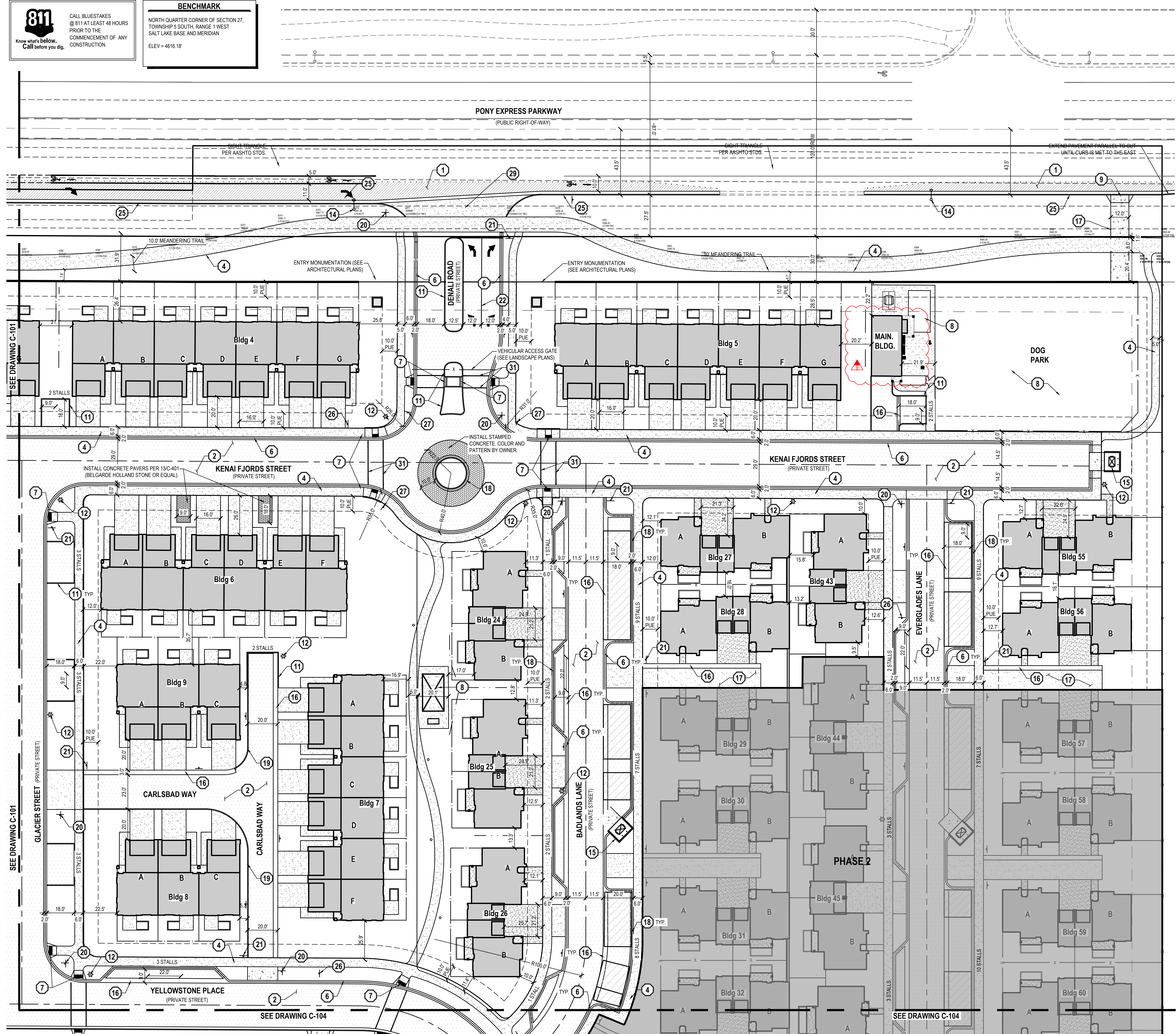


811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
NORTH QUARTER CORNER OF SECTION 27,
TOWNSHIP 5 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEV = 4616.18'

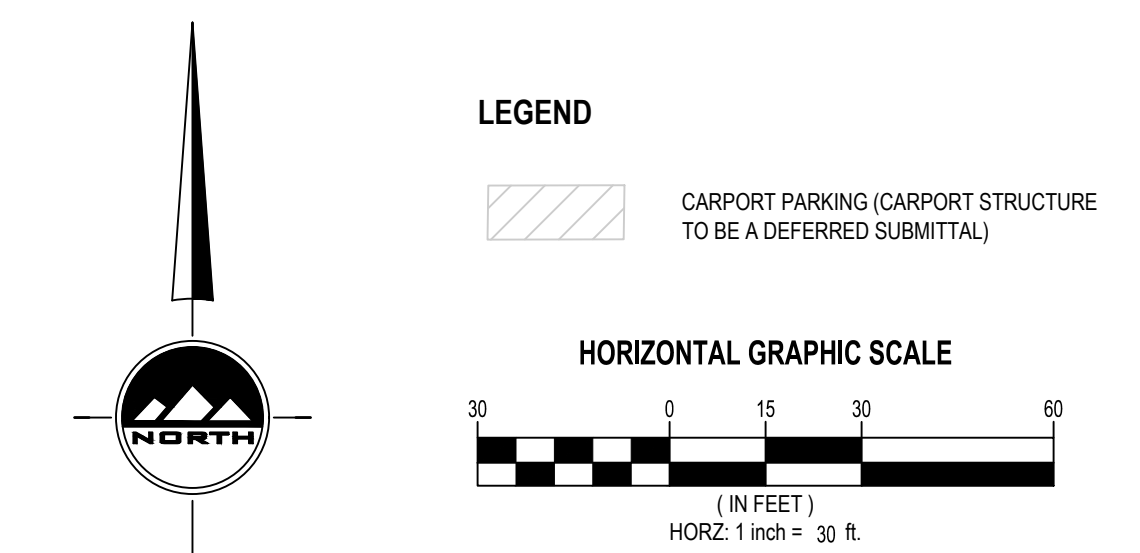


GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR AN ENCROACHMENT PERMIT AT [HTTPS://CITYWORKS.SARATOGASPRINGS.CITY.COM/PUBLICACCESS/TEMPLATE/LOGIN.ASPX](https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx).
- SEE LANDSCAPE PLANS (SHEET LS105) FOR FENCING INFORMATION, PLACEMENT, ELEVATIONS, AND DETAILS.

SCOPE OF WORK:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- PONY EXPRESS PKWY ASPHALT PAVEMENT: 5" THICK ASPHALTIC CONCRETE WITH 6" UNTREATED BASE COURSE PER SARATOGA SPRINGS CITY SPECIFICATIONS. TIE INTO EXISTING ASPHALT SURFACE PER APWA STD DWG 251. MATCH EXISTING GRANULAR BORROW DEPTH.
 - ONSITE ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 6" UNTREATED BASE COURSE AND 12" GRANULAR BORROW PER GEOTECHNICAL REPORT AND DETAIL 1/C-400.
 - SCHOOL YARD RD ASPHALT PAVEMENT: 4" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE AND 11" GRANULAR BORROW PER GEOTECHNICAL REPORT AND DETAIL 2/C-400.
 - 5" THICK CONCRETE SIDEWALK PER SARATOGA SPRINGS CITY DETAIL ST-1 AND SPECIFICATIONS.
 - 24" COLLECTION CURB AND GUTTER PER SARATOGA SPRINGS CITY DETAIL ST-2B AND SPECIFICATIONS.
 - 24" MOUNTABLE CURB AND GUTTER ON SITE PER SARATOGA SPRINGS CITY DETAIL ST-30 AND DETAIL 4/C-400.
 - HANDICAP ACCESS RAMP PER SARATOGA SPRINGS CITY DWGS ST-5A TO ST-5E AND SPECIFICATIONS. SEE SITE PLAN FOR RAMP CONFIGURATION.
 - OPEN SPACE AMENITY: SEE LANDSCAPE PLANS.
 - INSTALL DRIVE APPROACH PER CITY STANDARD DRAWING ST-4A AND SPECIFICATIONS.
 - PROPOSED MAIL KIOSK LOCATION: SEE ARCHITECTURAL PLANS.
 - 6" CURB WALL PER SARATOGA SPRINGS STD DWG ST-2C AND SPECIFICATIONS.
 - PRIVATE RESIDENTIAL STREET LIGHT PER SARATOGA SPRINGS CITY DETAILS LP-1A/LP-1B AND SPECIFICATIONS. LIGHTS WILL BE MASTER METERED AND SHALL NOT INCLUDE 'CITY LOGO'.
 - COLLECTOR STREET LIGHT PER SARATOGA SPRINGS CITY DETAIL LP-2A AND SPECIFICATIONS.
 - ARTERIAL STREET LIGHT PER SARATOGA SPRINGS CITY DETAIL LP-3A AND SPECIFICATIONS.
 - DUMPSTER ENCLOSURE: SEE LANDSCAPE PLANS FOR DETAILS. INSTALL CONC. APRON PER DETAIL 8/C-400.
 - INSTALL 3" WATERWAY PER DETAIL 3/C-400.
 - INSTALL CONCRETE PAVEMENT SECTION (6" THICK UNREINFORCED CONCRETE WITH 4" UNTREATED BASE COURSE) PER GEOTECHNICAL REPORT AND DETAIL 7/C-400.
 - 24" REVERSE-PAN MOUNTABLE CURB AND GUTTER PER SARATOGA SPRINGS CITY DETAIL ST-30 AND DETAIL 5/C-400.
 - 6"x12" RIBBON CURB (0" C.F.) PER DETAIL 9/C-400.
 - INSTALL STREET SIGN PER SARATOGA SPRINGS STD DWG ST-28 AND SPECIFICATIONS.
 - INSTALL STOP SIGN PER SARATOGA SPRINGS STD DWG ST-28 AND SPECIFICATIONS.
 - INSTALL 4" THICK WHITE PAVEMENT MARKING PER MUTCD STANDARD PLANS.
 - PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
 - "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
 - 30" COLLECTOR CURB AND GUTTER PER SARATOGA SPRINGS CITY DETAIL ST-2A AND SPECIFICATIONS.
 - 20 MPH SPEED LIMIT SIGN PER M.U.T.C.D. STANDARD PLANS.
 - YIELD SIGN R1-2 WITH A R6-5P PLAQUE.
 - 24" REVERSE-PAN CURB AND GUTTER PER SARATOGA SPRINGS CITY DETAIL ST-2D AND SPECIFICATIONS.
 - INSTALL DRIVE APPROACH PER CITY STANDARD DRAWING ST-4B AND SPECIFICATIONS.
 - STEPS IN SIDEWALK: REFER TO GRADING PLANS FOR ELEVATION INFORMATION. SEE ARCHITECTURAL PLANS FOR STAIR AND HANDRAIL DETAILS.
 - INSTALL 6" WIDE CROSSWALK PAVEMENT MARKINGS PER MUTCD STANDARD PLANS.



ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
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WWW.ENSIGNENG.COM

FOR:
CITY CREEK RESERVE, INC.
51 S MAIN STREET, STE 301
SALT LAKE CITY, UTAH 84111

CONTACT:
BENSON WHITNEY
PHONE: 801-643-4459

VIVIANO AT SARATOGA SPRINGS
PHASE 1
485 WEST PONY EXPRESS PARKWAY
SARATOGA SPRINGS, UTAH

NO. DATE REVISION
1 2024.01.31 PRECON #1
2 2024.02.08 BACKFLOW AND ACO SYSTEM PRECON #2
3 2024.03.19 PRECON #3
4 2024.06.22 RFI #2
5 2024.10.08 RFI #4
6 2025.05.20 CLUBHOUSE FF ADJUSTMENT
7 2025.06.12 YARD DRAIN ADJUSTMENT
8 2025.06.16 SD OUTFALL & SIGNAL
9 2025.06.11 REVISED MAINTENANCE ROAD

SITE PLAN

PROJECT NUMBER 11267A PRINT DATE 9/11/25
DRAWN BY JBG CHECKED BY RQE
PROJECT MANAGER RQE

C-102

VIVIANO AT SARATOGA SPRINGS
PONY EXPRESS PARKWAY
SARATOGA SPRINGS, UT
CLUBHOUSE/PARK AMENITY BID SET

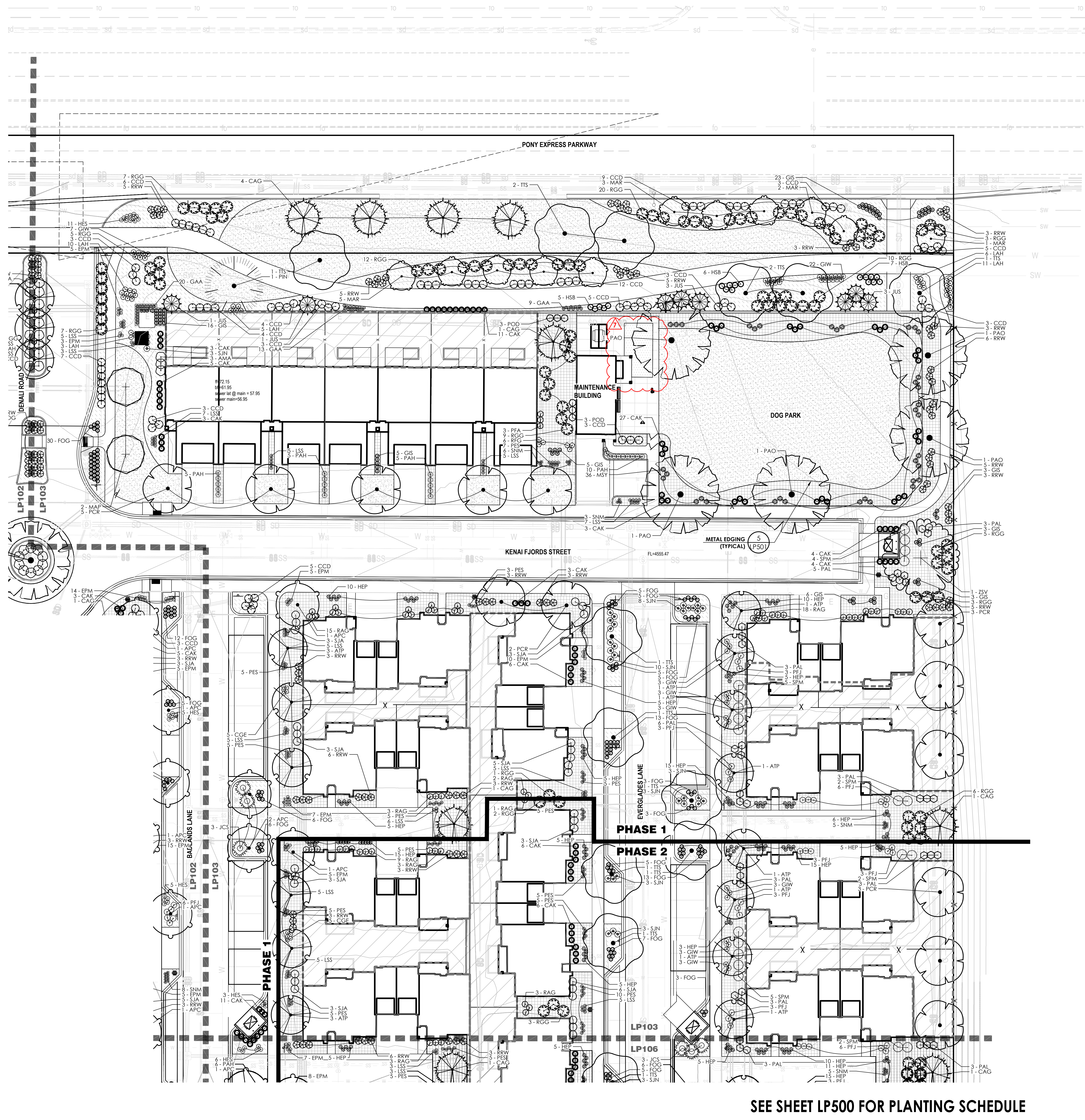
PROJECT NO. 21114
DATE: 08 FEBRUARY, 2024

REVISIONS:	NO.	DATE	DESCRIPTION
	1	2024-04-10	PRECON #1
	2	2025-02-10	IRRIGATION RFI
	3	2025-05-16	RFI 178 HAMMOCK
	4	2025-06-04	CONCRETE SCORING
	5	2025-09-15	DOG PARK

SHEET TITLE:
PLANTING PLAN

SHEET NUMBER:

LP103
LANDSCAPE



SEE SHEET LP500 FOR PLANTING SCHEDULE

RESIDENTIAL BID SET SITE LEGEND

SYMBOL	DESCRIPTION
[Symbol]	ARTIFICIAL TURF - SEE DETAIL 7/LP501
[Symbol]	PLANTER BED WITH 4\"
[Symbol]	PLANTER BED WITH 4\"
[Symbol]	GRASS/TURF - DROUGHT TOLERANT VARIETY
[Symbol]	TYPICAL PLANTING AREAS SEE LP200-201

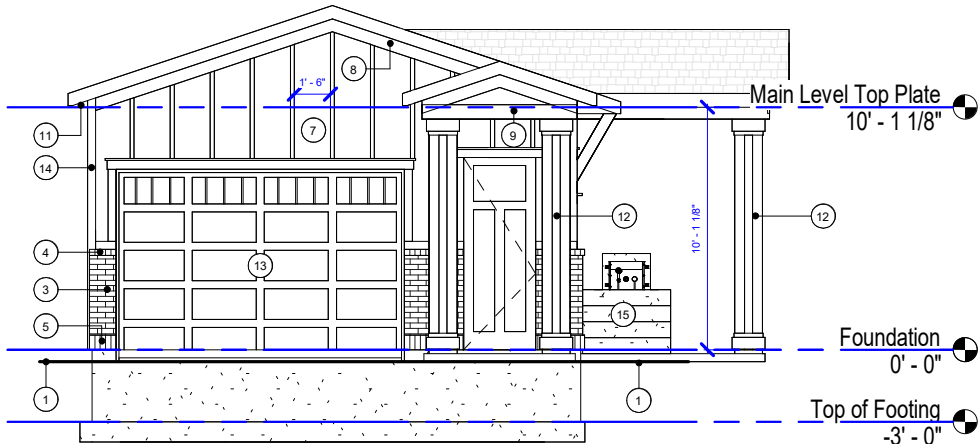
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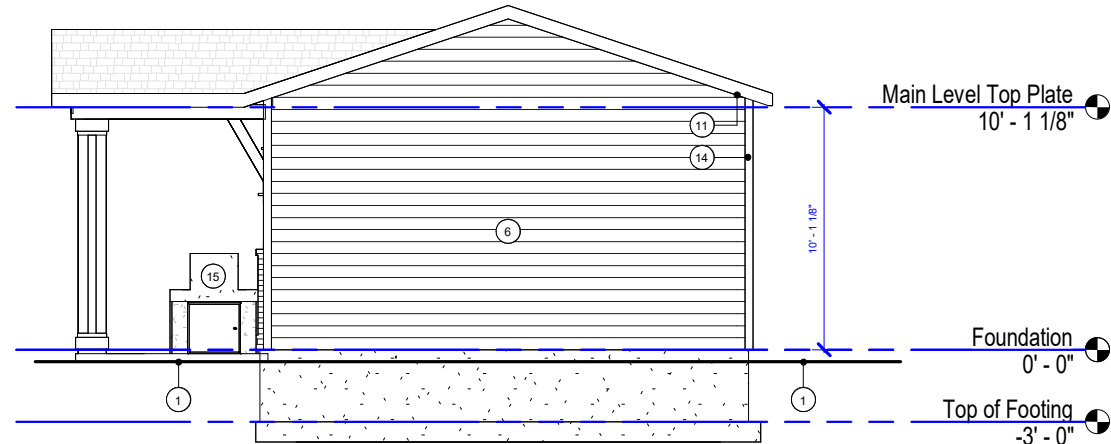
C

B

A

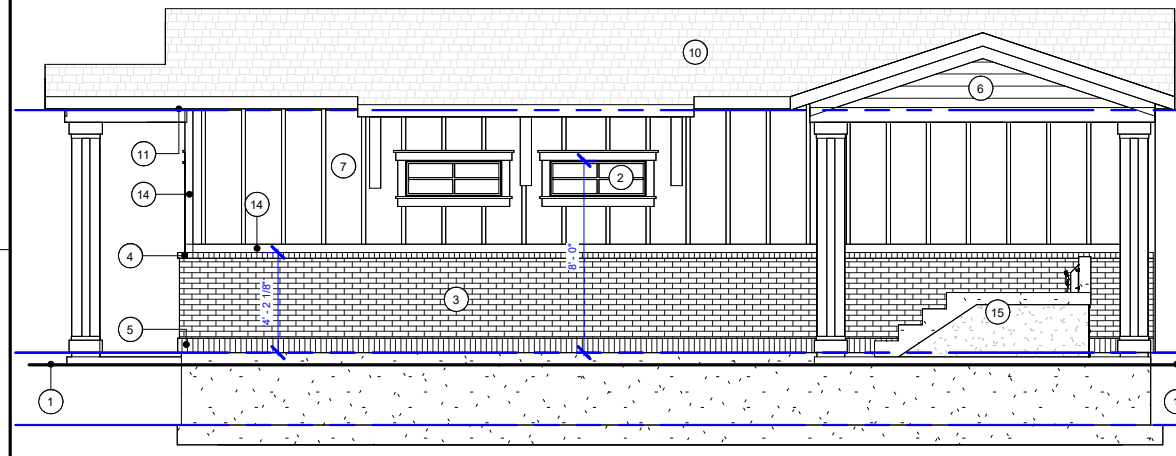


1 Front Elevation
1/8" = 1'-0"

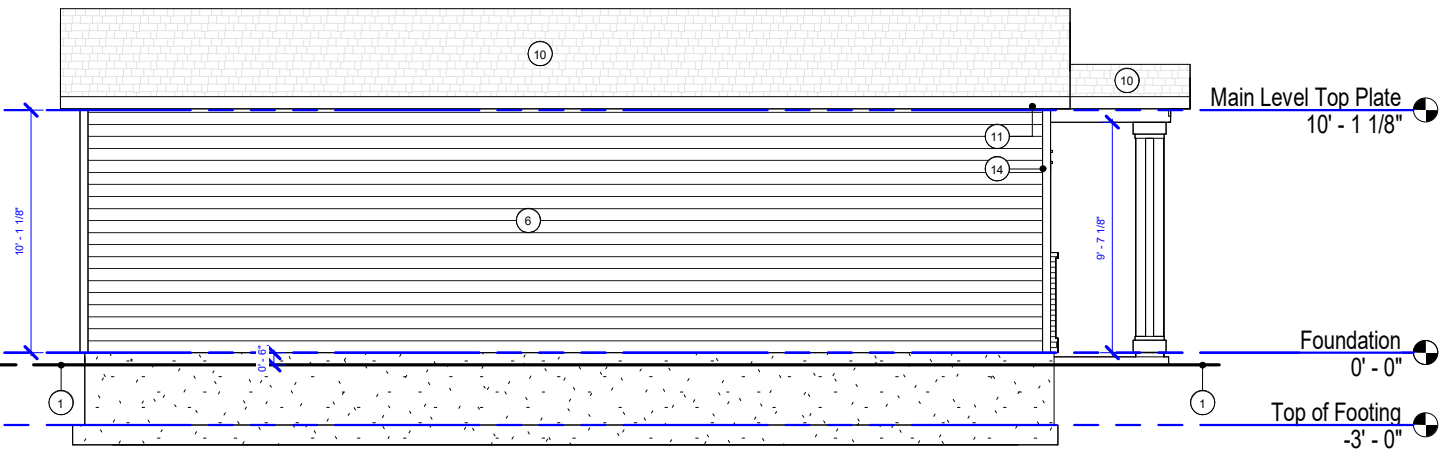


2 Rear Elevation
1/8" = 1'-0"

Keyed Notes - Exterior Elevs.	
Mark	Note Text
1	Finished Grade; Slope away from foundation min. 6" in first 10'
2	Vinyl window; Grids per plan
3	Brick veneer
4	Brick rowlock course
5	Brick soldier course
6	6" Cement fiber horizontal lap siding
7	Cement fiber board & batten siding; 18" O.C. Spacing
8	1x6 Cement fiber frieze trim
9	1x8 Cement fiber trim band
10	Asphalt shingles; Color per spec book
11	Aluminum soffit & fascia
12	Built-up cement fiber column
13	Overhead door with windows per plan; See spec book for color & finish
14	1x4 Cement fiber trim
15	Built-in Dog Wash



3 Right Elevation
1/8" = 1'-0"



4 Left Elevation
1/8" = 1'-0"

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COLE WEST

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PROJECT:
Viviano at Saratoga Springs
Maintenance Shop
Saratoga Springs, UT

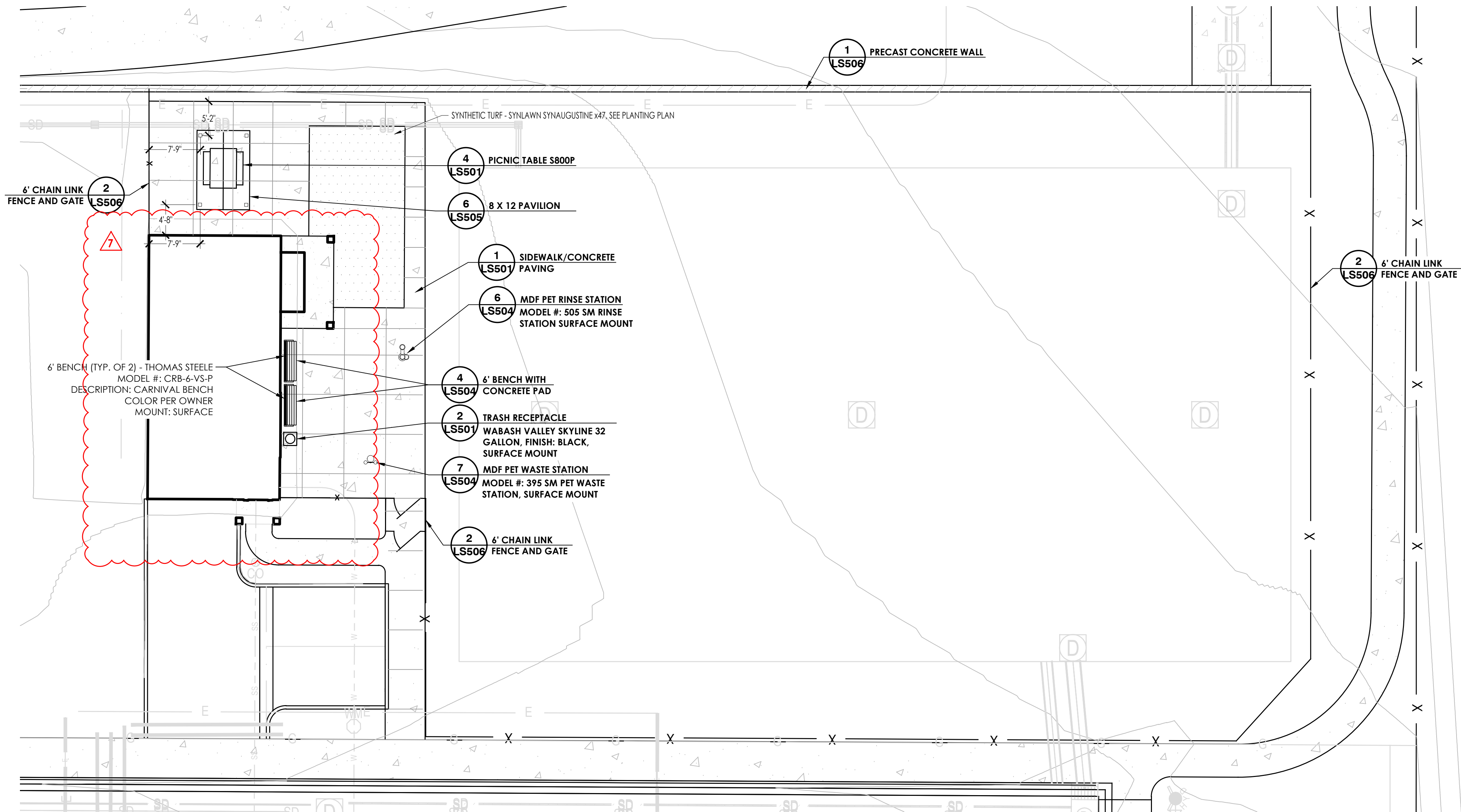
REVISIONS:

TITLE:
Exterior Elevations

SHEET:
A300

ISSUE DATE : 07/21/2025

Bid & Permit Set



Dog Park Enlargement

Scale: 1"=10'



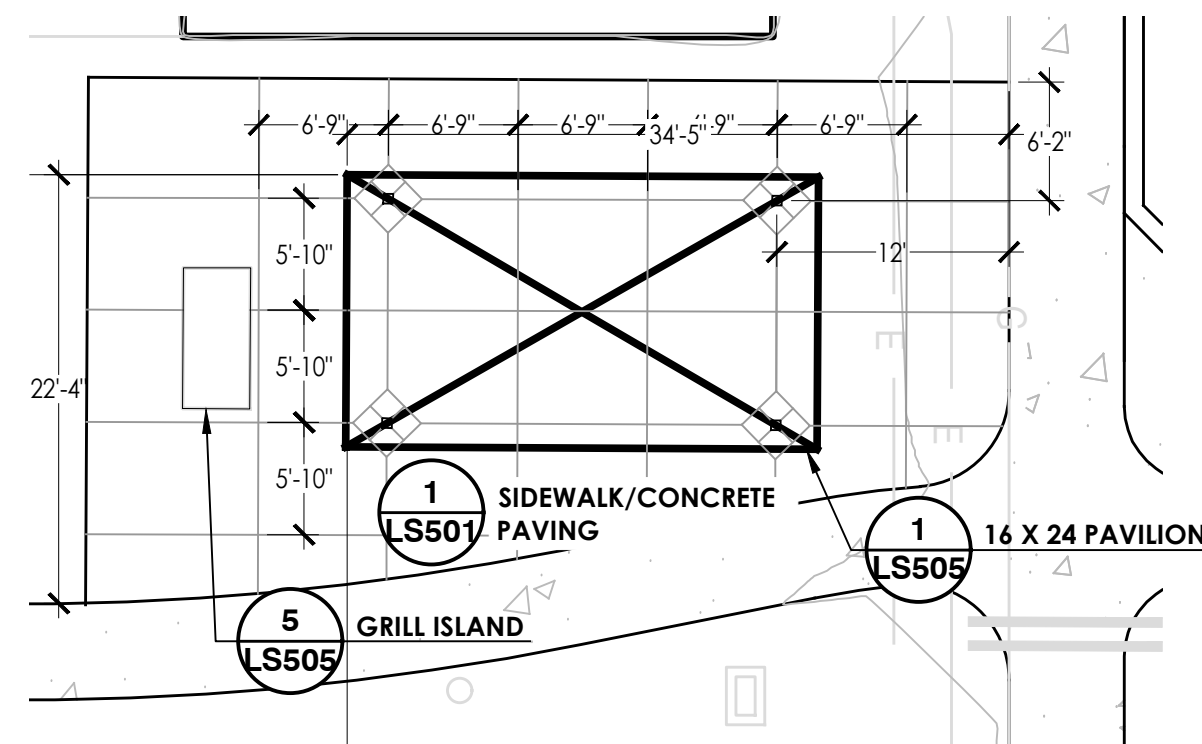
North BBQ

Scale: 1"=10'



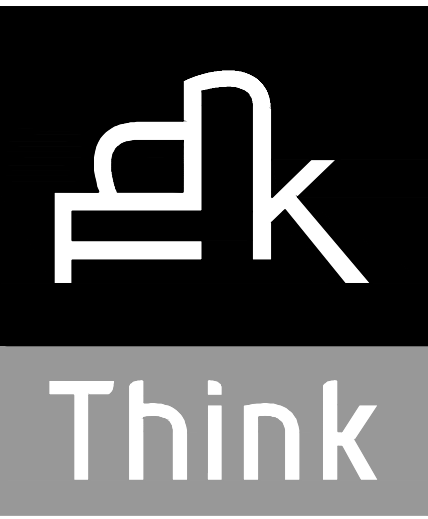
SOUTH BBQ

Scale: 1"=10'



East BBQ

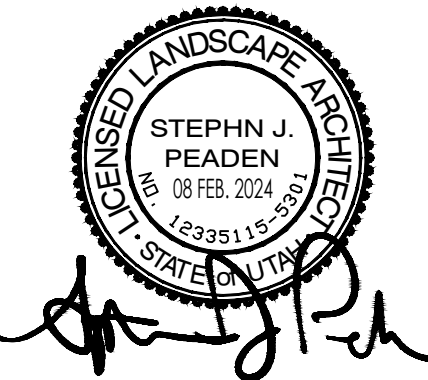
Scale: 1"=10'



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VIVIANO AT SARATOGA SPRINGS
PONT EXPRESS PARKWAY
SARATOGA SPRINGS, UT
CLUBHOUSE/PARK AMENITY BID SET

PROJECT NO. 21114
DATE: 08 FEBRUARY, 2024

REVISIONS:	NO.	DATE	DESCRIPTION
Δ	2024-04-10	PRECON #1	
Δ	2025-02-10	IRRIGATION RFI	
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Δ	2025-06-04	CONCRETE SCORING	
Δ	2025-09-15	DOG PARK	

SHEET TITLE:
SITE DEVELOPMENT
DETAILS
SHEET NUMBER:

LS104
LANDSCAPE