



VILLAGE PLAN AREA 9

LENNAR®

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CITY OF SARATOGA SPRINGS
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SARATOGA SPRINGS, UT 84045
801-766-9793

May 5, 2025

Approved June 3, 2025
Amended November 10, 2025



WILDFLOWER
AT SARATOGA SPRINGS
A  Community



Prepared By

Lennar Homes

LEI Engineers & Surveyors

Landmark Design

Hales Engineering

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01 Executive Summary

Findings for Village Plan 9

Village Plan Area 9 is a 311.62-acre area within the 1,202-acre Wildflower Amended and Restated Community Plan (ARCP) located in Saratoga Springs, Utah. The Wildflower Village Plan Area 9 is compliant with all PC Zone Requirements for Village Plans as defined in *Section 19.26.09 of the Saratoga Springs Municipal Code*. We find that Village Plan Area 9:

- a. Is consistent with the adopted Wildflower ARCP; Village Plan Area 9 adheres to the development standards, thoroughfare types, and open space types and requirements established in the Wildflower ARCP.
- b. Does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Wildflower ARCP.
 - » The number of potential ERUs established in the Wildflower ARCP for Village Plan Area 9 is 978. This Village Plan Area 9 Establishes 1,008 ERU's plus an additional 14 ERU's associated with the sale of the cemetery site for a total of 1,022 ERU's. The density transfer is 3.0%, and is within the transfer percentage allowed in the Wildflower ARCP See ARCP for density transfer table.
- c. Is consistent with the utility, infrastructure, and circulation plans of the Wildflower ARCP and Master Utility Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts.
- d. Properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties.
 - » Wildflower has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the property. Wildflower was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents.
- e. Contains the required elements as required in ***Section 19.26.10 of the Saratoga Springs Municipal Code***.

02 Legal Description

Legal Description Village 9



ENGINEERS
SURVEYORS
PLANNERS

- Civil Engineering
- Structural Engineering
- Surveying
- Land Planning
- Landscape Architecture

www.lei-eng.com

LEGAL DESCRIPTION
PREPARED FOR
DAI
Job No. 2017-0032
(August 29, 2022)

WILDFLOWER VILLAGE 9 COMBINED

A portion of Sections 8 and 9, Township 5 South, Range 1 West, Salt Lake Base and Meridian, described as follows:

Beginning at a point located N89°18'02"W along the Quarter Section Line 815.38 feet from the East Quarter Corner of Section 9, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence S31°55'48"W 387.34 feet; thence N89°18'02"W 313.15 feet; thence N79°31'58"W 38.31 feet; thence S69°35'32"W 229.77 feet; thence along the arc of a curve to the right 26.70 feet with a radius of 17.00 feet through a central angle of 90°00'00", chord: N65°24'28"W 24.04 feet; thence N20°24'28"W 43.77 feet; thence along the arc of a curve to the left 68.41 feet with a radius of 71.00 feet through a central angle of 55°12'31", chord: N48°00'43"W 65.80 feet; thence N75°36'59"W 59.99 feet; thence along the arc of a curve to the left 43.11 feet with a radius of 71.00 feet through a central angle of 34°47'29", chord: S86°59'17"W 42.45 feet; thence S69°35'32"W 58.42 feet; thence along the arc of a non-tangent curve to the right 7.95 feet with a radius of 10.00 feet through a central angle of 45°34'23", chord: S46°48'21"W 7.75 feet; thence S69°35'32"W 85.68 feet; thence N20°24'28"W 70.00 feet; thence S69°35'32"W 212.47 feet; thence S37°40'11"W 20.45 feet; thence N53°15'00"W 42.25 feet; thence N55°05'20"W 42.25 feet; thence N56°55'40"W 42.25 feet; thence N58°46'00"W 42.25 feet; thence N60°36'20"W 42.25 feet; thence N62°26'41"W 42.25 feet; thence N64°17'01"W 42.25 feet; thence N66°12'23"W 46.06 feet; thence N68°21'29"W 52.04 feet; thence S62°11'05"W 48.28 feet; thence along the arc of a non-tangent curve to the left 142.49 feet with a radius of 162.50 feet through a central angle of 50°14'20", chord: N52°56'05"W 137.96 feet; thence N78°03'15"W 157.26 feet; thence S11°56'45"W 62.00 feet; thence S78°03'15"E 144.67 feet; thence along the arc of a curve to the right 170.12 feet with a radius of 100.50 feet through a central angle of 96°59'03", chord: S29°33'43"E 150.52 feet; thence S18°55'49"W 180.94 feet; thence along the arc of a curve to the right 18.46 feet with a radius of 12.00 feet through a central angle of 88°08'40", chord: S63°00'09"W 16.69 feet to a point of reverse curve; thence along the arc of a curve to the left 199.24 feet with a radius of 968.50 feet through a central angle of 11°47'12", chord: N78°49'07"W 198.89 feet; thence N84°42'44"W 568.67 feet; thence along the arc of a curve to the left 275.00 feet with a radius of 3047.50 feet through a central angle of 05°10'13", chord: N87°17'50"W 274.91 feet; thence N89°52'56"W 627.93 feet; thence along the arc of a curve to the right 558.29 feet with a radius of 1152.50 feet through a central angle of 27°45'17", chord: N76°00'18"W 552.84 feet to a point of reverse curve; thence along the arc of a curve to the left 544.11 feet with a radius of 1147.50 feet through a central angle of 27°10'05", chord: N75°42'42"W 539.03 feet; thence N89°17'44"W 427.79 feet; thence S00°42'16"W 95.00 feet; thence along the arc of a non-tangent curve to the right 18.94 feet with a radius of 12.00 feet through a central angle of 90°25'23", chord: S44°05'03"E 17.03 feet; thence S01°07'39"W 161.92 feet; thence S01°09'47"E 100.08 feet; thence S01°07'39"W 520.59 feet; thence along the arc of a curve to the left 51.21 feet with a radius of 229.50 feet through a central angle of 12°47'04", chord: S05°15'53"E 51.10 feet to a point of reverse curve; thence along the arc of a curve to the right 21.53 feet with a radius of 12.00 feet through a central angle of 102°47'04", chord: S39°44'07"W 18.75 feet; thence S01°42'09"E 59.07 feet; thence S01°07'39"W 110.00 feet; thence N88°52'21"W 1344.00 feet; thence N78°02'22"W 217.68 feet; thence along the arc of a non-tangent curve to the left 66.36 feet with a radius of 1052.50 feet through a central angle of 03°36'46", chord: S03°02'00"W 66.35 feet; thence S01°13'37"W 37.44 feet to the South line of

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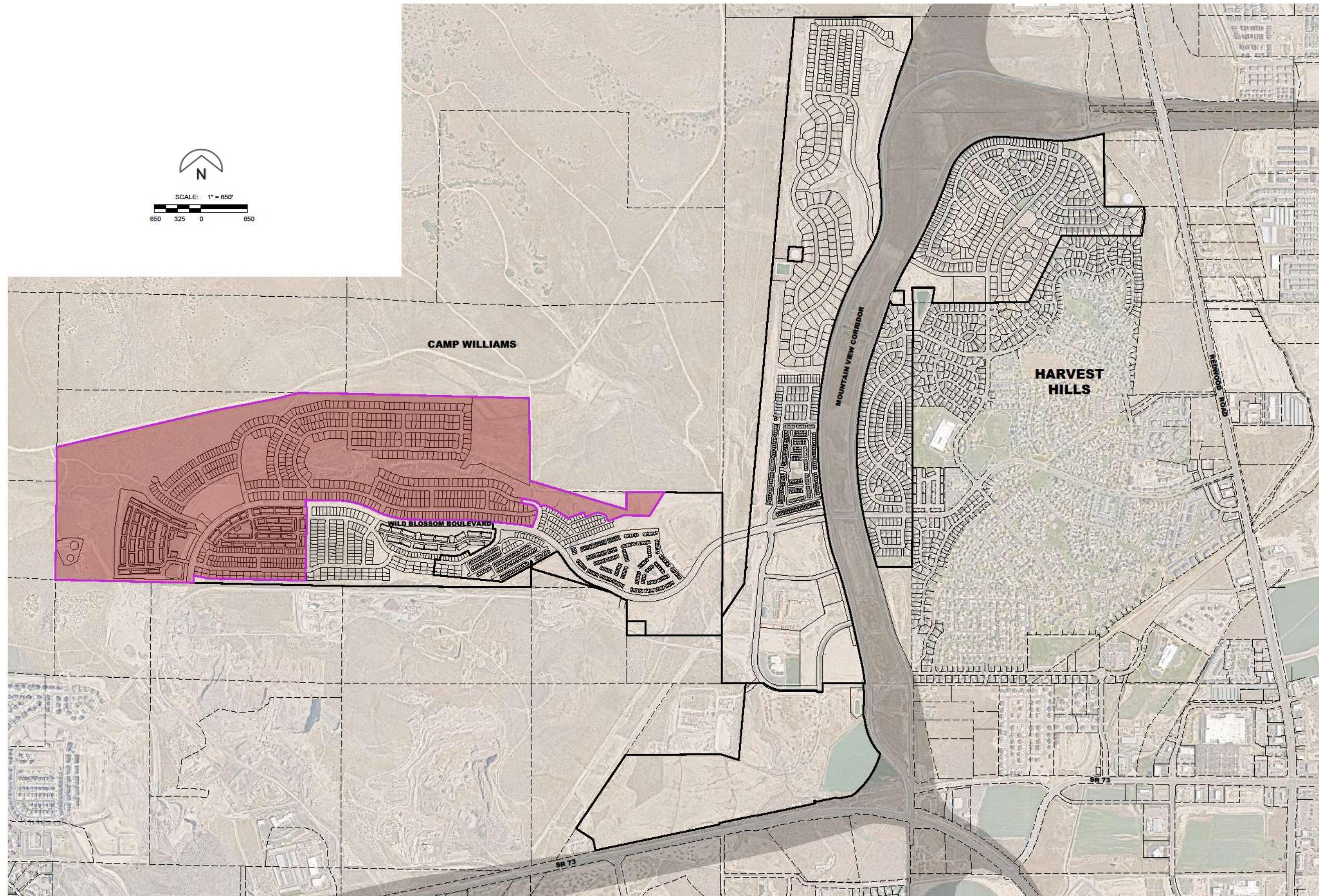


the North Half of the Southeast Quarter of Section 8; thence N88°46'35"W along said South Line (defined in Deed Entry No. 28603:2015 in the official records of the Utah County Recorder) 594.56 feet to the Southeast Corner of the Northeast Quarter of the Southwest Quarter of said Section 8; thence N88°45'57"W along the South Line of said Northeast Quarter (defined in Deed Entry No. 28603:2015 in the official records of the Utah County Recorder) 1335.65 feet to the Southwest Corner of the Northeast Quarter of the Southwest Quarter of said Section 8; thence N00°47'51"E along the West Line of said Northeast Quarter 1339.46 feet to a BLM aluminum pipe and cap monument marking the Northwest Corner of the Northeast Quarter of the Southwest Quarter of said Section 8; thence N00°20'25"E along the West Line of the Southeast Quarter of the Northwest Quarter of said Section 518.47 feet to a BLM aluminum pipe and cap monument marking the intersection with the South Line of that real property owned by the United States of America as defined on that Dependent Resurvey conducted under the direction of the Bureau of Land Management, the official plat thereof being on file in the office of the Bureau of Land Management dated September 17, 2002 (said real property is purported to be that real property described Deed Entry No. 178437:2007 in the official records of the Utah County Recorder); thence along the South Line of that real property the following three (3) courses: N76°58'20"E 2259.24 feet to a BLM aluminum pipe and cap monument; thence N79°06'11"E 896.49 feet to a BLM aluminum pipe and cap monument marking the intersection with the North Line of the Southeast Quarter of the Northeast Quarter of said Section 8; thence S89°09'23"E along said North Line 634.92 feet to a BLM aluminum pipe and cap monument marking the Northwest Corner of the South Half of the Northwest Quarter of said Section 9; thence S88°33'27"E along the North Line of said South Half 2587.47 feet to a BLM aluminum pipe and cap monument marking the Northeast Corner of the South Half of the Northwest Quarter of said Section 9; thence S00°34'00"E along the Quarter Section Line 1154.58 feet to a BLM aluminum pipe and cap monument marking to the intersection with the North Line of Belle Spring Claim No. 4 as defined on that Dependent Resurvey conducted under the direction of the Bureau of Land Management, the official plat thereof being on file in the office of the Bureau of Land Management dated September 17, 2002; thence S73°21'20"E along the North Line of said Claim 501.14 feet to a BLM aluminum pipe and cap monument marking the intersection with the Quarter Section Line; thence continue along the North Line S73°21'20"E 104.97 feet to a BLM aluminum pipe and cap monument marking Corner No. 2 of Belle Spring Mine No. 5; thence continue along the North Line S73°21'20"E 799.24 feet to the intersection of the North Line of Belle Spring Mine No. 5 and the East Line of the Northwest Quarter of the Southeast Quarter of said Section 9; thence N00°06'28"W along said East Line 248.56 feet to a BLM aluminum pipe and cap monument marking the Northwest Corner of the Northeast Quarter of the Southeast Quarter of said Section 9; thence S89°18'02"E along the Quarter Section Line 529.06 feet to the point of beginning.

Contains: ±311.62 Acres
13,574,096 Sq. Ft.



02 Vicinity Map



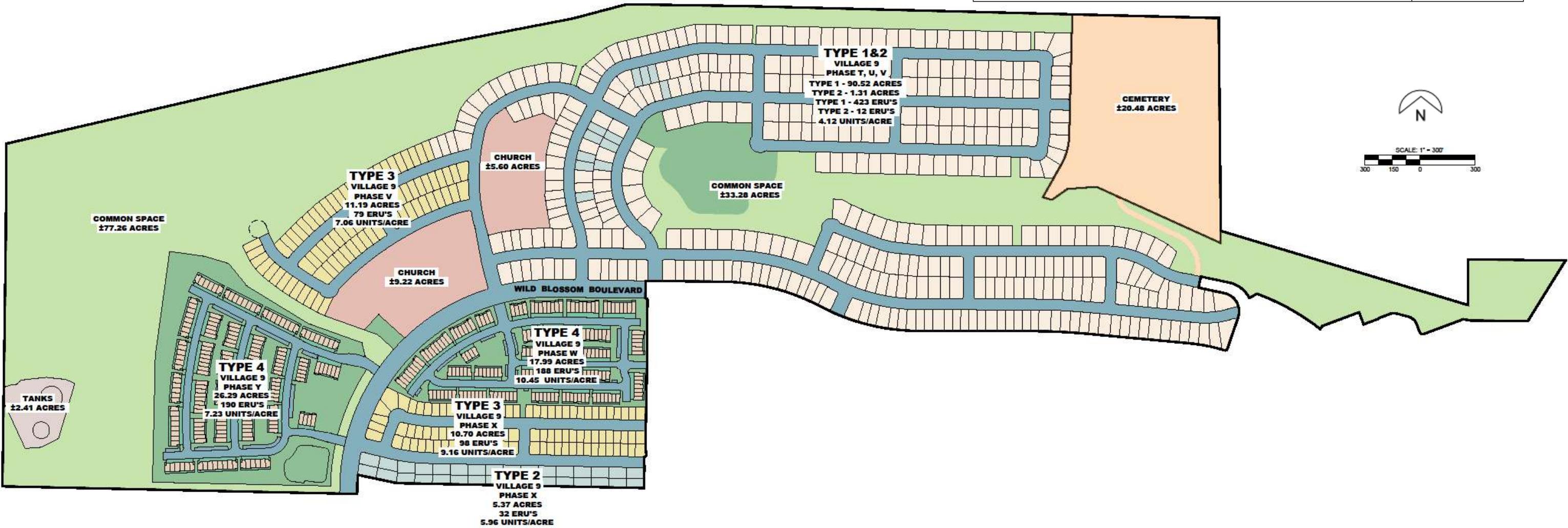


03 Detailed Use Exhibit

Conceptual plan. Final details will be determined in Site Plan Application.

RESIDENTIAL LEGEND			
LAND USE	AREA*	ALLOCATED RESIDENTIAL ERUs*	ALLOCATED COMMERCIAL / CHURCH / SCHOOL ERUs*
TYPE 1	±90.52 ACRES	423	-
TYPE 2	±6.68 ACRES	44	-
TYPE 3	±21.89 ACRES	177	-
TYPE 4	±44.28 ACRES	378	-
CHURCH	±14.82 ACRES	-	12
UTILITY AREAS	±2.41 ACRES	-	-
CEMETERY	±20.48 ACRES	-	-
COMMON SPACE	±110.54 ACRES	-	-
TOTAL	±311.62 ACRES	1,022	12

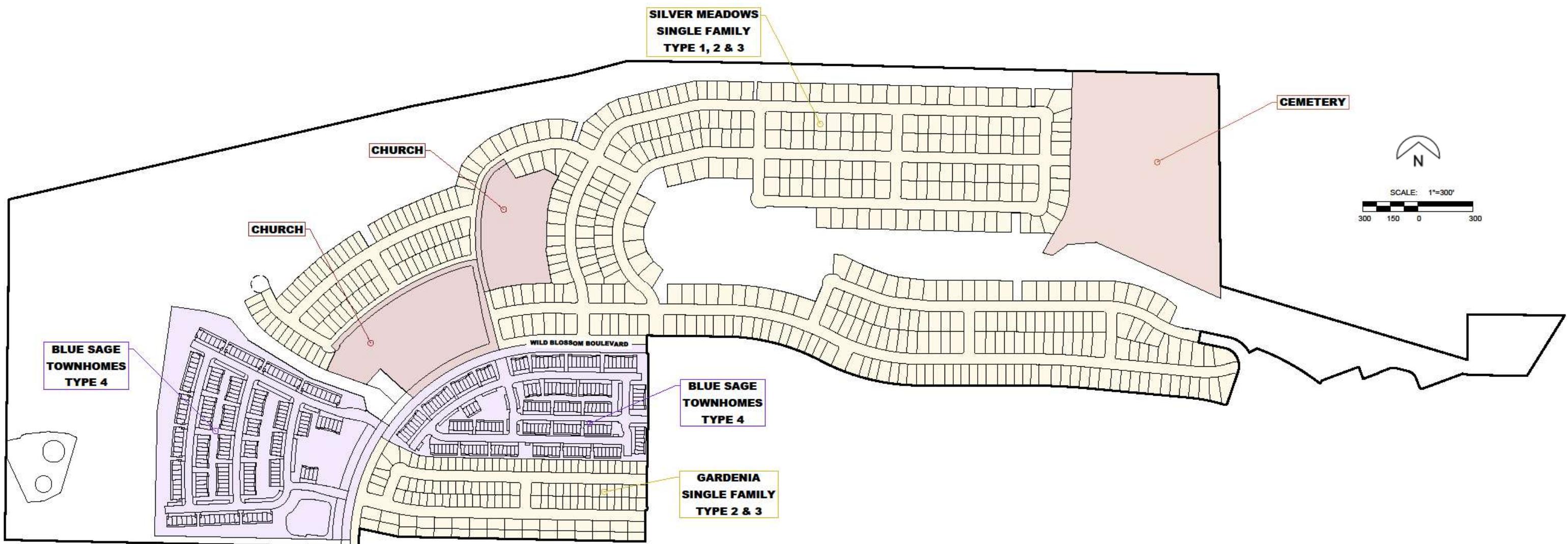
*ALL AREAS SHOWN ARE APPROXIMATE, AREAS TO BE DETERMINED AT FINAL DESIGN.





03 Lotting Map Exhibit

Conceptual plan. Final details will be determined in Site Plan Application.



03 Buildout Allocation

Detailed Allocation of All Acreage

The following information details the allocation of all acreage within Village Plan Area 9. Refer to the Detailed Use Exhibit on page 3.01, Open Space Tabulation Exhibit on page 11.07, and Lotting Map Exhibit on page 3.02.

RESIDENTIAL LEGEND			
LAND USE	AREA*	ALLOCATED RESIDENTIAL ERUs*	ALLOCATED COMMERCIAL / CHURCH / SCHOOL ERUs*
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CHURCH	±14.82 ACRES	-	12
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TOTAL	±311.62 ACRES	1,022	12

*ALL AREAS SHOWN ARE APPROXIMATE, AREAS TO BE DETERMINED AT FINAL DESIGN.

There are 110.54 acres of open space. Refer to Open Space Tabulation Exhibit on page 11.07.

- » 1022 Residential ERUs and 12 Church ERU's are assigned to Village Plan 9.
- » All areas shown are approximate, areas to be determined at final design.
- » Refer to the Lotting Map Exhibit for Neighborhood Breakdown on page 3.02.

04 Development Standards & Design Guidelines

Type 1, 2 and 3

Village Plan 9 development standards for Type 1, 2 and 3 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP and as permitted herein.

Type 4

Village Plan 9 development standards for Type 4 are consistent with standards established for the community. In addition, all building and landscape designs adhere to the design guidelines established in the Wildflower ARCP and as permitted herein.

Type 4 plans adhere to *Saratoga City Code Section 19.16.04* which states “No building shall be closer than 5 feet from any private road, driveway or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building.” City code doesn’t define *Parking Space*. The closest definition is for *Off-street Parking* which is defined as the space within a building, lot, or parking lot, but not within any portion of any public street right-of-way, for the temporary parking of one vehicle. We interpret this definition as the measurement of 5’ feet from the foundation of a building to the space designated as parking of one vehicle or measured from the foundation to the right-of-way line as designated in the street cross section. The private 26’ right-of-way in the ARCP designates the right-of-way line as back of curb.

Master Homeowners Associations

In accordance with City Code Section 19.26.03,2, d of the *Planned Community Zone* ordinance, a Master Homeowners Association (HOA) has been established to review, approve, and enforce architectural requirements and restrictions, as well as address common area maintenance obligations as outlined in the Wildflower ARCP. Additional HOAs may be created based on end builder preferences. Master Homeowners Association will still be in affect over all parts of Wildflower. All sub HOAs shall be obligated to follow all Master Homeowners Association and WDRC regulations. All Home Owners Association requirements are not to supersede City of Saratoga Springs Code.

Wildflower Design Review Committee (WDRC)

All builders are required to submit exterior elevations, materials, colors, and landscaping plans for a Design Review Process by the Wildflower Development Review Committee (WDRC). The WDRC must review and approve all residential site plans and building permits prior to City submittal as outlined in the Wildflower ARCP.

Exterior Color Schemes

Type 1, 2, and 3 Single-Family Homes

Color is a critical element for creating the ambiance of the overall community. A well-designed color palette should be based on natural elements. Appropriate use of color will bring unity to each neighborhood and help establish a sense of community.

All exterior colors shall be compatible with the architectural style of each dwelling. Bright, artificial colors such as pastels, neons, fluorescents, etc. shall not be allowed.

Each builder must present exterior paint color groupings to the WDRC for approval before construction begins in a neighborhood. Each individual color must be grouped with other colors that are similar in hue and tone. Color groupings make it easier to track and regulate product mix rules, so that homes next to each other do not look the same or too similar to the home next door or right across the street. Each lot must have a home design and elevation combination that is different from homes located next door and directly across the street.

Since grouping similar colors together is subjective, the following diagram offers an example of color groupings that are acceptable at Wildflower.



Type 4 Multi-Family Homes

The surrounding community and architectural style within Wildflower will have a big impact on color choices. Exterior building colors on multi-family residences shall be compatible within individual neighborhoods and to adjacent buildings. Therefore, the same rules that apply to single-family homes also apply to townhomes. Enriched earth tones and cool colors are encouraged, while bright, fluorescent, or neon shades are not allowed.

Multi-family residences can be overwhelming in size. A compatible color palette and material with a minimum of three colors and materials and up to four different combinations per neighborhood is required. Buildings next to each other are arranged with a slightly different scheme. The bright colors can give balance, scale, and visual relief to an otherwise intimidating building. The following colors are example color palettes that can be used together within a single townhome community.

Scheme 1



Scheme 2



Scheme 3



Stylistic Appropriateness

The colors used at Wildflower should reflect the architectural styles being offered at Wildflower. Fewer colors on individual buildings are typically more appropriate than incorporating a large variety of colors. This keeps homes from distracting from the overall ambiance of the community.

Community Cohesiveness

The relationship of colors between neighboring homes is critical when selecting the overall palette for a group of homes or buildings within a townhome community. A sense of flow is created by balancing building elements, which have similar tones across many buildings, yet incorporate a variety of color elements, making each home unique.

Main Body and Trim

A sense of flow is created by requiring similar color tones on building elements such as trim, soffits, fascia, and garage doors throughout the community. Uniqueness may be expressed by incorporating a larger variety of colors on the main body of the home.

Roofing Colors and Materials

It is especially important to consider the value of even slight color variations that can be found within materials such as roofing shingles. These added variations can encourage even more diversity and architectural interest within each neighborhood, as well as throughout the community.

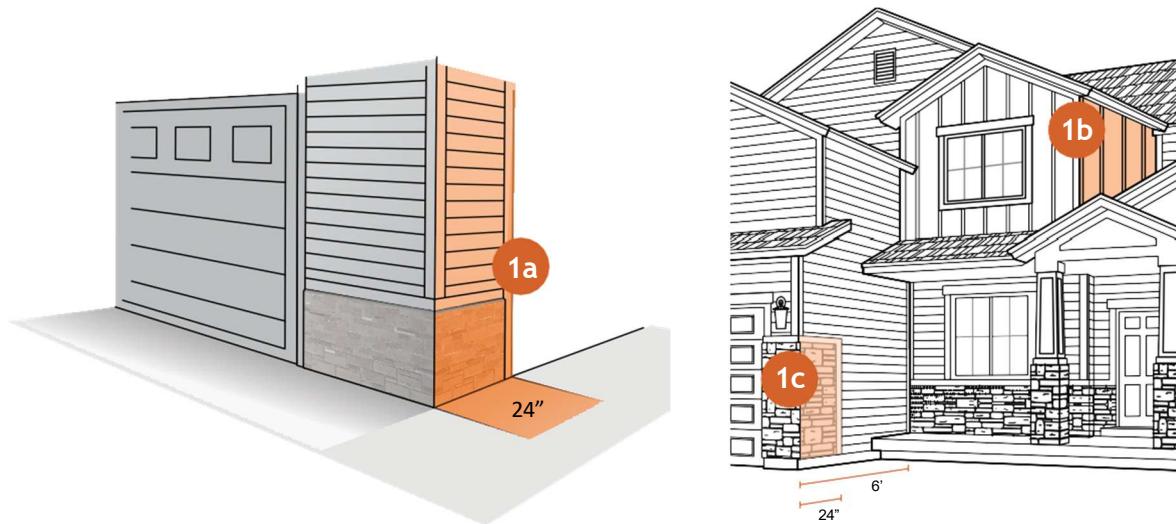
Exterior Guidelines for Single-Family Homes and Townhomes

1. Exterior recessed lighting shall be centered directly above each pillar/column on front facade with photo cell or Smart Home integration set to turn on 1/2 hour after sunset and turn off 1/2 hour before sunrise.*
2. 12-inch minimum roof overhangs for roof pitches 6/12 and steeper and 18-inch minimum overhangs for roof pitches under 6/12 are required.*
3. A single column must be at least 8 inches wide or 2 posts creating a single column must be a minimum of 14 inches wide.*
4. 20% masonry, stone or brick, is required on front elevation. 100% composite siding may replace masonry requirements. Stucco is not allowed in the community. Multi-family structures cannot have only one material on a façade.
5. Large, unbroken wall planes and windowless elevations are not allowed. Buildings should be interesting from all angles on all sides. At a minimum, elevations facing the street, on a corner, or adjacent to open space shall have at least one window on each above-grade level. All designs are subject to approval by the WDRC, and builders may be required to add additional windows as needed to satisfy this requirement.
6. The WDRC will be regulating these standards in their determinations.
7. Minimum 6-inch fascia is required.
8. All *front elevation* colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall extend a minimum of 24 inches from front of house onto sides of home (see EXHIBIT 1a). Areas of front of house that protrude from the front elevation to create depth, have additional guidelines for wrapping materials and colors:
 - » If the distance from the *front of house* to the inside corner of the wall is 5 feet or less, the colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall wrap the entire distance of the wall, extending to the inside corner where the two walls intersect (see EXHIBIT 1b). Also, *front of house* materials and siding details shall wrap the entire distance of wall on additional facades adjacent to or visible from major arterials.
 - » If the distance from the *front of house* to the inside corner of the wall is greater than 5 feet, the colors, materials, and siding details (stone, board and batten, shake, and lap siding, etc.) shall extend a minimum of 24 inches from front of house onto the side wall (see EXHIBIT 1c).

9. Covered front porches are required.
10. Garages shall be set back or project a minimum of 24 inches and shall not exceed more than 13 feet from the main building face or front porch.*
11. All visible decking material and exterior staircases shall be constructed of maintenance-free materials. Decks and staircases with exposed natural wood are not allowed. Natural wood posts may be used if wrapped with a vinyl sleeve or composite material.

* *These items do not apply to multi-family buildings.*

EXHIBIT 1



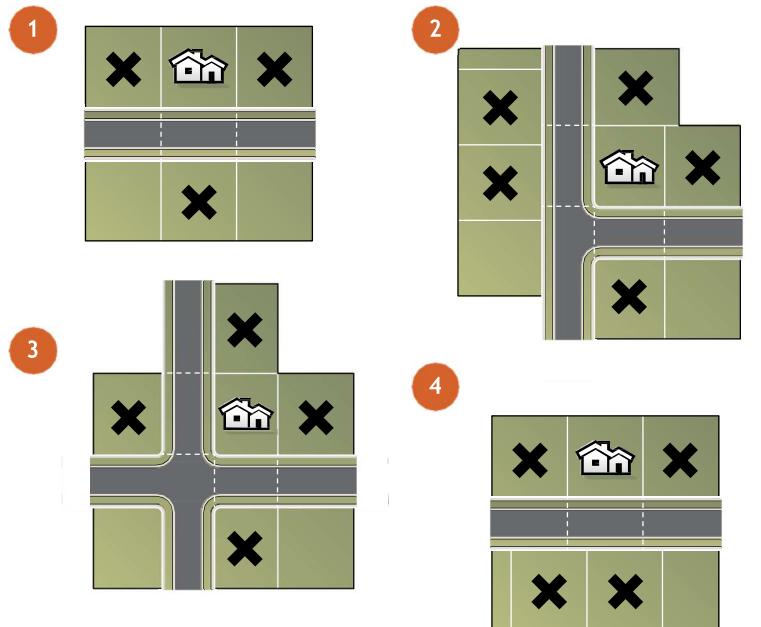
Limitation on Repetition of Single-Family Elevations and Color

To ensure the desired theme and architectural character for Wildflower is realized, and to ensure the Community is enriched by variety in its architecture, careful attention will be paid to the mix of homes within each neighborhood. The following guidelines shall be followed for the production of single-family homes, or where individual floor plans are offered on a repeating basis within a parcel or plat:

- » A minimum of 5 unique floor plans will be required for builders who own 25 lots or less in one neighborhood. One additional plan will be required for each additional 15 lots.
- » A minimum of 2 distinctly different elevations and different color palettes shall be offered for each floor plan. Reverse elevation/floor plans shall not count as a different elevation.
- » To ensure Wildflower has a diverse mix of home designs and elevations interspersed throughout each neighborhood, several guidelines have been established to help select home designs and color schemes for each building lot.
- » Each lot must have a home design and elevation combination that is different from homes located next door and directly across the street.
- » The main exterior paint color must be chosen from a different color grouping than the adjacent homes or home(s) located directly across the street. Each color grouping consists of a number of exterior paint options that are similar in hue or tone.
- » The WDRC reserves the ability to approve or disapprove each color or color grouping.

Example of Design and Color Diversity for Single-Family Homes

In the examples below, the lots identified with an **X** may not have the same elevation and home design combination or use an exterior color from the same color grouping as the subject home represented with a  icon (see EXHIBIT 2 below).



Type 4 Elevation Examples

The following are examples of townhome elevations in Wildflower.





04 Fencing Plan Exhibit

LEGEND



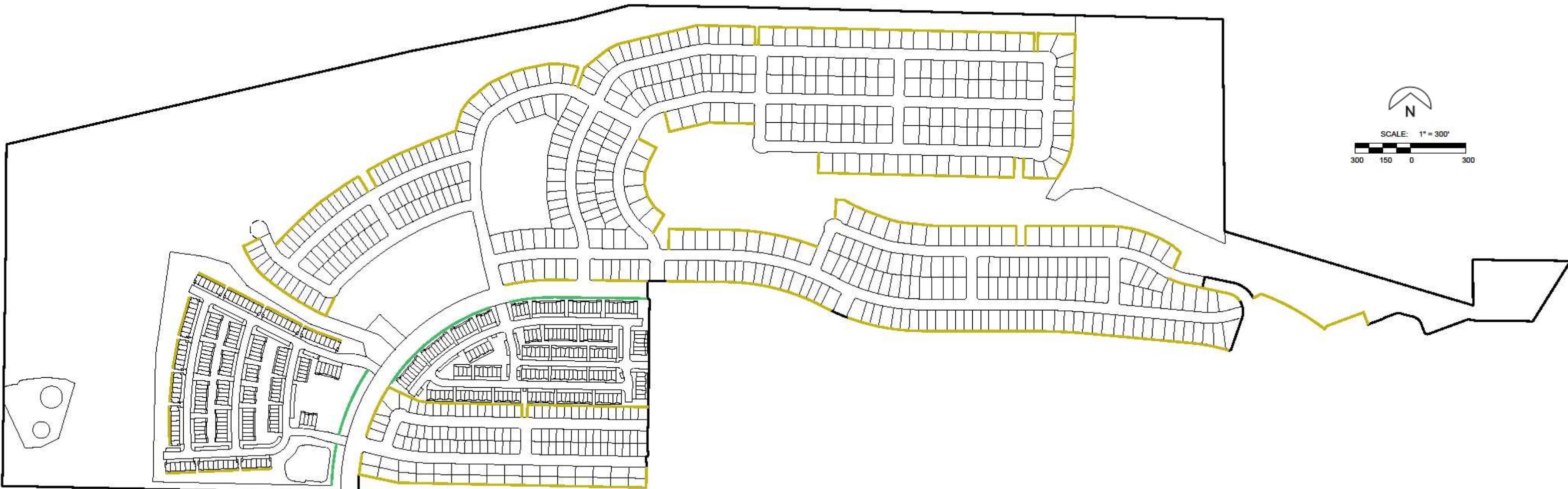
6' VINYL PRIVACY FENCE



4' FORTRESS FENCE

Notes

1. If certificate of occupancy is issued between November and March, fencing to be installed by end of June.
2. All fencing will take into account the City site triangle code requirements.
3. Developer and City to coordinate fence between lots & cemetery property.



Conceptual plan. Final details will be determined in Site Plan Application.



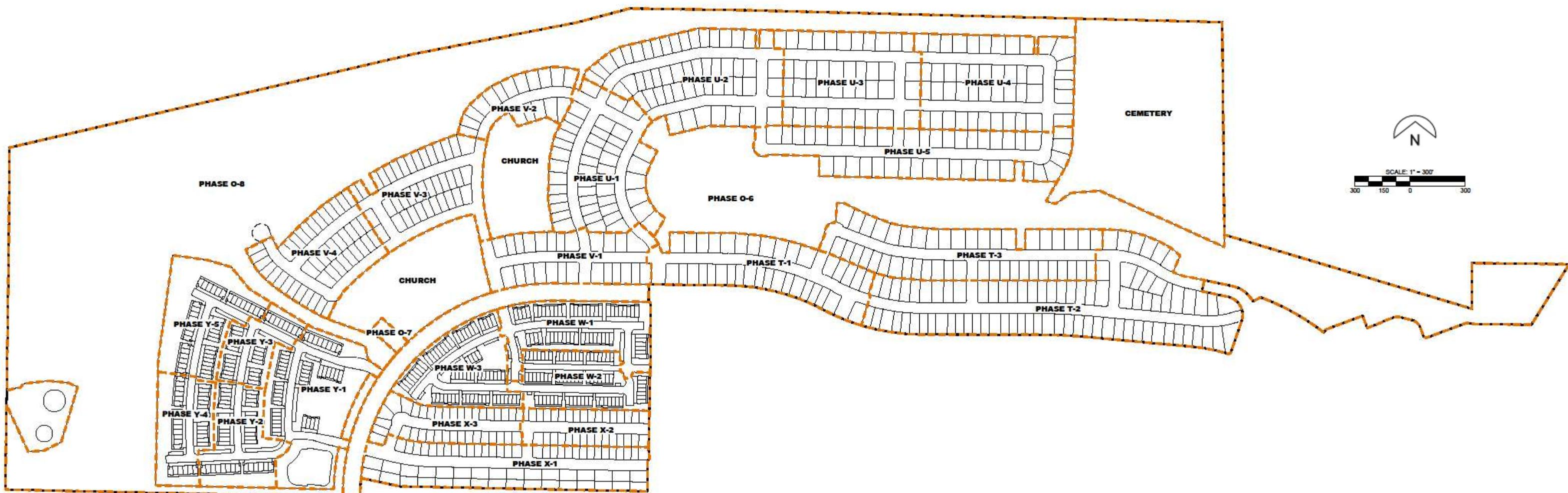


05 Phasing Plan Exhibit

Wildflower Village Plan Area 9 will be developed in multiple phases along with proportionate open space. The plats will be presented and approved through the site plan or standard subdivision platting process.

Note

Phases may be constructed out of order & subject to change.



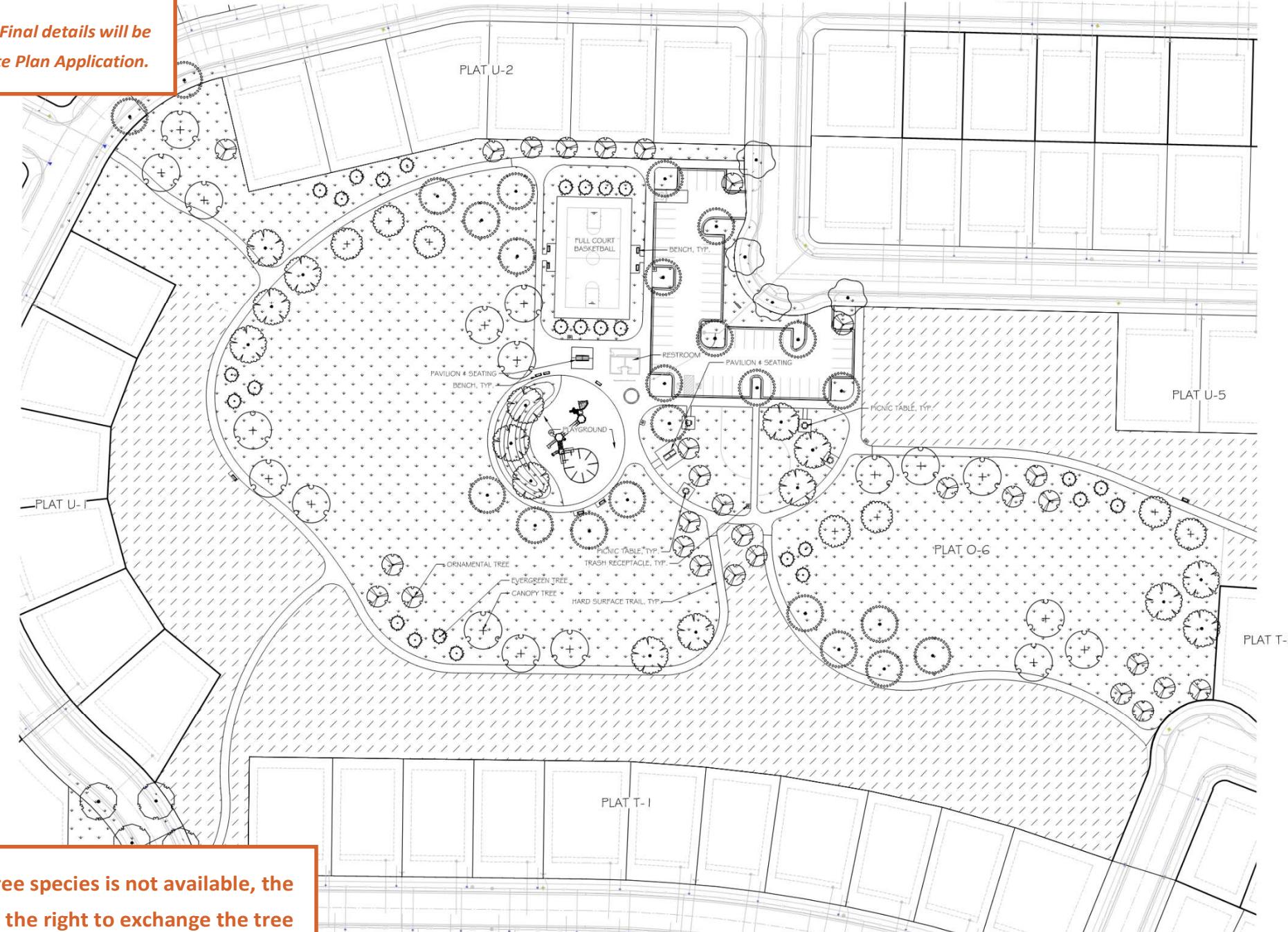
Conceptual plan. Final details will be determined in Site Plan Application.





06 Silver Meadows Park Overview

Conceptual plan. Final details will be determined in Site Plan Application.



In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
	MS	Malus x 'Spring Snow'	Spring Snow Crabapple
	PO	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine
	TG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden
	TS	Tilia tomentosa 'Sterling'	Sterling Silver Linden
	UP	Ulmus x 'Triumph'	Triumph™ Elm
	ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova
	ZG	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova
	ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova
GROUND COVERS			
	NR	Custom Revegetation Seed Mix	
	TURF I	TURF 500	WATER-WISE BLUEGRASS BLEND



Scale: 1"=50' Drawn: SB
Date: 01/31/2025 Job #: 24-0393
Sheet: LP-0

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MIDVALE, UTAH 84047 PH: (801) 352-4075
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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
SILVER MEADOWS PARK OVERVIEW

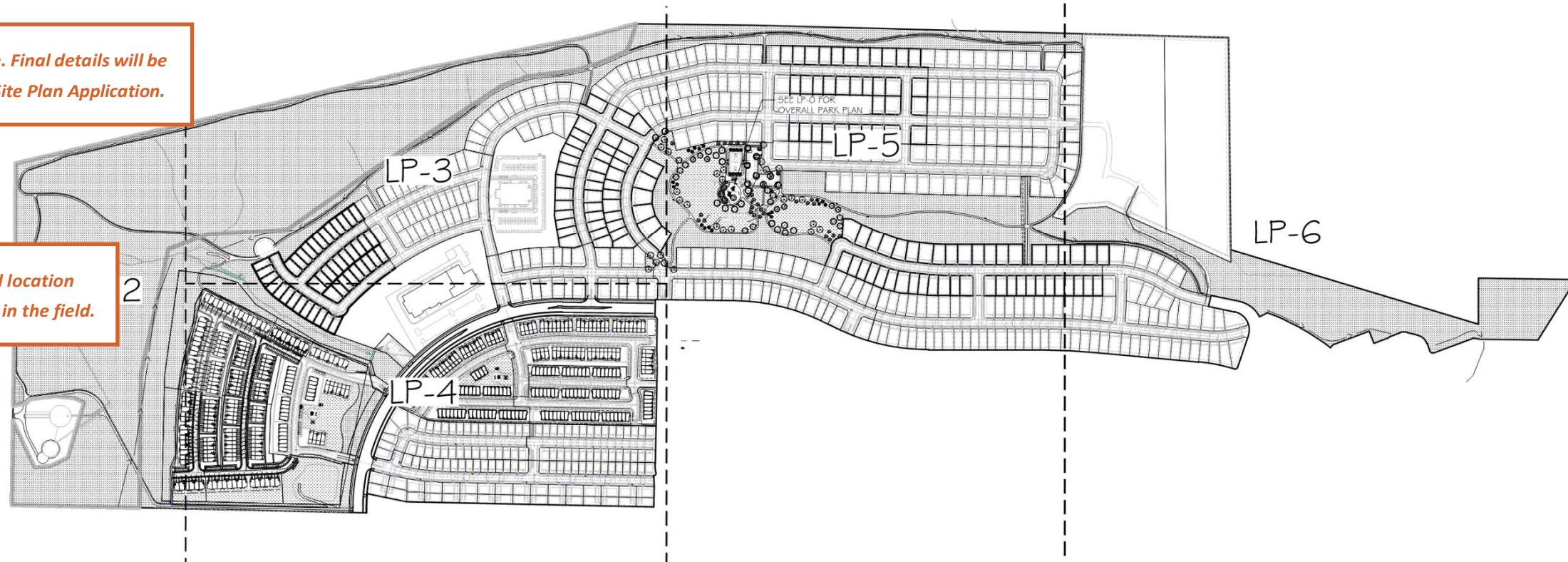




06 Overall Landscape Plan – Sheet LP-1

Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES					
	MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	29
	PO	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	6" Ht.	27
	TG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" Cal.	7
	TS	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal.	15
	UP	Ulmus x 'Triumph'	Triumph™ Elm	2" Cal.	24
	ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2" Cal.	20
	ZG	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2" Cal.	4
	ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2" Cal.	4
GROUND COVERS					
	NR	Custom Revegetation Seed Mix	seed	4,448,050 sf	
	TURF SOD	WATERWISE BLUEGRASS BLEND	sod	498,411 sf	

REVEGETATION SEED SCHEDULE

CUSTOM REVEGETATION SEED MIX (4,410,626 SF)
 60% WILDFLOWER SEED MIX
 30% SHEEP FESCUE (FESTUCA OVINIA)
 20% SAGEBRUSH (ARTENIA TRIDENTATA)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
 CONTACT GRANITE SEED COMPANY: 801-768-4422
 APPLY AT 1-2 LBS PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.

SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727)

GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.95	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY, RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENTHREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.



GRAPHIC SCALE



WILDFLOWER VILLAGE 9
 SARATOGA SPRINGS, UTAH
 OVERALL LANDSCAPE PLAN

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OVERALL
 LANDSCAPE
 PLAN

Scale: 1"=300' Drawn: SB
 Date: 01/31/2025 Job #: 24-0393
 Sheet: LP-1

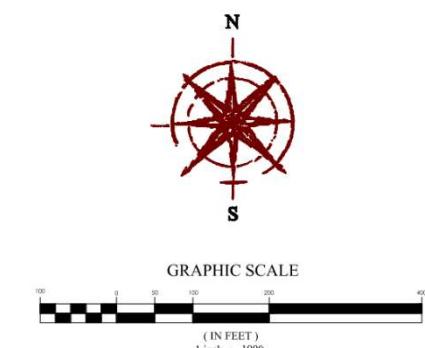




06 Landscape Plan – Sheet LP-2

Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.



REVEGETATION SEED SCHEDULE

CUSTOM REVEGETATION SEED MIX (4.4 (0.626 SF))
65% WILDFLOWER SEED MIX
30% SHEEP FESCUE (FESTUCA CIVINA)
2% SAGEBRUSH (ARTEMESIA TRIDENTATA)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4422
APPLY AT 1-2 LBS PER 1,000 SQ. FT.

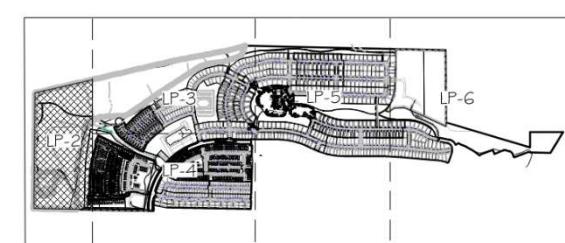
EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.

SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727)

GREAT BASIN WESTERN WILDFLOWER SEED MIX* (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.95	BLANKETFLOWER
11.10	CATCHFLY, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY, RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENTHREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEERHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.



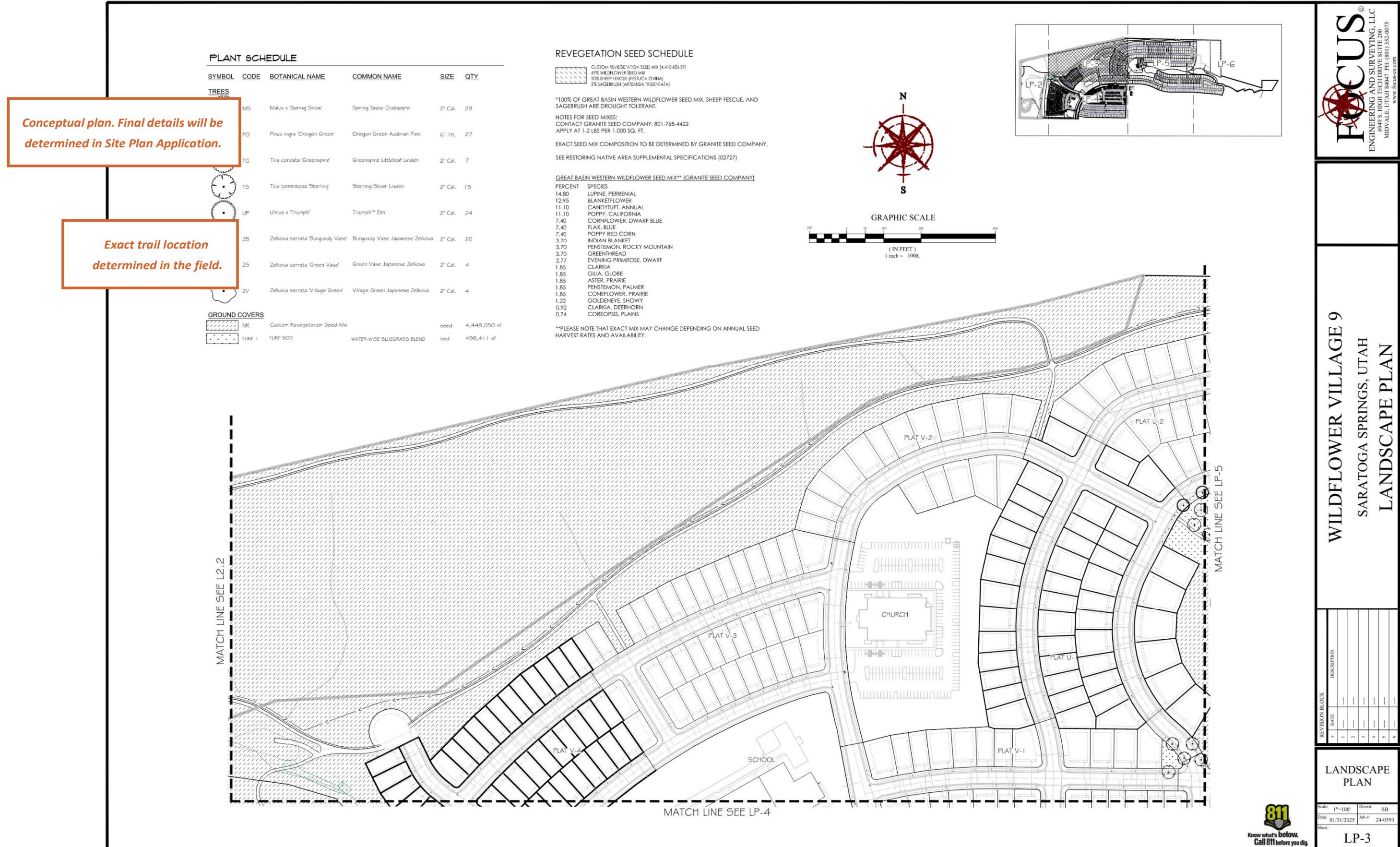
LANDSCAPE PLAN	
Scale: 1"=100'	Drawn: SB
Date: 01/31/2025	Job #: 24-0393
Sheet:	LP-2

WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
LANDSCAPE PLAN

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06 Landscape Plan – Sheet LP-3





06 Landscape Plan – Sheet LP-4

**Exact trail location
determined in the field.**

**Conceptual plan. Final details will be
determined in Site Plan Application.**

REVEGETATION SEED SCHEDULE

CUSTOM REVEGETATION SEED MIX (4.410.626 SF)
65% WILDFLOWER SEED MIX
30% SHEEP FESCUE (FESTUCA OVINA)
2% SAGEBRUSH (ARTEMISIA TRIDENTATA)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SAGEBRUSH ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4422
APPLY AT 1-2 LBS PER 1,000 SQ. FT.

EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.

SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02727)

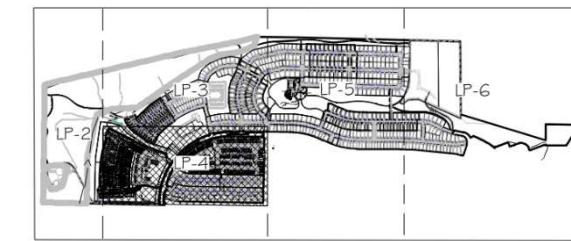
GREAT BASIN WESTERN WILDFLOWER SEED MIX** (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.02	BLANKETFLOWER
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENTHREAD
2.77	EVENING PRIMROSE, DWARF
1.85	CLARKIA
1.85	GILIA, GLOBE
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PALMER
1.85	CONEFLOWER, PRAIRIE
1.22	GOLDENEYE, SHOWY
0.92	CLARKIA, DEEHORN
0.74	COREOPSIS, PLAINS

**PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.



GRAPHIC SCALE



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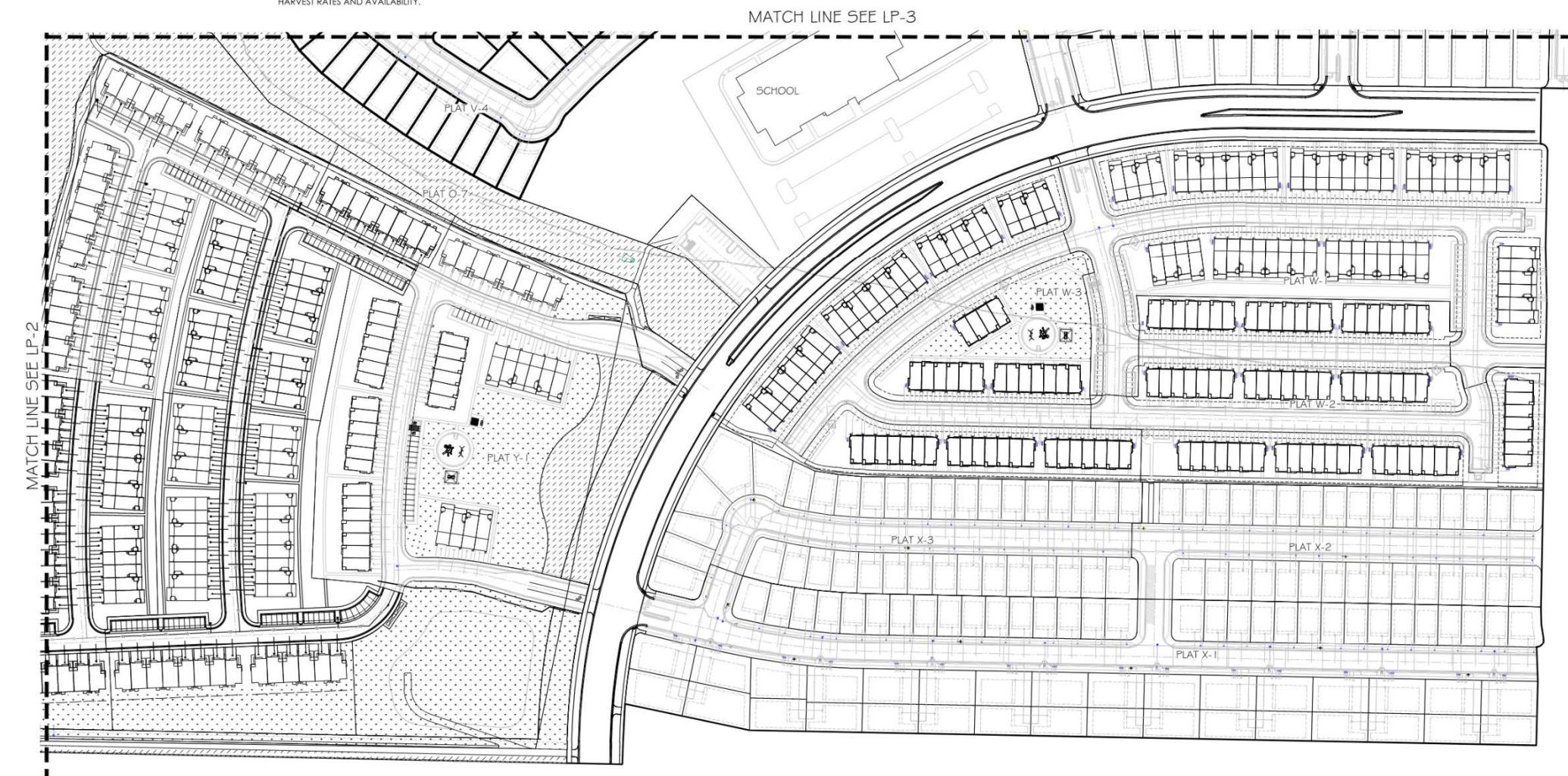
**WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
LANDSCAPE PLAN**

REVISION BLOCK	#	DATE	DESCRIPTION
1	1	.....	.....
2	2	.....	.....
3	3	.....	.....
4	4	.....	.....
5	5	.....	.....
6	6

LANDSCAPE PLAN

Scale: 1"=100' Drawn: SB
Date: 01/31/2025 Job #: 24-0393
Sheet: LP-4

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Know what's below.
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06 Landscape Plan – Sheet LP-5

Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES	M6	Molin x Syringa 'Snow'	Syring Dove Crataegle	2' Cal.	29
	P0	Pinus nigra 'Oregon Green'	Oregon Green Austrian Pine	6' Ht.	27
	TG	Tilia cordata 'Greenspire'	Greenspire Littleleaf Lesles	2' Cal.	7
	T5	Tilia cordata 'Sterling'	Sterling Silver Lesles	2' Cal.	75
	LP	Ulmus x 'Triumph'	Triumph™ Elm	2' Cal.	24
	ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2' Cal.	20
	ZG	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2' Cal.	4
GROUND COVERS	MR	Custom Revegetation Blend Mix	seed	4,448,050 sf	
	TURF 1	TURF 1000 ANTERIAGE BURGRASS BLEND	seed	426,411 sf	

REVEGETATION SEED SCHEDULE

GRANITE ROAD/GRANITE SEEDED AREA (44,026 SF)
GRANITE ROAD/GRANITE SEEDED AREA (44,026 SF)
20% SHEEP FESCUE (POA GLAUCA)
25% ACACIA (ACACIA PODOMERA)

*100% OF GREAT BASIN WESTERN WILDFLOWER SEED MIX, SHEEP FESCUE, AND SACRAMENTO ARE DROUGHT TOLERANT.

NOTES FOR SEED MIXES:
CONTACT GRANITE SEED COMPANY: 801-768-4402
APPLY AT 1-2 LBS PER 1,000 SQ. FT.
EXACT SEED MIX COMPOSITION TO BE DETERMINED BY GRANITE SEED COMPANY.
SEE RESTORING NATIVE AREA SUPPLEMENTAL SPECIFICATIONS (02737)

GREAT BASIN WESTERN WILDFLOWER SEED MIX™ (GRANITE SEED COMPANY)

PERCENT	SPECIES
14.80	LUPINE, PERENNIAL
12.95	BLAZINGSTAR
11.10	CANDYTUFT, ANNUAL
11.10	POPPY, CALIFORNIA
7.40	CORNFLOWER, DWARF BLUE
7.40	FLAX, BLUE
7.40	POPPY RED CORN
3.70	INDIAN BLANKET
3.70	PENSTEMON, ROCKY MOUNTAIN
3.70	GREENTHREAD
2.77	EVERGREEN PRIMROSE, DWARF
1.85	CLOVER, CLOVER
1.85	ASTER, PRAIRIE
1.85	PENSTEMON, PRAIRIE
1.85	CORNFLOWER, PRAIRIE
1.22	GOLDENROD, SHOWY
0.92	CLARKIA, DEEPHORN
0.74	CORIOPSIS, PLAINS

*PLEASE NOTE THAT EXACT MIX MAY CHANGE DEPENDING ON ANNUAL SEED HARVEST RATES AND AVAILABILITY.

GRAPHIC SCALE
0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' (IN FEET)
1 inch = 100'

LANDSCAPE PLAN

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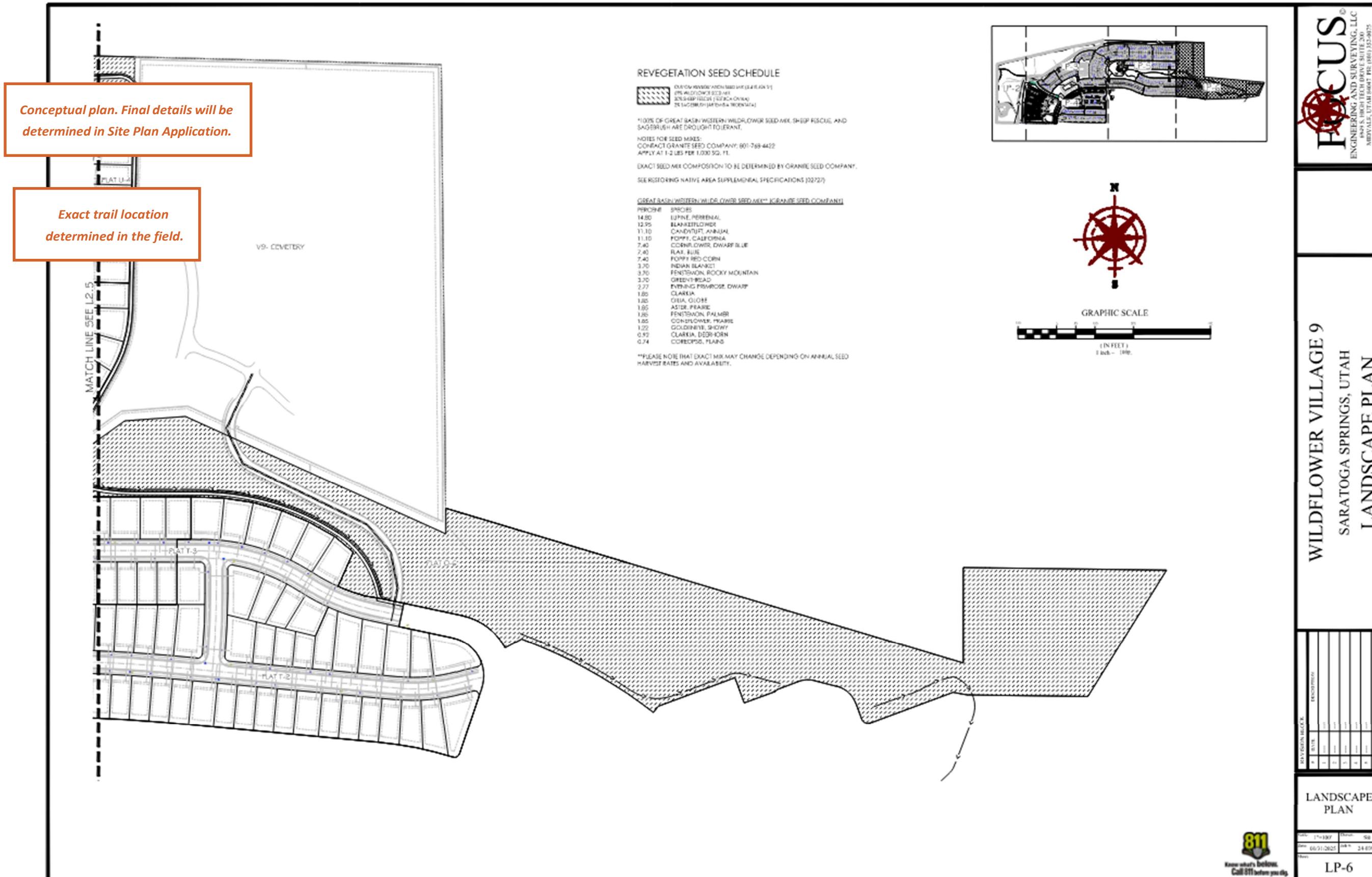
LP-5

WILDFLOWER VILLAGE 9

SARATOGA SPRINGS, UTAH

LANDSCAPE PLAN

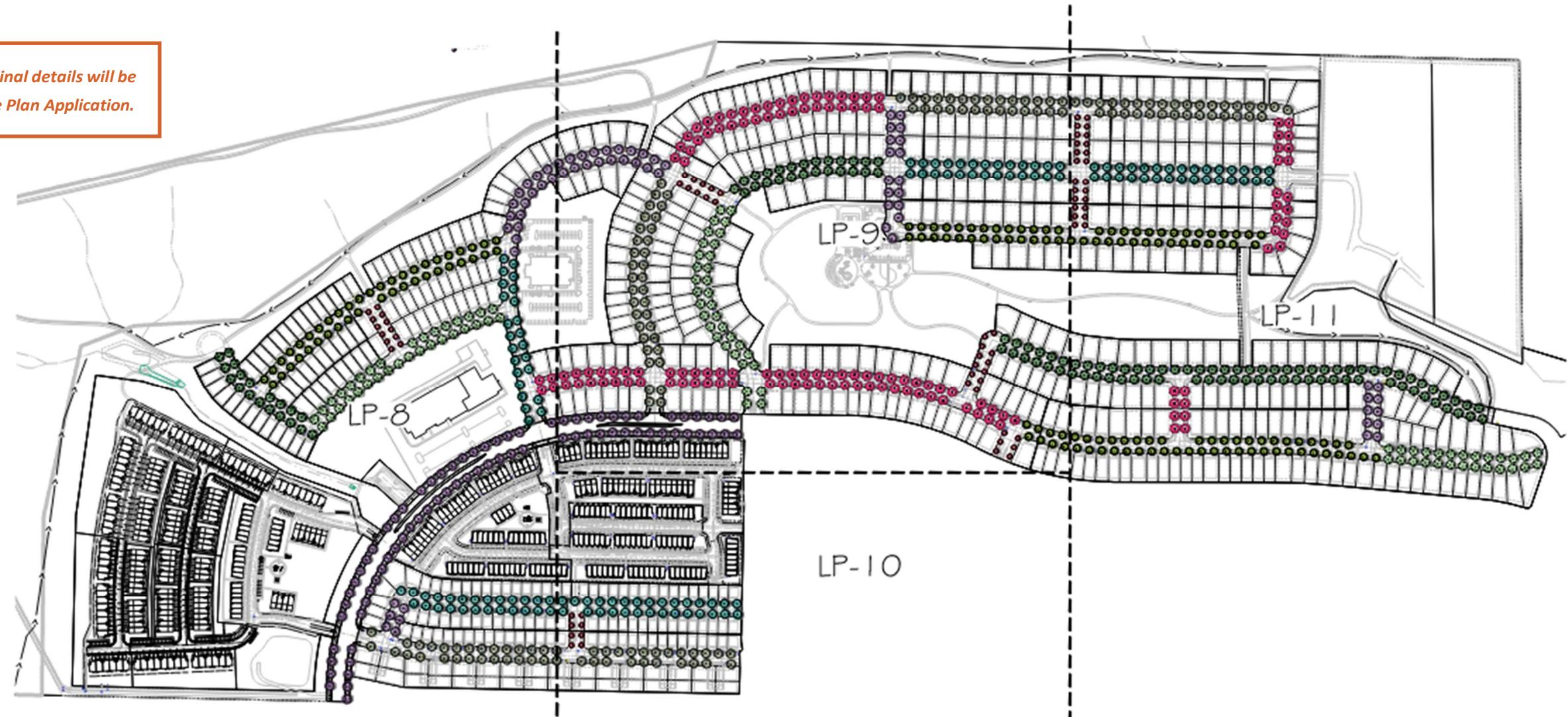
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06 Overall Street Tree Plan LP-7

Conceptual plan. Final details will be determined in Site Plan Application.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
	PC	Prunus virginiana 'Canada Red'	Canada Red Chokeberry	2" Cal.
	TG	Tilia cordata 'Grosvenor'	Greenpire Littleleaf Linden	2" Cal.
	TD	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal.
	UJ	Ulmus x 'Jacqueline'	Acapulco™ Elm	2" Cal.
	UJ*	Ulmus x 'Thompson'	Thompson™ Elm	2" Cal.
	ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2" Cal.
	ZG	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2" Cal.
	ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2" Cal.

In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.



GRAPHIC SCALE
(IN FEET)
1 inch = 200 ft



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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
OVERALL STREET TREE PLAN

REVISION BLOCK	R	DATE	DESCRIPTION	1		2		3		4		5		6	
				1	2	3	4	5	6	7	8	9	10	11	12

OVERALL
STREET
TREE
PLAN

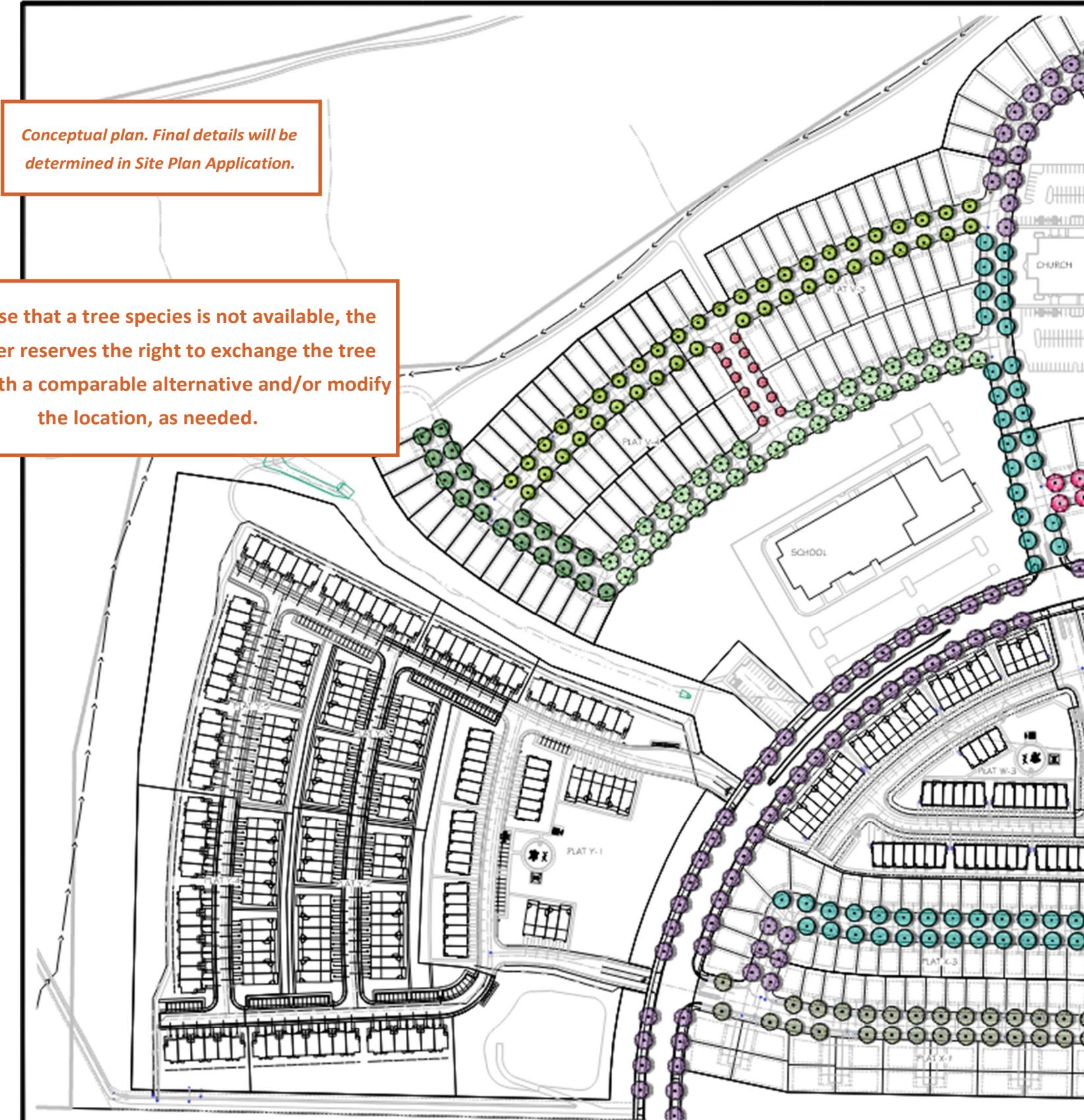
Date: 1-1-2017 Sheet: 58
Date: 06/21/2021 Job #: 244995
Sheet:

LP-7





06 Street Tree Plan LP-8



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
	PC	Prunus virginiana 'Canada Red'	Canada Red Chickasaw	2" Cal.
	TC	Tilia cordata 'Greenspire'	Greenspire Liliac Leaf Linden	2" Cal.
	TS	Tilia tomentosa 'Silvering'	Silvering Silver Linden	2" Cal.
	UA	Ulmus x 'Katsalda'	Accolade™ Elm	2" Cal.
	UL	Ulmus x 'Tricolor'	Tricolor™ Elm	2" Cal.
	ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2" Cal.
	ZG	Zelkova serrata 'Green Vase'	Grace Vase Japanese Zelkova	2" Cal.
	ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2" Cal.



GRAPHIC SCALE
(IN FEET)
1 inch = 1000



Know what's below.
Call 811 before you dig.

STREET TREE PLAN

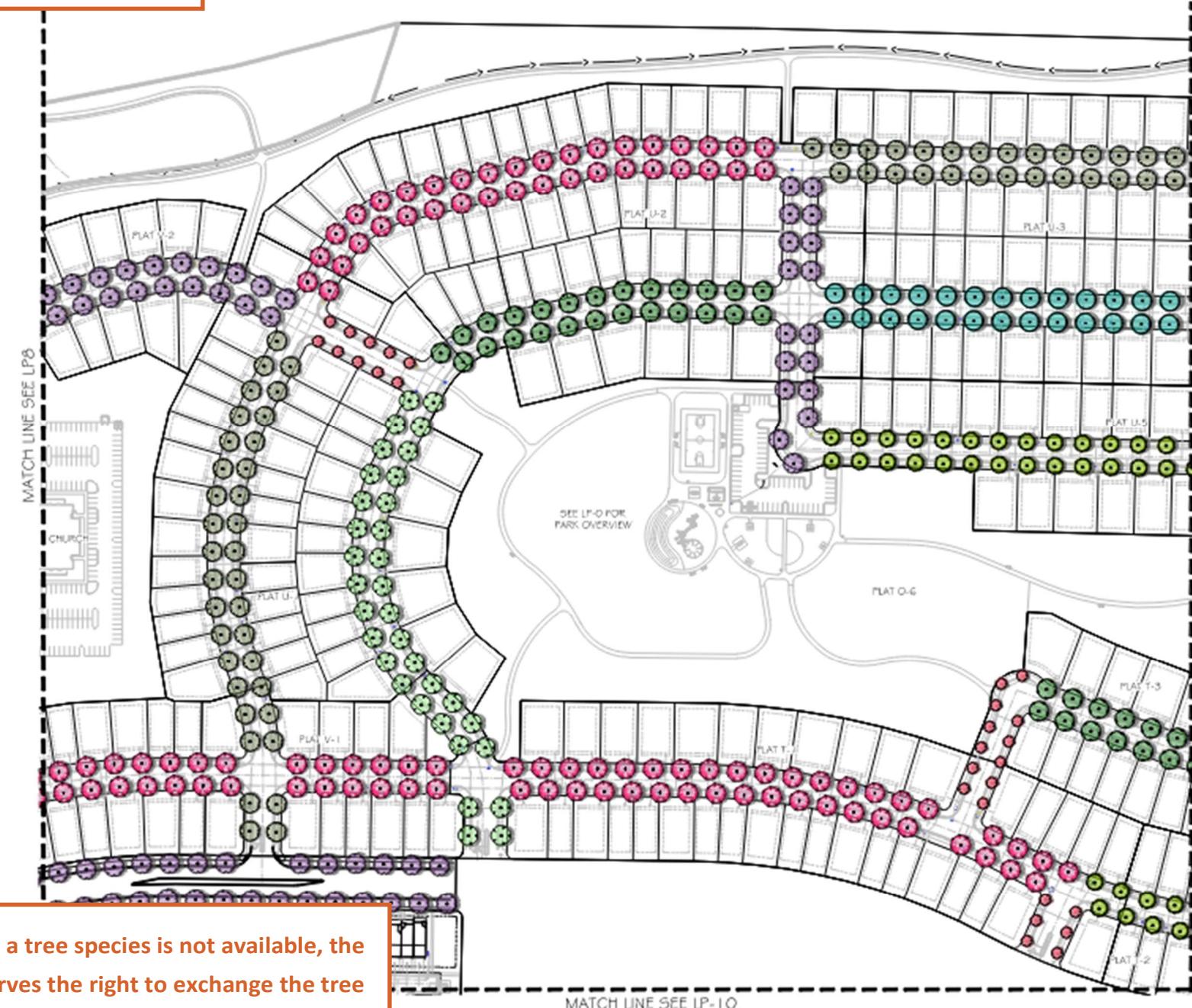
EXCAVATION BLOCK	STREET	EXCAVATION
17-180	18th	54
18-190	19th	54
19-200	20th	54
20-210	21st	54
21-220	22nd	54
22-230	23rd	54
23-240	24th	54
24-250	25th	54
25-260	26th	54
26-270	27th	54
27-280	28th	54
28-290	29th	54
29-300	30th	54
30-310	31st	54
31-320	32nd	54
32-330	33rd	54
33-340	34th	54
34-350	35th	54
35-360	36th	54
36-370	37th	54
37-380	38th	54
38-390	39th	54
39-400	40th	54
40-410	41st	54
41-420	42nd	54
42-430	43rd	54
43-440	44th	54
44-450	45th	54
45-460	46th	54
46-470	47th	54
47-480	48th	54
48-490	49th	54
49-500	50th	54
50-510	51st	54
51-520	52nd	54
52-530	53rd	54
53-540	54th	54
54-550	55th	54
55-560	56th	54
56-570	57th	54
57-580	58th	54
58-590	59th	54
59-600	60th	54
60-610	61st	54
61-620	62nd	54
62-630	63rd	54
63-640	64th	54
64-650	65th	54
65-660	66th	54
66-670	67th	54
67-680	68th	54
68-690	69th	54
69-700	70th	54
70-710	71st	54
71-720	72nd	54
72-730	73rd	54
73-740	74th	54
74-750	75th	54
75-760	76th	54
76-770	77th	54
77-780	78th	54
78-790	79th	54
79-800	80th	54
80-810	81st	54
81-820	82nd	54
82-830	83rd	54
83-840	84th	54
84-850	85th	54
85-860	86th	54
86-870	87th	54
87-880	88th	54
88-890	89th	54
89-900	90th	54
90-910	91st	54
91-920	92nd	54
92-930	93rd	54
93-940	94th	54
94-950	95th	54
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96-970	97th	54
97-980	98th	54
98-990	99th	54
99-1000	100th	54

LP-8



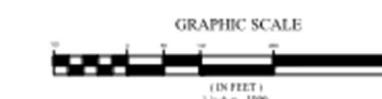
06 Street Tree Plan LP-9

Conceptual plan. Final details will be determined in Site Plan Application.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
PC	Prunus virginiana 'Cascade Red'	Canada Red Chokeberry	2" Cal.	
TL	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" Cal.	
TS	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal.	
UA	Ulmus x 'Mocadale'	Accolade™ Elm	2" Cal.	
UL	Ulmus x 'Tough'	Tough™ Elm	2" Cal.	
ZB	Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2" Cal.	
ZG	Zelkova serrata 'Green Vase'	Grace Vase Japanese Zelkova	2" Cal.	
ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2" Cal.	



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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
STREET TREE PLAN



LP-9





06 Street Tree Plan LP-10

Conceptual plan. Final details will be determined in Site Plan Application.



In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.

MATCH LINE SEE LP-9

MATCH LINE SEE LP-8

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
PC		Prunus virginiana 'Canada Red'	Canada Red Chickaberry	2" Cal.
TG		Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" Cal.
TS		Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal.
UL		Ulmus x 'Accolade'	Accolade™ Elm	2" Cal.
UF		Ulmus x 'Tricolor'	Tricolor™ Elm	2" Cal.
ZB		Zelkova serrata 'Burgundy Vase'	Burgundy Vase Japanese Zelkova	2" Cal.
ZG		Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2" Cal.
ZV		Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	3" Cal.



GRAPHIC SCALE



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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
STREET TREE PLAN



STREET TREE PLAN



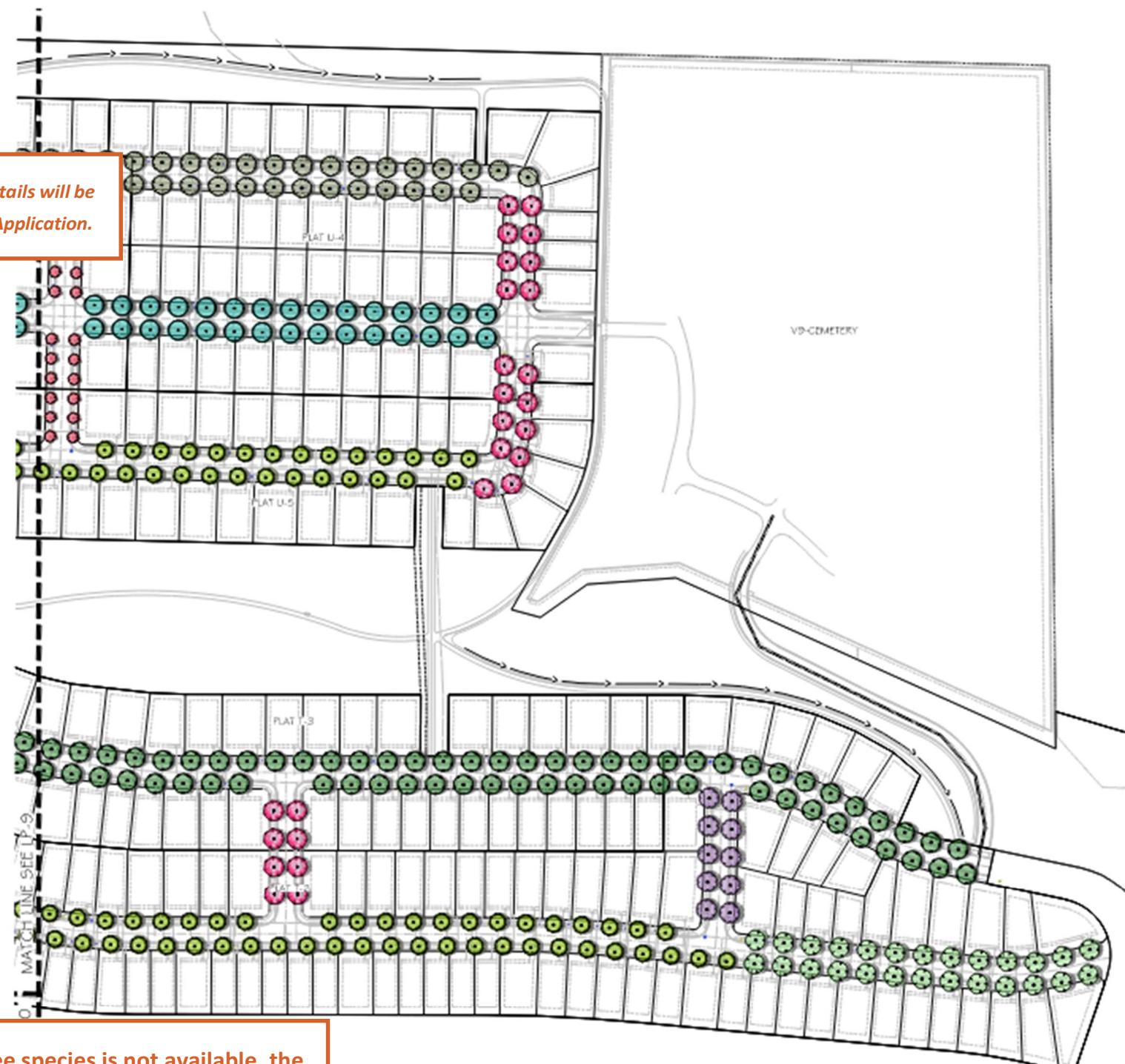
LP-10





06 Street Tree Plan LP-11

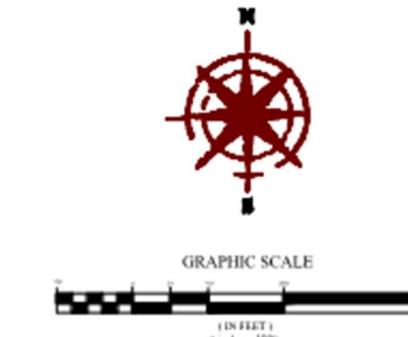
Conceptual plan. Final details will be determined in Site Plan Application.



In the case that a tree species is not available, the Developer reserves the right to exchange the tree species with a comparable alternative and/or modify the location, as needed.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE
	PC	Prunus virginiana 'Canada Red'	Canada Red Chokeberry	2" Cal.
	TG	Tilia cordata 'Greenspire'	Greenspire Japanese Lime	2" Cal.
	TS	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2" Cal.
	UA	Ulmus x 'Woodlader'	Woodlader™ Elm	2" Cal.
	UL	Ulmus x 'Triumph'	Triumph™ Elm	2" Cal.
	ZB	Zelkova serrata 'Dukegray' Var.	Coniquay Var. Japanese Zelkova	2" Cal.
	ZD	Zelkova serrata 'Green Vase'	Green Vase Japanese Zelkova	2" Cal.
	ZV	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova	2" Cal.



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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
STREET TREE PLAN

SECTION BLOCK	DATE	REVISIONS
STREET TREE PLAN	06/01/2025	1

DATE	REVISIONS
06/01/2025	1



LP-11





06 Plant Use Detail Exhibit

STREET TREES



Canada Red Chokecherry



Greenspire Linden



Silver Linden



Accolade Elm



Triumph Elm



Green Vase Zelkova



Village Green Zelkova



Burgundy Vase Zelkova

OPEN SPACE TREES



Spring Snow Crabapple



Austrian Pine



Greenspire Linden



Silver Linden



Triumph Elm



Village Green Zelkova



Burgundy Vase Zelkova



Green Vase Zelkova

IN THE CASE THAT A PLANT SPECIES IS NOT AVAILABLE, THE DEVELOPER RESERVES THE RIGHT TO CHANGE OR UPDATE THE PLANT SCHEDULE AS NEEDED WITH A COMPARABLE ALTERNATIVE.

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WILDFLOWER VILLAGE 9
SARATOGA SPRINGS, UTAH
PLANT USE DETAIL EXHIBIT

ROW/STUDY BLOCK	DATE	REMARKS
1	1-1-07	1
2	1-1-07	1
3	1-1-07	1
4	1-1-07	1
5	1-1-07	1
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07 Utility Plans

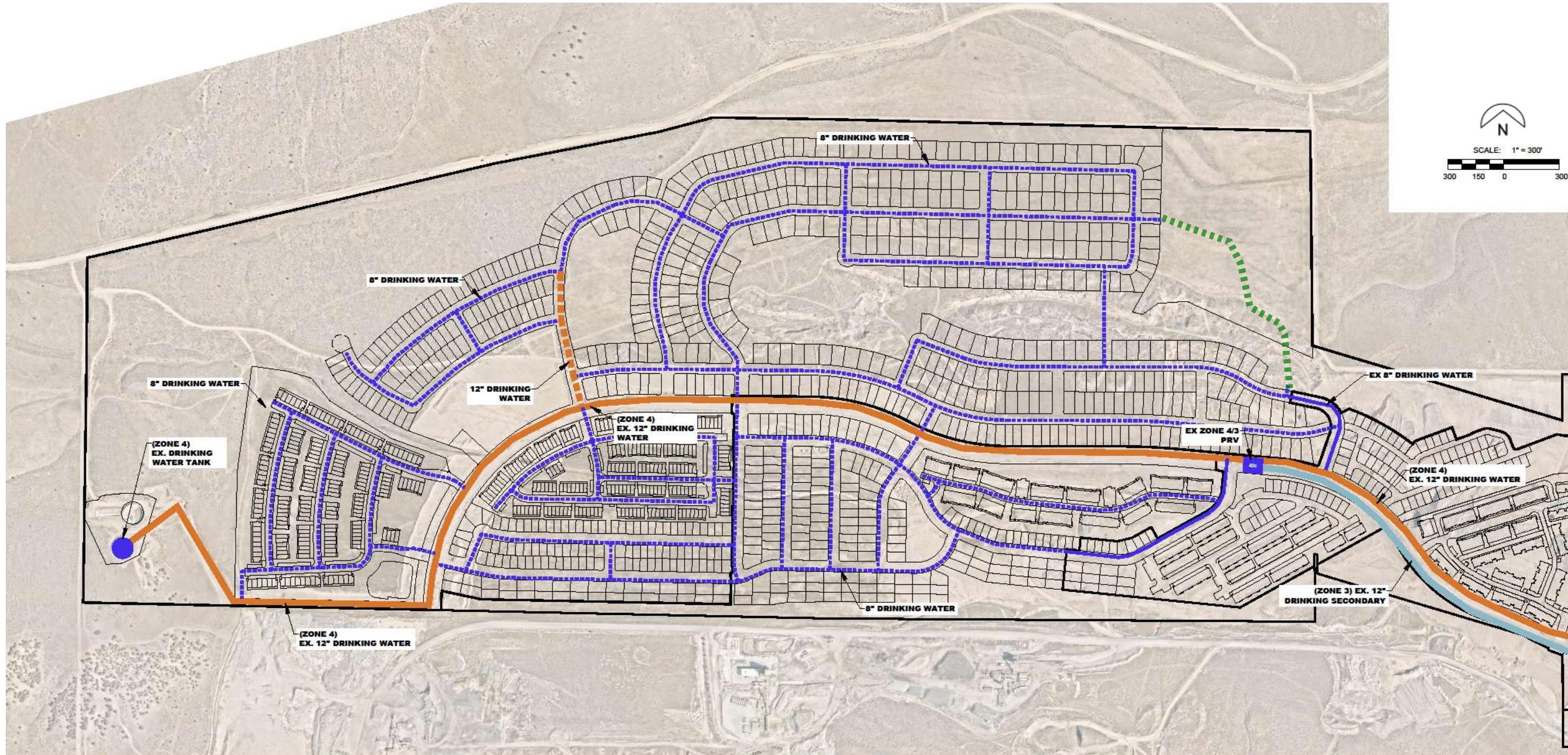
The following utility plan diagrams provide master utilities that will serve Wildflower Village Plan Area 9.

- » Culinary Water Plan
- » Secondary Water Plan
- » Sewer Plan
- » Storm Drain



07 Culinary Water Plan Exhibit

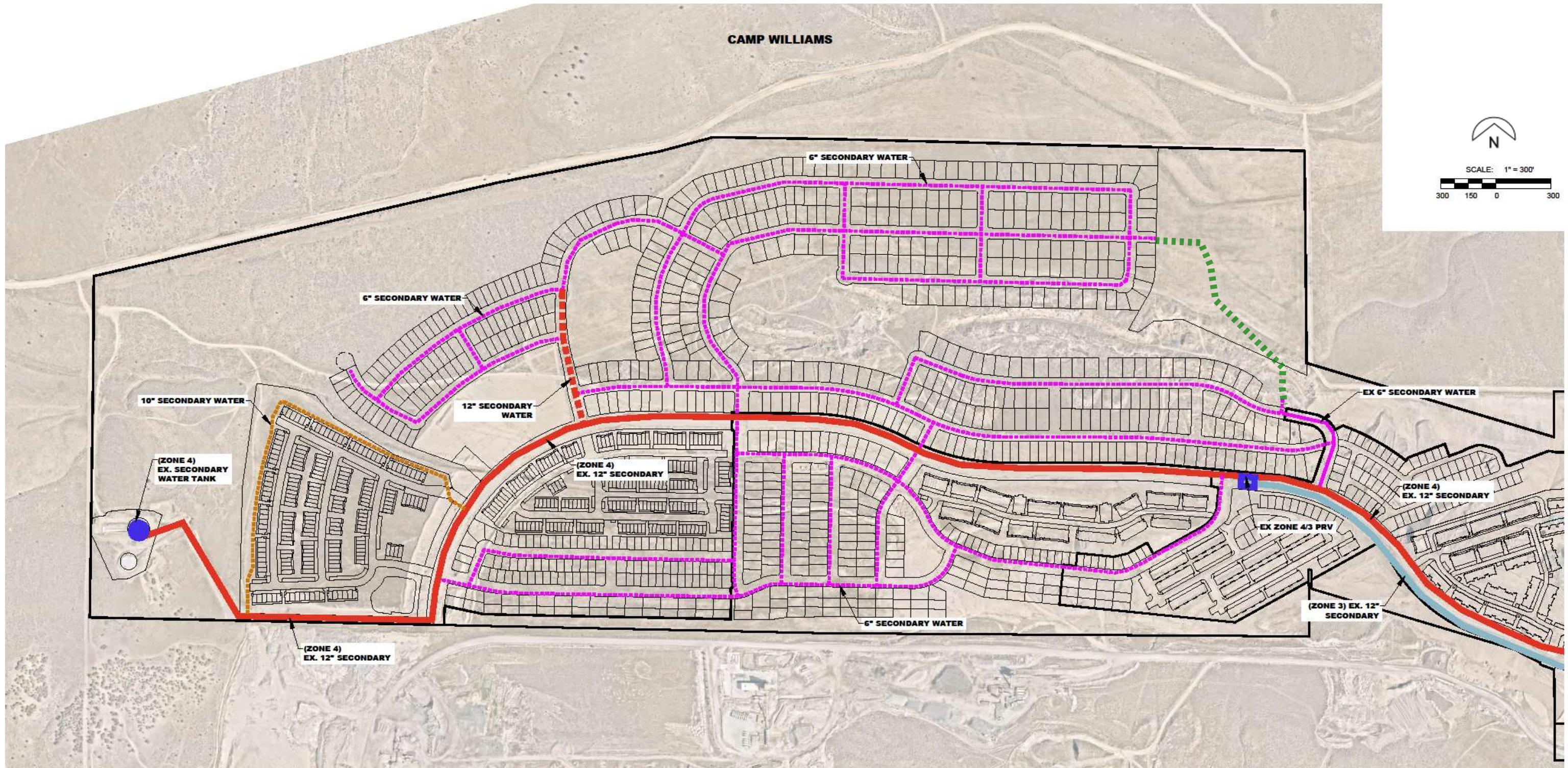
Utilities shown are for the development of Village Plan 9. See approved Wildflower Master Utility Plan s for overall utility design.





07 Secondary Water Plan Exhibit

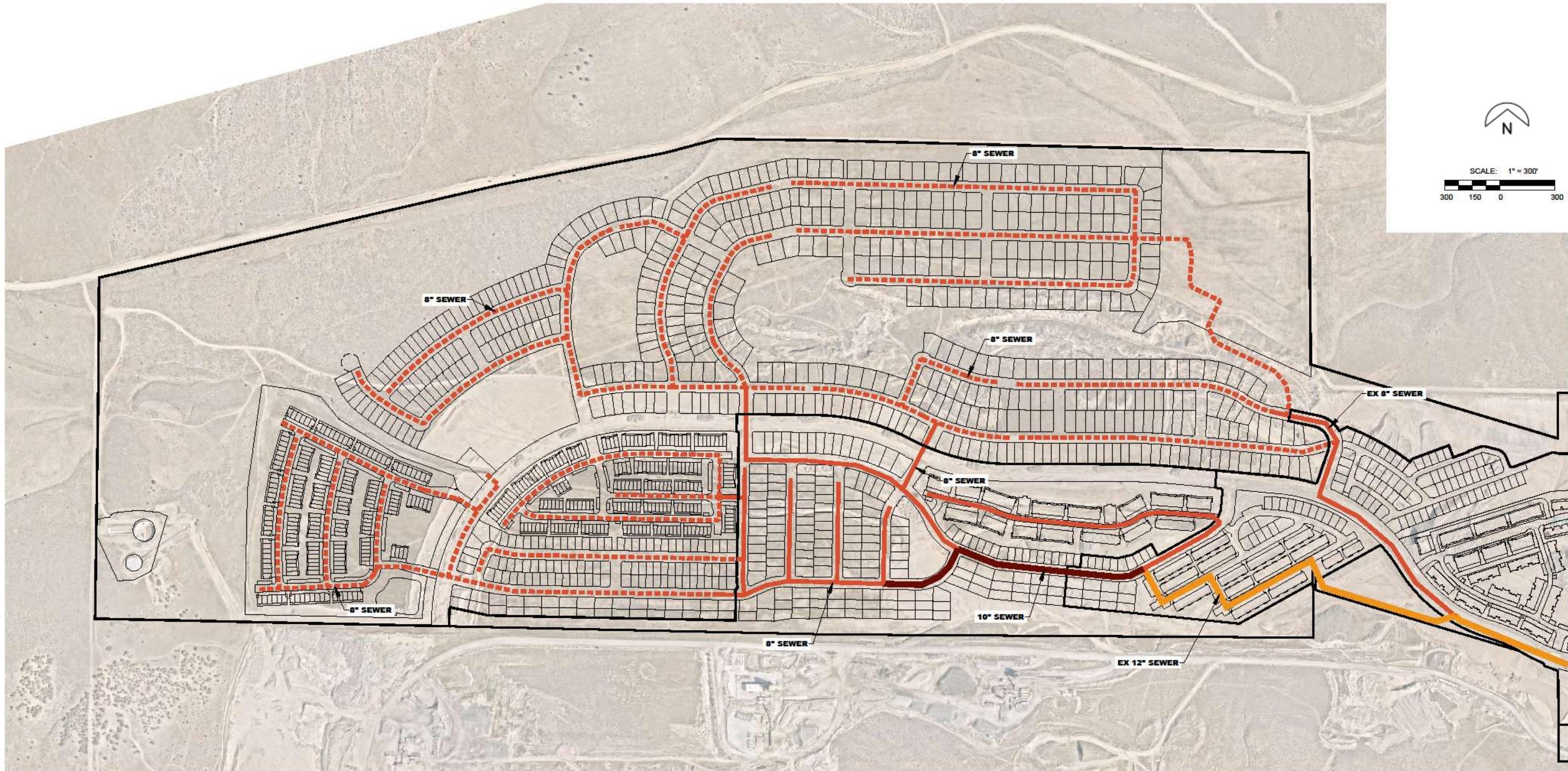
Utilities shown are for the development of Village Plan 9. See approved Wildflower Master Utility Plan s for overall utility design.





07 Sewer Plan Exhibit

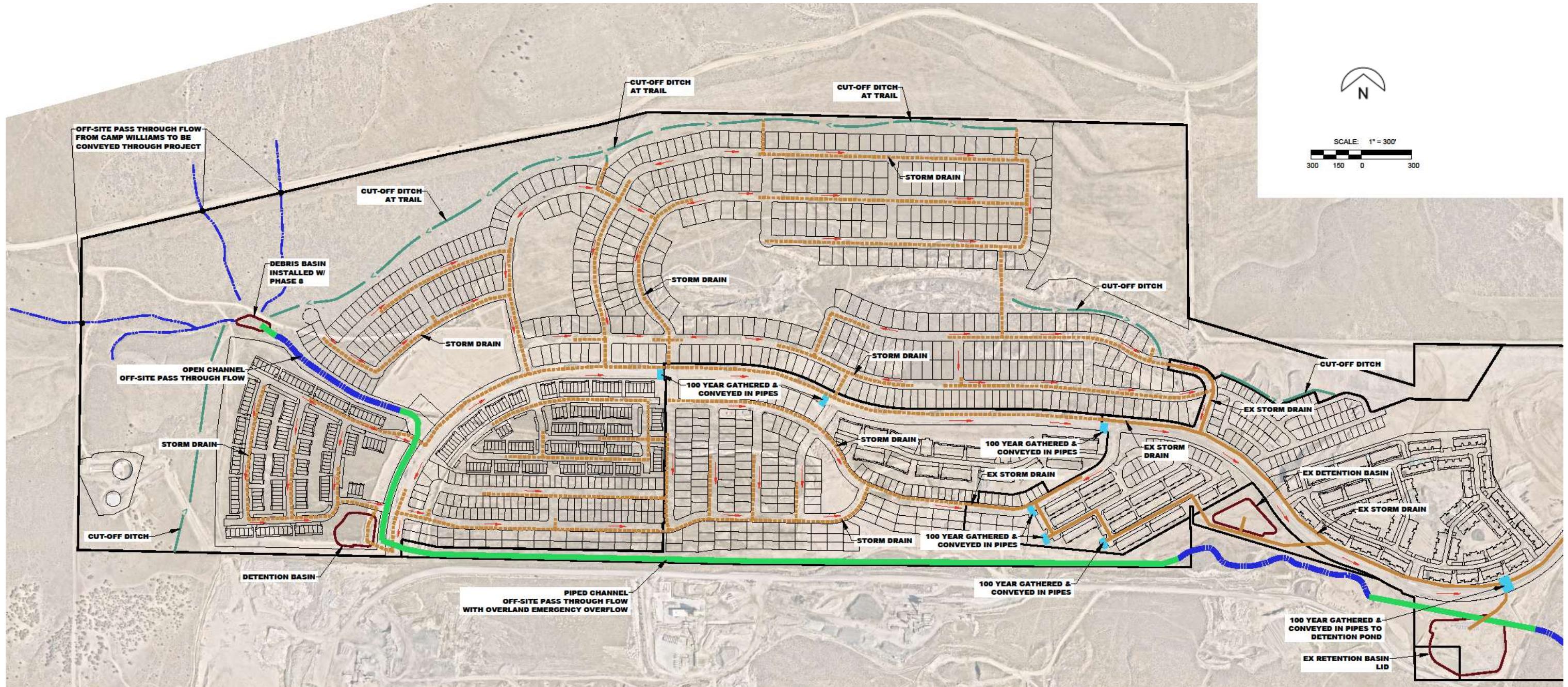
Utilities shown are for the development of Village Plan 9. See approved Wildflower Master Utility Plan s for overall utility design.





07 Storm Drain Exhibit

Utilities shown are for the development of Village Plan 9. See approved Wildflower Master Utility Plan s for overall utility design.



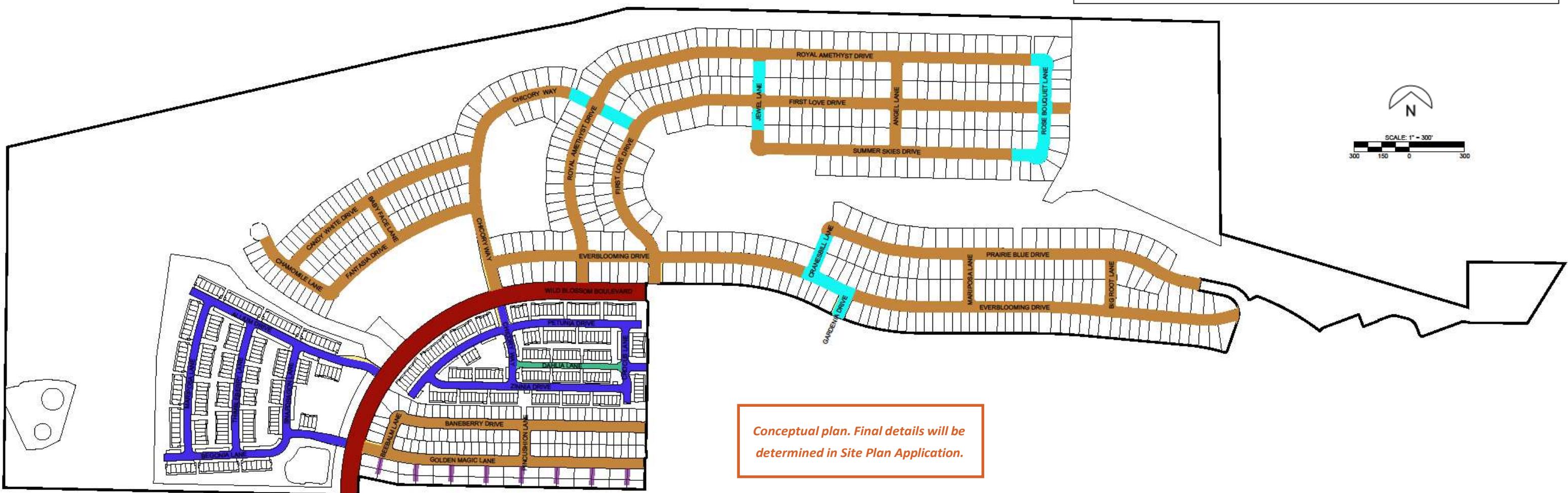


Note

1. Roadway cross-sections are detailed in the Wildflower ARCP.
2. Single Family Lots will not front Wild Blossom Boulevard. No access allowed.

TRANSPORTATION LEGEND

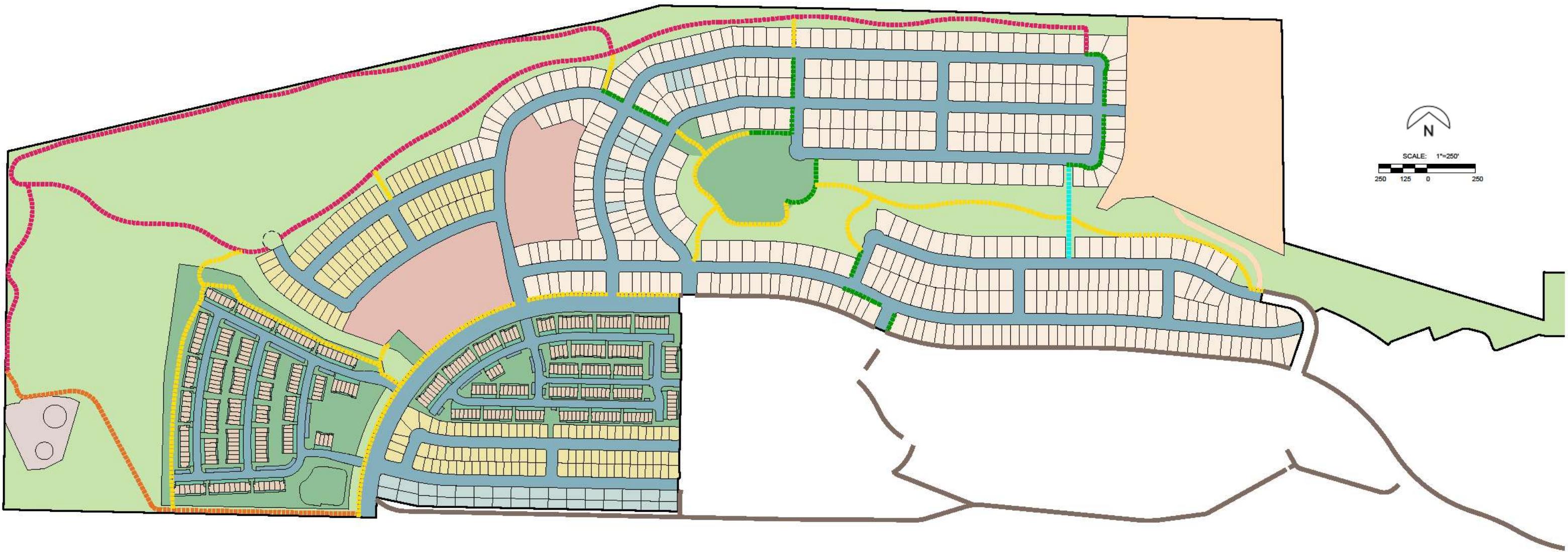
95' MINOR ARTERIAL (THREE-LANE ARTERIAL)	
59' LOCAL ROAD	
62' LOCAL ROAD (59' WITH TRAIL)	
40' PRIVATE-26' ASPHALT W/ 2' MODIFIED C&G W/ 5' SIDEWALK BOTH SIDES	
30' PRIVATE-26' ASPHALT W/ 2' MODIFIED C&G	
26' PRIVATE-4 PACK & REAR LOAD V-DRAIN SHARED DRIVE	
ADDITIONAL RIGHT-OF-WAY FOR TURN LANES & TRAIL	





09 Pedestrian and Bicycle Plan Exhibit

.....	8' ASPHALT TRAIL
.....	8' ASPHALT & 4' SOFT SURFACE TRAIL
.....	8' CONCRETE TRAIL
.....	8' CONCRETE & 4' SOFT SURFACE TRAIL
.....	12' ASPHALT TRAIL/UTILITY ACCESS ROAD
.....	12' ASPHALT TRAIL/UTILITY ACCESS ROAD & 4' SOFT SURFACE TRAIL
—	TRAILS INSTALLED W/ PHASE 7/8



Conceptual plan. Final details will be determined in Site Plan Application.

Exact trail location determined in the field.

10 Density Transfers

-The “Previously Approved ERUs” column is the allowable number of ERUs within Wildflower as established in the Wildflower Amended and Restated Community Plan (ARCP) approved in 2020 (977 units ERU's within Village 9).

-This Village Plan 9 establishes an overall count of 1,008 plus an additional 14 Type 4 units associated with the sale of the cemetery site, for a total of 1,022 ERUs.

- While the breakdown between unit types has changed throughout the CP amendment process, the comparison for Density Transfer conditions is based on the “Previously Approved ERUs” vs the “Proposed ERUs” column. Based on a 15% density transfer limitation without requiring City Council approval, the maximum exchange of 153 ERUs (1,022 x 15%) is allowed within Village Plan 9. This Village Plan 9 proposes a transfer of 31 ERUs which equates to 3.0%.

COMMUNITY PLAN DENSITY TRANSFERS				
Type	Description	Proposed ERUs	Previously Approved ERUs (2020)	ERU Change
1	Single Family [5,000+ SF]	423	473	-50
2	Single Family [<5,000 SF]	44	32	+12
3	Single Family [<5,000 SF] 3-Story	177	98	+79
4	Townhomes	364	374	-10
	14 Townhome units for Cemetery	14		
Total		1022	977	31

11 Additional Detailed Exhibits

The following elements have been included to detail plans and direction contained in the Wildflower ARCP for Village Plan Area 9:

- » Signage Key Exhibit
- » Signage Plan Exhibit
- » Temporary Signage Plan
- » Grading Plan
- » Open Space Management
- » Traffic Study



11 Signage Key Exhibit

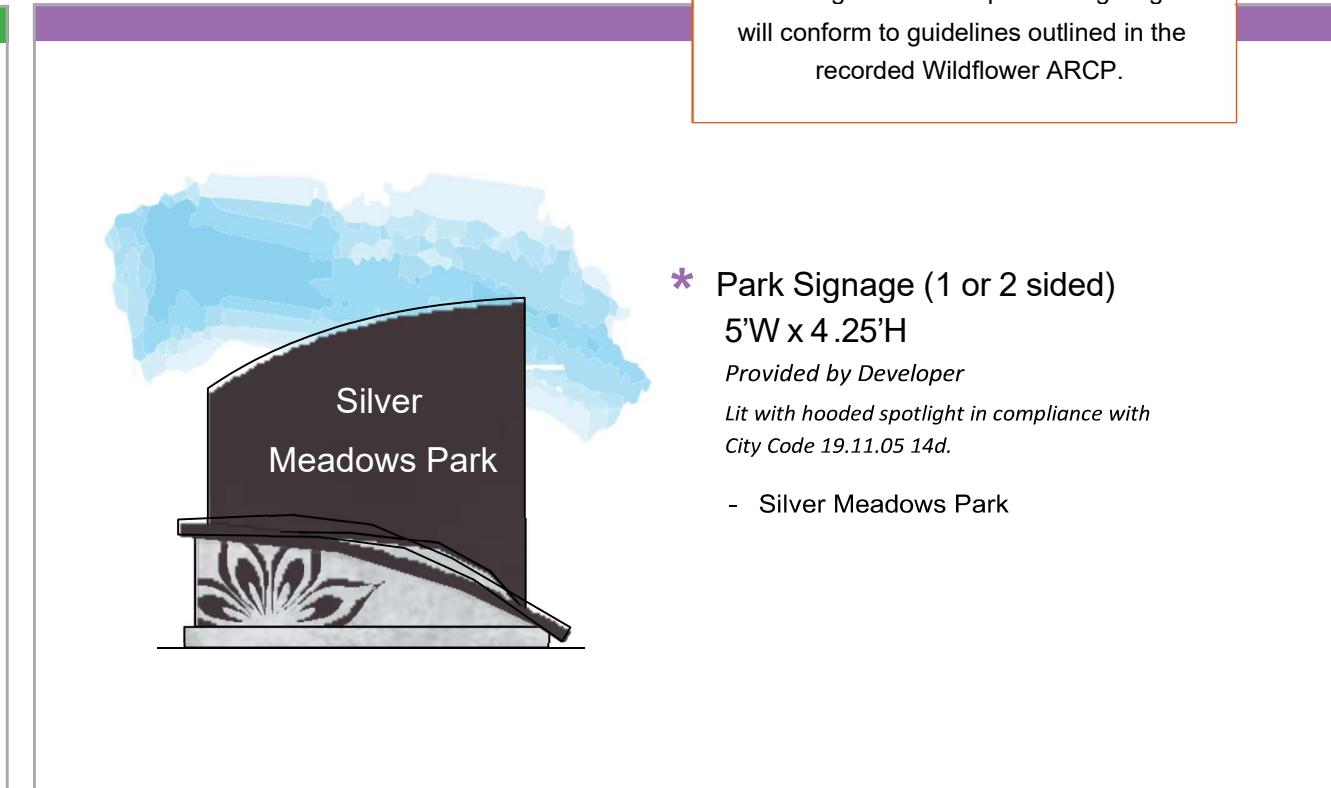


* Optional Secondary Entrance Feature (neighborhood - 1 or 2 sided) 8'8"W x 4'7H

Provided by Builder

Lit with hooded spotlight in compliance with City Code 19.11.05 14d.

- OPTIONAL locations for builder-funded entrance features
- Developer will coordinate with subs for production and installation including landscaping and utilities.



* Park Signage (1 or 2 sided) 5'W x 4.25'H

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d.

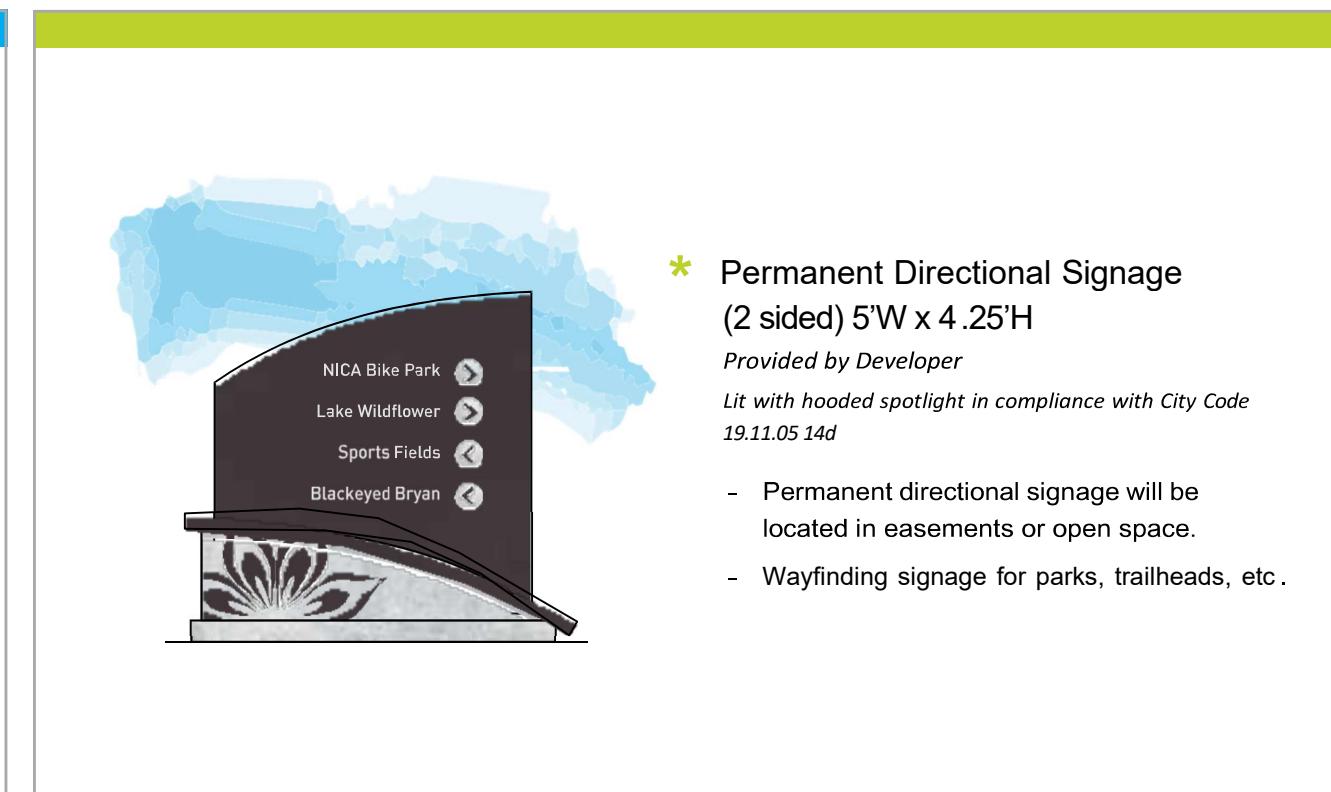
- Silver Meadows Park



* Secondary Entrance Feature (development - 1 or 2 sided) 8'8" W x

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d.



* Permanent Directional Signage (2 sided) 5'W x 4.25'H

Provided by Developer

Lit with hooded spotlight in compliance with City Code 19.11.05 14d

- Permanent directional signage will be located in easements or open space.
- Wayfinding signage for parks, trailheads, etc.



All designs are conceptual. All lighting will conform to guidelines outlined in the recorded Wildflower ARCP.

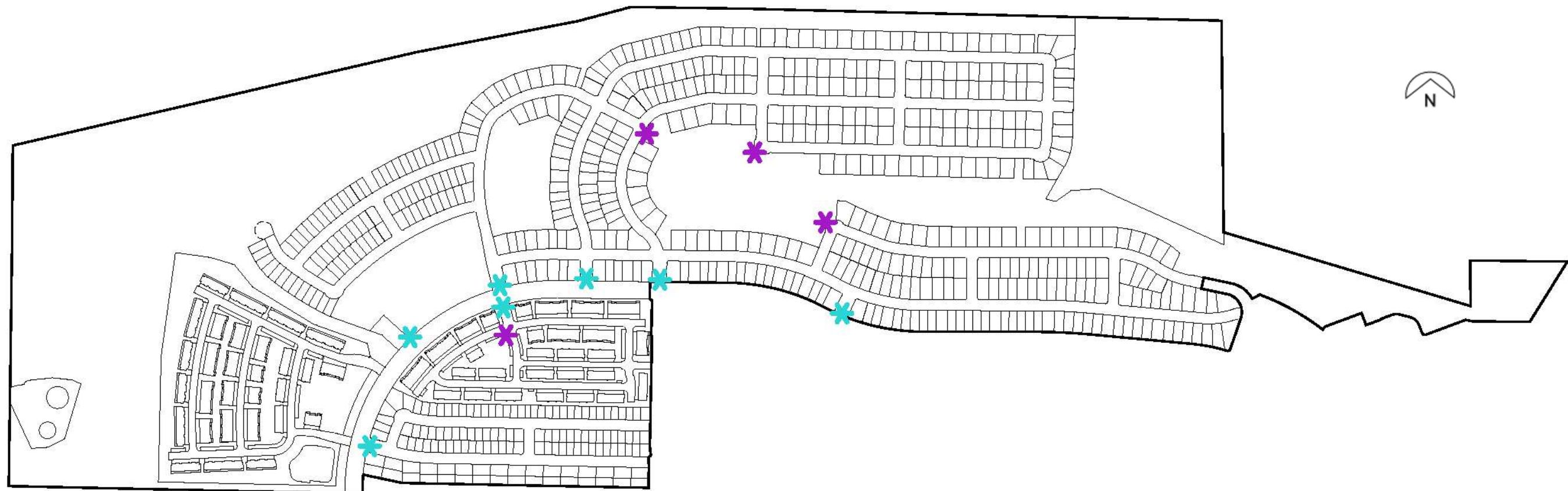


11 Signage Plan Exhibit

Notes

1. Locations shown represent the approximate vicinity of signs. Locations will be refined at sign permit application. All entrance features will be placed in common areas or signage easements.
2. These features shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials (AASHTO).
4. All illuminated signs located within one-half (1/2) mile of Camp Williams shall be positioned in such a manner and contain shielding devices as to significantly reduce spillover light affecting the military installation and operations. In no instance shall signs within 1/2 mile be positioned facing parallel to the adjacent boundaries of Camp Williams.

- * Optional Secondary Entrance Feature (Development)
- * Park Signage



Conceptual plan. Final details will be determined in Sign Permit Application.



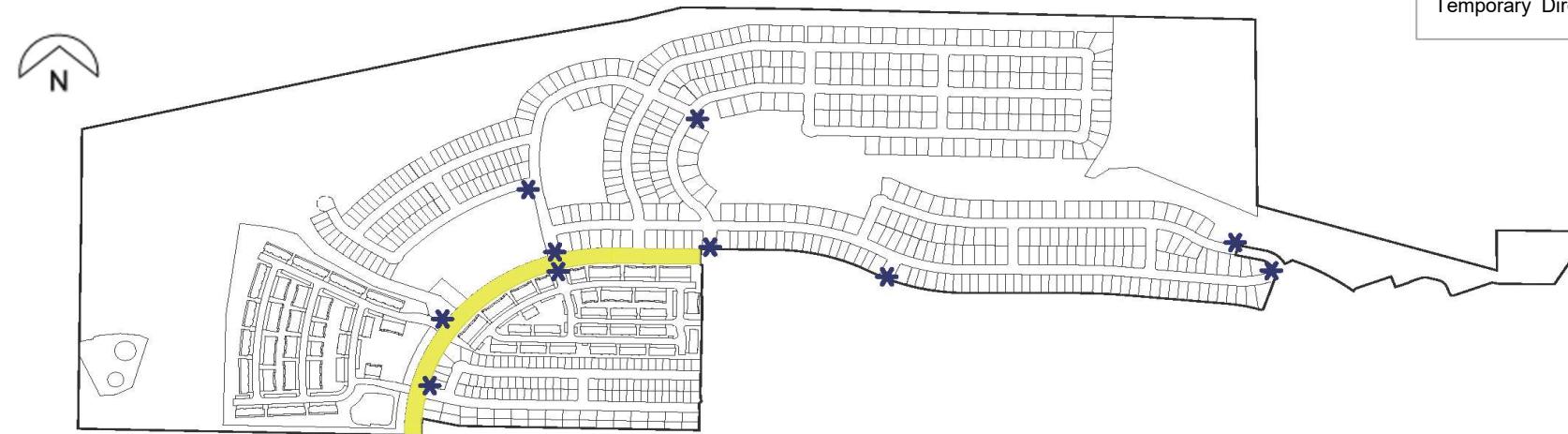


11 Temporary Signage Plan Exhibit

Conceptual final detail will be determined in Sign Permit Application.

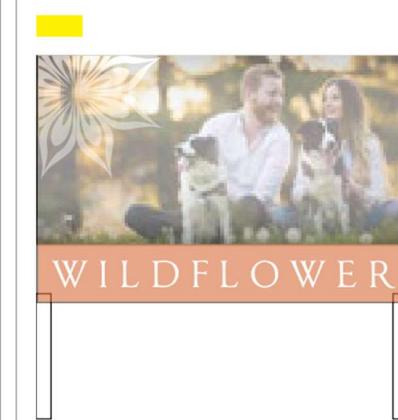
Temporary directional signage (*) may be installed where indicated, as needed to direct traffic to builder model home(s). The areas highlighted in yellow () along Wild Blossom Blvd may require up to 4 branded temporary community information signs during active development. The design and message may vary, but the purpose is to provide information about the Wildflower community. Sign faces shall not exceed 96 sf and height of sign will not exceed 12 feet from grade. Temporary community information signage shall be at least 200 feet from any other temporary sign.

Builder-branded, model home signage located on the model property or general yard area where the model is located may not exceed a total of 32 sf per model. Sign permits, production, and installation of builder signage shall be the responsibility of the builder.



Notes

1. Locations shown represent the approximate vicinity of signs, if needed. Temporary directional signage will only be used as needed to guide visitors to models. Not all location will be needed, and the minimum number of signs will be used to effectively direct traffic. There will be no more than 5 signs per model location. All signs will be a minimum of 3' back from any sidewalk and their height/lengths from property line location will be determined at sign permit application.
2. Signs shall not conflict with traffic control signaling or traffic control devices.
3. Sight triangle will be adhered to according to the standards set by the American Association of State Highway and Transportation Officials. (AASHTO).
4. Temporary signs will be installed on builder-owned lots or open space, not on privately owned lots.

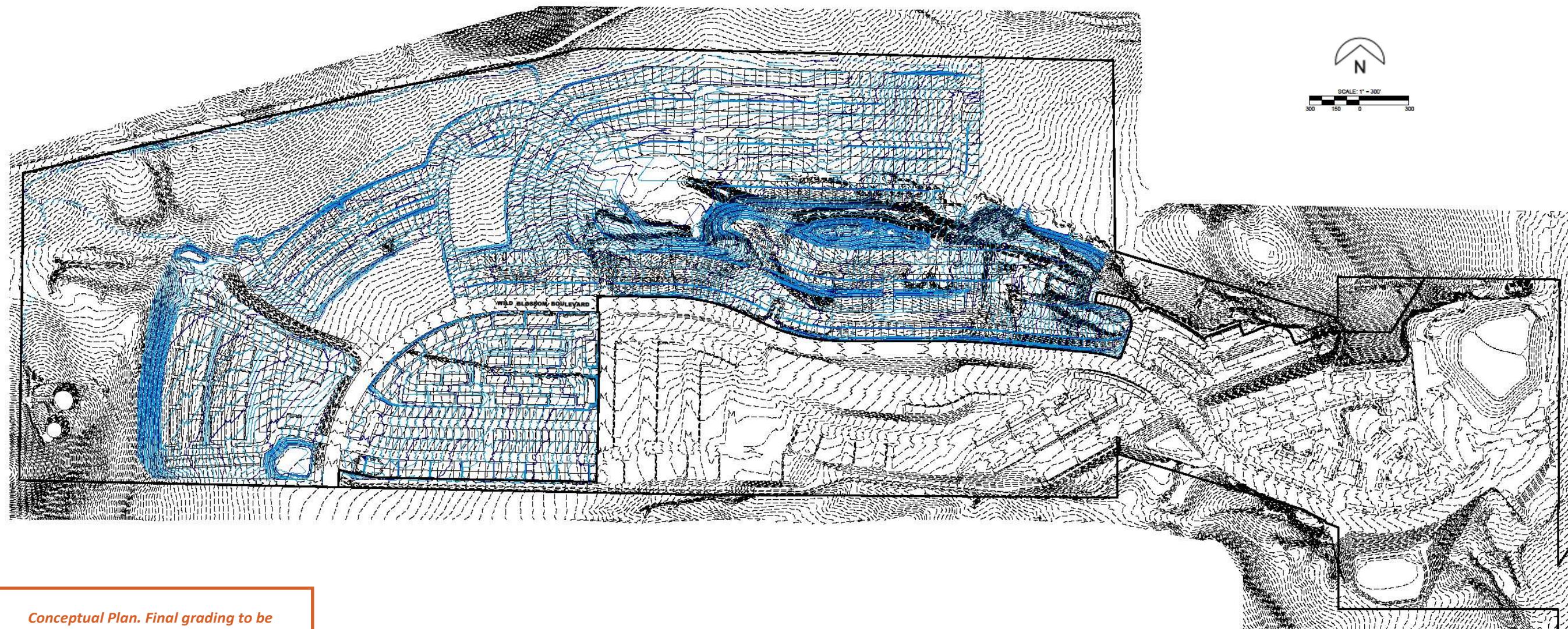


EXAMPLE
Temporary Community Information Signs





11 Conceptual Grading Plan Exhibit



**Conceptual Plan. Final grading to be
determined with Site Plan and Grading Permits
in compliance with CP/MDA standards.**



11 Open Space Management Table

Single Family Open Space Management Table

The single family acreage within Village Plan 9 is approximately 221.10 acres. The open space provided is 84.25 acres, which is approximately 38% of the total acreage.

Equivalent Acres Required	Equivalent Acres Provided	Amenity Points Required	Minimum # Amenity Points Provided	# Amenity Points Above Required
16.1	68.15	644	1846.80	1,202.80
EQUIVALENT ACRES REQUIRED 16.1		EQUIVALENT ACRES PROVIDED 84.25		
Category	Multiplier	Quantity	Points/Per Amenity	Provided
Trail, hard surface, per 1,000 linear feet	B	22.9	41.3	945.77
Additional Equivalent Acre Above Requirement	B	68.15	40	322
Playground Structure (1-platform)	C	4	25	100
Trail, soft surface, per 1000 linear feet	D	21.2	8.3	175.96
Bench	E	12	0.4	4.8
Table (6' aluminum)	E	6	0.8	4.8
Restroom 1-2 Toilets	B	1	200	200
Other: Pavilion 20x20	D	2	15.6	31.2
Other: Pavilion 12x12	D	1	4.0	4
Basketball 1/2 court	D	1	16.5	16.5
Drinking fountain (freeze resistant w/pet bowl & bottle filler)	D	1	6	6
Trash Receptacle (32 gal)	E	1	0.6	0.6
Parking - 1 space (hard surface with drive aisle)	P	88	0.4	35.2
Total Amenity Points		1846.8		

ERU Provided **644**
 Open space equivalent required **644 units/ 40 units = 16.1 ac.**
 Open space provided **84.25 ac.**
 Amenity points Req. **40 pts. x 16.1= 644 pts.**

Saratoga Springs Code Reference 19.19 Open Space



Type 4 Open Space Management Table

The townhome acreage within Village Plan 9 is approximately 44.28 acres. The open space provided is 15.87 acres, which is approximately 36% of the townhome acreage.

Equivalent Acres Required	Equivalent Acres Provided	Amenity Points Required	Minimum # Amenity Points Provided	# Amenity Points Above Required
9.45	15.87	567	582.24	15.24
EQUIVALENT ACRES REQUIRED 9.45		EQUIVALENT ACRES PROVIDED 15.87		
Category	Multiplier	Quantity	Points/Per Amenity	Provided
Trail, hard surface, per 1,000 linear feet	B	3.88	41.3	160.24
Additional Equivalent Acre Above Requirement	B	6.42	40	256.8
Playground Structure (1-platform)	C	6	25.00	150
Bench	E	4	0.4	1.6
Table (6' aluminum)	E	4	0.8	3.2
Other: Pavilion 12x12	D	2	4.0	8
Trash Receptacle (32 gal)	E	4	0.6	2.4
Total Amenity Points		582.24		

ERU Provided 378
 Open space equivalent required 378 units/ 40 units = 9.45 ac.
 Open space provided 15.87 ac.
 Amenity points Req. 60 pts. x 9.45= 567 pts.

Saratoga Springs Code Reference 19.19 Open Space

The total acreage within Village Plan 9 is approximately 311.62 acres. The open space provided is 119.40 acres, which is approximately 38% of the total acreage.

General open space is managed by the Master HOA, and Type 4 open space is managed by a sub-HOA.

The amenity details for the Type 4 townhome neighborhood will be determined at Site Plan and/or Plat submittal according to Title-19 requirements.





11 Open Space Tabulation Exhibit

LEGEND



OPEN SPACE

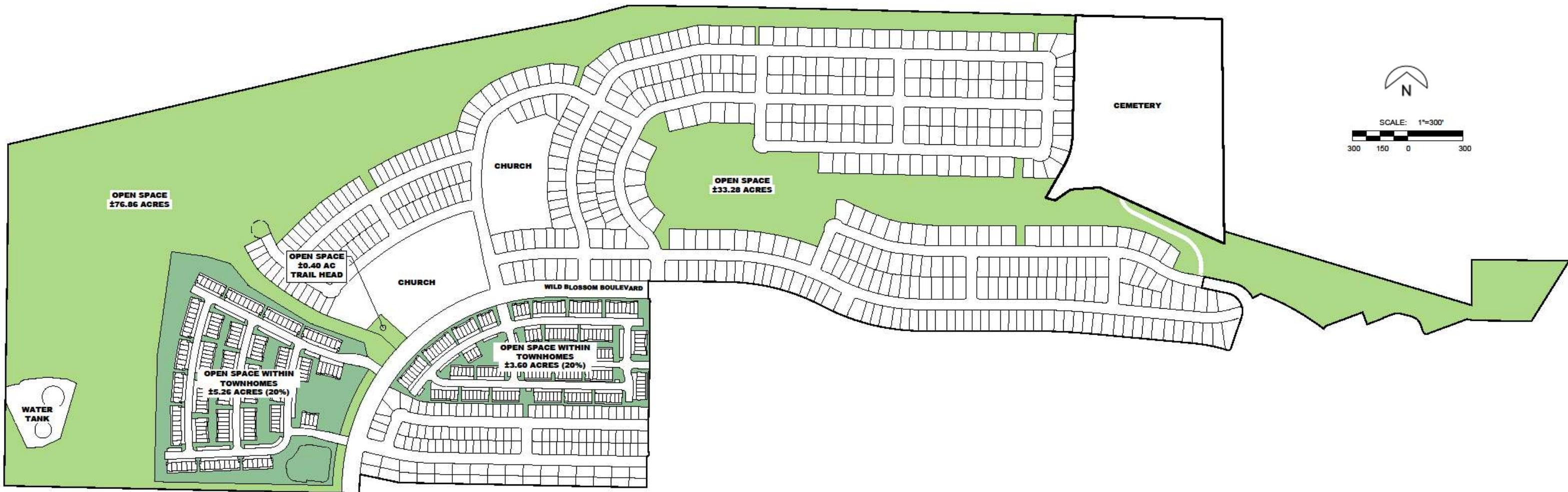
±110.54 AC



OPEN SPACE WITHIN TYPE 4

±8.86 AC

*OPEN SPACE WITHIN TOWNHOME AREA IS GREATER THAN 20% OF TOWNHOME AREA



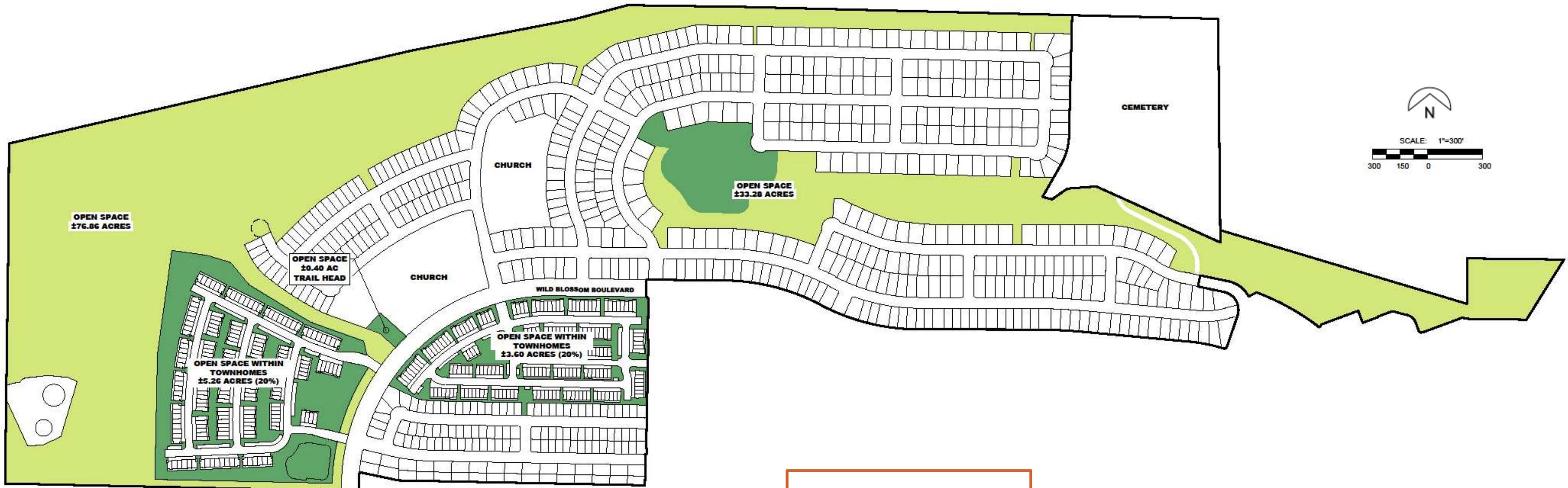
Conceptual plan. Final details will be determined in Site Plan Application.





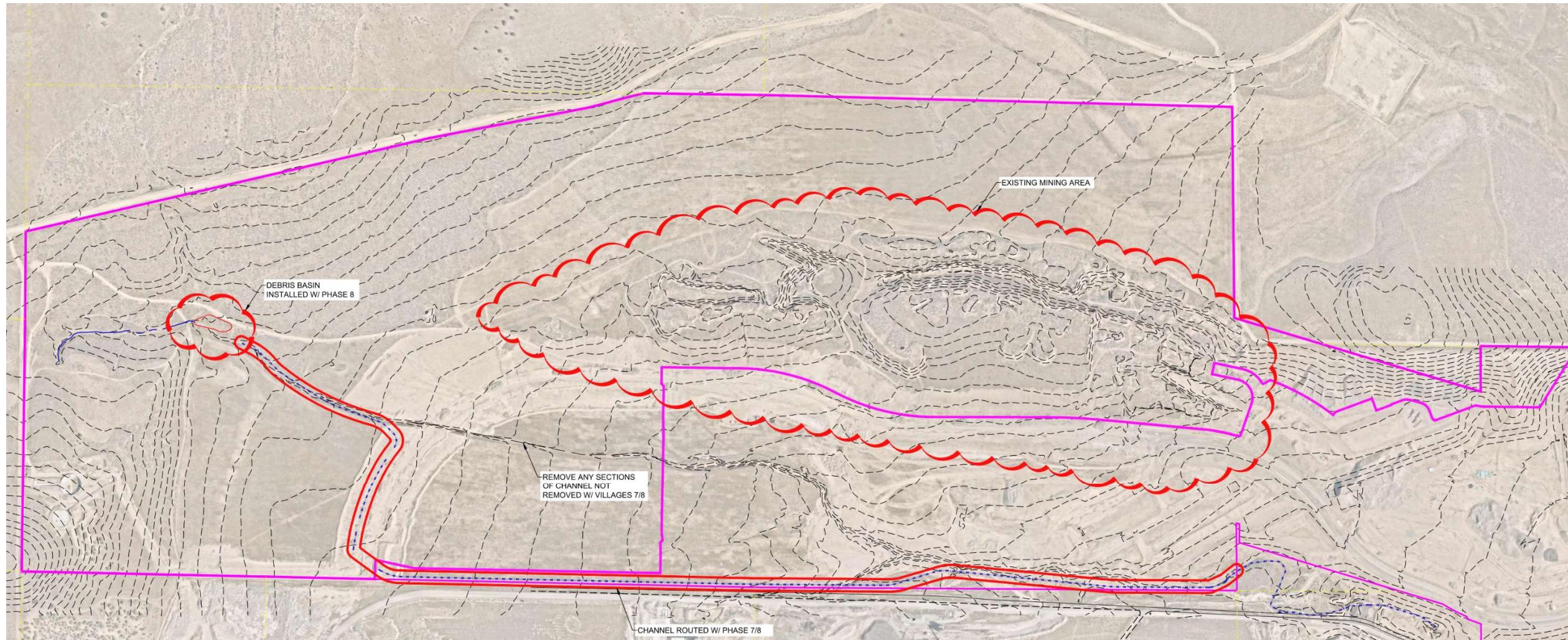
11 Open Space Management Exhibit

LEGEND	
	IMPROVED OPEN SPACE
	NATIVE OPEN SPACE WITH TRAILS



Conceptual plan. Final details will be determined in Site Plan Application.





Conceptual plan. Final details will be determined in Site Plan Application.



11 Traffic Study

Village Plan 9

Wildflower Village 9

Traffic Impact Study



Saratoga Springs, Utah

October 21, 2024

UT22-2204



1220 North 500 West, Ste. 202 Lehi, UT 84043 p 801.766.4343
www.halesengineering.com



EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed Wildflower Village 9 development located in Saratoga Springs, Utah. The development is located on the north side of Wild Blossom Boulevard, west of Chianti Street.

The purpose of this traffic impact study is to analyze traffic operations at key intersections for existing (2022), future (2027), and future (2050) conditions with and without the proposed project and to recommend mitigation measures as needed. The evening peak hour level of service (LOS) results are shown in Table ES-1. Recommended storage lengths are shown in Table ES-2. An exhibit of the proposed mitigated roadway network is shown in Figure ES-1. A site plan of the project is provided in Appendix A.

Table ES-1: Evening Peak Hour Level of Service Results

Intersection	Level of Service						
	Existing (2022)		Future (2027)			Future (2050)	
	BG	PP	BG	PP	PP Mit.	BG	PP
1	Harvest Hills Boulevard / NB MVC	C	D	C	D	D	B
2	Harvest Hills Boulevard / SB MVC	C	D	F	F	F	B
3	Chianti Street / Wild Blossom Blvd	B	C	B	D	C	A
4	West Road & Village 7 / Wild Blossom Blvd	a	c	a	e	B	a
5	Village 7 & 9 Access / Wild Blossom Blvd	a	b	a	b	b	a
6	Village 8 East Access / Wild Blossom Blvd	a	a	a	a	a	b
7	Village 8 Central & 9 Access 1 / Wild Blossom Blvd	a	a	a	a	a	a
8	Village 8 West Access / Wild Blossom Blvd	a	a	a	a	a	a
9	West Road / Aster Drive	-	-	b	b	b	a
10	West Road / S.R. 73	-	-	D	E	E	-
11	West Road / S.R. 73 WB FR	-	-	-	-	-	B
12	West Road / S.R. 73 EB FR	-	-	-	-	-	C
13	Village 10 Access 1 / Wild Blossom Blvd	-	a	-	a	a	-
14	Village 10 Access 2 / Wild Blossom Blvd	-	a	-	a	a	-
15	Village 10 Access 3 / Wild Blossom Blvd	-	a	-	a	a	-
16	Village 10 Access 4 / Wild Blossom Blvd	-	a	-	a	a	-

1. Intersection LOS values represent the overall intersection average for roundabout, signalized, and all-way stop-controlled (AWSC) intersections (uppercase letter) and the worst movement for all other unsignalized intersections (lowercase letter)

2. BG = Background (without project traffic), PP = Plus Project (with project traffic), Mit. = Mitigated

Source: Hales Engineering, October 2024

Table ES-2: Recommended Storage Lengths

Intersection	Recommended Storage Lengths (feet)															
	Northbound				Southbound				Eastbound				Westbound			
	LT		RT		LT		RT		LT		RT		LT		RT	
	E	P	E	P	E	P	E	P	E	P	E	P	E	P	E	P
3 Chianti Street / Wild Blossom Blvd	-	100	-	250	50	125	-	-	-	50	-	-	85	125	85	100
4 West Road & Village 7 / Wild Blossom Blvd	-	175	-	50	-	75	-	-	-	50	-	-	-	100	-	-
5 Village 7 & 9 Access / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	50	-	-	-	-	-	50
6 Village 8 East Access / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	-	-	-	-	50	-	-
7 Village 8 Central & 9 Access 1 / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	50	-	-	-	50	-	50
8 Village 8 West Access / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	-	-	-	-	50	-	-
9 West Road / Aster Drive	-	100	-	-	-	100	-	-	-	-	-	-	-	-	-	-
10 West Road / S.R. 73	-	-	-	-	-	175	-	-	-	175	-	-	-	-	-	325
11 West Road / S.R. 73 WB FR	-	-	-	-	-	-	-	275	-	-	-	-	-	275	-	100
12 West Road / S.R. 73 EB FR	-	-	-	100	-	-	-	-	-	100	-	100	-	-	-	-
13 Village 10 Access 1 / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	50	-	-	-	-	-	50
14 Village 10 Access 2 / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	50	-	-	-	50	-	50
15 Village 10 Access 3 / Wild Blossom Blvd	-	-	-	-	-	-	-	-	-	50	-	-	-	-	-	50
16 Village 10 Access 4 / Wild Blossom Blvd	-	50	-	-	50	-	50	-	-	-	-	-	-	-	-	-

1. Storage lengths are based on the highest observed 2027 and 2050 95th percentile queue lengths and do not include required deceleration / taper distances

2. E = Existing storage length (approximate), if applicable; P = proposed storage length for new turn lanes or changes to existing turn lanes, if applicable

Source: Hales Engineering, October 2024



SUMMARY OF KEY FINDINGS & RECOMMENDATIONS

Project Conditions

- The Wildflower Village 9 will consist of 575 single-family homes and 444 townhome units
- The project is anticipated to generate approximately 8,668 weekday daily trips, including 616 trips in the morning peak hour, and 802 trips in the evening peak hour
- WB right-turn deceleration lanes are recommended at all project accesses on Wild Blossom Boulevard. It is anticipated that all accesses will have left-turn deceleration lanes along the corridor.

2022	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> • Previously recommended mitigation measures for the Harvest Hills Blvd / Mountain View Corridor intersections implemented. • Trips from Villages 2, 3A, 4, 7, and 8 included in the roadway volumes 	<ul style="list-style-type: none"> • None
Findings	<ul style="list-style-type: none"> • Acceptable LOS at all study intersections 	<ul style="list-style-type: none"> • Acceptable LOS at all study intersections
2027	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> • West Road / S.R. 73: signalized intersection with connection to Wildflower villages, traffic added from Wildflower Logistics Center TIS (Hales, 2021) • Chianti Street / Wild Blossom Boulevard: Signal installed 	<ul style="list-style-type: none"> • None
Findings	<ul style="list-style-type: none"> • Poor LOS at the Harvest Hills Blvd / SB Mountain View Corridor intersection 	<ul style="list-style-type: none"> • Poor LOS at the Harvest Hills Blvd / SB Mountain View Corridor, West Road & Village 7 / Wild Blossom Boulevard, and West Road / S.R. 73 intersections
Mitigations	<ul style="list-style-type: none"> • None. No additional mitigation is feasible before the completion of the UDOT Mountain View Corridor Freeway 	<ul style="list-style-type: none"> • West Road & Village 7 / Wild Blossom Boulevard: Install traffic signal when warranted • No additional mitigation is feasible before the completion of the UDOT Mountain View Corridor Freeway and the S.R. 73 Freeway projects
2050	Background	Plus Project
Assumptions	<ul style="list-style-type: none"> • MVC Freeway constructed • S.R. 73 Freeway constructed with frontage road system 	<ul style="list-style-type: none"> • Wild Blossom Boulevard: extends west to connect with Eagle Mountain roads and S.R. 73
Findings	<ul style="list-style-type: none"> • Acceptable LOS at all study intersections 	<ul style="list-style-type: none"> • Acceptable LOS at all study intersections

12 Site Characteristics

Village Plan 9 is located in the west region of the Wildflower Development, which is also referred to as The Springs. The Village is also situated south of Camp Williams. Much of the Village site was used historically for farming operations. An off-site storm drainage channel from Camp Williams cuts through the Village. This channel will be relocated to the south of the Village and connect into previously approved improvements within Village 7 & 8. Village Plan 9 is located within the zone 4 water service area for both drinking and secondary water. Sewer mains necessary for Village 9 service were installed with previous Villages or off-site improvements. All other site characteristics were included in the approved Wildflower ARCP.

13 Master Development Agreement

This Village Plan is subordinate to the Master Development Agreement, Wildflower ARCP, and Master Utility Plan, which are approved and recorded by the City.

