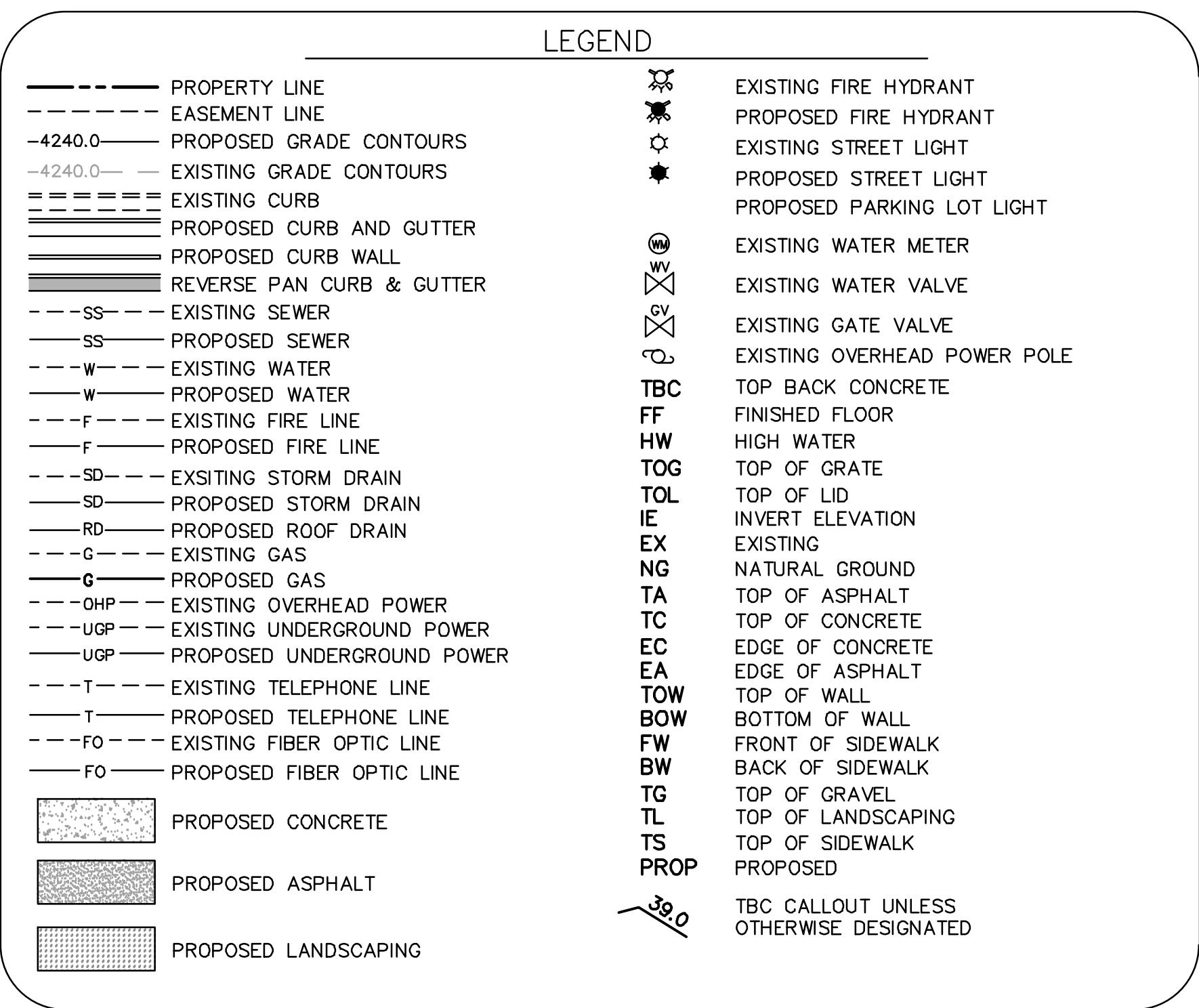


# SARATOGA TOWN CENTER - LOT 305

## LOT 305, SARATOGA TOWN CENTER NO. 3 SUBDIVISION PLAT

### 1509 NORTH COMMERCE DRIVE SARATOGA SPRINGS, UTAH 84045

SEPTEMBER 19, 2024  
REVISED NOVEMBER 18, 2024  
REVISED DECEMBER 23, 2024  
REVISED FEBRUARY 6, 2025  
REVISED FEBRUARY 10, 2025  
REVISED MAY 20, 2025  
REVISED SEPTEMBER 5, 2025



**VICINITY MAP**  
NOT TO SCALE

**SHEET INDEX**

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C0.1 EXISTING TOPO AND CONDITIONS PLAN
C0.2 EASEMENT PLAN
C0.3 RECORD OF SURVEY
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C2.1 DRAINAGE PLAN
C3.0 UTILITY PLAN
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E050 ELECTRICAL SPECIFICATIONS
ES101 SITE ELECTRICAL PLAN
ES102 SITE PHOTOMETRIC PLAN
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E702 POLE MOUNTED LIGHT FIXTURE CATALOG PAGES
LP-100 LANDSCAPE OVERALL PLAN
LP-101 LANDSCAPE COVER
LP-501 LANDSCAPE DETAILS
IR-100 IRRIGATION OVERALL PLAN
IR-101 IRRIGATION COVER
IR-501 IRRIGATION DETAILS
IR-502 IRRIGATION DETAILS
IR-503 IRRIGATION DETAILS
A201 LOT #305 EXTERIOR ELEVATIONS
SP501 LOT #305 SITE DETAILS DUMPSTER ENCLOSURE

**CITY STANDARD NOTES:**

- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Contractor shall field verify locations and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.
- All construction shall comply with the Standard Technical Specifications and Drawings for the City of Saratoga Springs, Utah.
- Existing Utilities have been noted to the best of Engineers knowledge, however it is owner's and contractor's responsibility to locate utilities in field and notify City Engineer and City If discrepancies exist prior to continuing any construction.
- Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.
- The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and approved Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.
- All exterior lighting shall meet IESNA full-cutoff criteria.

**FEMA NOTE:**  
THIS PROJECT LIES IN A FEMA DESIGNATED ZONE X WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PER PANEL 145 OF 1450. EFFECTIVE DATE: JUNE 19, 2020

PROJECT SUMMARY		
LOT 305 PROJECT AREA	152,730 SQ.FT.	3.51 ACRES 110.02 %
LOT 305 LOT AREA	138,824 SQ.FT.	3.19 ACRES 100.00 %
LOT 305 IMPERVIOUS AREA	123,257 SQ.FT.	2.83 ACRES 88.79 %
LOT 305 BUILDING AREA	45,706 SQ.FT.	1.05 ACRES 32.97 %
LOT 305 LANDSCAPE AREA	15,588 SQ.FT.	0.36 ACRES 11.21 %
LOT 305 R.O.W. DEDICATION AREA	0 SQ.FT.	0.00 ACRES 0.00 %
LOT 305 SENSITIVE LANDS AREA	3,741 SQ.FT.	0.09 ACRES 2.69 %
LOT 305 SENSITIVE LANDS % OF OPEN SPACE	24.03 %	
LOT 305 NUMBER OF BUILDINGS	1	
LOT 305 NUMBER OF SURFACE PARKING	192	
LOT 305 NUMBER OF GARAGE PARKING	0	
LOT 305 NET DENSITY OF DWELLINGS	0.31 BUILDINGS/ACRE	
LOT 305 % OF BUILDABLE LAND	97.31 %	
LOT 305 PROPOSED PAVEMENT	74,685 SQ.FT.	
LOT 305 PROPOSED UNTREATED BASE COURSE	74,685 SQ.FT.	
LOT 305 PROPOSED GRANULAR BORROW	0 SQ.FT.	
LOT 305 CURB & GUTTER	2,278 LF	
LOT 305 SIDEWALK	1,032 LF	
LOT 305 ADA RAMPS	4 EACH	

1 COMMENTS	TH 11/18/24
2 COMMENTS	TH 12/23/24
3 COMMENTS	TH 02/05/25
4 COMMENTS	TH 05/20/25
5 COMMENTS	TH 09/05/25

REVISIONS

BY DATE

DESIGNER: TLH

PROJECT ENGINEER: TLH

CIVIL ENGINEERING

\* SURVEYING

10718 SOUTH BECKSTEAD LANE, SUITE 102  
SOUTH JORDAN, UT 84095 - 801-949-6296

CIR

**CIR**

CIVIL ENGINEERING

\* SURVEYING

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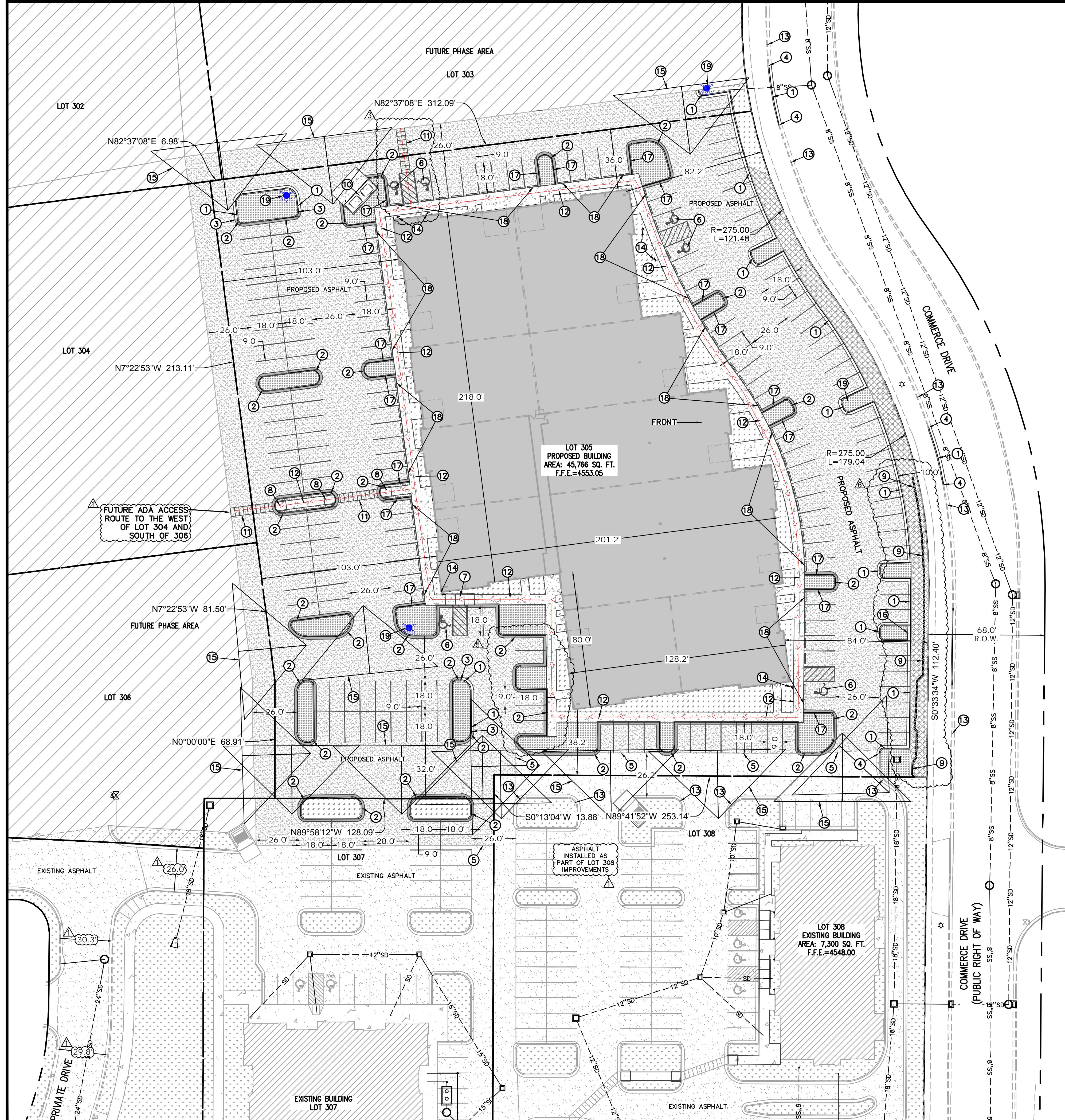
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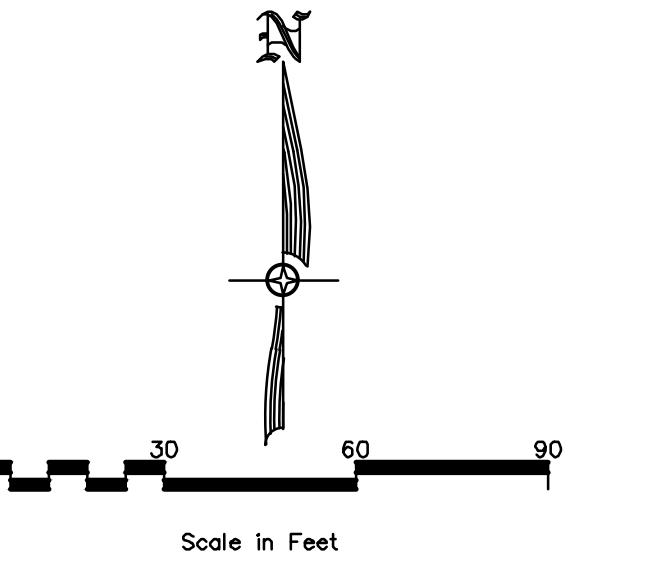
CIVIL ENGINEERING

\* SURVEYING



**SITE PLAN NOTES:**

- ① PROPOSED 24" CURB & GUTTER. SEE CITY DETAIL ST-2B ON SHEET C4.3.
- ② PROPOSED 24" FALL-OUT CURB & GUTTER. SEE CITY DETAIL ST-2D ON SHEET C4.3.
- ③ PROVIDE A SMOOTH TRANSITION FROM CURB & GUTTER TO FALL-OUT CURB & GUTTER. MIN LENGTH 3'.
- ④ MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
- ⑤ SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH INTO.
- ⑥ ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL 6/C4.0.
- ⑦ ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 2/C4.0.
- ⑧ ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 1/C4.0.
- ⑨ PROPOSED SIMPLYBILT RETAINING WALL. SEE SEE SHEET C4.0 FOR DETAILS AND SEE SHEET C2.0 FOR ELEVATIONS
- ⑩ INSTALL TRASH ENCLOSURE. SEE SHEET SP 501 OF THE ARCHITECTURAL DRAWINGS FOR DETAILS.
- ⑪ INSTALL 5' WIDE PAINTED PEDESTRIAN WALKWAY.
- ⑫ INSTALL 6' SIDEWALK PER SARATOGA SPRINGS STD. ST-1. SEE DETAIL SHEET 4.2.
- ⑬ EXISTING CURB & GUTTER.
- ⑭ PROPOSED ADA SIGN. SEE DETAIL 7/4.0.



SEE COVER SHEET FOR PROJECT LEGEND

①

## SHEET LEGEND

 SENSITIVE LANDS

ADA ROUTE

CLEAR SIGHT TRIANGLE.

CONTINUE GUTTER THROUGH PLANTER AREA PROVIDING A CONCRETE WATERWAY TO ALLOW STORM WATER TO FLOW THROUGH.

TAPER PROPOSED CURB & GUTTER TO ASPHALT, SEE DETAIL 5/C4.0.

INSTALL CONCRETE WHEEL STOP. (TYP.)

PROPOSED FIRE HYDRANT. SEE SHEET C3.0 FOR DETAILS.

### LOT 305 AREAS:

	SQ. FT. / ACRES
LOT 305	138,824 SQ. FT. / 3.19 ACRES
 BUILDING FOOTPRINT	45,766 SQ. FT. / 1.05 ACRES
 PROPOSED ASPHALT	40,220 SQ. FT. / 0.92 ACRES
 EXISTING ASPHALT	2,778 SQ. FT. / 0.06 ACRES
TOTAL LANDSCAPING	15,468 SQ. FT. / 0.36 ACRES
 PARKING LANDSCAPING	6,404 SQ. FT. / 0.15 ACRES
 REMAINING LANDSCAPING	9,064 SQ. FT. / 0.21 ACRES
 PROPOSED CONCRETE	34,565 SQ. FT. / 0.79 ACRES
 EXISTING CONCRETE	28 SQ. FT. / 0.00 ACRES

## OFFSITE IMPROVEMENT AREAS:

		SQ. FT. / ACRES
TOTAL IMPROVEMENT AREA		13,906 SQ. FT. / 0.32 ACRES
 PROPOSED ASPHALT		12,594 SQ. FT. / 0.29 ACRES
 PROPOSED CONCRETE		311 SQ. FT. / 0.01 ACRES
 PROPOSED LANDSCAPING		1,002 SQ. FT. / 0.02 ACRES

#### LOT 305 LANDSCAPING AREAS:

	SQ. FT.	CITY REQ'T
PARKING AREA	72,718 SQ. FT.	
PARKING AREA LANDSCAPING	6,404 SQ. FT.	(5% OF PARKING AREA: 3,636 SQ. FT. REQ'D)
TOTAL LANDSCAPING	15,468 SQ. FT.	(20% OF LOT: 27,765 SQ. FT. REQ'D)

## SUBDIVISION LANDSCAPING AREAS:

SUBDIVISION LANDZONING AREAS.		SQ. FT.
LOT 303		1,002 SQ. FT.
LOT 305		15,468 SQ. FT.
LOT 307		6,838 SQ. FT.
LOT 308		11,376 SQ. FT.
LOT 309		40,215 SQ. FT.
TOTAL PROVIDED	75,403 SQ. FT.	(20% OF SUBDIVISION 137,559 SQ. FT. REQ'D)

#### LOT 305 PARKING REQUIREMENTS:

LOT 303 PARKING REQUIREMENTS:		CITY REQM'T	
	SQ. FT.		
RECREATION FACILITY	45,766 SQ. FT.	184	(183.06)(4 STALLS/1000)
TOTAL REQUIRED:		184	(183.06)
TOTAL PROVIDED:		193	

\*NOTE: THE PROVIDED PARKING STALLS COUNT INCLUDES ONLY THOSE PARKING STALLS LOCATED WITHIN THE LOT LINES OF LOT 305.

COMPLIANCE NOTE: THIS PROJECT COMPLIES WITH THE CITY'S ADOPTED LAND USE ELEMENT OF THE GENERAL PLAN

ADA NOTE: ALL APPLICABLE ELEMENTS OF SARATOGA SPRINGS CODE 19.09.07 WITH RESPECT TO ACCESSIBLE PARKING WILL BE ADHERED TO.

NOTE: A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGS CITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx)

**DETENTION NOTE:**  
SEE DRAINAGE REPORT FOR ALL  
DRAINAGE CALCULATIONS.

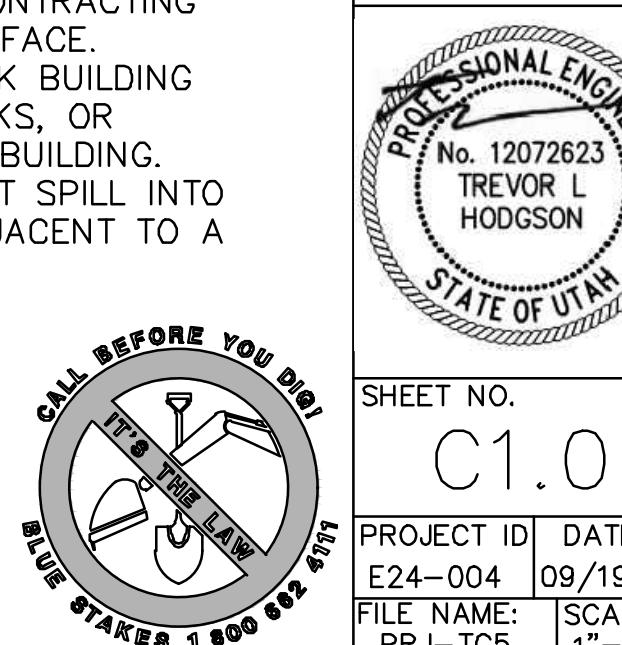
**ACCESSIBLE ROUTE NOTE:**  
AN ACCESSIBLE ROUTE TO THE RIGHT OF WAY WILL BE PROVIDED  
TO THE NORTH AS PART OF THE LOT 303 IMPROVEMENTS AND TO  
THE WEST AS PART OF THE LOT 304 IMPROVEMENTS.

OUTDOOR DISPLAY NOTE:

2. ALL DISPLAY AREAS SHALL BE CLEARLY DEFINED ON THE APPROVED SITE PLAN AND DESIGNATED ON THE SITE WITH A CONTRACTING COLORED, PAINTED, OR STRIPED SURFACE.

3. DISPLAY AREAS SHALL NOT BLOCK BUILDING ENTRIES OR EXITS, PEDESTRIAN WALKS, OR PARKING SPACES IN FRONT OF THE BUILDING. OUTDOOR DISPLAY AREAS SHALL NOT SPILL INTO WALKWAYS OR ANY DRIVE AISLE ADJACENT TO A BUILDING.

NOTE:  
ANY IMPROVEMENTS SHOWN WITHIN THE  
FUTURE PHASE AREA OF THE SITE ARE  
SHOWN FOR REFERENCE ONLY. NO  
CONSTRUCTION IS BEING PROPOSED IN  
THE FUTURE PHASE AREA AT THIS TIME.



SHEET NO. C10

PROJECT ID: 10000000000000000000000000000000

PROJECT ID DATE  
E24-004 09/19

800 561  
FILE NAME: SCA  
PRJ-TC5 1"=