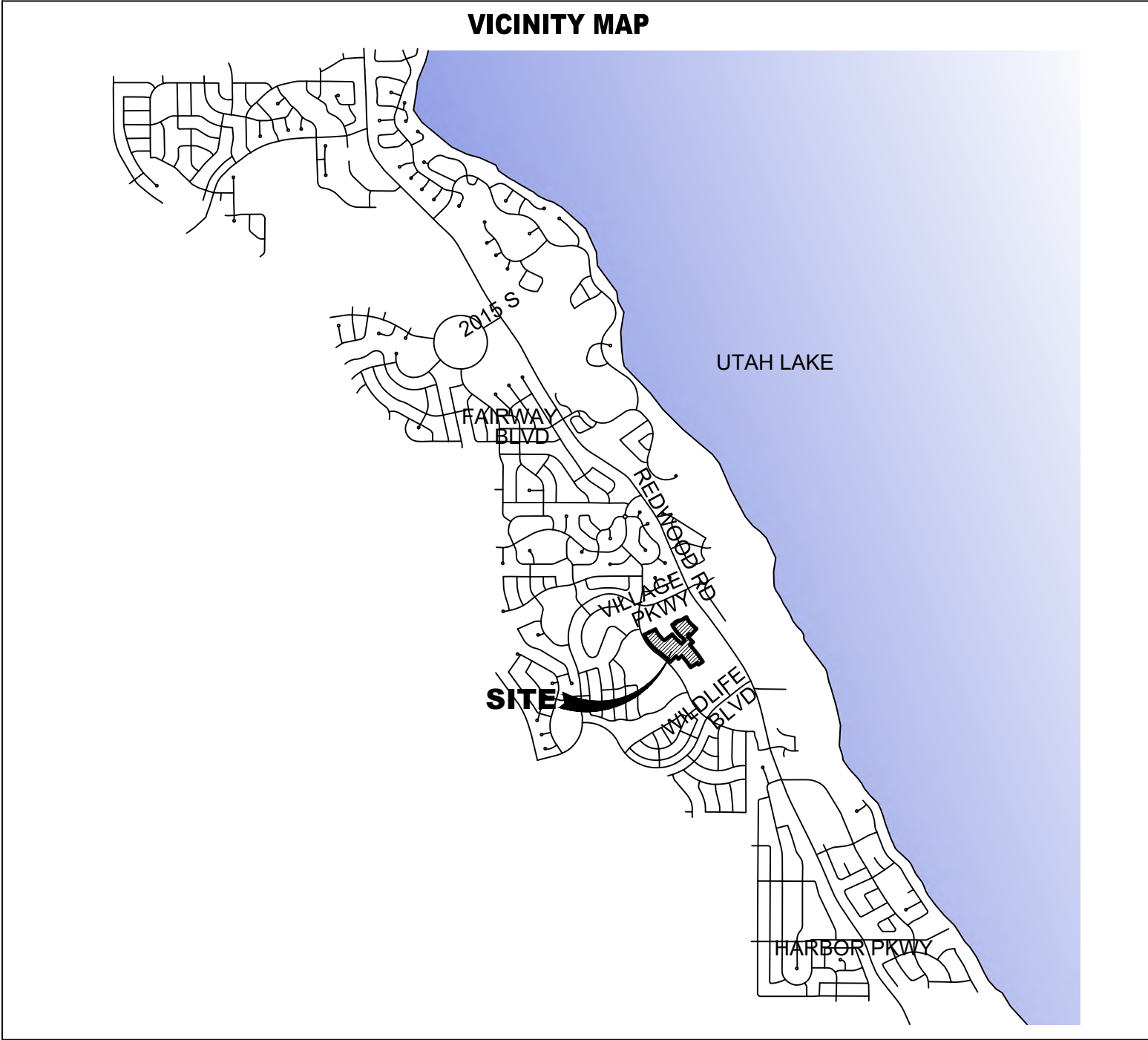


LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION
12 AND NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



CONTAINS: ±592000 S.F.
±13.59 ACRES.

DATE

SURVEYOR
(See Seal Below)

LICENSE NO. 6310734

PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDED OF MOST RECENT PHASE. THE FIRST PLAT FINAL APPROVAL WAS GRANTED ON THE _____ DAY OF _____, 20____.

3. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICE.

3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY SUBJECT TO THIS PLAT RECORDER FOR DETAIL.

4. THIS IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.

5. BUILDING IMPROVEMENTS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.

6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH; AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.

7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.

8. A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY GEOSTRATA DATED SEPTEMBER 4, 2020 AND CMT ENGINEERING LABORATORIES DATED FEBRUARY 8 2013, WHICH ADDRESSES SOIL, AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS CONSTRUCTION AND MAINTENANCE OF THE PROJECT. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY LIABILITY OR DAMAGE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.

9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS USES AND RIGHTS. THESE USES AND ASPECTS ARE NOT A VIOLATION OF THE DAY AND NIGHT NOISE ORDINANCE AND PROVIDED, THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND ASPECTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.

10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING, EXCESS OR CONCENTRATED DRAINAGE SHALL BE PREVENTED. EXCESS DRAINAGE SHALL BE PREVENTED BY THE INSTALLATION OF DRAINAGE VESICLES TO BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL EXCEED A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.

11. ANY UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS THE UTILITIES ARE OTHERWISE SPECIFIED ON THE PLAT AND ACCORDING TO RECORDING MAINTENANCE EASEMENTS IN FAVOR OF THE CITY. (SEE NOTE 15)

12. ALL OPEN SPACE, PARKS, AND RECREATION AREAS SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.

13. LOTS/MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.

14. COMMON AREAS ARE CONVEYED TO THE _____ HOMEOWNERS ASSOCIATION WITH A REGISTERED ADDRESS OF _____.

15. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.

16. SHOWN SEWER DEPTHS, CONTRACTOR SHALL VERIFY SEWER DEPTHS BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS. HOME(S) WITH BASEMENT(S) WILL NOT HAVE SEWER SERVICE AVAILABLE FOR SEWER DRAIN.

17. BUILDING LIGHTING SHALL BE FULL CUTOFF AND DOWNWARD DIRECTED, AND ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS BUILDINGS FACADES AND SIGNS, AND SHALL NOT CAST ILLUMINATION BEYOND THE SURFACE BEINGS ILLUMINATED.

18. THE LOT WITH A 15 FOOT FRONT YARD PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.

19. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 1998 UTAH COUNTY MONUMENT AT THE NORTH CORNER OF THE CORNER OF THE LOT SHOWN HEREON PLAT BEING DEEDED AS PUBLIC AND UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 469040150F WITH AN EFFECTIVE DATE OF JUNE 19, 2020.

20. THIS PLAT PREPARED BY _____ EFFECTIVE DATE _____ WAS PREPARED IN THE PREPARATION OF THE _____ CITY OF SARATOGA SPRINGS ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.

21. THE CITY OF SARATOGA SPRINGS IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OR MAINTENANCE OF THE CITY OF SARATOGA SPRINGS DRIVE SURVEY MONUMENT.

22. STORM DRAIN WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.

23. UNLESS OTHERWISE SPECIFIED, THE HOME OWNERS ASSOCIATION SHALL MAINTAIN ALL COMMON AREA, LIMITED COMMON AREA, AND PRIVATE DRIVE SURVEY MONUMENTS.

24. ALL AREA WITHIN THIS PLAT IS COMMON AREA, LIMITED COMMON AREA, AND FACILITIES, EXCEPT AS OTHERWISE DESIGNATED.

25. PUBLIC UTILITY EASEMENTS ARE 10 FEET BEHIND RIGHT-OF-WAY LINE UNLESS OTHERWISE NOTED (SEE SHEETS 3, 4 & 5 FOR LOCATIONS & WIDTH).

27. LANDSCAPING OF FRONTAGE ALONG SWANSON TO BE INSTALLED, IRRIGATED, AND MAINTAINED BY HOA.

28. THE CITY OF SARATOGA SPRINGS IS NOT RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OR MAINTENANCE OF THE UNDERGROUND IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICES AND STANDARDS.

QUESTAR GAS COMPANY,
dba ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (a) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 86, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (b) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (c) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

QUESTAR GAS COMPANY
dba ENBRIDGE GAS UTAH

1. PURSUANT TO UTAH CODE ANN. 54-32.7 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.

2. PURSUANT TO UTAH CODE ANN. 10-4a-801 ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS DEVELOPMENT, THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:

- a. A RECORDED EASEMENT OR RIGHT-OF-WAY
- b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
- c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
- d. ANY OTHER PROVISION OF LAW

Y POST OFFICE REPRESENTATIVE

OWNERS DEDICATION

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STRUITS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAN AS INTENDED FOR PUBLIC OR CITY USE. PURSUANT TO UTAH CODE ANN. § 17-2-10(1), THE CITY OF SALT LAKE COUNTY, UTAH, DOES HEREBY ACCEPT AND AGREE TO HOLD AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OF OTHER ENCUMBRANCE ON A DEDICATED STREET, EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THE SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOW, AND THE ERECTION OF ANY BUILDING OR STRUCTURE ON THE PROPERTY. THE CITY OF SALT LAKE COUNTY, UTAH, AS AGENTS, SUCCESSORS, AND ASSIGNS, THE OWNER HEREBY CONVEYS THE COMMON AREA AND LIMITED COMMON AREA, AS INDICATED HEREON, TO THE HOME OWNERS ASSOCIATION, WITH A REGISTERED ADDRESS OF

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS _____ DAY OF _____, A.D. 20_____

CITY MAYOR

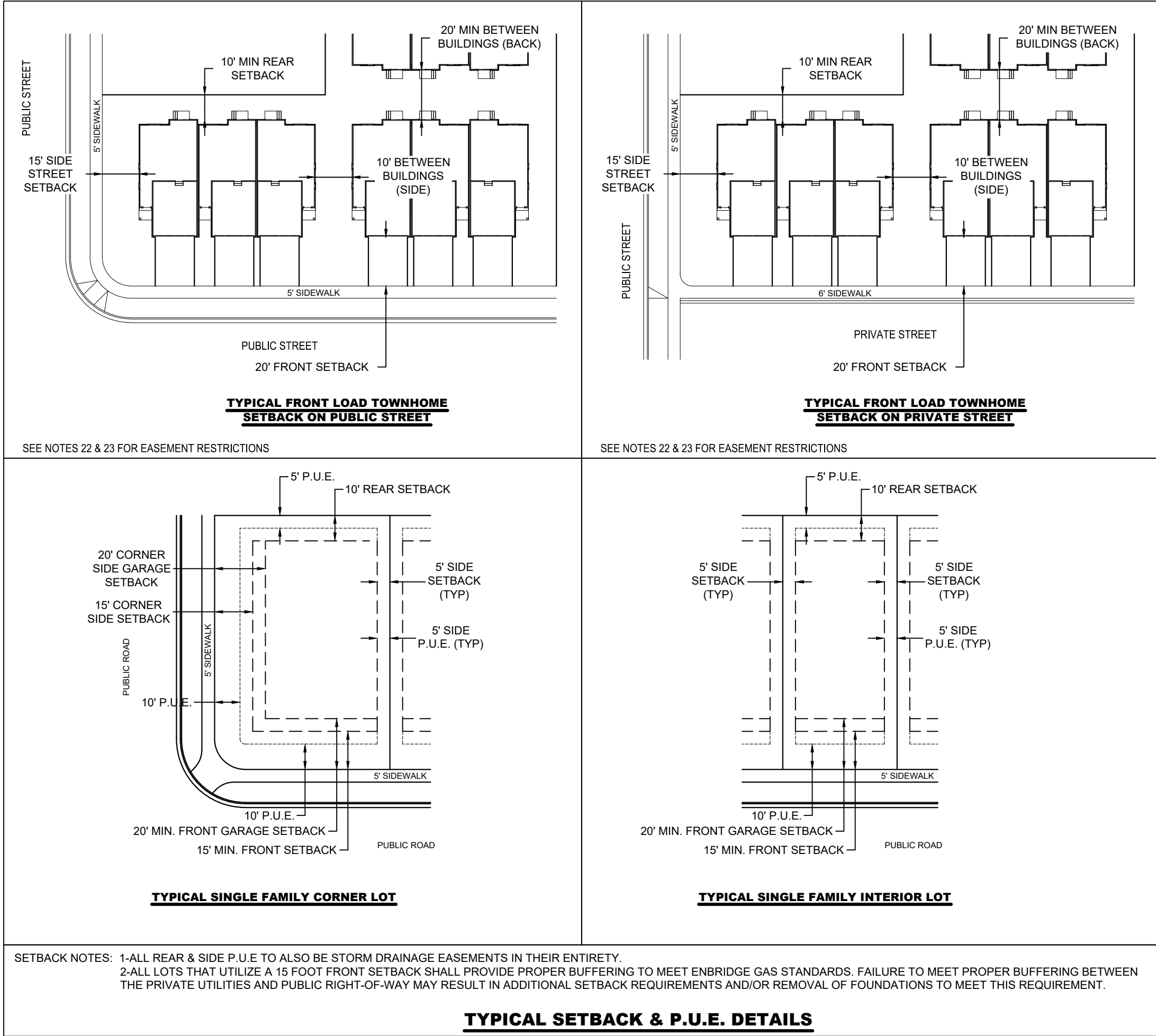
ATTEST _____
CITY RECORDER (See Seal Below)

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION
12 AND NORTHEAST QUARTER OF SECTION 13,
TOWNSHIP 6 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL
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This form approved by Utah County and the municipalities therein

LEI #XX-XXXX



NOTES

1. PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECOGNITION OF MOST RECENT PHASE. THE FIRST FINAL PLAT MUST BE GRANTED BY THE DAY OF 00.
2. PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL AND/OR GEOTECHNICAL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
3. THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY REQUESTOR FOR DETAILS.
4. PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____," WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH THE LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS.
5. BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
6. REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS AND ASSIGNS.
7. NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
8. A GEOGRAPHICAL REPORT HAS BEEN COMPLETED BY GEOSTRATA DATED SEPTEMBER 4, 2020 AND CMT ENGINEERING LABORATORIES DATED FEBRUARY 8 2013, WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS CONSTRUCTION MEASURES TO BE IMPLEMENTED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
9. AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SAME RIGHTS AND INTERESTS AS THE ADJACENT LOTS. THE CITY DOES NOT GUARANTEE THAT ANY AGRICULTURAL USES, OPERATIONS, OR RIGHTS OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY OTHER GRANTHEE/AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
10. DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING, EXCESS OR CONCENTRATED DRAINAGE SYSTEMS MEASURED AND SIZED SEPARATELY, WITH A P-IN APPROACH CROWN TO THE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
11. ANY UTILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATELY OWNED AND MAINTAINED, UNLESS THE UTILITIES ARE OTHERWISE SPECIFIED ON THE PLAT AND ACCORDINGLY RECORDED/MAINTAINED EASEMENTS IN FAVOR OF THE CITY. (SEE NOTE 15).
12. ALL OPEN SPACE, COMMON, OR COMMON-AREA LOCATED HEREIN ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION UNLESS OTHERWISE SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
13. LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND COARS.
14. COMMON AREAS ARE CONVEYED TO THE HOMEOWNERS ASSOCIATION WITH A MAINTAINED ADDRESS OF _____.
15. COMMON AREAS AND LIMITED COMMON AREAS ARE BLANKET UTILITY EASEMENTS FOR THE CITY OF SARATOGA SPRINGS AND ARE ASSIGNABLE AT THE CITY'S DISCRETION TO OTHER PUBLIC UTILITIES.
16. SHALLOW SEWER DEPTHS: CONTRACTOR SHALL EXCAVATE SEVER DEPTHS BEFORE EXCAVATING FOR BASEMENT/FOUNDATIONS. HOME(S) WITH BASEMENT(S) MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENT.
17. BUILDING LIGHTING SHALL BE FULL CUTOFF AND DOWNWARD DIRECTED, AND ONLY FOR THE ILLUMINATION OF VERTICAL SURFACES SUCH AS STAIRWAYS, CORRIDORS AND SIGNAGE. EXCESS LIGHTING BEYOND THE SURFACE BEING ILLUMINATED.
18. ANY LOT WITH A 15 FOOT OR LESS SETBACK SHALL PROVIDE PROPER CLEARANCE TO MEET GAS AND POWER STANDARDS. ADDITIONAL SETBACKS MAY BE REQUIRED TO MEET STANDARDS.
19. THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION FOR THE FLOOD 1959 UNTY COUNTY MONUMENT AT THE NORTH QUARTER CORNER OF THE SECTION 36, T4N, R12E, CO. 10 (NAD83) ELEVATION OF 4,886.75 FEET.
20. AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4906010150F WITH AN EFFECTIVE DATE OF JUNE 12, 2020.
21. A TITLE REPORT PREPARED BY _____ EFFECTIVE DATE: _____ WAS USED IN THE PREPARATION OF THIS PLAT. THE CITY DOES NOT GUARANTEE THE ACCURACY OF THE TITLE REPORT. THE CITY ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.
22. WATER DRINKING WATER AND SECONDARY WATER WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY CITY OF SARATOGA SPRINGS.
23. STORM DRAIN WITHIN PRIVATE STREETS TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.
24. UNLESS OTHERWISE SPECIFIED, THE HOME OWNERS ASSOCIATION SHALL MAINTAIN ALL COMMON AREA, LIMITED COMMON AREA, AND PRIVATE DRIVE SURFACES.
25. ALL AREA WITHIN THIS PLAT IS COMMON AREA, LIMITED COMMON AREA, AND FACILITIES, EXCEPT AS OTHERWISE DESIGNATED.
26. PUBLIC UTILITY EASEMENTS ARE 10 FEET BEHIND RIGHT-OF-WAY LINE UNLESS OTHERWISE NOTED (SEE SHEETS 3, 4 & 5 FOR LOCATIONS & WIDTH).
27. LANDSCAPING OF FRONT YARD LONGS GRASSLANDS TO BE INSTALLED, IRRIGATED, AND MAINTAINED BY HOMEOWNER.
28. ALL PRIVATE STREETS WITHIN A PUD SHALL BE CONSIDERED AS PUBLIC UTILITY EASEMENTS. ANY IMPROVEMENTS SHALL BE CONSTRUCTED PER THE CITY OF SARATOGA SPRINGS ORDINANCES, POLICIES AND STANDARDS.



DATA TABLE - PHASE 3

SINGLE FAMILY LOTS	55 LOTS		
TOWNHOME LOTS	44 LOTS		
BUILDINGS	10 BUILDINGS		
DWELLINGS	99 DWELLINGS		
PARCELS	6 PARCELS		
DENSITY	6.95 UNITS/ ACRE		
MINIMUM LOT SIZE	0.10 ACRES / 4,280 SF		
MAXIMUM LOT SIZE	0.28 ACRES / 12,293 SF		
AVERAGE LOT SIZE	0.08 ACRES / 3,537 SF		

	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	14.24	620,499	100%
SINGLE FAMILY LOT AREA	8.04	350,141	56.4%
TOWNHOME LOT AREA	1.11	48,536	7.8%
OPEN SPACE	1.82	79,252	12.8%
LANDSCAPED COMMON SPACE	1.11	48,504	7.8%
LIMITED COMMON SPACE	0.71	30,748	0.0%
PRIVATE RIGHT-OF-WAY AREA	0.93	40,338	6.5%
PUBLIC RIGHT-OF-WAY AREA	2.35	102,232	16.5%
LANDSCAPE AREA (PUBLIC ROW)	0.58	25,231	4.1%
HARDSCAPE AREA (PUBLIC ROW)	1.77	77,001	12.4%
BUILDABLE LAND	14.24	620,499	100%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	14.24	620,499	100%

NUMBER OF GARAGE PARKING SPACES	198
NUMBER OF DRIVEWAY PARKING SPACES	198
NUMBER OF STRIPED PARKING SPACES	9
NUMBER OF GUEST PARKING SPACES PROVIDED	9

SURVEYOR'S CERTIFICATE

BOUNDARY DESCRIPTION

CONTAINS: ±620,497 S.F.
±14.24 ACRES

DATE _____

SURVEYOR
(See Seal Below)

LICENSE NO. 6310734

OWNERS DEDICATION

FOX HOLLOW NEIGHBORHOOD 4 RESIDENTIAL PHASE 3 PLAT

OWNER'S ACKNOWLEDGMENT

This form approved by Utah County and the municipalities therein.

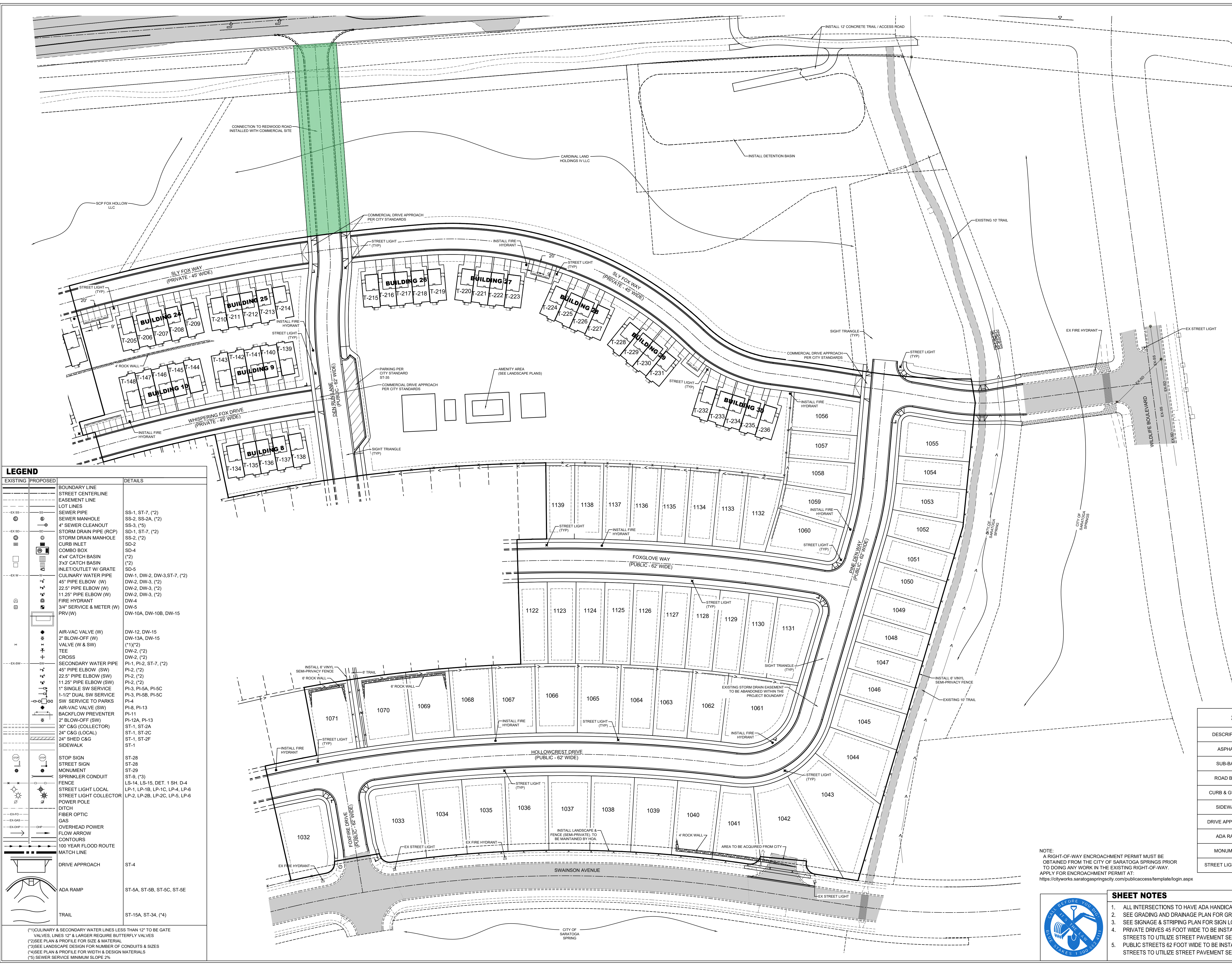
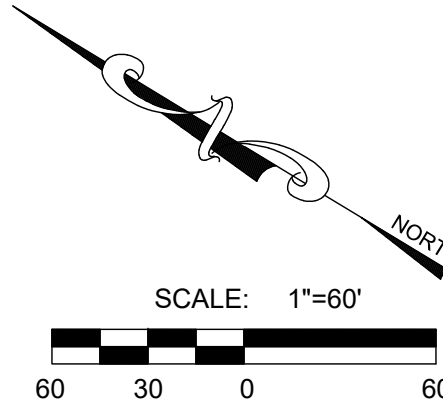


A Utah Corporation
ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



FOX HOLLOW - PRELIMINARY SITE PLAN
SARATOGA SPRING CITY, UTAH COUNTY, UTAH
SITE PLAN - PHASE 1



LEGEND	
EXISTING	PROPOSED
SS-1	SS-1
SS-2	SS-2
SS-3	SS-3
SD-1	SD-1
SD-2	SD-2
SD-3	SD-3
SD-4	SD-4
SD-5	SD-5
DW-1	DW-1
DW-2	DW-2
DW-3	DW-3
DW-4	DW-4
DW-5	DW-5
DW-10A	DW-10A
DW-10B	DW-10B
DW-15	DW-15
DW-12	DW-12
DW-13A	DW-13A
DW-15	DW-15
PI-1	PI-1
PI-2	PI-2
PI-3	PI-3
PI-4	PI-4
PI-5A	PI-5A
PI-5B	PI-5B
PI-5C	PI-5C
PI-8	PI-8
PI-13	PI-13
PI-11	PI-11
PI-12A	PI-12A
PI-13	PI-13
ST-1	ST-1
ST-2A	ST-2A
ST-1	ST-1
ST-2C	ST-2C
ST-1	ST-1
ST-2F	ST-2F
ST-1	ST-1
ST-28	ST-28
ST-28	ST-28
ST-29	ST-29
ST-9	ST-9
LS-14	LS-14
LS-15	LS-15
DET. 1 SH.	DET. 1 SH.
D-4	D-4
LP-1	LP-1
LP-1B	LP-1B
LP-1C	LP-1C
LP-4	LP-4
LP-6	LP-6
LP-2	LP-2
LP-2B	LP-2B
LP-2C	LP-2C
LP-5	LP-5
LP-6	LP-6
ST-4	ST-4
ST-5A	ST-5A
ST-5B	ST-5B
ST-5C	ST-5C
ST-5E	ST-5E
ST-15A	ST-15A
ST-34	ST-34

SITE DATA TABLE		
DESCRIPTION	QUANTITY	U/M
ASPHALT	124,831	S.F.
SUB-BASE	124,831	S.F.
ROAD BASE	124,831	S.F.
CURB & GUTTER	7,592	L.F.
SIDEWALK	7,756	L.F.
DRIVE APPROACH	58	EA.
ADA RAMP	6	EA.
MONUMENT	0	EA.
STREET LIGHT (RES)	13	EA.

NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR ENCROACHMENT PERMIT AT: <https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx>

SHEET NOTES

- ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
- SEE GRADING AND DRAINAGE PLAN FOR GRADING REQUIREMENTS.
- SEE SIGNAGE & STRIPING PLAN FOR SIGN LOCATIONS.
- PRIVATE DRIVES 45 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-30. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 1 SHEET 907.
- PUBLIC STREETS 62 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-8. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 2 SHEET 907.



REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #:
2025-0026
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1"=60'
(PRINTED SCALE)
DATE:
9/23/2025

U:\0 - LEI PROJECTS\2025\2025-0026 -0026 DR. HORTON FOX HOLLOW-SD-CAD\DWG\PRELIM SITE PLAN-25-0026 (000-201) SHEETLUNG 9/23/2025 11:30 AM

SITE DATA TABLE		
DESCRIPTION	QUANTITY	U/M
ASPHALT	82,676	S.F.
SUB-BASE	82,676	S.F.
ROAD BASE	82,676	S.F.
CURB & GUTTER	5,126	L.F.
SIDEWALK	5,244	L.F.
DRIVE APPROACH	58	EA.
ADA RAMP	4	EA.
MONUMENT	0	EA.
STREET LIGHT (RES)	8	EA.

LEGEND		
EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
		SEWER PIPE
		SEWER MANHOLE
		4" SEWER CLEANOUT
		STORM DRAIN PIPE (RCP)
		STORM DRAIN MANHOLE
		CURB INLET
		COMBO BOX
		4"x4" CATCH BASIN
		3"x3" CATCH BASIN
		INLET/OUTLET W/ GRATE
		CULINARY WATER PIPE
		45" PIPE ELBOW (W)
		22" PIPE ELBOW (W)
		11" 25" PIPE ELBOW (W)
		FIRE HYDRANT
		34" SERVICE & METER (W)
		PRV(W)
		AIR-VAC VALVE (W)
		2" BLOW-OFF (W)
		VALVE (W & SW)
		TEE
		CROSS
		SECONDARY WATER PIPE
		45" PIPE ELBOW (SW)
		22" PIPE ELBOW (SW)
		11" 25" PIPE ELBOW (SW)
		1" SINGLE SW SERVICE
		1"-12" DUAL SW SERVICE
		SW SERVICE TO PARKS
		AIR-VAC VALVE (SW)
		BACKFLOW PREVENTER
		2" BLOW-OFF (SW)
		30" C&G (COLLECTOR)
		24" C&G (LOCAL)
		24" SHED C&G
		SIDEWALK
		STOP SIGN
		STREET SIGN
		MONUMENT
		SPRINKLER CONDUIT
		FENCE
		STREET LIGHT LOCAL
		STREET LIGHT COLLECTOR
		POWER POLE
		DITCH
		FIBER OPTIC
		GAS
		OVERHEAD POWER
		FLOW ARROW
		CONTOURS
		100 YEAR FLOOD ROUTE
		MATCH LINE
		DRIVE APPROACH
		ADA RAMP
		TRAIL
		(*)CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
		(2)SEE PLAN & PROFILE FOR SIZE & MATERIAL
		(3)SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
		(4)SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
		(5)SEWER SERVICE MINIMUM SLOPE 2%



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SHEET NOTES	
1.	ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
2.	SEE GRADING AND DRAINAGE PLAN FOR GRADING REQUIREMENTS.
3.	SEE SIGNAGE & STRIPING PLAN FOR SIGN LOCATIONS.
4.	PRIVATE DRIVES 45 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-30. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 1 SHEET 907.
5.	PUBLIC STREETS 62 FOOT WIDE TO BE INSTALLED PER CITY STANDARD DETAIL ST-8. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 2 SHEET 907.



- A Utah Corporation -
ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



FOX HOLLOW - PRELIMINARY SITE PLAN
SARATOGA SPRING CITY, UTAH COUNTY, UTAH
SITE PLAN - PHASE 2

REVISIONS	
1.	
2.	
3.	
4.	
5.	
6.	
LEI PROJECT #: 2025-0026	
DRAWN BY: BLS	
CHECKED BY: GDM	
SCALE: 1"=60' (PRINTED SCALE)	
DATE: 9/23/2025	



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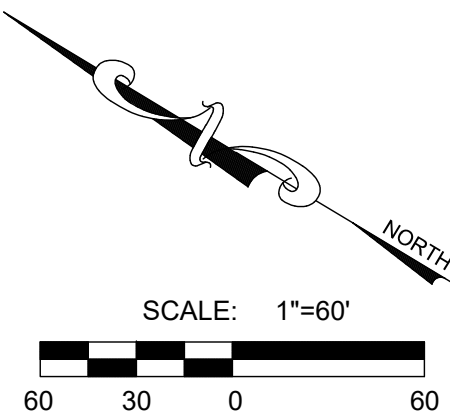


FOX HOLLOW - PRELIMINARY SITE PLAN
SARATOGA SPRING CITY, UTAH COUNTY, UTAH
SITE PLAN - PHASE 3

REVISIONS	
1 -	
2 -	
3 -	
4 -	
5 -	
6 -	

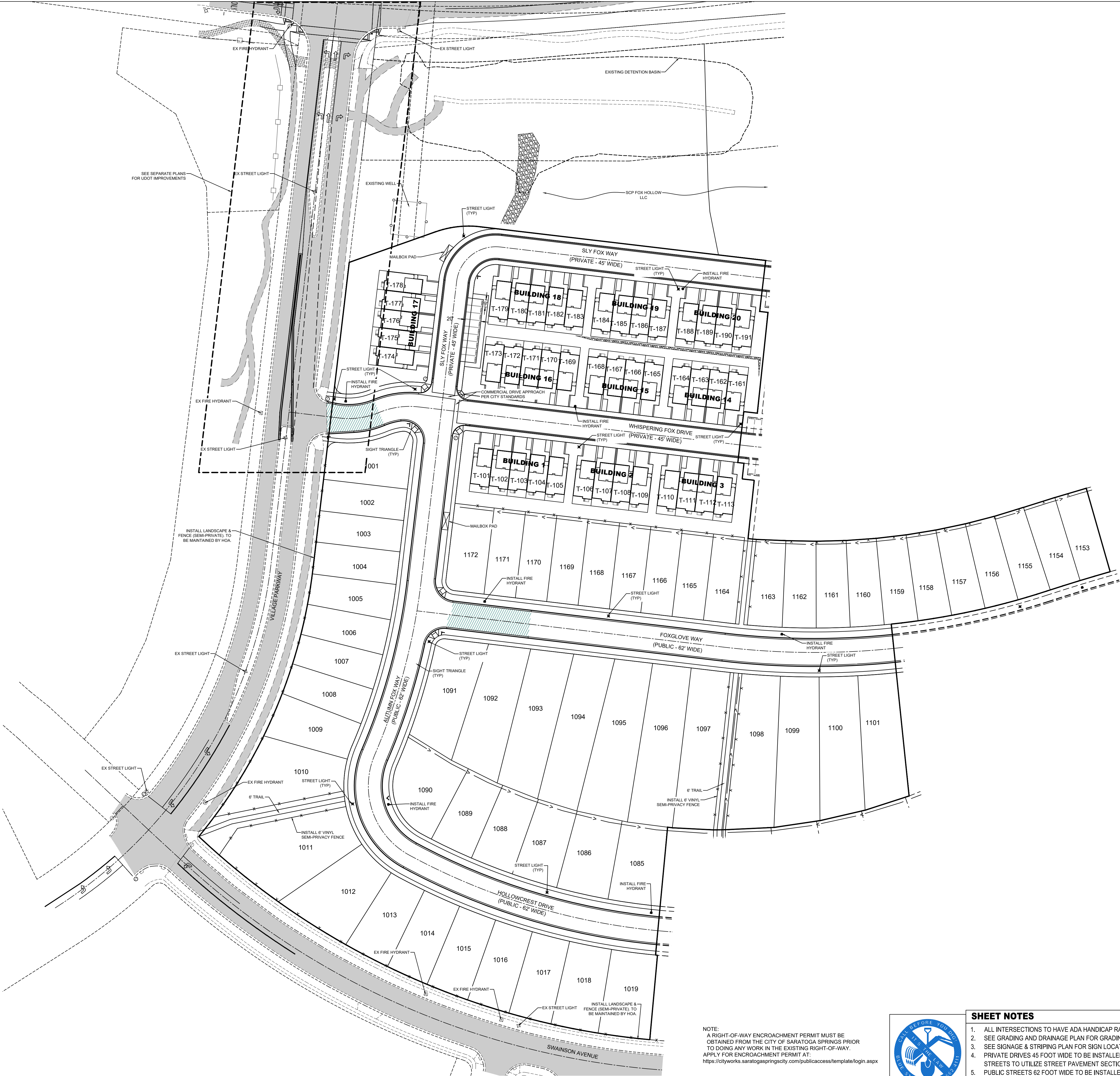
LEI PROJECT #:
2025-0026
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1"=60'
(PRINTED SCALE)
DATE:
9/23/2025

SHEET
104



SITE DATA TABLE		
DESCRIPTION	QUANTITY	U/M
ASPHALT	79,034	S.F.
SUB-BASE	79,034	S.F.
ROAD BASE	79,034	S.F.
CURB & GUTTER	5,032	L.F.
SIDEWALK	5,075	L.F.
DRIVE APPROACH	56	EA.
ADA RAMP	4	EA.
MONUMENT	0	EA.
STREET LIGHT (RES)	10	EA.

LEGEND		
EXISTING	PROPOSED	DETAILS
		BOUNDARY LINE
		STREET CENTERLINE
		EASEMENT LINE
		LOT LINES
		SEWER PIPE
		SEWER MANHOLE
		4" SEWER CLEANOUT
-EX-RO-	-RO-	STORM DRAIN PIPE (RCP)
		STORM DRAIN MANHOLE
		CURB INLET
		COMBO BOX
		4'x4' CATCH BASIN
		3'x3' CATCH BASIN
-EX-W-	-W-	INLET/OUTLET W/ GRATE
		CULINARY WATER PIPE
		45" PIPE ELBOW (W)
		22.5" PIPE ELBOW (W)
		11.25" PIPE ELBOW (W)
		FIRE HYDRANT
		3/4" SERVICE & METER (W)
		PRV (W)
		AIR-VAC VALVE (W)
		2" BLOW-OFF (W)
		WAVE (W & SW)
		"TEE
		CROSS
-EX-SW-	-SW-	SECONDARY WATER PIPE
		45" PIPE ELBOW (SW)
		22.5" PIPE ELBOW (SW)
		11.25" PIPE ELBOW (SW)
		1" SINGLE SW SERVICE
		1-1/2" DUAL SW SERVICE
		SW SERVICE TO PARKS
		AIR-VAC VALVE (SW)
		BACKFLOW PREVENTER
		2" BLOW-OFF (SW)
		30" C&G (COLLECTOR)
		24" C&G (LOCAL)
		24" SHED & C&G
		SIDEWALK
STOP	STOP	STOP SIGN
		STREET SIGN
		MONUMENT
		SPRINKLER CONDUIT
		FENCE
		STREET LIGHT LOCAL
		STREET LIGHT COLLECTOR
		POWDER POLE
-EX-GAS-	-GAS-	DITCH
		FIBER OPTIC
-EX-GAS-	-GAS-	GAS
-EX-OPW-	-OPW-	OVERHEAD POWER
		FLOW ARROW
		CONTOURS
		100 YEAR FLOOD ROUTE
		MATCH LINE
		DRIVE APPROACH
		ADA RAMP
		TRAIL
(*)CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES, LINES 12" & LARGER REQUIRE BUTTERFLY VALVES		
(**)SEE PLAN & PROFILE FOR SIZE & MATERIAL		
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(***) SEWER SERVICE MINIMUM SLOPE 2%		



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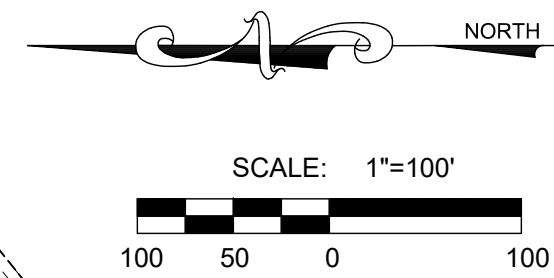


FOX HOLLOW - PRELIMINARY SITE PLAN
SARATOGA SPRING CITY, UTAH COUNTY, UTAH
PHASE PLAN

REVISIONS	
1 -	
2 -	
3 -	
4 -	
5 -	
6 -	

LEI PROJECT #:
2025-0026
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1"=100'
(PER CITY DETAIL)
DATE:
9/23/2025

SHEET
108



DATA TABLE	PHASE 1		PHASE 2		PHASE 3	
TOTAL PHASE AREA	751,859	17.26	591,993	13.59	620,499	14.24
SINGLE FAMILY LOT AREA	321,725	7.39	322,221	7.40	350,141	8.04
MULTI-FAMILY LOT AREA	51,858	1.19	49,644	1.14	48,536	1.11
PUBLIC ROW	122,230	2.81	114,144	2.62	102,232	2.35
PRIVATE ROW	65,422	1.50	29,857	0.69	40,338	0.93
COMMON AREA	113,595	2.61	37,851	0.87	48,504	1.11
LIMITED COMMON AREA	77,029	1.77	38,276	0.88	30,748	0.71
# OF SINGLE FAMILY LOTS	58		58		55	
# OF MULTI-FAMILY LOTS	47		45		44	
STRIPED PARKING SPACES	25		10		9	

LEGEND

EXISTING

PROPOSED

BOUNDARY LINE

STREET CENTERLINE

EASEMENT LINE

LOT LINES

SEWER PIPE

SEWER MANHOLE

4" SEWER CLEANOUT

STORM DRAIN PIPE (RCP)

STORM DRAIN MANHOLE

CURB INLET

COMBO BOX

3"x3" CATCH BASIN

INLET/OUTLET W/ GRATE

CULINARY WATER PIPE

45" PIPE ELBOW (W)

22.5" PIPE ELBOW (W)

11.25" PIPE ELBOW (W)

FIRE HYDRANT

3/4" SERVICE & METER (W)

PRV(W)

AIR-VAC VALVE (W)

2" BLOW-OFF (W)

VALVE (W & SW)

TEE

CROSS

SECONDARY WATER PIPE

45" PIPE ELBOW (SW)

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1" SINGLE SW SERVICE

1-1/2" DUAL SW SERVICE

SW SERVICE TO PARKS

AIR-VAC VALVE (SW)

PI-11

PI-12A, PI-13

ST-1, ST-2A

ST-1, ST-2C

24" C&G (LOCAL)

ST-1, ST-2F

ST-1

STOP SIGN

ST-28

STREET SIGN

MONUMENT

ST-29

SPRINKLER CONDUIT

ST-9, ("3)

FENCE

LS-14, LS-15, DET. 1 SH. D-4

LP-1, LP-1B, LP-1C, LP-4, LP-6

STREET LIGHT LOCAL

LP-2, LP-2B, LP-2C, LP-5, LP-6

POWER POLE

DITCH

FIBER OPTIC

GAS

OVERHEAD POWER

FLOW ARROW

CONTOURS

100 YEAR FLOOD ROUTE

MATCH LINE

DRIVE APPROACH

ST-4

ADA RAMP

ST-5A, ST-5B, ST-5C, ST-5E

TRAIL

ST-15A, ST-34, ("4)

DETAILS

SS-1, ST-7, ("2)

SS-2, SS-2A, ("2)

SS-3, ("5)

SD-1, ST-7, ("2)

SS-2, ("2)

SD-2

SD-4

4"x4" CATCH BASIN

SD-5

DW-1, DW-2, DW-3, ST-7, ("2)

DW-2, DW-3, ("2)

DW-2, DW-3, ("2)

DW-2, DW-3, ("2)

DW-4

DW-5

DW-10A, DW-10B, DW-15

DW-12, DW-15

DW-13A, DW-15

("1)("2)

DW-2, ("2)

PI-1, PI-2, ST-7, ("2)

PI-2, ("2)

PI-2, ("2)

PI-2, ("2)

PI-3, PI-5A, PI-5C

PI-3, PI-5B, PI-5C

PI-4

PI-8, PI-13

PI-11

PI-12A, PI-13

ST-1, ST-2A

ST-1, ST-2C

24" C&G (LOCAL)

ST-1, ST-2F

ST-1

ST-28

ST-28

ST-29

ST-9, ("3)

LS-14, LS-15, DET. 1 SH. D-4

LP-1, LP-1B, LP-1C, LP-4, LP-6

LP-2, LP-2B, LP-2C, LP-5, LP-6

ST-4

ST-5A, ST-5B, ST-5C, ST-5E

ST-15A, ST-34, ("4)

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U:\0 - LEI PROJECTS\2025\2025-0026 - FOX HOLLOW - SD (C&G) DWS PRELIM SITE PLAN 25-0026 (100-201) SHEET108 9/23/2025 11:30 AM