STOP. (TYP.)
- 19 PROPOSED FIRE HYDRANT. SEE SHEET C3.0 FOR DETAILS.

LOT 305 AREAS:

	SQ. FT. / ACRES
LOT 305	138,824 SQ. FT. / 3.19 ACRES
BUILDING FOOTPRINT	45,766 SQ. FT. / 1.05 ACRES
PROPOSED ASPHALT	40,220 SQ. FT. / 0.92 ACRES
EXISTING ASPHALT	2,778 SQ. FT. / 0.06 ACRES
TOTAL LANDSCAPING	15,468 SQ. FT. / 0.36 ACRES
PARKING LANDSCAPING	6,404 SQ. FT. / 0.15 ACRES
REMAINING LANDSCAPING	9,064 SQ. FT. / 0.21 ACRES
PROPOSED CONCRETE	34,565 SQ. FT. / 0.79 ACRES
EXISTING CONCRETE	28 SQ. FT. / 0.00 ACRES

OFFSITE IMPROVEMENT AREAS:

	SQ. FT. / ACRES
TOTAL IMPROVEMENT AREA	13,906 SQ. FT. / 0.32 ACRES
PROPOSED ASPHALT	12,594 SQ. FT. / 0.29 ACRES
PROPOSED CONCRETE	311 SQ. FT. / 0.01 ACRES
PROPOSED LANDSCAPING	1,002 SQ. FT. / 0.02 ACRES

LOT 305 LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING AREA	72,718 SQ. FT.	
PARKING AREA LANDSCAPING	6,404 SQ. FT.	(5% OF PARKING AREA: 3,636 SQ. FT. REQ'D)
TOTAL LANDSCAPING	15,468 SQ. FT.	(20% OF LOT: 27,765 SQ. FT. REQ'D)

SUBDIVISION LANDSCAPING AREAS:

	SQ. FT.
LOT 303	1,002 SQ. FT.
LOT 305	15,468 SQ. FT.
LOT 307	6,838 SQ. FT.
LOT 308	11,376 SQ. FT.
LOT 309	40,215 SQ. FT.
TOTAL PROVIDED	75,403 SQ. FT.
REMAINING TO BE PROVIDED IN LOTS 301-304 & 306	62,156 SQ. FT.

(20% OF SUBDIVISION 137,559 SQ. FT. REQ'D)

LOT 305 PARKING REQUIREMENTS:

	SQ. FT.	CITY REQMT
RECREATION FACILITY	45,766 SQ. FT.	184 (183.06)(4 STALLS/1000)
TOTAL REQUIRED:		184 (183.06)
TOTAL PROVIDED:		193
ACCESSIBLE SPACES		6 (6 REQ'D 151 TO 200)

*NOTE: THE PROVIDED PARKING STALLS COUNT INCLUDES ONLY THOSE PARKING STALLS LOCATED WITHIN THE LOT LINES OF LOT 305.

COMPLIANCE NOTE: THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN

ADA NOTE: ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGSCITY.COM /PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

DETENTION NOTE: SEE DRAINAGE REPORT FOR ALL DRAINAGE CALCULATIONS.

ACCESSIBLE ROUTE NOTE: AN ACCESSIBLE ROUTE TO THE RIGHT OF WAY WILL BE PROVIDED TO THE NORTH AS PART OF THE LOT 303 IMPROVEMENTS AND TO THE WEST AS PART OF THE LOT 304 IMPROVEMENTS.

OUTDOOR DISPLAY NOTE:

- 1. ALL RETAIL PRODUCT DISPLAYS SHALL BE LOCATED UNDER THE BUILDING'S DISPLAY PADS WITHIN FRONT LANDSCAPE AREAS.
- 2. ALL DISPLAY AREAS SHALL BE CLEARLY DEFINED ON THE APPROVED SITE PLAN AND DESIGNATED ON THE SITE WITH A CONTRACTING COLORED, PAINTED, OR STRIPED SURFACE.
- 3. DISPLAY AREAS SHALL NOT BLOCK BUILDING ENTRIES OR EXITS, PEDESTRIAN WALKS, OR PARKING SPACES IN FRONT OF THE BUILDING. OUTDOOR DISPLAY AREAS SHALL NOT SPILL INTO WALKWAYS OR ANY DRIVE AISLE ADJACENT TO A BUILDING.

NOTE: ANY IMPROVEMENTS SHOWN WITHIN THE FUTURE PHASE AREA OF THE SITE ARE SHOWN FOR REFERENCE ONLY. NO CONSTRUCTION IS BEING PROPOSED IN THE FUTURE PHASE AREA AT THIS TIME.



CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - 801-949-6296

SARATOGA TOWN CENTER LOT 305

1509 NORTH COMMERCE DRIVE, SARATOGA SPRINGS, UT 84045

SITE PLAN

1 COMMENTS
2 COMMENTS
3 COMMENTS
4 COMMENTS
5 UTILITY/CURB UPDATES
6 RETAINING WALL CHANGES

NO REVISIONS

DATE

PROJECT ENGINEER: TLH

SHEET NO. C1.0

PROJECT ID: E24-004
DATE: 09/19/24
FILE NAME: PRJ-TC5
SCALE: 1"=30'

PROFESSIONAL ENGINEER
No. 12072623
TREVOR L. HODGSON
STATE OF UTAH