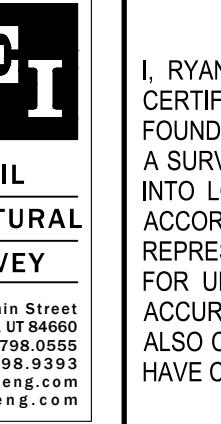


FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 1 PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12
12 AND NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE
I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12 AND THE NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH BOUNDARY OF THE VILLAGE OF FOX HOLLOW OPEN SPACE B SUBDIVISION, SAID POINT BEING LOCATED N89°46'00"W ALONG THE SECTION LINE 609.35 FEET AND 203.14 FEET FROM THE SOUTHEAST CORNER OF SECTION 12, T8S, R1W, S.L.B.&M; THENCE ALONG THE NORTH LINE OF SAID SUBDIVISION THE FOLLOWING THREE COURSES: S49°26'31"W 35.20 FEET; THENCE S84°29'47"W 180.06 FEET; THENCE S75°18'36"W 332.88 FEET TO THE EASTERLY RIGHT-OF-WAY OF SWAINSON AVENUE; THENCE ALONG SAID RIGHT-OF-WAY FOLLOWING TEN (10) COURSES: ALONG THE ARC OF A RADIAL OF 96.00 FEET THROUGH A CENTRAL ANGLE OF 0°43'46", CHORD: N22°55'41"W 12.26 FEET; THENCE N22°33'48"W 50.48 FEET THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 25.47 FEET WITH A RADIUS OF 15.00 FEET THROUGH A CENTRAL ANGLE OF 97°17'15", CHORD: N26°04'50"E 22.52 FEET; THENCE N25°48'49"W 67.13 FEET, THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 21.61 FEET WITH A RADIUS OF 15.00 FEET THROUGH A CENTRAL ANGLE OF 82°32'14", CHORD: N63°56'43"W 19.79 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 51.89 FEET WITH A RADIUS OF 178.71 FEET THROUGH A CENTRAL ANGLE OF 109°04'49", CHORD: N22°29'41"E 16.14 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 66.00 FEET, THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 22.15 FEET WITH A RADIUS OF 15.00 FEET THROUGH A CENTRAL ANGLE OF 89°23'25", CHORD: N88°31'17"W 20.93 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 51.89 FEET WITH A RADIUS OF 178.71 FEET THROUGH A CENTRAL ANGLE OF 1°39'49", CHORD: N43°07'33"W 51.88 FEET; THENCE N46°02'22"E 169.72 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 76.00 FEET WITH A RADIUS OF 195.24 FEET THROUGH A CENTRAL ANGLE OF 2°13'38", CHORD: S42°50'45"E 76.04 FEET; THENCE N48°15'22"E 99.93 FEET; THENCE S41°23'04"E 24.03 FEET; THENCE S40°46'07"E 38.91 FEET; THENCE S40°06'20"E 15.11 FEET; THENCE S39°00'28"E 39.52 FEET; THENCE S38°42'16"E 39.52 FEET; THENCE S38°36'12"E 39.52 FEET; THENCE S38°30'08"E 39.52 FEET; THENCE N57°02'54"E 180.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 42.87 FEET WITH A RADIUS OF 223.50 FEET THROUGH A CENTRAL ANGLE OF 0°55'44", CHORD: S32°24'09"E 42.87 FEET; THENCE N58°08'48"E 110.00 FEET; THENCE N32°21'40"E 41.60 FEET; THENCE N33°22'53"W 41.97 FEET; THENCE N34°24'22"E 41.60 FEET; THENCE N35°25'52"E 41.60 FEET; THENCE N36°27'13"E 41.60 FEET; THENCE N37°30'00"E 62.00 FEET; THENCE N40°10'18"E 50.22 FEET; THENCE N41°20'20"E 41.60 FEET; THENCE N42°23'00"E 41.60 FEET; THENCE N43°26'00"E 7.01 FEET; THENCE N46°51'42"E 9.55 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 166.08 FEET WITH A RADIUS OF 244.00 FEET THROUGH A CENTRAL ANGLE OF 3°54'00", CHORD: N45°05'16"W 166.05 FEET; THENCE N42°56'04"E 45.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 17.81 FEET WITH A RADIUS OF 248.65 FEET THROUGH A CENTRAL ANGLE OF 0°24'38", CHORD: N47°14'37"W 17.81 FEET; THENCE N42°39'26"E 20.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 38.23 FEET WITH A RADIUS OF 250.50 FEET THROUGH A CENTRAL ANGLE OF 0°52'28", CHORD: S47°03'39"E 38.23 FEET; THENCE N43°28'13"E 193.50 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 52.09 FEET WITH A RADIUS OF 269.50 FEET THROUGH A CENTRAL ANGLE OF 1°10'32", CHORD: S41°02'33"E 51.98 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 447.90 FEET WITH A RADIUS OF 532.00 FEET THROUGH A CENTRAL ANGLE OF 48°14'19", CHORD: S11°23'44"E 434.79 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 108.55 FEET WITH A RADIUS OF 168.00 FEET THROUGH A CENTRAL ANGLE OF 37°01'13", CHORD: S05°47'11"E 106.67 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 16.64 FEET WITH A RADIUS OF 251.00 FEET THROUGH A CENTRAL ANGLE OF 2°39'40", CHORD: S22°58'00"E 16.63 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 170.97 FEET WITH A RADIUS OF 968.00 FEET THROUGH A CENTRAL ANGLE OF 10°07'10", CHORD: S26°42'02"E 170.74 FEET; TO THE POINT OF BEGINNING.

CONTAINS: ±51 852 SF.
±17.26 ACRES.

DATE _____ SURVEYOR (See Seal Below)
LICENCE NO. 6310734

OWNERS DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, ANS STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 1 PLAT

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, PURSUANT TO UTAH CODE 10-9A-604, THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OF OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THE SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS. THE OWNER HEREBY CONVEYS THE COMMON AREA AND LIMITED COMMON AREA, AS INDICATED HEREON, TO THE _____ HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF _____.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS _____ DAY OF _____, A.D. 20_____.

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

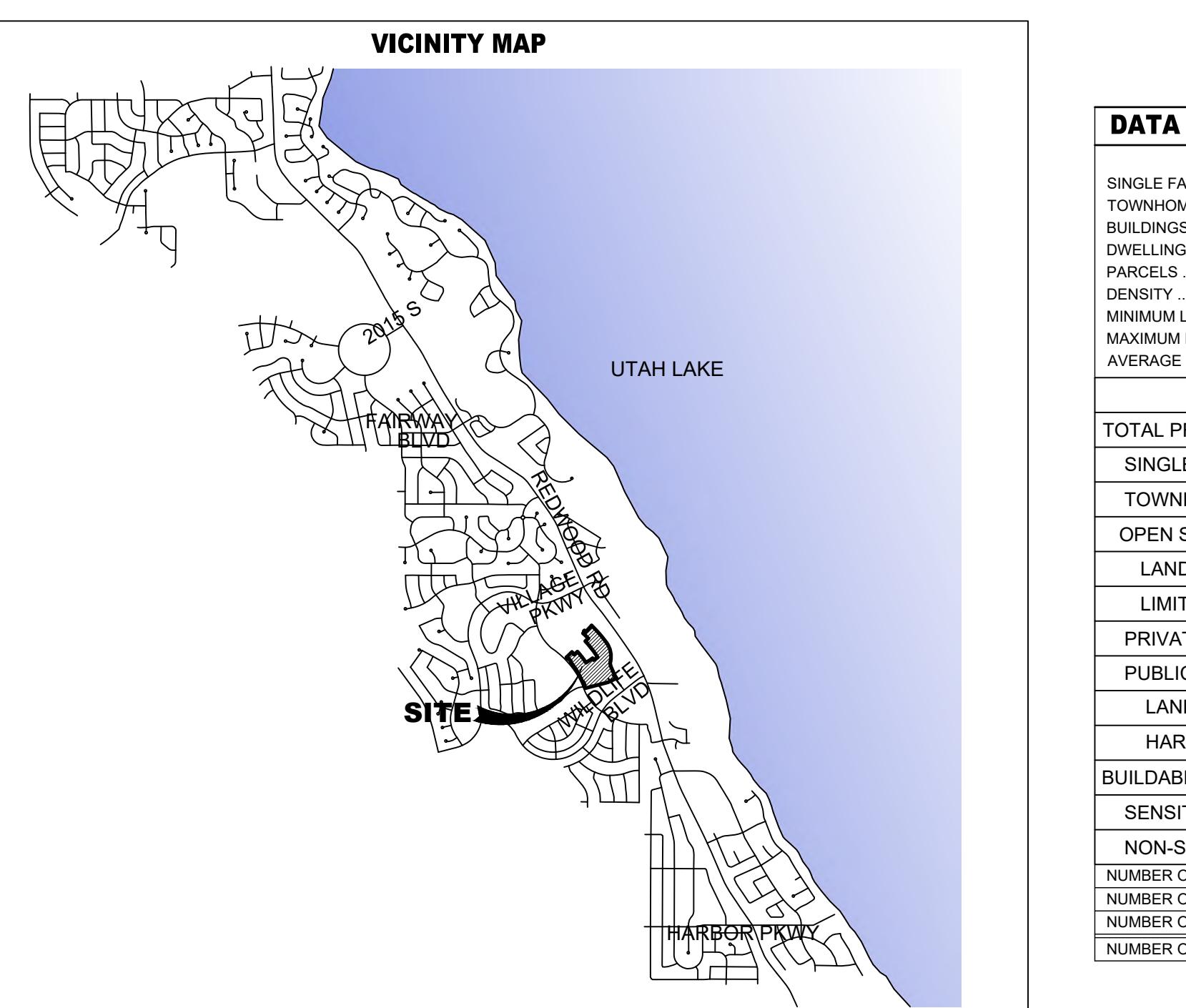
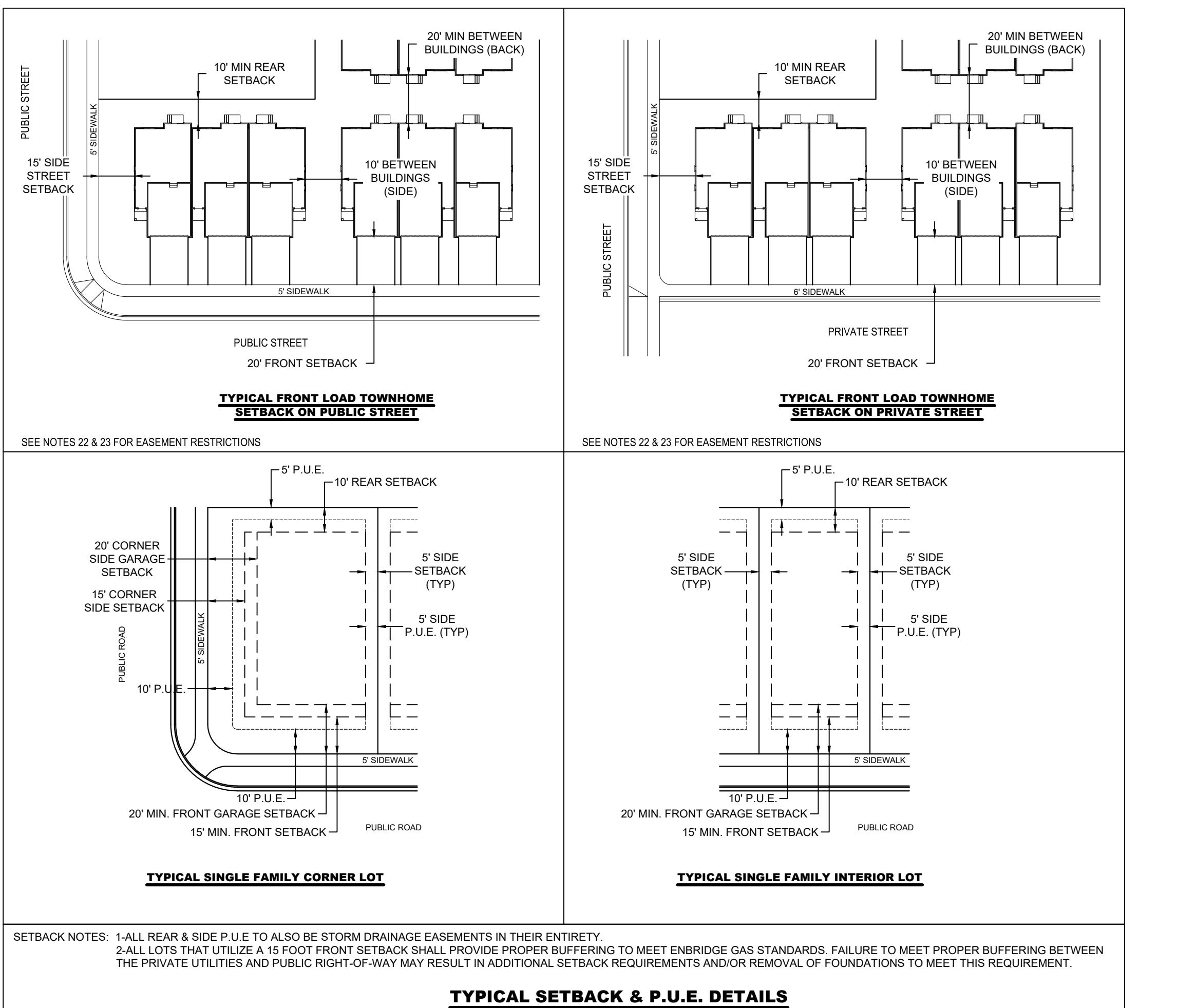
APPROVAL BY LEGISLATIVE BODY
THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, UTAH OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS _____ DAY OF _____, A.D. 20_____.

CITY MAYOR _____ ATTEST _____ CITY RECORDER (See Seal Below)

**FOX HOLLOW NEIGHBORHOOD 4
RESIDENTIAL PHASE 1 PLAT**
LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12 AND NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 4



DATA TABLE - PHASE 1			
SINGLE FAMILY LOTS	58 LOTS		
TOWNHOME LOTS	47 LOTS		
BUILDINGS	10 BUILDINGS		
DWELLINGS	105 DWELLINGS		
PARCELS	4 PARCELS		
DENSITY	6.08 UNITS/ACRE		
MINIMUM LOT SIZE	0.09 ACRES / 4,080 SF		
MAXIMUM LOT SIZE	0.28 ACRES / 12,402 SF		
AVERAGE LOT SIZE	0.13 ACRES / 5,566 SF		
	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	17.26	751,859	100%
SINGLE FAMILY LOT AREA	7.39	321,725	42.8%
TOWNHOME LOT AREA	1.19	51,858	6.9%
OPEN SPACE	4.38	190,624	25.4%
LANDSCAPED COMMON SPACE	2.61	113,595	15.1%
LIMITED COMMON SPACE	1.77	77,029	0.1%
PRIVATE RIGHT-OF-WAY AREA	1.50	65,422	8.7%
PUBLIC RIGHT-OF-WAY AREA	2.81	122,230	16.3%
LANDSCAPE AREA (PUBLIC ROW)	0.70	30,427	4%
HARDSCAPE AREA (PUBLIC ROW)	2.11	91,803	12.2%
BUILDABLE LAND	17.26	751,859	100%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	17.26	751,859	100%
NUMBER OF GARAGE PARKING SPACES	210		
NUMBER OF DRIVEWAY PARKING SPACES	210		
NUMBER OF STRIPED PARKING SPACES	25		
NUMBER OF GUEST PARKING SPACES PROVIDED			

NOTES

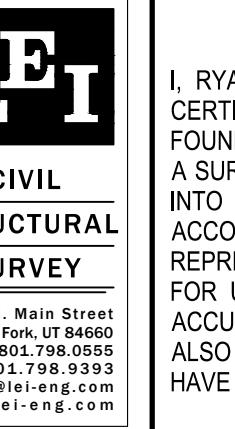
1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20_____.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY OF SARATOGA SPRINGS.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
4. PLAT IS SUBJECT TO INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____ WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
5. ALL UTILITIES, SERVICES, AND IMPROVEMENTS NOT BEING PROVIDED BY THE DEVELOPER, INCLUDING UTILITIES AND IMPROVEMENTS NOT REQUIRED BY THE CITY OF SARATOGA SPRINGS, ARE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY. ALL UTILITIES, SERVICES, AND IMPROVEMENTS NOT PROVIDED BY THE DEVELOPER, INCLUDING UTILITIES AND IMPROVEMENTS NOT REQUIRED BY THE CITY OF SARATOGA SPRINGS, ARE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
8. A GEOTECHNICAL REPORT, DATED 10/10/2013, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS, THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, odors, NOISES, AND ASSESSMENTS ASSOCIATED WITH THESE USES AND RIGHTS. USES AND RIGHTS OF OTHER PROPERTY OWNERS MAY NOT BE SUBJECT TO OR NEAR THE PLAT AND LOTS, INCLUDING USES AND RIGHTS OF OTHER PROPERTY OWNERS WHICH ARE UNREASONABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES, SHALL NOT EXCEED, WHICH EXISTED PRIOR TO GRADING, EXCEPT OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRDED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FAIL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. ANY UTILITIES LOCATED OUTSIDE THE PUBLIC RIGHT-OF-WAY SHALL BE PROVIDED AND MAINTAINED BY THE OWNER(S) OF THE UTILITY. THE UTILITY OWNERSHIP AND MAINTENANCE OF THE UTILITY SHALL BE AS STATED IN THE UTILITY AGREEMENT.
12. ALL OPEN SPACE, COMMON AREA, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY THE HOME OWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
13. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND C&Rs.
14. COMMON AREAS ARE CONVEYED TO THE _____ HOME OWNERS ASSOCIATION WITH A REGISTERED ADDRESS OF _____.
15. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.
16. SHALLOW SEWER DEPTH: CONTRACTOR SHALL SIGHT SEWER DEPTH BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS. HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE FOR BASEMENT.
17. BUILDING SETBACKS: BUILDING SETBACKS ARE TO BE DEDICATED AS PUBLIC UTILITY EASEMENTS AND ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICES AND STANDARDS.
18. ANY LOT WITH A 15 FOOT OR LESS SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.
19. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH QUARTER CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (WGS84) ELEVATION OF 4,896.76 FEET.
20. THE PLAT IS LOCATED IN THE 100-YEAR FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 49940C150 WITH AN EFFECTIVE DATE OF JUNE 19, 2020.
21. A TITLE REPORT PREPARED BY _____ EFFECTIVE DATE: _____ WAS USED IN THE PREPARATION OF THIS PLAT AND IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERRED FROM SAID REPORT.
22. WATER, DRINKING WATER AND SECONDARY WATER WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY CITY OF SARATOGA SPRINGS.
23. STORM DRAIN WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
24. UNLESS OTHERWISE SPECIFIED, THE HOME OWNERS ASSOCIATION SHALL MAINTAIN ALL COMMON AREA, LIMITED COMMON AREA, AND PRIVATE SURFACE IMPROVEMENTS.
25. ALL PUBLIC UTILITIES ON THIS PLAT ARE COMMON AREA, LIMITED COMMON AREA, AND FACILITIES, EXCEPT AS OTHERWISE DESIGNATED.
26. PUBLIC UTILITY EASEMENTS ARE 10 FEET BEHIND RIGHT-OF-WAY LINE UNLESS OTHERWISE NOTED (SEE SHEETS 3, 4 & 5 FOR LOCATIONS & WIDTH).
27. LANDSCAPING OF FRONTAGE ALONG SWAINSON IS TO BE INSTALLED, IRRIGATED, AND MAINTAINED BY HOA.
28. ALL PRIVATE STREETS WITHIN A PLAT SHALL BE DEDICATED AS PUBLIC UTILITY EASEMENTS AND ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICES AND STANDARDS.
29. ALL UTILITIES ON THIS PLAT ARE COMMON AREA, LIMITED COMMON AREA, AND FACILITIES, EXCEPT AS OTHERWISE DESIGNATED.
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31. LANDSCAPING OF FRONTAGE ALONG SWAINSON IS TO BE INSTALLED, IRRIGATED, AND MAINTAINED BY HOA.
32. ALL PRIVATE STREETS WITHIN A PLAT SHALL BE DEDICATED AS PUBLIC UTILITY EASEMENTS AND ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICES AND STANDARDS.

ENBRIDGE GAS UTAH
QUESTAR GAS COMPANY, dba ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (a) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 18, AS A RECORDED EASEMENT OR RIGHT-OF-WAY, DESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (b) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (c) GUARANTEE ANY TERMS OR WAVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.
QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH
APPROVED THIS _____ DAY OF _____, 20_____. BY: _____

ROCKY MOUNTAIN POWER
1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DIVIDES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. 54-3-27, ROCKY MOUNTAIN POWER AGREES TO DELIVER THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF

FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 2 PLAT

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12
12 AND NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERN RIGHT-OF-WAY OF SWANSON AVENUE, SAID POINT BEING LOCATED N89°46'00"W ALONG THE SECTION LINE 1738.57 FEET AND NORTH 632.51 FEET FROM THE SOUTHEAST CORNER OF SECTION 12, T6S, R1W, S.L.B. & M.; THENCE FOLLOWING SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 340.53 FEET, WITH A RADIUS OF 1787.00 FEET THROUGH A CENTRAL ANGLE OF 10°55'06"; CHORD: N49°28'01"W 340.02 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 2.52 FEET WITH A RADIUS OF 856.00 FEET THROUGH A CENTRAL ANGLE OF 29°03'30"; CHORD: N40°20'48"W 483.18 FEET; THENCE N64°09'07"E 107.52 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 340.53 FEET, WITH A RADIUS OF 1787.00 FEET THROUGH A CENTRAL ANGLE OF 10°55'06"; CHORD: N25°45'48"W 2.52 FEET; THENCE N84°19'16"E 162.81 FEET; THENCE S23°54'56"E 6.00 FEET; THENCE S28°09'57"E 52.29 FEET; THENCE S32°01'03"E 57.74 FEET; THENCE N84°45'30"E 3.82 FEET; THENCE S39°29'47"E 58.91 FEET; THENCE S44°05'34"E 58.73 FEET; THENCE S48°59'09"E 58.85 FEET; THENCE N53°01'07"E 219.14 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 201.88 FEET WITH A RADIUS OF 948.50 FEET THROUGH A CENTRAL ANGLE OF 12°14'30"; CHORD: N20°15'06"E 201.53 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 201.88 FEET WITH A RADIUS OF 948.50 FEET THROUGH A CENTRAL ANGLE OF 12°14'30"; CHORD: N20°15'06"E 201.53 FEET; THENCE N49°33'10"W 41.60 FEET; THENCE N49°03'43"W 38.47 FEET; THENCE N45°24'13"W 38.18 FEET; THENCE N40°21'08"W 38.18 FEET; THENCE N37°44'36"W 38.18 FEET; THENCE N35°08'03"W 38.18 FEET; THENCE N32°11'19"W 38.18 FEET; THENCE N29°58'39"W 38.18 FEET; THENCE N28°42'28"W 37.54 FEET; THENCE N25°57'22"W 10.50 FEET; THENCE N64°58'33"E 74.36 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 15.54 FEET WITH A RADIUS OF 765.00 FEET THROUGH A CENTRAL ANGLE OF 1°08'57"; CHORD: N24°47'12"W 15.34 FEET; THENCE N65°20'18"E 20.00 FEET; THENCE N24°20'09"W 7.86 FEET; THENCE N65°39'51"E 65.00 FEET; THENCE S24°8'38"E 12.81 FEET; THENCE N64°58'33"E 12.81 FEET; THENCE N24°30'55"W 10.66 FEET; THENCE N65°38'27"E 65.00 FEET; THENCE S24°20'11"E 4.63 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 148.75 FEET WITH A RADIUS OF 466.50 FEET THROUGH A CENTRAL ANGLE OF 17°10'45"; CHORD: S33°05'42"E 148.17 FEET; THENCE N65°39'51"E 65.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 99.21 FEET WITH A RADIUS OF 268.50 FEET THROUGH A CENTRAL ANGLE OF 2°06'23"; CHORD: S47°72'55"E 99.20 FEET; THENCE S43°26'13"W 193.35 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 226.00 FEET WITH A RADIUS OF 280.00 FEET THROUGH A CENTRAL ANGLE OF 1°22'28"; CHORD: N47°00'08"W 226.00 FEET; THENCE S42°39'00"W 203.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 17.81 FEET WITH A RADIUS OF 240.00 FEET THROUGH A CENTRAL ANGLE OF 0°24'38"; CHORD: S47°44'37"E 17.81 FEET; THENCE S42°56'04"W 45.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 166.08 FEET WITH A RADIUS OF 240.00 FEET THROUGH A CENTRAL ANGLE OF 3°54'00"; CHORD: S45°05'16"E 166.08 FEET; THENCE S46°51'54"W 93.55 FEET; THENCE S43°28'30"E 7.01 FEET; THENCE S42°27'31"E 41.60 FEET; THENCE S41°26'35"E 41.60 FEET; THENCE S40°19'18"E 50.22 FEET; THENCE S38°57'06"E 62.00 FEET; THENCE S42°17'11"E 41.97 FEET; THENCE S32°21'04"E 41.60 FEET; S35°25'52"E 41.97 FEET; THENCE S34°24'22"E 41.97 FEET; THENCE S33°25'33"E 41.97 FEET; THENCE S32°21'04"E 41.60 FEET; THENCE S58°08'48"W 110.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 42.87 FEET WITH A RADIUS OF 233.50 FEET THROUGH A CENTRAL ANGLE OF 1°05'54"; CHORD: N32°24'09"W 42.87 FEET; THENCE S57°02'54"W 180.00 FEET; THENCE N33°30'08"W 39.52 FEET; THENCE N34°36'12"W 39.52 FEET; THENCE N35°42'16"W 39.52 FEET; THENCE N36°48'20"W 39.52 FEET; THENCE N37°52'42"W 39.52 FEET; THENCE N39°02'28"W 39.52 FEET; THENCE N40°06'20"W 15.11 FEET; THENCE N40°29'50"W 38.91 FEET; THENCE N41°23'04"W 24.03 FEET; THENCE S41°15'52"W 93.83 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 76.05 FEET WITH A RADIUS OF 195.24 FEET THROUGH A CENTRAL ANGLE OF 2°13'38"; CHORD: N42°50'45"W 76.04 FEET; THENCE S46°02'22"W 169.72 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±592000 S.F.
±13.59 ACRES.

DATE SURVEYOR (See Seal Below)

LICENSE NO. 6310734

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 2 PLAT

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY USE, PURSUANT TO UTAH CODE 10-9A-604, THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OF OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THE SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION, AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS. THE OWNER HEREBY CONVEYS THE COMMON AREA AND LIMITED COMMON AREA, AS INDICATED HEREON, TO THE HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF

OWNER'S ACKNOWLEDGMENT

STATE OF UTAH) S.S.

COUNTY OF UTAH)

ON THIS ____ DAY OF ____ , 20____ PERSONALLY APPEARED BEFORE ME

PRINT NAME _____ TITLE _____ ENTITY _____

WHO BEING BY ME DULY SWEORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE TO ME THAT HE/SH/E/ THEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE _____ COMMISSION NUMBER _____

PRINT NAME AS COMMISSIONED _____ MY COMMISSION EXPIRES _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. APPROVING SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-9A-603(C)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOTTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

PLANNING DIRECTOR _____ APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF ____ , A.D. 20____.

PLANNING DIRECTOR _____ CENTURY LINK _____

CITY ENGINEER _____ APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF ____ , A.D. 20____.

CITY ENGINEER _____ COMCAST CABLE TELEVISION _____

LAND USE AUTHORITY _____ APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF ____ , A.D. 20____.

LAND USE AUTHORITY _____ SARATOGA SPRINGS ATTORNEY _____

FIRE CHIEF _____ APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF ____ , A.D. 20____.

CITY FIRE CHIEF _____ LEHI CITY POST OFFICE _____

LEHI CITY POST OFFICE REPRESENTATIVE _____

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREIN, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF ____ , A.D. 20____.

CITY ATTORNEY _____ ATTEST _____ CITY RECORDER (See Seal Below)

CITY MAYOR _____

CITY RECORDER (See Seal Below)

CITY CLERK _____

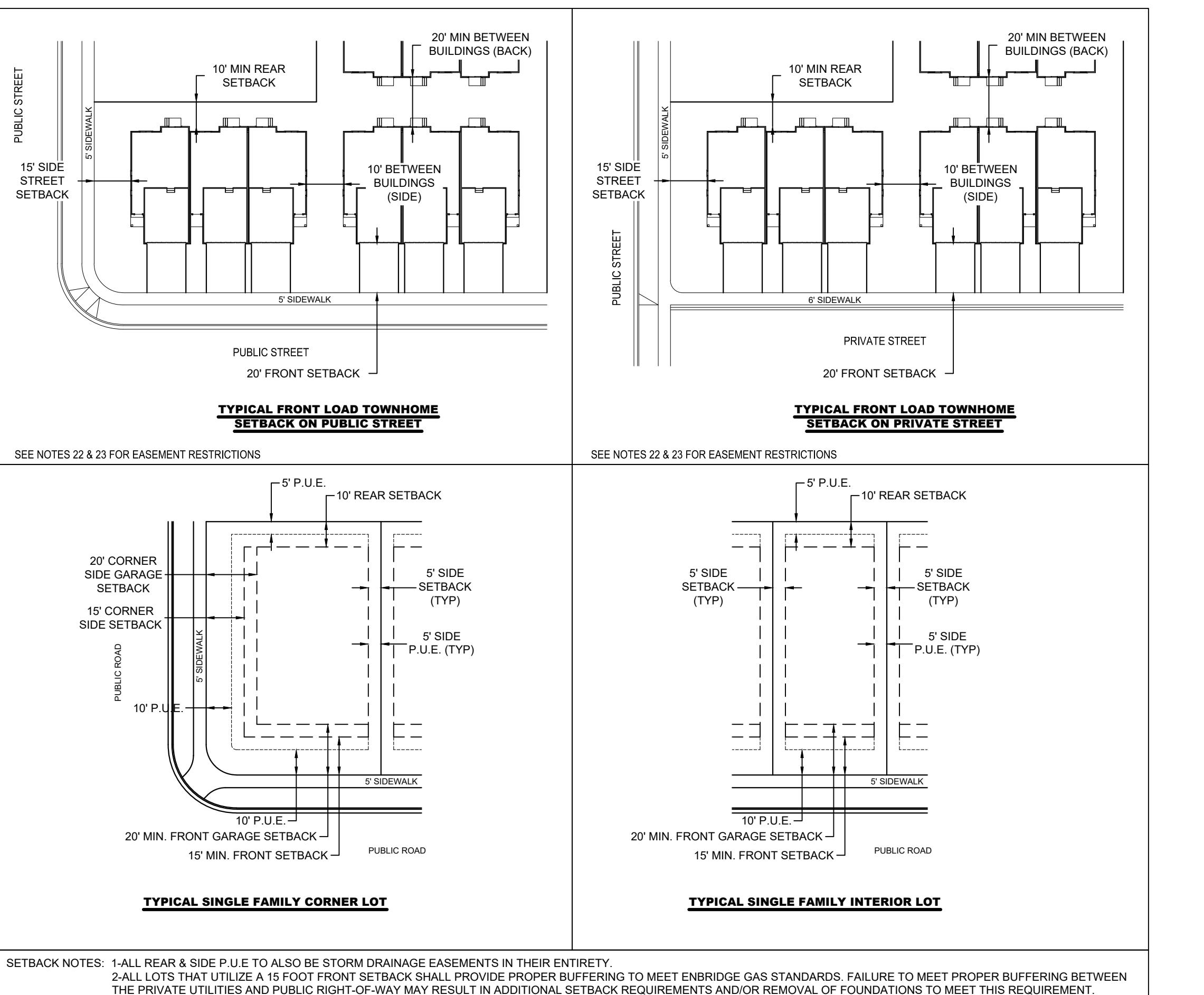
SHEET 1 OF 4

SURVEYOR'S SEAL _____ CITY ENGINEER SEAL _____ CLERK-RECORDER SEAL _____

LEI XXX-XXXX

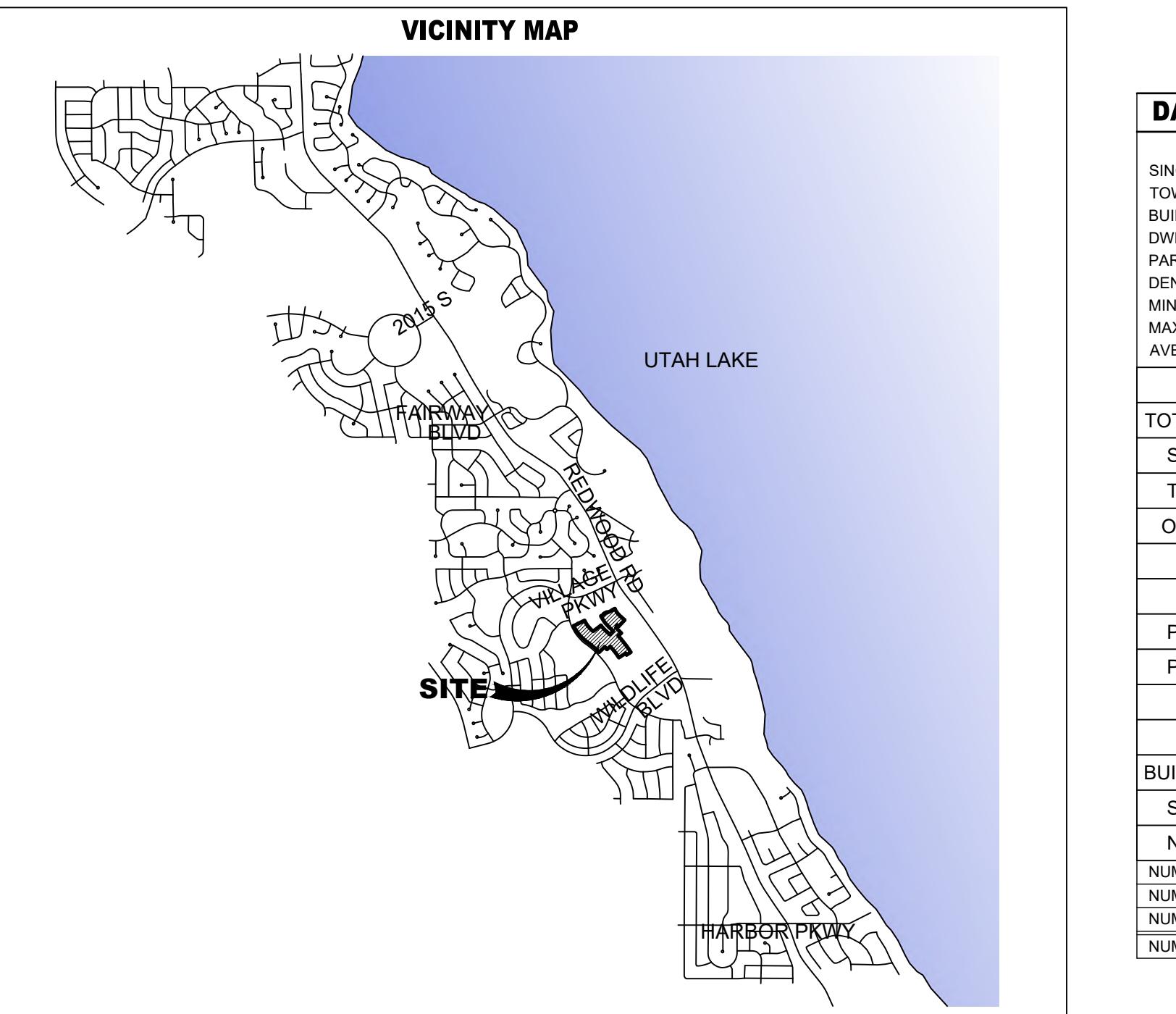
This form approved by Utah County and the municipalities therein.

LEI XXX-XXXX



SETBACK NOTES: 1-ALL REAR & SIDE P.U.E. TO ALSO BE STORM DRAINAGE EASEMENTS IN THEIR ENTIRETY.
2-ALL LOTS THAT UTILIZE A 15 FOOT FRONT SETBACK SHALL PROVIDE PROPER BUFFERING TO MEET ENBRIDGE GAS STANDARDS. FAILURE TO MEET PROPER BUFFERING BETWEEN THE PRIVATE UTILITIES AND PUBLIC RIGHT-OF-WAY MAY RESULT IN ADDITIONAL SETBACK REQUIREMENTS AND/OR REMOVAL OF FOUNDATIONS TO MEET THIS REQUIREMENT.

TYPICAL SETBACK & P.U.E. DETAILS



DATA TABLE - PHASE 2			
SINGLE FAMILY LOTS	58 LOTS		
TOWNHOME LOTS	45 LOTS		
BUILDINGS	10 BUILDINGS		
DWELLINGS	103 DWELLINGS		
PARCELS	4 PARCELS		
DENSITY	7.56 UNITS/ACRE		
MINIMUM LOT SIZE	0.10 ACRES / 4,436 SF		
MAXIMUM LOT SIZE	0.18 ACRES / 7,885 SF		
AVERAGE LOT SIZE	0.13 ACRES / 5,556 SF		
		ACRES	SQ. FT.
TOTAL PROJECT AREA	13.59	591,993	100%
SINGLE FAMILY LOT AREA	7.40	322,221	54.4%
TOWNHOME LOT AREA	1.14	49,644	8.4%
OPEN SPACE	1.75	76,127	12.9%
LANDSCAPED COMMON SPACE	0.67	37,851	6.4%
LIMITED COMMON SPACE	0.88	38,276	0.1%
PUBLIC RIGHT-OF-WAY AREA	2.62	114,144	19.3%
LANDSCAPE AREA (PUBLIC ROW)	0.66	28,730	4.9%
HARDSCAPE AREA (PUBLIC ROW)	1.96	85,414	14.4%
BUILDABLE LAND	13.59	591,993	100%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	13.59	591,993	100%
NUMBER OF GARAGE PARKING SPACES		206	
NUMBER OF DRIVEWAY PARKING SPACES		206	
NUMBER OF STRIPED PARKING SPACES		10	
NUMBER OF GUEST PARKING SPACES PROVIDED		10	

ENBRIDGE GAS UTAH

QUESTAR GAS COMPANY, dba ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (a) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 6, TO RECORD EASEMENT OR RIGHT-OF-WAY, DESCRIPTIVE OF THE PLAT; AND (b) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (c) GUARANTEE ANY TERMS OR WAVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

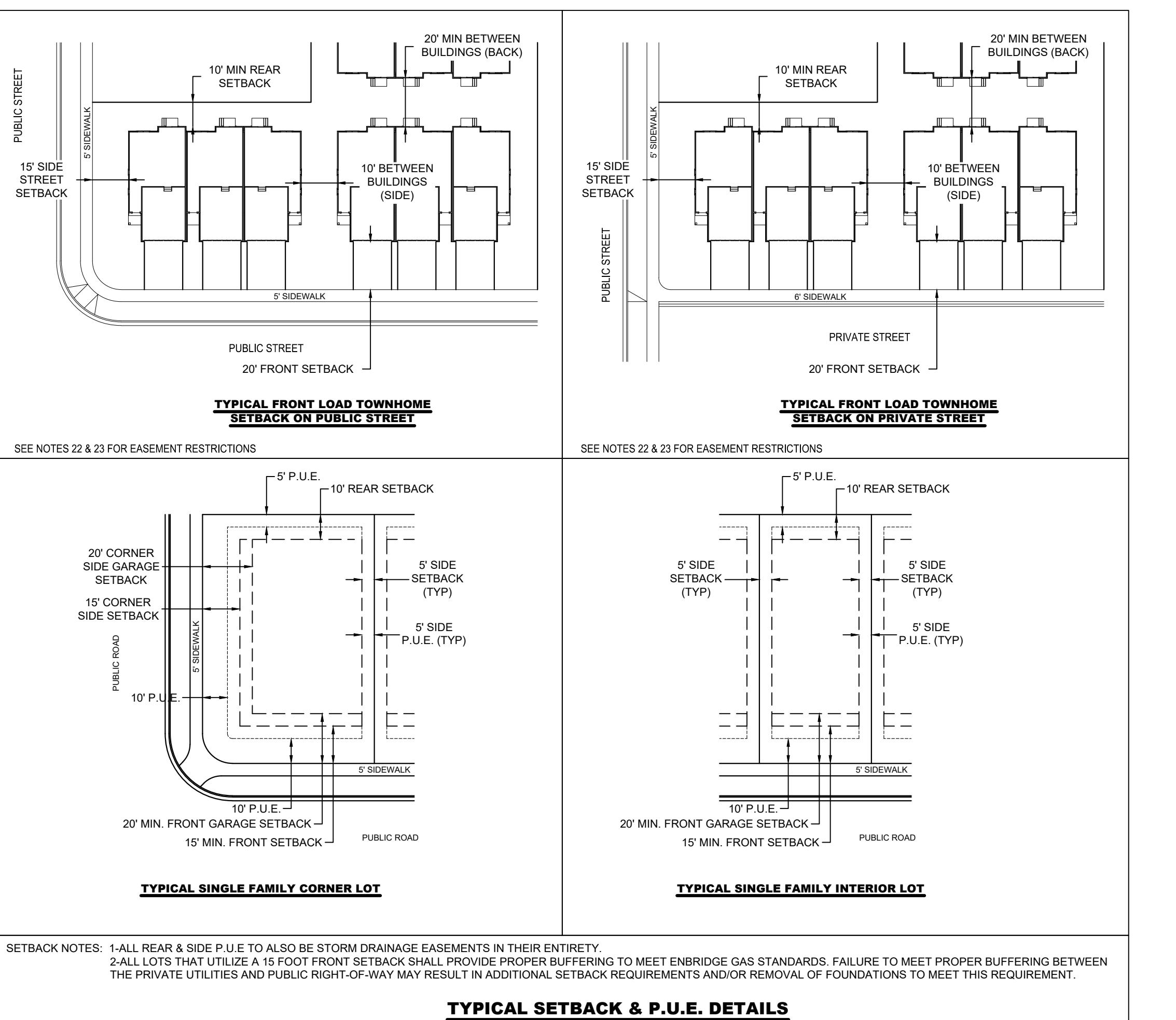
QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

APPROVED THIS ____ DAY OF ____ , 20____.

BY: _____ TITLE: _____

ROCKY MOUNTAIN POWER

FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 3 PLAT



SETBACK NOTES: 1-ALL REAR & SIDE P.U.E. TO ALSO BE STORM DRAINAGE EASEMENTS IN THEIR ENTIRETY.
2-ALL LOTS THAT UTILIZE A 15 FOOT FRONT SETBACK SHALL PROVIDE PROPER BUFFERING TO MEET ENBRIDGE GAS STANDARDS. FAILURE TO MEET PROPER BUFFERING BETWEEN THE PRIVATE UTILITIES AND PUBLIC RIGHT-OF-WAY MAY RESULT IN ADDITIONAL SETBACK REQUIREMENTS AND/OR REMOVAL OF FOUNDATIONS TO MEET THIS REQUIREMENT.

TYPICAL SETBACK & P.U.E. DETAILS

NOTES	
1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE <u> </u> DAY OF <u> </u> , <u>20 </u> .	
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY OF SARATOGA SPRINGS.	
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.	
4. PLAT IS SUBJECT TO INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. <u> </u> , WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.	
5. PUBLIC UTILITIES SHALL NOT BE ISSUED UNTIL THE REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.	
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.	
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.	
8. A GEOTECHNICAL REPORT AND A GEOPHYSICAL SURVEY, DATED SEPTEMBER 4, 2020 AND CMT ENGINEERING LABORATORIES DATED SEPTEMBER 8, 2013 WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.	
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS, THE LOTS IN THIS PLAT ARE SUBJECT TO THE SAME SOURCES OF USES, OPERATIONS, AND ASSOCIATED RIGHTS AND LIABILITIES AS THE AGRICULTURAL USES AND OPERATIONS. THE USE AND OPERATION MAY CONTINUE AT ALL TIMES, UNLESS THEY ARE INCLUDING CONSTRUCTION AND USES WHICH ARE NOT COMPATIBLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.	
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED, THAT WHICH EXISTED PRIOR TO GRADING, EXCELSIOR, OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.	
11. ANY UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PROVIDED, MAINTAINED, AND MAINTAINED, UNLESS THE UTILITIES ARE OTHERWISE SPECIFIED ON THE PLAT IF AND WHEN CONSTRUCTION REQUIREMENTS EASEMENT AGREEMENTS, LEVY OF THE CITY, (SEE NOTE 15).	
12. ALL OPEN SPACE, COMMON AREA, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY THE HOME OWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.	
13. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND C&Rs.	
14. COMMON AREAS ARE CONVEYED TO THE <u> </u> HOME OWNERS ASSOCIATION WITH A REGISTERED ADDRESS OF <u> </u> .	
15. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.	
16. SHALLOW SEWER DEPTH: CONTRACTOR SHALL SIGHT SEWER DEPTH BEFORE EXCAVATING FOR BASEMENT/FOUNDATION. HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AT BASEMENT.	
17. BUILDING SETBACKS SHALL BE DETERMINED AND ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS BUILDINGS, FENCES AND SIGNS, AND SHALL NOT CAST ILLUMINATION BEYOND THE SURFACE BEING ILLUMINATED.	
18. ANY LOT WITH A 15 FOOT OR LESS SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.	
19. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1959 UTAH COUNTY MONUMENT AT THE NORTH QUARTER CORNER OF SAID SECTION 10, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,896.76 FEET.	
20. THE PLAT IS LOCATED IN THE 100-YEAR FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4094001502 WITH AN EFFECTIVE DATE OF JUNE 19, 2020.	
21. A TITLE REPORT PREPARED BY <u> </u> EFFECTIVE DATE: <u> </u> , WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.	
22. WATER, DRINKING WATER AND SECONDARY WATER WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY CITY OF SARATOGA SPRINGS.	
23. STORM DRAIN WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.	
24. UNLESS OTHERWISE SPECIFIED, THE HOME OWNERS ASSOCIATION SHALL MAINTAIN ALL COMMON AREA, LIMITED COMMON AREA, AND PRIVATE SURFACE IMPROVEMENTS.	
25. ALL UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.	
26. PUBLIC UTILITY EASEMENTS ARE 10 FEET BEHIND RIGHT-OF-WAY LINE UNLESS OTHERWISE NOTED (SEE SHEETS 3, 4 & 5 FOR LOCATIONS & WIDTH).	
27. LANDSCAPING OF FRONTAGE ALONG SWAINSON TO BE INSTALLED, IRRIGATED, AND MAINTAINED BY HOA.	
28. ALL PRIVATE STREETS WITHIN A PLAT SHALL BE DEDICATED AS PUBLIC UTILITY EASEMENTS AND ALL UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICIES AND STANDARDS.	

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12 AND NORTHEAST QUARTER OF SECTION 13, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 6310734, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE & MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY OF SWAINSON AVENUE, SAID POINT BEING LOCATED N89°46'00" W ALONG THE SECTION LINE 2309.62 FEET AND NORTH 259.63 FEET FROM THE SOUTHEAST CORNER OF SECTION 12, T8S, R1W, S.L.B. M.; THENCE FOLLOWING SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 629.69 FEET, WITH A RADIUS OF 963.00 FEET, THROUGH A CENTRAL ANGLE OF 37°27'53"; CHORD: N07°05'07" W 618.53 FEET; THENCE N11°38'50" E 8.76 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF VILLAGE PARKWAY; THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES: ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 73.37 FEET WITH A RADIUS OF 653.50 FEET THROUGH A CENTRAL ANGLE OF 32°44'07"; CHORD: N65°39'51" E 391.96 FEET; THENCE S60°33'24" E 116.36 FEET; THENCE ALONG THE ARC OF A CURVE TO THE RIGHT 57.20 FEET WITH A RADIUS OF 125.00 FEET THROUGH A CENTRAL ANGLE OF 26°13'14"; CHORD: N37°26'47" E 56.71 FEET; THENCE S24°20'11" E 364.17 FEET; THENCE S65°39'27" W 65.00 FEET; THENCE S24°30'55" E 10.66 FEET, THENCE S64°58'33" W 128.49 FEET; S24°20'11" E 364.17 FEET; THENCE S65°39'27" W 17.21 FEET; THENCE S65°39'27" W 65.00 FEET; THENCE S24°20'09" E 7.86 FEET; THENCE S24°20'11" E 15.34 FEET; THENCE A RADIUS OF 765.00 FEET THROUGH A CENTRAL ANGLE OF 26°13'14"; CHORD: N37°26'47" E 15.34 FEET; THENCE S24°20'09" E 25.00 FEET; THENCE S24°20'11" E 10.50 FEET; THENCE S24°20'09" E 37.54 FEET; THENCE S23°31'31" E 10.18 FEET; THENCE S35°08'00" E 10.50 FEET; THENCE S37°44'56" E 38.18 FEET; THENCE S40°09'43" E 38.47 FEET; THENCE S48°33'01" E 41.60 FEET; THENCE S42°58'15" W 110.00 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 83.85 FEET WITH A RADIUS OF 2240.82 FEET, THROUGH A CENTRAL ANGLE OF 21°08'38"; CHORD: N48°06'12" W 83.84 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT 201.89 FEET WITH A RADIUS OF 948.50 FEET THROUGH A CENTRAL ANGLE OF 12°11'45"; CHORD: N43°04'46" W 201.51 FEET; THENCE S53°01'07" W 219.14 FEET; THENCE N48°59'09" W 58.58 FEET; THENCE N44°05'34" W 58.73 FEET; THENCE N39°29'47" W 58.91 FEET; THENCE N33°45'30" W 3.82 FEET; THENCE N33°45'30" W 57.74 FEET; THENCE N32°01'08" W 15.11 FEET; THENCE N28°09'57" W 52.29 FEET; THENCE N23°45'56" W 6.00 FEET; THENCE S64°19'16" W 162.81 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 2.52 FEET WITH A RADIUS OF 856.00 FEET THROUGH A CENTRAL ANGLE OF 0°10'08"; CHORD: S25°45'48" E 2.52 FEET; THENCE S64°09'07" W 107.52 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±620.497 S.F.
±14.24 ACRES

DATE

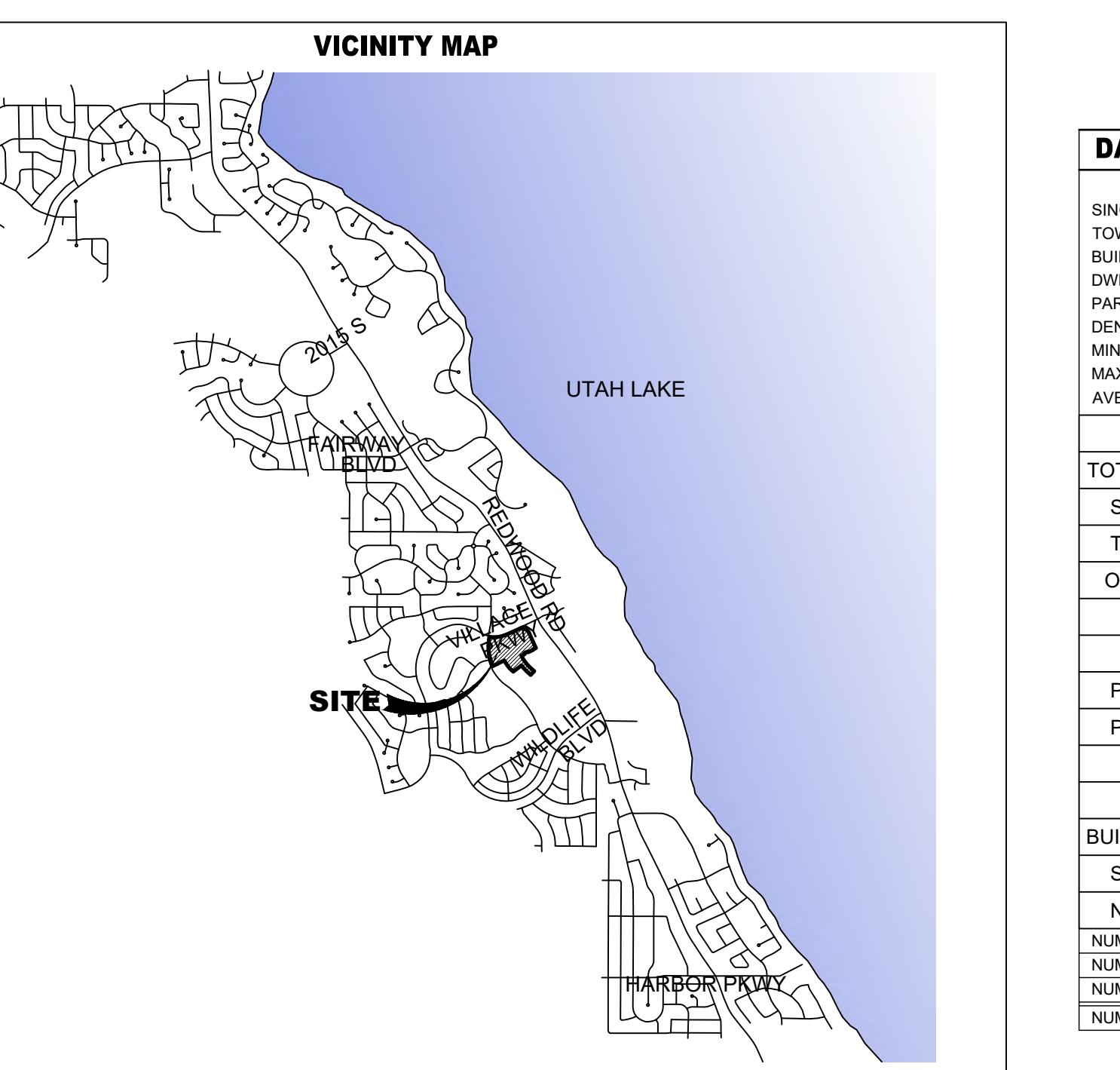
SURVEYOR (See Seal Below)

LICENSE NO. 6310734



DATA TABLE - PHASE 3

SINGLE FAMILY LOTS	55 LOTS
TOWNHOME LOTS	44 LOTS
BUILDINGS	10 BUILDINGS
DWELLINGS	99 DWELLINGS
PARCELS	6 PARCELS
DENSITY	6.95 UNITS/ACRE
MINIMUM LOT SIZE	0.10 ACRES / 4,280 SF
MAXIMUM LOT SIZE	0.28 ACRES / 12,993 SF
AVERAGE LOT SIZE	0.08 ACRES / 3,537 SF
ACRES	SQ. FT.
TOTAL PROJECT AREA	14.24 620,499
SINGLE FAMILY LOT AREA	8.04 350,141
TOWNHOME LOT AREA	1.11 48,536
OPEN SPACE	1.82 79,252
LANDSCAPED COMMON SPACE	1.11 48,504
LIMITED COMMON SPACE	0.71 30,748
PRIVATE RIGHT-OF-WAY AREA	0.93 40,338
PUBLIC RIGHT-OF-WAY AREA	2.35 102,232
LANDSCAPE AREA (PUBLIC ROW)	0.58 25,231
HARDSCAPE AREA (PUBLIC ROW)	1.77 77,001
BUILDABLE LAND	14.24 620,499
SENSITIVE LANDS	0.00 0
NON-SENSITIVE LANDS	14.24 620,499
NUMBER OF GARAGE PARKING SPACES	198
NUMBER OF DRIVEWAY PARKING SPACES	198
NUMBER OF STRIPED PARKING SPACES	9
NUMBER OF GUEST PARKING SPACES PROVIDED	9



OWNER'S ACKNOWLEDGMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS DAY OF , 20 PERSONALLY APPEARED BEFORE ME

PRINT NAME TITLE ENTITY

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE TO ME THAT HE/SHE/ THEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE COMMISSION NUMBER

PRINT NAME AS COMMISSIONED MY COMMISSION EXPIRES
A NOTARY PUBLIC COMMISSIONED IN UTAH

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. APPROVING SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 54-8A-2(C)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

PLANNING DIRECTOR APPROVED BY THE PLANNING DIRECTOR ON DAY OF , A.D. 20

APPROVED THIS DAY OF , A.D. 20

PLANNING DIRECTOR APPROVED BY THE CITY ENGINEER ON DAY OF , A.D. 20

APPROVED THIS DAY OF , A.D. 20

CITY ENGINEER APPROVED BY THE CITY ENGINEER ON DAY OF , A.D. 20

APPROVED THIS DAY OF , A.D. 20

LAND USE AUTHORITY APPROVED BY THE LAND USE AUTHORITY ON DAY OF , A.D. 20

APPROVED BY SARATOGA SPRINGS ATTORNEY ON DAY OF , A.D. 20

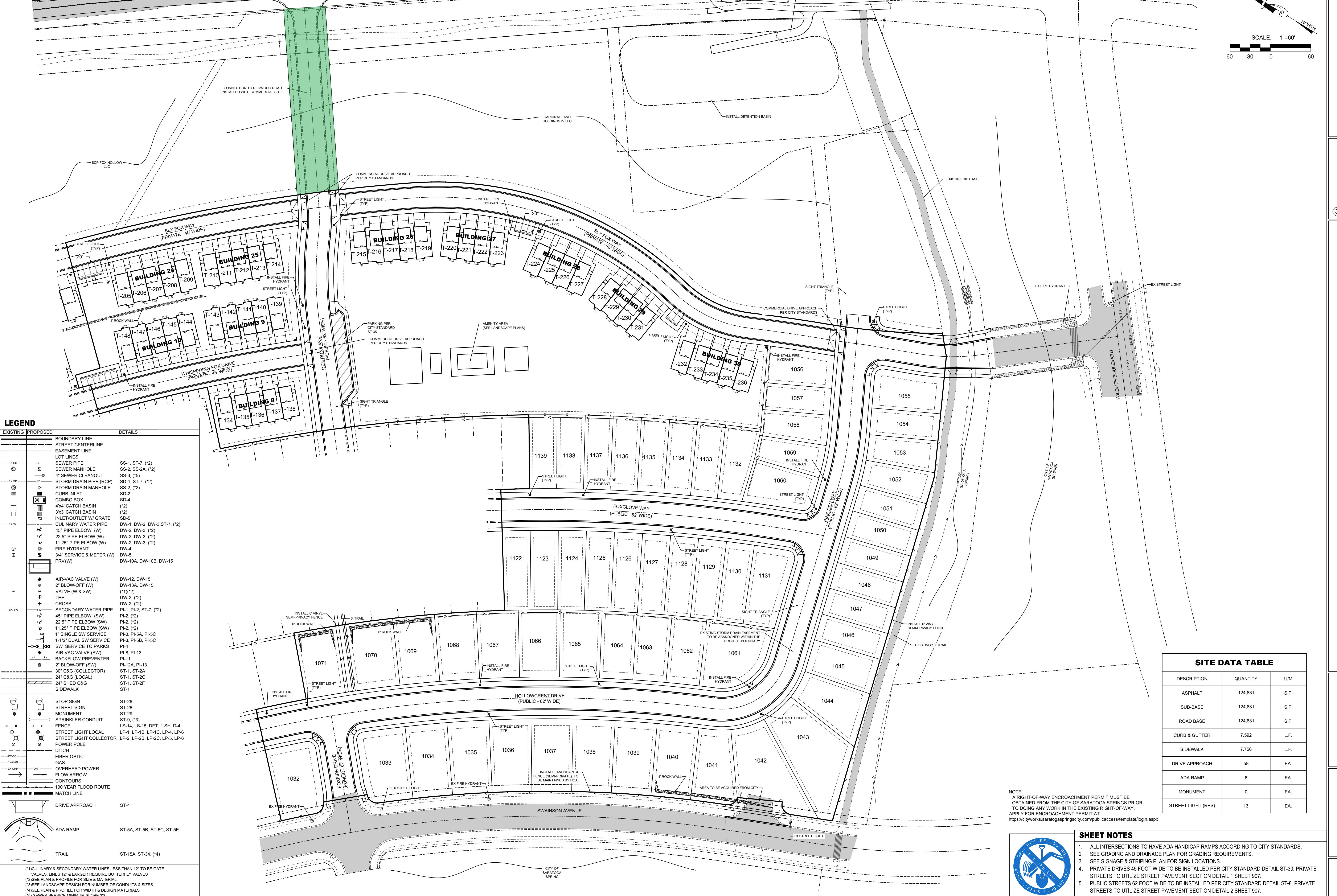


FOX HOLLOW - PRELIMINARY SITE PLAN

SARATOGA SPRING CITY, UTAH COUNTY, UTAH

SITE PLAN - PHASE 1

102



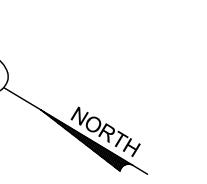


FOX HOLLOW - PRELIMINARY SITE PLAN

SARATOGA SPRING CITY, UTAH COUNTY, UTAH

SITE PLAN - PHASE 3

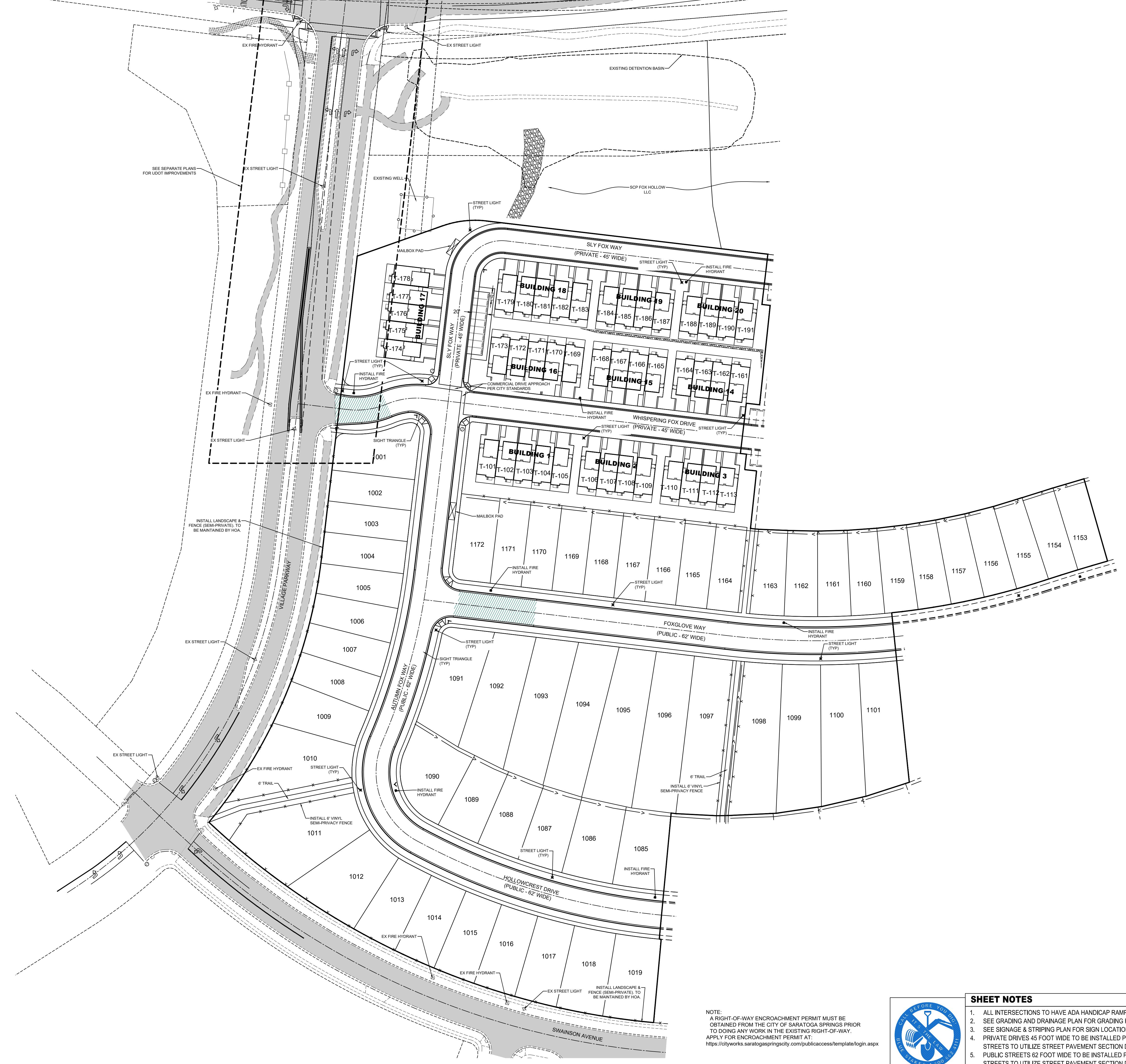
SCALE: 1"=60'
60 30 0 60



SITE DATA TABLE		
DESCRIPTION	QUANTITY	U/M
ASPHALT	79,034	S.F.
SUB-BASE	79,034	S.F.
ROAD BASE	79,034	S.F.
CURB & GUTTER	5,032	L.F.
SIDEWALK	5,075	L.F.
DRIVE APPROACH	56	EA.
ADA RAMP	4	EA.
MONUMENT	0	EA.
STREET LIGHT (RES)	10	EA.

9/23/2025 11:30 AM SHEET Dwg FOX HOLLOW-SS-CAD.DWG PRELIM SITE PLAN-2025 (000-201) SHEET Dwg

EXISTING	PROPOSED	DETAILS
EX-SS	BOUNDARY LINE	
EX-SD	STREET CENTERLINE	
EX-W	EXISTING LOT LINES	
EX-SW	SEWER PIPE	SS-1, ST-7, (*2)
EX-SW	SEWER MANHOLE	SS-2, SS-2A, (*2)
EX-SW	4" SEWER CLEANOUT	SS-3, (*5)
EX-SW	STORM DRAIN PIPE (RCP)	SD-1, ST-7, (*2)
EX-SW	STORM DRAIN MANHOLE	SD-2
EX-SW	CURB INLET	SD-4
EX-SW	COMBO BOX	(*2)
EX-SW	4'x4' CATCH BASIN	(*2)
EX-SW	3'x3' CATCH BASIN	(*2)
EX-SW	INLET/OUTLET W/ GRATE	
EX-SW	45° PIPE ELBOW (W)	DW-1, DW-2, DW-3, ST-7, (*2)
EX-SW	22.5° PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-SW	11.25° PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-SW	FIRE HYDRANT	DW-4
EX-SW	3/4" SERVICE & METER (W)	DW-5
EX-SW	PRV(W)	DW-10A, DW-10B, DW-15
EX-SW	AIR-VAC VALVE (W)	DW-12, DW-15
EX-SW	2" BLOW-OFF (W)	DW-13A, DW-15
EX-SW	VALVE (W & SW)	(*1)(*2)
EX-SW	TEE	DW-2, (*2)
EX-SW	CROSS	DW-2, (*2)
EX-SW	SECONDARY WATER PIPE	PI-1, ST-7, (*2)
EX-SW	45° PIPE ELBOW (SW)	PI-2, (*2)
EX-SW	22.5° PIPE ELBOW (SW)	PI-2, (*2)
EX-SW	11.25° PIPE ELBOW (SW)	PI-2, (*2)
EX-SW	1" SINGLE SW SERVICE	PI-3, PI-5A, PI-5C
EX-SW	1-1/2" DUAL SW SERVICE	PI-3, PI-5B, PI-5C
EX-SW	SW SERVICE TO PARKS	PI-4
EX-SW	AIR-VAC VALVE (SW)	PI-8, PI-13
EX-SW	BACKFLOW PREVENTER	PI-11
EX-SW	2" BLOW-OFF (SW)	PI-12A, PI-13
EX-SW	30" C&G (COLLECTOR)	ST-1, ST-2A
EX-SW	24" C&G (LOCAL)	ST-1, ST-2C
EX-SW	24" SHED C&G	ST-1, ST-2F
EX-SW	SIDEWALK	ST-1
EX-FW	STOP SIGN	ST-2B
EX-FW	STREET SIGN	ST-2B
EX-FW	MONUMENT	ST-2B
EX-FW	SPRINKLER CONDUIT	ST-9, (*3)
EX-FW	FENCE	LS-14, LS-15, DET. 1 SH, D-4
EX-FW	STREET LIGHT LOCAL	LP-1, LP-1B, LP-1C, LP-4, LP-6
EX-FW	STREET LIGHT COLLECTOR	LP-2, LP-2B, LP-2C, LP-5, LP-6
EX-FW	POWER POLE	
EX-FW	DITCH	
EX-FW	FIBER OPTIC	
EX-FW	GA	
EX-FW	OVERHEAD POWER	
EX-FW	FLOW ARROW	
EX-FW	CONTOURS	
EX-FW	100 YEAR FLOOD ROUTE	
EX-FW	MATCH LINE	
EX-FW	DRIVE APPROACH	ST-4
EX-FW	ADA RAMP	ST-5A, ST-5B, ST-5C, ST-5E
EX-FW	TRAIL	ST-15A, ST-34, (*4)
(*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES		
(*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL		
(*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES		
(*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS		
(*5) SEWER SERVICE MINIMUM SLOPE 2%		



SHEET NOTES
1. ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
2. SEE GRADING AND DRAINAGE PLAN FOR GRADING REQUIREMENTS.
3. SEE SIGNAGE & STRIPING PLAN FOR SIGN LOCATIONS.
4. PRIVATE DRIVES 45 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-30. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 1 SHEET 907.
5. PUBLIC STREETS 62 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-8. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 2 SHEET 907.

REVISIONS
1 -
2 -
3 -
4 -
5 -
LEI PROJECT #: 2025-0026
DRAWN BY: BLS
CHECKED BY: GDM
SCALE: 1"=60'
(PRINTED 02/24/25)
DATE: 9/23/2025
SHEET
104

FOX HOLLOW - PRELIMINARY SITE PLAN
SARATOGA SPRING CITY, UTAH COUNTY, UTAH

PHASE PLAN

9/23/2025 11:30 AM SHEET Dwg FOX HOLLOW-SS CAD Dwg PRELIM SITE PLAN-2025 (000-201) LEI PROJECT #:

2025-0026 DRAWN BY: BLS

CHECKED BY: GDM

SCALE: 1"=100' (PRINTED ON 24x36)

DATE: 9/23/2025

SHEET

108

DATA TABLE						
	PHASE 1		PHASE 2		PHASE 3	
TOTAL PHASE AREA	751,859	17.26	591,993	13.59	620,499	14.24
SINGLE FAMILY LOT AREA	321,725	7.39	322,221	7.40	350,141	8.04
MULTI-FAMILY LOT AREA	51,858	1.19	49,644	1.14	48,536	1.11
PUBLIC ROW	122,230	2.81	114,144	2.62	102,232	2.35
PRIVATE ROW	65,422	1.50	29,857	0.69	40,338	0.93
COMMON AREA	113,595	2.61	37,851	0.87	48,504	1.11
LIMITED COMMON AREA	77,029	1.77	38,276	0.88	30,748	0.71
# OF SINGLE FAMILY LOTS	58		58		55	
# OF MULTI-FAMILY LOTS	47		45		44	
STRIPED PARKING SPACES	25		10		9	

EXISTING	PROPOSED	DETAILS
EX-SB	BOUNDARY LINE	
EX-SB	STREET CENTERLINE	
EX-SB	EXISTING LOT LINES	
EX-SB	SEWER PIPE	SS-1, ST-7, (*2)
EX-SB	SEWER MANHOLE	SS-2, SS-2A, (*2)
EX-SB	4" SEWER CLEANOUT	SS-3, (*5)
EX-SB	STORM DRAIN PIPE (RCP)	SD-1, ST-7, (*2)
EX-SB	STORM DRAIN MANHOLE	SD-2, (*2)
EX-SB	CURB INLET	SD-4, (*2)
EX-SB	COMBO BOX	SD-5, (*2)
EX-SB	4'x4' CATCH BASIN	DW-1, DW-2, DW-3, ST-7, (*2)
EX-SB	3'x3' CATCH BASIN	DW-2, DW-3, (*2)
EX-SB	INLET/OUTLET W/ GRATE	DW-2, DW-3, (*2)
EX-SB	CULINARY WATER PIPE	DW-1, DW-2, DW-3, ST-7, (*2)
EX-SB	45° PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-SB	2.25° PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-SB	11.25° PIPE ELBOW (W)	DW-2, DW-3, (*2)
EX-SB	FIRE HYDRANT	DW-4, DW-5, DW-10A, DW-10B, DW-15
EX-SB	3/4" SERVICE & METER (W)	PRV(W)
EX-SB	AIR-VAC VALVE (W)	DW-12, DW-15
EX-SB	2" BLOW-OFF (W)	DW-13A, DW-15
EX-SB	VALVE (W & SW)	(*1)(*)
EX-SB	TEE	DW-2, (*2)
EX-SB	CROSS	DW-2, (*2)
EX-SB	SECONDARY WATER PIPE	PI-2, (*2)
EX-SB	45° PIPE ELBOW (SW)	PI-2, (*2)
EX-SB	22.5° PIPE ELBOW (SW)	PI-2, (*2)
EX-SB	11.25° PIPE ELBOW (SW)	PI-2, (*2)
EX-SB	1" SINGLE SW SERVICE	PI-3, PI-5A, PI-5C
EX-SB	1-1/2" DUAL SW SERVICE	PI-3, PI-5B, PI-5C
EX-SB	SW SERVICE TO PARKS	PI-4, PI-8, PI-13
EX-SB	AIR-VAC VALVE (SW)	PI-11, PI-12A, PI-13
EX-SB	BACKFLOW PREVENTER	ST-1, ST-2A
EX-SB	2" BLOW-OFF (SW)	ST-1, ST-2C
EX-SB	30° C&G (COLLECTOR)	ST-1, ST-2F
EX-SB	24" C&G (LOCAL)	ST-1
EX-SB	24" SHED C&G	
EX-SB	SIDEWALK	
EX-SB	STOP SIGN	ST-2B
EX-SB	STREET SIGN	ST-2B
EX-SB	MONUMENT	ST-2B
EX-SB	SPRINKLER CONDUIT	ST-9, (*3)
EX-SB	FENCE	LS-14, LS-15, DET. 1 SH, D-4
EX-SB	STREET LIGHT LOCAL	LP-1, LP-1B, LP-1C, LP-4, LP-6
EX-SB	STREET LIGHT COLLECTOR	LP-2, LP-2B, LP-2C, LP-5, LP-6
EX-SB	POWER POLE	
EX-SB	DITCH	
EX-SB	FIBER OPTIC	
EX-SB	GA	
EX-SB	OVERHEAD POWER	
EX-SB	FLOW ARROW	
EX-SB	CONTOURS	
EX-SB	100 YEAR FLOOD ROUTE	
EX-SB	MATCH LINE	
EX-SB	DRIVE APPROACH	ST-4
EX-SB	ADA RAMP	ST-5A, ST-5B, ST-5C, ST-5E
EX-SB	TRAIL	ST-15A, ST-34, (*4)

(*1) CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(*2) SEE PLAN & PROFILE FOR SIZE & MATERIAL
(*3) SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(*4) SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(*5) SEWER SERVICE MINIMUM SLOPE 2%

