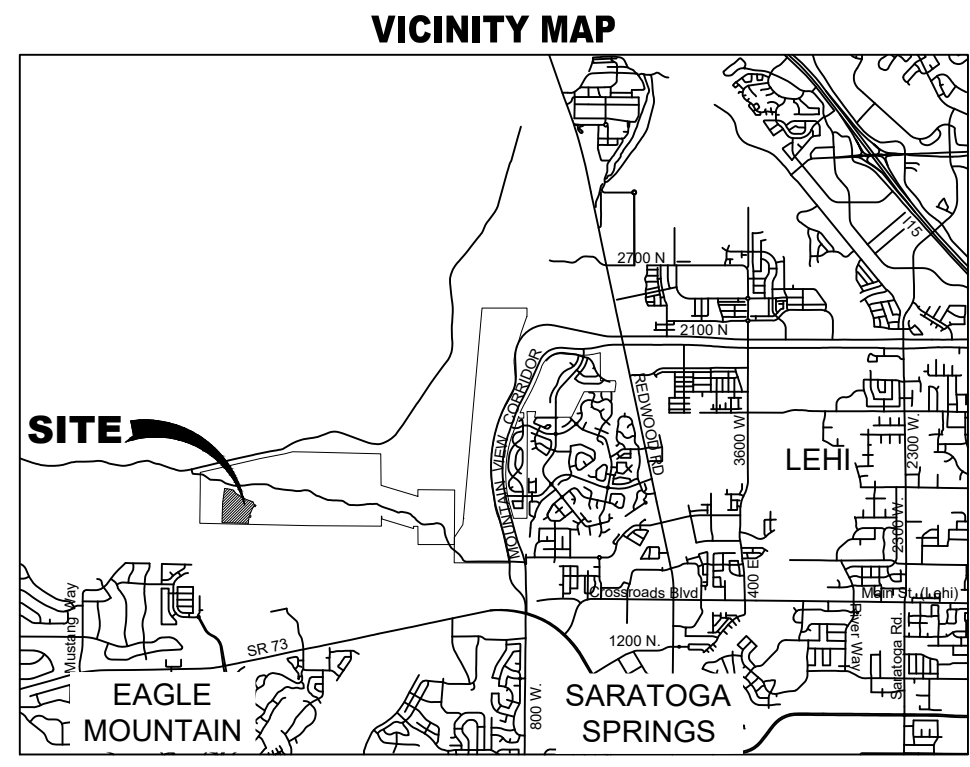
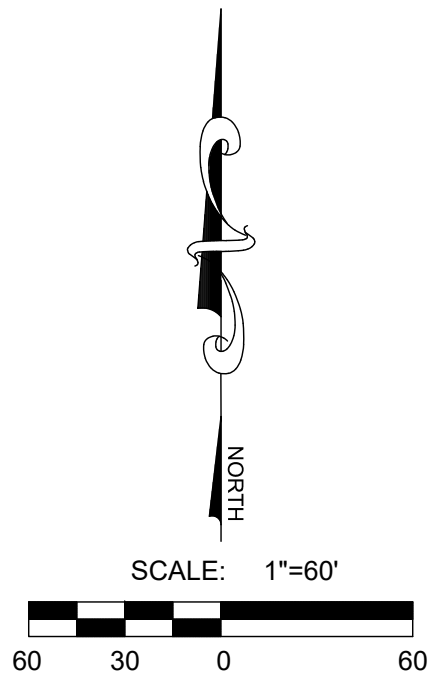


WILDFLOWER VILLAGE 9 SITE Y

LOCATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH



LEI
CIVIL
STRUCTURAL
SURVEY

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



WILDFLOWER VILLAGE 9 SITE Y
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

COVER

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LEGEND

EXISTING	PROPOSED	BOUNDARY LINE	DETAILS
		STREET CENTERLINE	
		EASEMENT LINE	
		LOT LINES	
		SEWER PIPE	SS-1, ST-7, (*2)
		SEWER MANHOLE	SS-2, SS-2A, (*2)
		4" SEWER CLEANOUT	SS-3, (*5)
		STORM DRAIN PIPE (RCP)	SD-1, ST-7, (*2)
		STORM DRAIN MANHOLE	SD-2, (*2)
		CURB INLET	SD-2
		COMBO BOX	SD-4
		4x4' CATCH BASIN	(*)2
		3x3' CATCH BASIN	(*)2
		INLET/OUTLET W/ GRATE	SD-5
		CULINARY WATER PIPE	DW-1, DW-2, DW-3, ST-7, (*2)
		45" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		22.5" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		11.25" PIPE ELBOW (W)	DW-2, DW-3, (*2)
		FIRE HYDRANT	DW-4
		3/4" SERVICE & METER (W)	DW-5
		PRV (W)	DW-10A, DW-10B, DW-15
		AIR-VAC VALVE (W)	DW-12, DW-15
		2" BLOW-OFF (W)	DW-13A, DW-15
		VALVE (W & SW)	(*)2
		TEE	DW-2, (*2)
		CROSS	DW-2, (*2)
		SECONDARY WATER PIPE	PH-1, PH-2, ST-7, (*2)
		45" PIPE ELBOW (SW)	PH-2, (*2)
		22.5" PIPE ELBOW (SW)	PH-2, (*2)
		11.25" PIPE ELBOW (SW)	PH-2, (*2)
		1" SINGLE SW SERVICE	PH-3, PH-5A, PH-5C
		1-1/2" DUAL SW SERVICE	PH-3, PH-5B, PH-5C
		SW SERVICE TO PARKS	PH-4
		AIR-VAC VALVE (SW)	PH-8, PH-13
		BACKFLOW PREVENTER	PH-11
		2" BLOW-OFF (SW)	PH-12A, PH-13
		30" C&G (COLLECTOR)	ST-1, ST-2A
		24" C&G (LOCAL)	ST-1, ST-2C
		24" SHED C&G	ST-1, ST-2F
		SIDEWALK	ST-1
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		POWER POLE	
		DITCH	
		FIBER OPTIC	
		GAS	
		OVERHEAD POWER	
		FLOW ARROW	
		CONTOURS	
		100' YEAR FLOOD ROUTE	
		MATCH LINE	
		DRIVE APPROACH	ST-4
		ADA RAMP	ST-5A, ST-5B, ST-5C, ST-5E
		TRAIL	ST-15A, ST-34, (*4)

(*)1 CULINARY & SECONDARY WATER LINES LESS THAN 12" TO BE GATE VALVES. LINES 12" & LARGER REQUIRE BUTTERFLY VALVES
(*)2 SEE PLAN & PROFILE FOR SIZE & MATERIAL
(*)3 SEE LANDSCAPE DESIGN FOR NUMBER OF CONDUITS & SIZES
(*)4 SEE PLAN & PROFILE FOR WIDTH & DESIGN MATERIALS
(*)5 SEWER SERVICE MINIMUM SLOPE 2%

OWNER / DEVELOPER

CITY OF SARATOGA SPRINGS
1307 N. COMMERCE DR. #200
SARATOGA SPRINGS, UTAH 84045

LENNAR

111 EAST SEGO LILY DR. SUITE 150
SANDY, UT 84070
(801) 508-5634

PLANNING DEPT: 801-766-9793
ENGINEERING DEPT: 801-766-6506

ROCKY MOUNTAIN POWER
PHONE: 800-469-3981

ENBRIDGE GAS UTAH
PHONE: 800-366-8532

ENGINEER

LEI CONSULTING ENGINEERS
AND SURVEYORS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
801-798-0555



REVISIONS
1 -
2 -
3 -
4 -
5 -
6 -

LEI PROJECT #:
2023-0055
DRAWN BY:
BLS/MJV
DESIGNED BY:
GDM
SCALE:
1"=60'
DATE:
07/11/2025

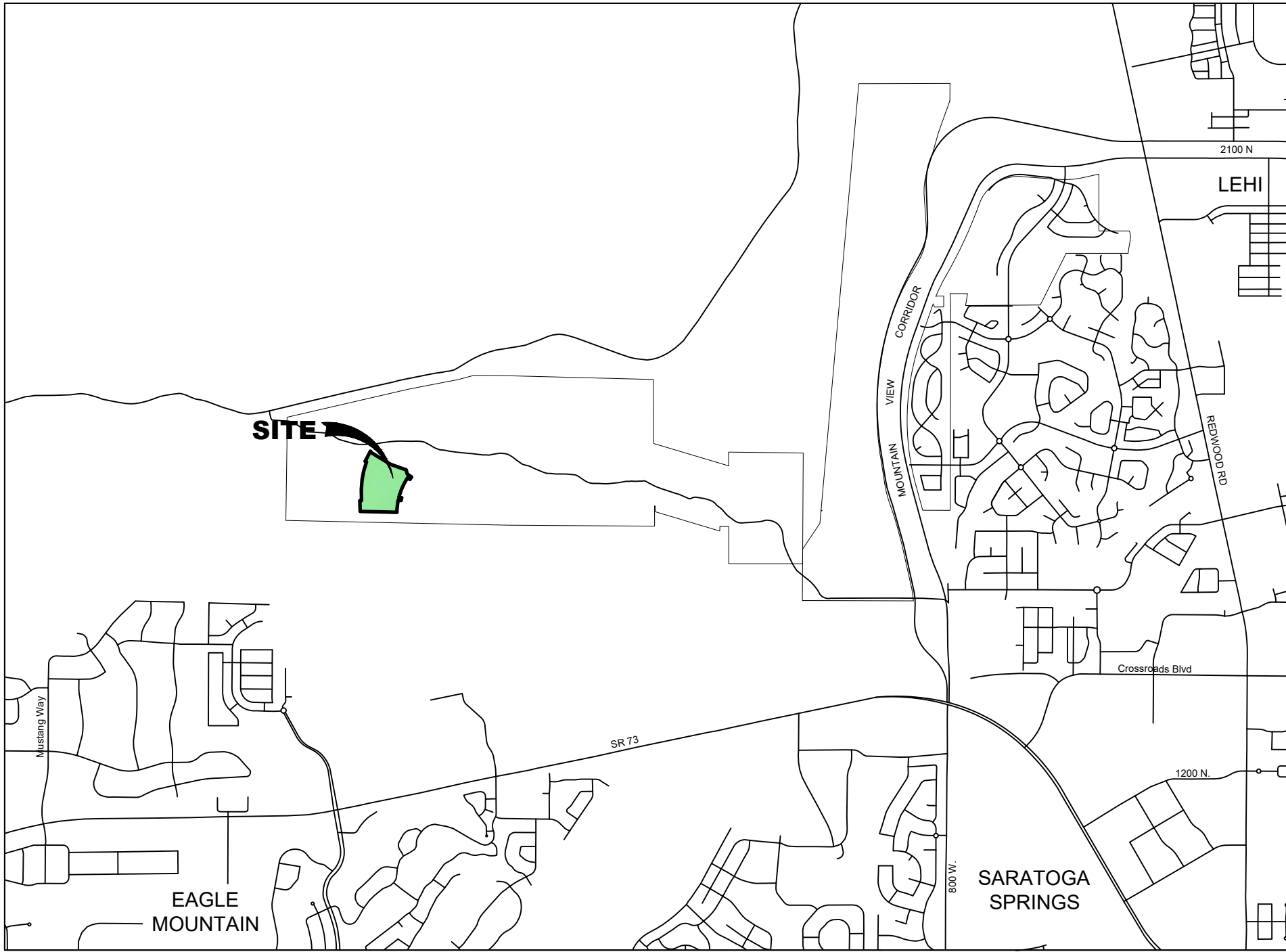
SHEET

COVER

WILDFLOWER VILLAGE 9 PLAT Y-1

LOCATED IN THE SOUTHEAST QUARTER AND SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

VICINITY MAP



LEGEND

- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- EXISTING LOT LINES
- PROPOSED LOT LINES
- EXISTING MONUMENT
- PROPOSED MONUMENT
- NO ACCESS

NOTES:

- PLAT MUST BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF ____, 20__.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. ____", WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&RS.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 2002 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SECTION 22, WITH A PUBLISHED UTAH COUNTY (NGVD29) ELEVATION OF 4,625.47 FEET.
- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4655170115B WITH AN EFFECTIVE DATE OF OCTOBER 15, 1982.
- A TITLE REPORT PREPARED BY _____, TITLE COMPANY, ORDER NO. _____, EFFECTIVE DATE: ____/____/20__ WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.

DATA TABLE

PLAT Y-1	
SINGLE FAMILY LOTS	0 LOTS
TOWNHOME LOTS	124 LOTS
BUILDINGS	19 BUILDINGS
DWELLINGS	124 DWELLINGS
PARCELS	5 PARCELS
DENSITY	7.77 UNITS/ ACRE
MINIMUM LOT SIZE	0.03 ACRES / 1,141 SF
MAXIMUM LOT SIZE	0.03 ACRES / 1,386 SF
AVERAGE LOT SIZE	0.03 ACRES / 1,257 SF

	ACRES	SQ. FT.	PERCENT
TOTAL PROJECT AREA	15.95	694,622	100%
LOT AREA	3.58	155,848	22.4%
OPEN SPACE	9.59	417,680	60.1%
LANDSCAPED COMMON SPACE	7.40	322,459	46.4%
LIMITED COMMON SPACE	2.19	95,221	0.1%
PRIVATE RIGHT-OF-WAY AREA	2.78	121,094	17.4%
PUBLIC RIGHT-OF-WAY AREA	0.00	0	0%
LANDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
HARDSCAPE AREA (PUBLIC ROW)	0.00	0	0%
BUILDABLE LAND	15.95	694,622	100%
SENSITIVE LANDS	0.00	0	0%
NON-SENSITIVE LANDS	15.95	694,622	100%
NUMBER OF GARAGE PARKING SPACES	248		
NUMBER OF DRIVEWAY PARKING SPACES	248		
NUMBER OF STRIPED PARKING SPACES	77		
NUMBER OF GUEST PARKING SPACES PROVIDED	325		

BY SIGNING THIS PLAT THE FOLLOWING UTILITY COMPANIES ARE APPROVING THE: (A) BOUNDARY, COURSE, DIMENSIONS, AND INTENDED USE OF THE RIGHT-OF-WAY AND EASEMENT GRANTS OF RECORD; (B) LOCATION OF EXISTING UNDERGROUND AND UTILITY FACILITIES; (C) CONDITIONS OR RESTRICTIONS GOVERNING THE LOCATION OF THE FACILITIES WITHIN THE RIGHT-OF-WAY, AND EASEMENT GRANTS OF RECORD, AND UTILITY FACILITIES WITHIN THE SUBDIVISION. "APPROVING" SHALL HAVE THE MEANING IN THE UTAH CODE SECTION 10-8A-603(B)(1)(ii). THE FOLLOWING NOTES ARE NOT ENDORSED OR ADOPTED BY SARATOGA SPRINGS AND DO NOT SUPERSEDE CONFLICTING PLAT NOTES OR SARATOGA SPRINGS POLICIES.

ENBRIDGE GAS UTAH ACCEPTANCE	
QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS, THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.	
APPROVED THIS ____ DAY OF _____, A.D. 20 ____.	BY: _____
QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH TITLE: _____	
ROCKY MOUNTAIN POWER	
1. PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.	
2. PURSUANT TO UTAH CODE ANN. 17-27A-803(4)(i)(ii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:	
a. A RECORDED EASEMENT OR RIGHT-OF-WAY	
b. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS	
c. TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR	
d. ANY OTHER PROVISION OF LAW	
APPROVED THIS ____ DAY OF _____, A.D. 20 ____.	
ROCKY MOUNTAIN POWER	

PLANNING DIRECTOR	CENTURY LINK
APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF _____, A.D. 20 ____.	OF _____ APPROVED THIS ____ DAY OF _____, A.D. 20 ____.
PLANNING DIRECTOR	CENTURY LINK
CITY ENGINEER	COMCAST CABLE TELEVISION
APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF _____, A.D. 20 ____.	OF _____ APPROVED THIS ____ DAY OF _____, A.D. 20 ____.
CITY ENGINEER	COMCAST CABLE TELEVISION
LAND USE AUTHORITY	SARATOGA SPRINGS ATTORNEY
APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF _____, A.D. 20 ____.	APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF _____, A.D. 20 ____.
LAND USE AUTHORITY	SARATOGA SPRINGS ATTORNEY
FIRE CHIEF	LEHI CITY POST OFFICE
APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF _____, A.D. 20 ____.	APPROVED BY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF _____, A.D. 20 ____.
CITY FIRE CHIEF	LEHI CITY POST OFFICE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 501182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER AND THE SOUTHWEST OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, DESCRIBED AS FOLLOWS:

BEGINNING AT POINT LOCATED N89°08'06"W ALONG THE QUARTER SECTION LINE 2066.20 FEET AND SOUTH 530.78 FEET FROM THE EAST QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S13°27'07"E 11.28 FEET; THENCE S34°21'57"E 10.75 FEET; THENCE S55°21'46"E 92.39 FEET TO THE WESTERLY LINE OF WILD BLOSSOM BOULEVARD; THENCE ALONG SAID WESTERLY LINE BEING THE ARC OF A NON-TANGENT CURVE TO THE LEFT 53.00 FEET WITH A RADIUS OF 1147.50 FEET THROUGH A CENTRAL ANGLE OF 02°38'48"; CHORD: S34°42'44"W 53.00 FEET; THENCE N55°21'46"W 24.09 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT 25.96 FEET WITH A RADIUS OF 200.00 FEET THROUGH A CENTRAL ANGLE OF 07°28'19"; CHORD: N58°04'53"W 25.94 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 388.98 FEET WITH A RADIUS OF 1197.50 FEET THROUGH A CENTRAL ANGLE OF 18°36'40"; CHORD: S24°03'18"W 387.27 FEET; THENCE S76°26'49"E 50.01 FEET TO THE WESTERLY LINE OF WILD BLOSSOM BOULEVARD; THENCE ALONG SAID WESTERLY LINE BEING THE ARC OF A NON-TANGENT CURVE TO THE LEFT 50.00 FEET WITH A RADIUS OF 1147.50 FEET THROUGH A CENTRAL ANGLE OF 02°29'48"; CHORD: S13°33'11"W 50.00 FEET; THENCE N78°28'49"W 50.01 FEET; THENCE ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT 230.07 FEET WITH A RADIUS OF 1073.02 FEET THROUGH A CENTRAL ANGLE OF 12°17'06"; CHORD: S06°38'28"W 229.63 FEET; THENCE N88°46'16"W 674.00 FEET; THENCE N02°26'46"W 198.97 FEET; THENCE N87°33'14"E 31.76 FEET; THENCE N01°12'30"W 199.40 FEET; THENCE N04°27'59"E 179.82 FEET; THENCE N10°22'33"E 165.60 FEET; THENCE N17°02'59"E 174.67 FEET; THENCE N63°20'05"W 25.63 FEET; THENCE N26°39'55"E 210.14 FEET; THENCE S39°21'34"E 44.00 FEET; THENCE S58°38'02"E 398.68 FEET; THENCE S70°25'50"E 306.73 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±15.95 ACRES
694,622 SQ. FT.

DATE _____ SURVEYOR _____
(See Seal Below)
LICENSE NO. 501182

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

PLAT NAME AND PHASE

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF _____, A.D. 20 ____.

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

SIGNATURE _____ PRINT NAME _____ TITLE & ENTITY _____

OWNERS ACKNOWLEDGMENT

STATE OF UTAH } S.S
COUNTY OF UTAH }

ON THIS ____ DAY OF _____, 20 ____ PERSONALLY APPEARED BEFORE ME

PRINT NAME _____ TITLE _____ ENTITY _____

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/HEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE _____ COMMISSION NUMBER _____

PRINT NAME AS COMMISSIONED _____ MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF _____, A.D. 20 ____.

CITY MAYOR ATTEST

CITY RECORDER (See Seal Below)

WILDFLOWER VILLAGE 9 PLAT Y-1

LOCATED IN THE SOUTHEAST QUARTER AND SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 5

SURVEYOR'S SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL



3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9353
office@lei-eng.com
www.lei-eng.com



CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	200.00	23°15'47"	81.20	N66°59'39"W 80.65
C2	500.00	8°11'42"	71.51	S74°31'41"E 71.45
C3	500.00	7°05'45"	61.92	S66°52'58"E 61.88
C4	1444.33	19°41'31"	496.40	S7°26'25"W 493.96
C5	1721.62	24°32'50"	737.59	S6°32'02"W 731.96
C6	100.00	89°57'35"	157.01	N42°34'27"E 141.37
C7	500.00	15°57'32"	139.27	N84°25'35"W 138.82
C8	200.00	15°49'31"	55.24	N70°42'46"W 55.07
C9	520.00	8°11'42"	74.38	S74°31'41"E 74.31
C10	205.00	27°59'33"	100.16	N80°19'16"W 99.16
C11	200.00	23°53'12"	83.38	S82°22'26"E 82.78
C12	520.00	5°53'10"	53.42	S67°29'15"E 53.40
C13	480.00	7°05'45"	59.45	S66°52'58"E 59.41
C14	20.00	100°05'37"	34.94	S65°24'31"W 30.66
C15	20.00	78°39'22"	27.46	N24°00'24"W 25.35
C16	20.00	99°25'30"	34.71	S66°57'10"W 30.51
C17	20.00	81°00'24"	28.28	N22°49'53"W 25.98
C18	1701.62	21°41'39"	644.29	N6°23'36"E 640.45
C19	1741.62	22°02'05"	669.79	N6°39'17"E 665.67
C20	1464.33	18°22'46"	469.73	S6°47'02"W 467.72

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C61	1464.33	0°56'33"	24.09	S1°22'41"W 24.09
C62	1464.33	0°56'21"	24.00	S0°26'14"W 24.00
C63	1464.33	0°56'21"	24.00	S0°30'06"E 24.00
C64	1464.33	0°56'22"	24.01	S1°26'28"E 24.01
C65	1464.33	0°29'42"	12.65	S2°09'30"E 12.65
C66	80.00	8°08'39"	11.37	N1°39'58"E 11.36
C67	80.00	17°53'46"	24.99	N14°41'11"E 24.89
C68	520.00	2°41'06"	24.37	N89°53'56"W 24.37
C69	520.00	2°39'34"	24.14	N87°13'36"W 24.14
C70	520.00	2°38'58"	24.04	N84°34'20"W 24.04
C71	520.00	2°38'42"	24.00	N81°55'30"W 24.00
C72	520.00	0°24'18"	3.67	N80°24'01"W 3.67
C73	1741.62	0°43'30"	22.04	N3°19'52"W 22.04
C74	1741.62	0°43'28"	22.02	N2°36'23"W 22.02
C75	1741.62	0°43'27"	22.01	N1°52'56"W 22.01
C76	1741.62	0°43'26"	22.00	N1°09'29"W 22.00
C77	1741.62	0°43'26"	22.00	N0°26'04"W 22.00
C78	1741.62	0°43'26"	22.00	N0°17'22"E 22.00
C79	1741.62	0°43'26"	22.00	N1°00'48"E 22.00
C80	1741.62	0°43'27"	22.01	N1°44'14"E 22.01

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C121	20.00	0°39'08"	0.23	N51°38'51"E 0.23
C122	1147.50	1°23'54"	28.00	N35°20'11"E 28.00
C123	1147.50	1°14'54"	25.00	N34°00'47"E 25.00
C124	1147.50	1°14'54"	25.00	N12°55'44"E 25.00
C125	1147.50	1°14'54"	25.00	N14°10'38"E 25.00
C126	120.00	1°50'05"	3.84	N86°38'12"E 3.84

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C21	1424.33	16°08'15"	401.16	S7°17'35"W 399.84
C22	20.00	91°55'00"	32.08	N41°35'44"E 28.75
C23	20.00	87°59'32"	30.72	S48°27'00"E 27.78
C24	80.00	63°55'10"	89.25	N55°53'39"E 84.69
C25	120.00	73°21'29"	153.64	N50°52'30"E 143.36
C26	20.00	73°28'47"	25.65	S50°56'09"W 23.93
C27	20.00	90°52'53"	31.72	S46°12'58"E 28.50
C28	480.00	11°30'11"	96.37	S86°34'22"E 96.20
C29	100.00	6°58'03"	12.16	N77°20'16"W 12.15
C30	207.00	3°45'03"	13.55	N78°19'20"W 13.55
C31	207.00	2°35'35"	9.37	S75°09'02"E 9.37
C32	520.00	11°27'33"	104.00	N85°55'38"W 103.83
C33	520.00	1°28'24"	13.37	S77°53'20"E 13.37
C34	520.00	2°38'41"	24.00	S75°49'47"E 24.00
C35	520.00	2°38'50"	24.02	S73°11'02"E 24.02
C36	520.00	1°25'47"	12.98	S71°08'44"E 12.98
C37	200.00	5°33'55"	19.43	S73°12'48"E 19.42
C38	480.00	2°03'27"	17.24	S69°24'06"E 17.24
C39	480.00	3°13'30"	27.02	S66°45'38"E 27.01
C40	480.00	1°48'48"	15.19	S64°14'22"E 15.19

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C81	1701.62	0°44'31"	22.04	N3°11'14"W 22.04
C82	1701.62	0°44'30"	22.02	N2°26'44"W 22.02
C83	1701.62	0°44'28"	22.01	N1°42'15"W 22.01
C84	1701.62	0°44'27"	22.00	N0°57'47"W 22.00
C85	1701.62	0°44'27"	22.00	N0°13'20"W 22.00
C86	1701.62	0°44'27"	22.00	N0°31'07"E 22.00
C87	1701.62	0°44'27"	22.00	N1°15'34"E 22.00
C88	1701.62	0°44'28"	22.01	N2°00'02"E 22.01
C89	1741.62	0°43'27"	22.01	N3°07'53"E 22.01
C90	1741.62	0°43'26"	22.00	N3°51'20"E 22.00
C91	1741.62	0°43'26"	22.00	N4°34'46"E 22.00
C92	1741.62	0°43'26"	22.00	N5°18'11"E 22.00
C93	1741.62	0°43'26"	22.00	N6°01'37"E 22.00
C94	1741.62	0°43'27"	22.01	N6°45'04"E 22.01
C95	1701.62	0°44'27"	22.00	N3°50'12"E 22.00
C96	1701.62	0°44'27"	22.00	N4°34'39"E 22.00
C97	1701.62	0°44'27"	22.00	N5°19'06"E 22.00
C98	1701.62	0°44'27"	22.00	N6°03'33"E 22.00
C99	1741.62	0°43'27"	22.01	N8°16'20"E 22.01
C100	1741.62	0°43'26"	22.00	N8°59'46"E 22.00

LINE TABLE			LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	S56°35'57"E	54.22	L21	S30°56'35"W	30.88
L2	N54°12'38"W	16.45	L22	N87°33'14"E	15.00
L3	N63°20'05"W	15.00	L23	S45°07'13"W	67.87
L4	S40°16'03"W	31.89	L24	S16°05'09"W	29.42
L5	N75°38'30"E	24.99	L25	S10°07'19"E	23.98
L6	S16°09'47"E	36.84	L26	N23°40'31"E	6.87
L7	N46°43'38"E	24.44	L27	S55°21'46"E	12.15
L8	N26°56'46"W	29.97	L28	S8°49'35"W	231.37
L9	N30°59'26"W	52.66	L29	N55°21'46"W	16.30
L10	N56°05'10"E	36.86	L30	N34°38'14"E	24.84
L11	N9°58'57"E	15.62	L31	N34°38'14"E	28.16
L12	N11°10'05"E	30.85	L32	N67°31'24"W	355.19
L13	N12°35'19"E	22.23			
L14	N7°30'42"E	26.13			
L15	N7°02'44"E	35.12			
L16	N2°24'41"E	15.26			
L17	N2°55'23"E	30.85			
L18	N2°26'04"E	22.23			
L19	S50°52'48"E	32.10			
L20	N29°00'50"W	16.77			

LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

WILDFLOWER VILLAGE 9 PLAT Y-1

LOCATED IN THE SOUTHEAST QUARTER AND SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 2 OF 5

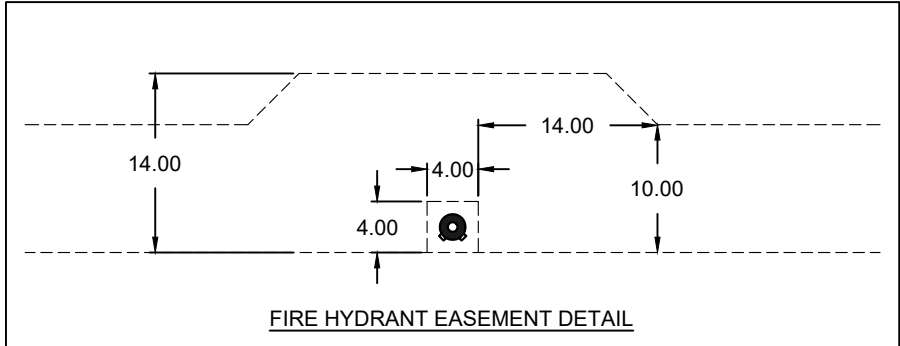
SURVEYOR'S SEAL

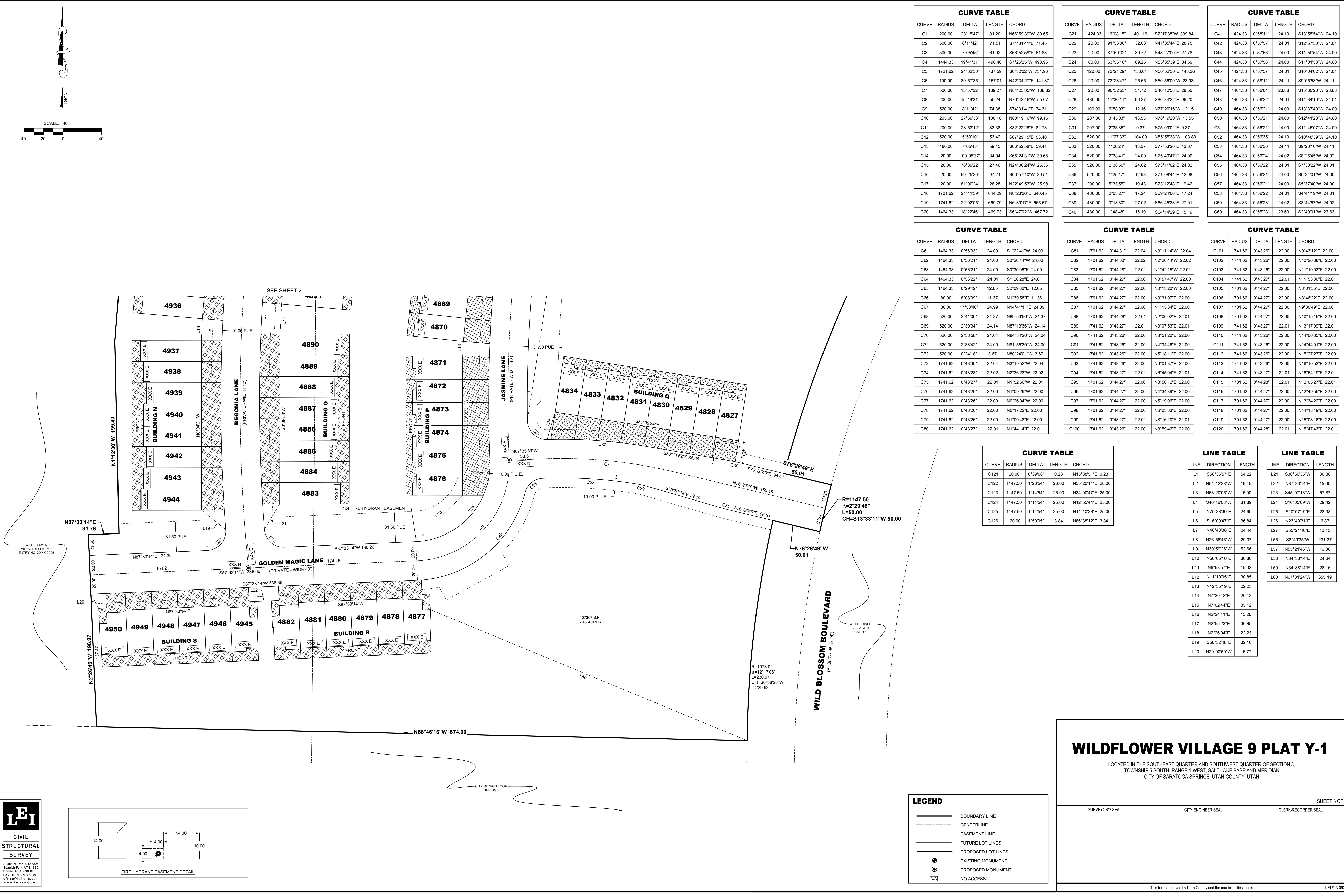
CITY ENGINEER SEAL

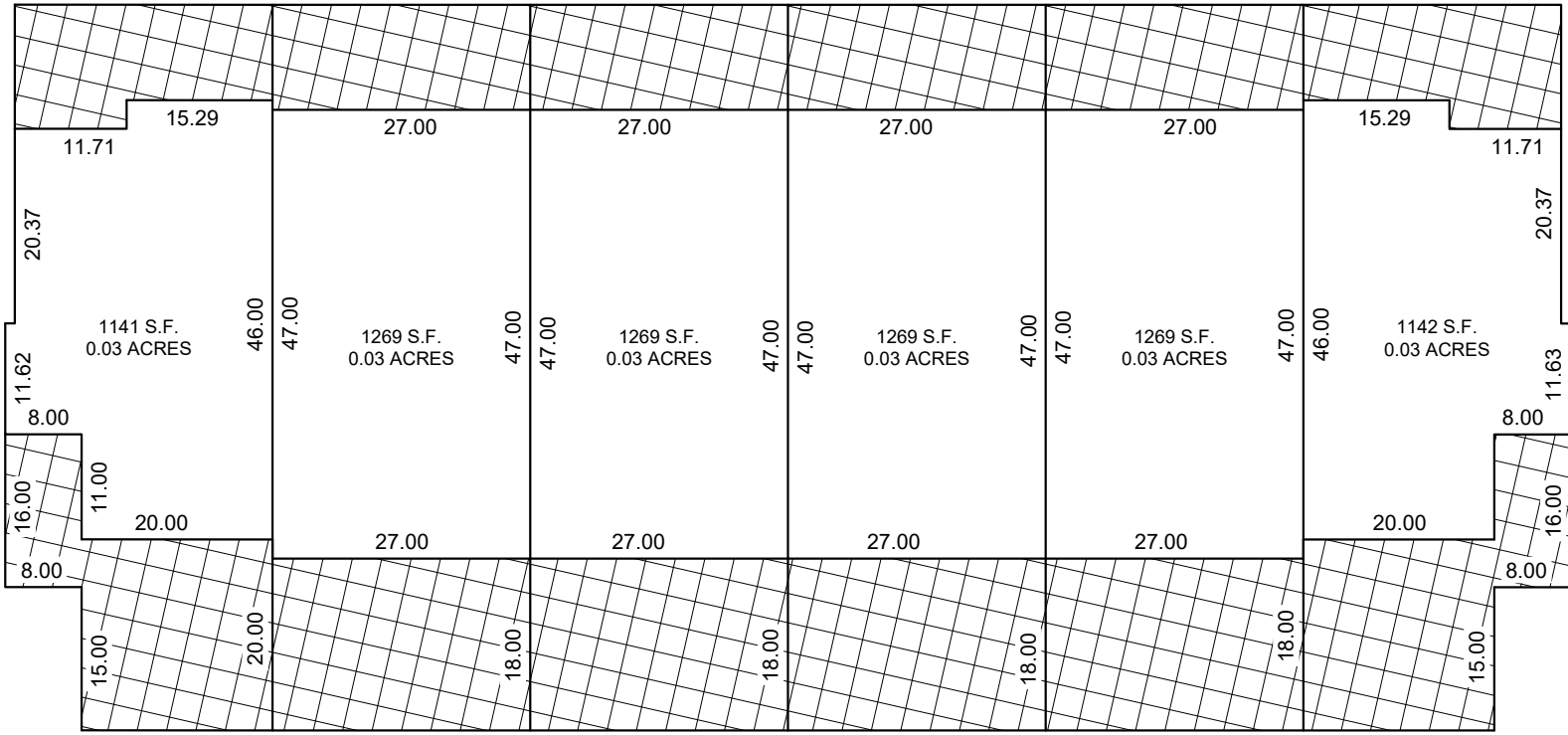
CLERK-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

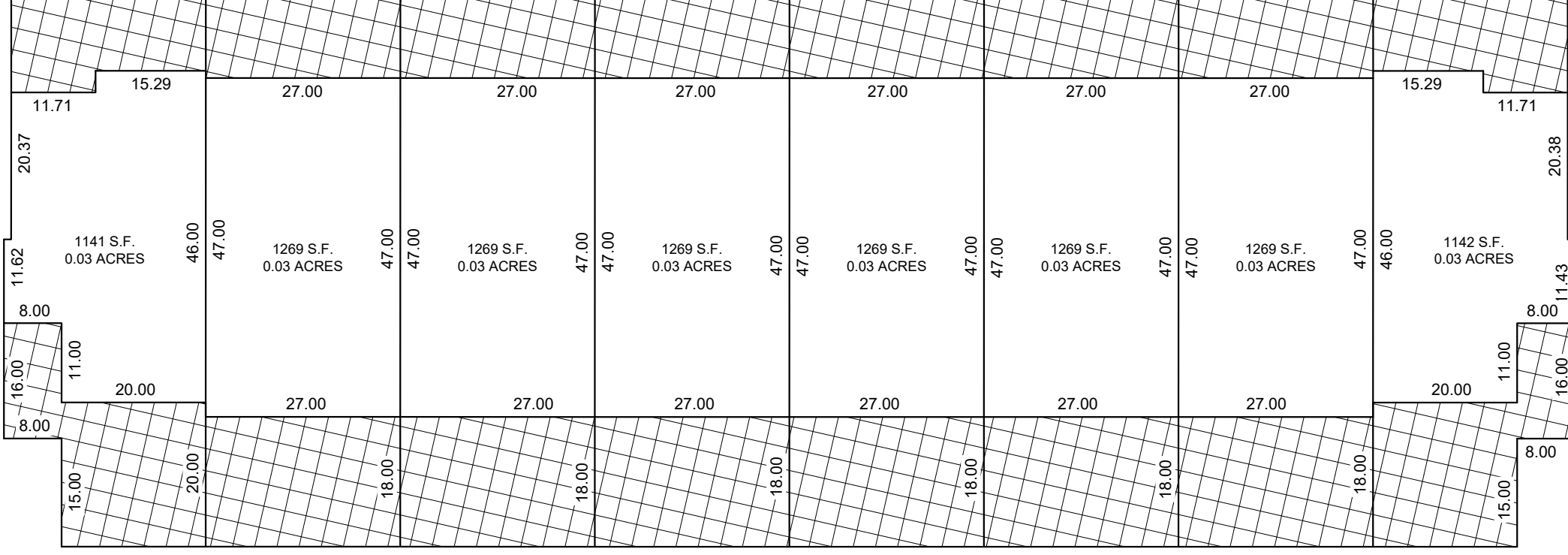
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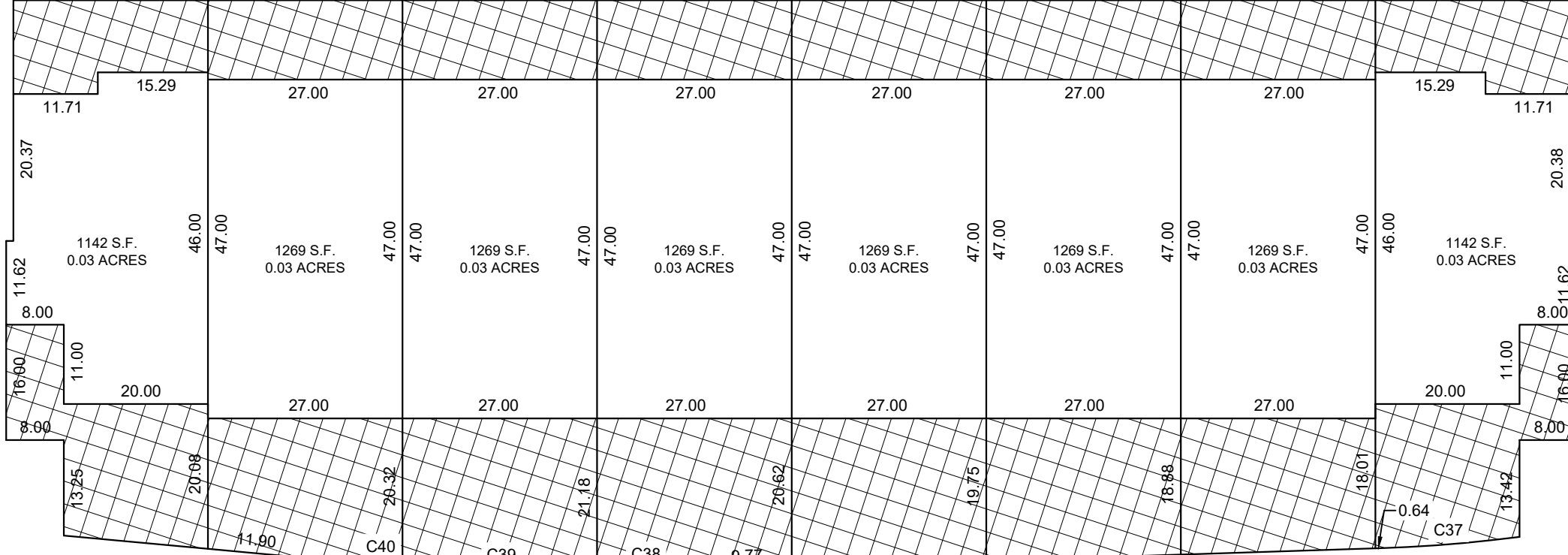




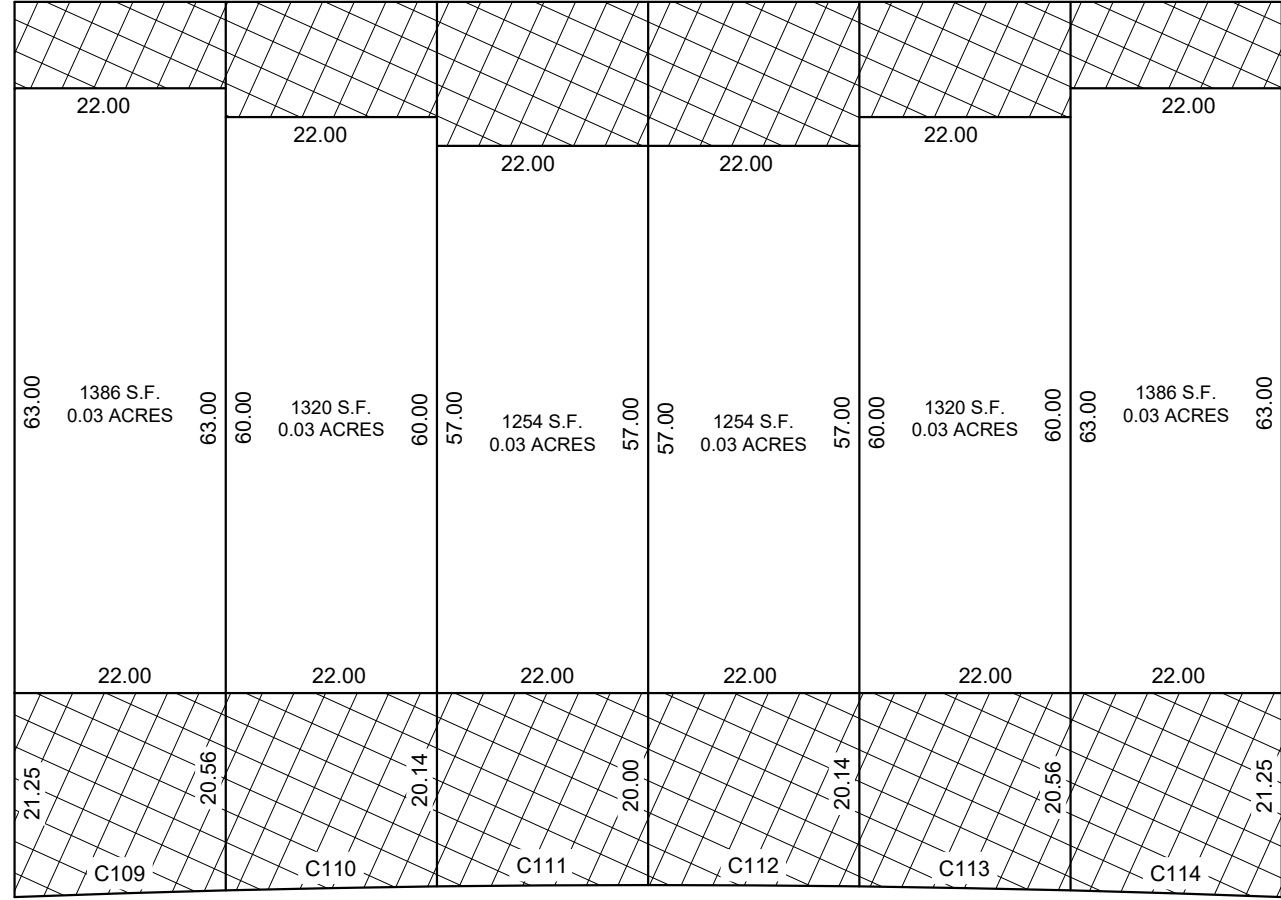
BUILDING A
LOTS 4913 THRU 4918



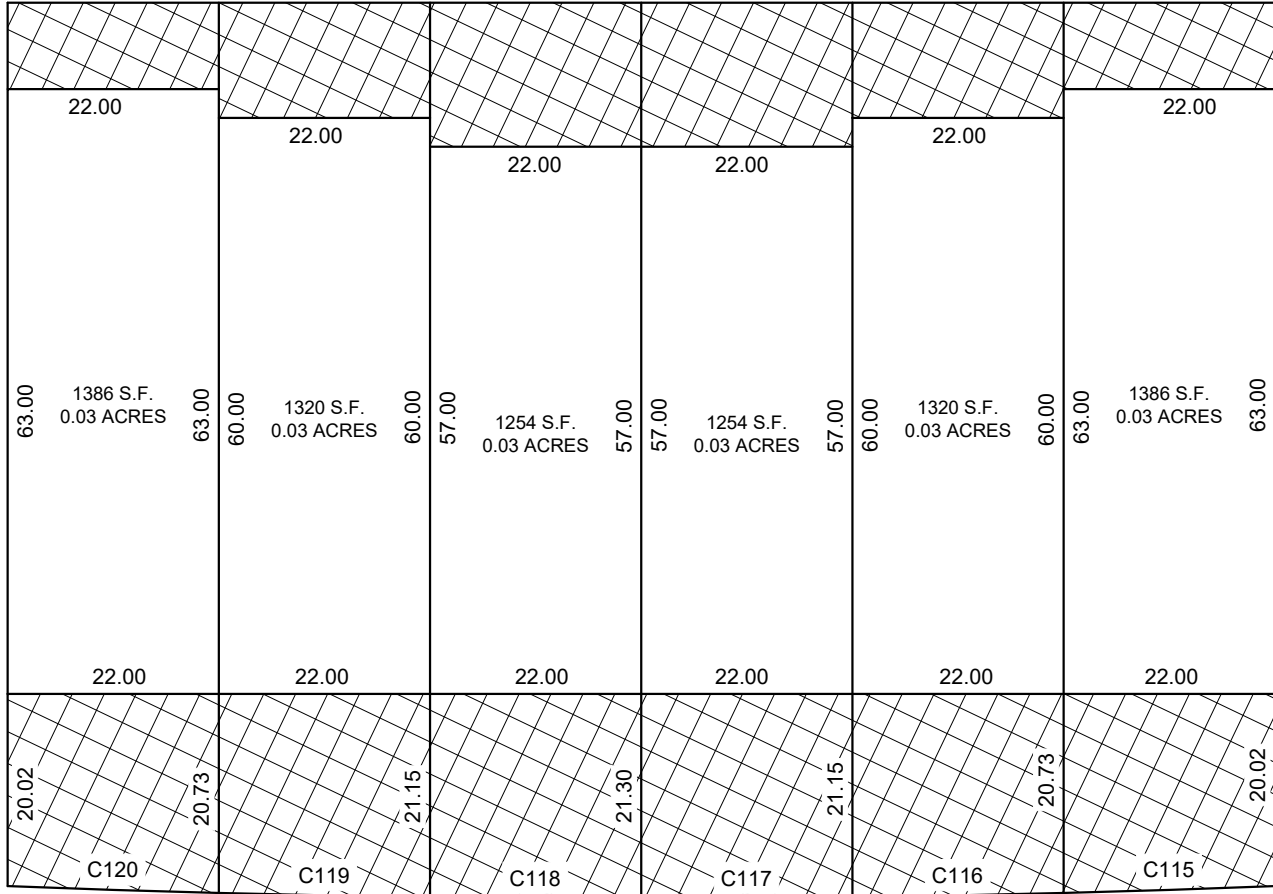
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LOTS 4905 THRU 4912



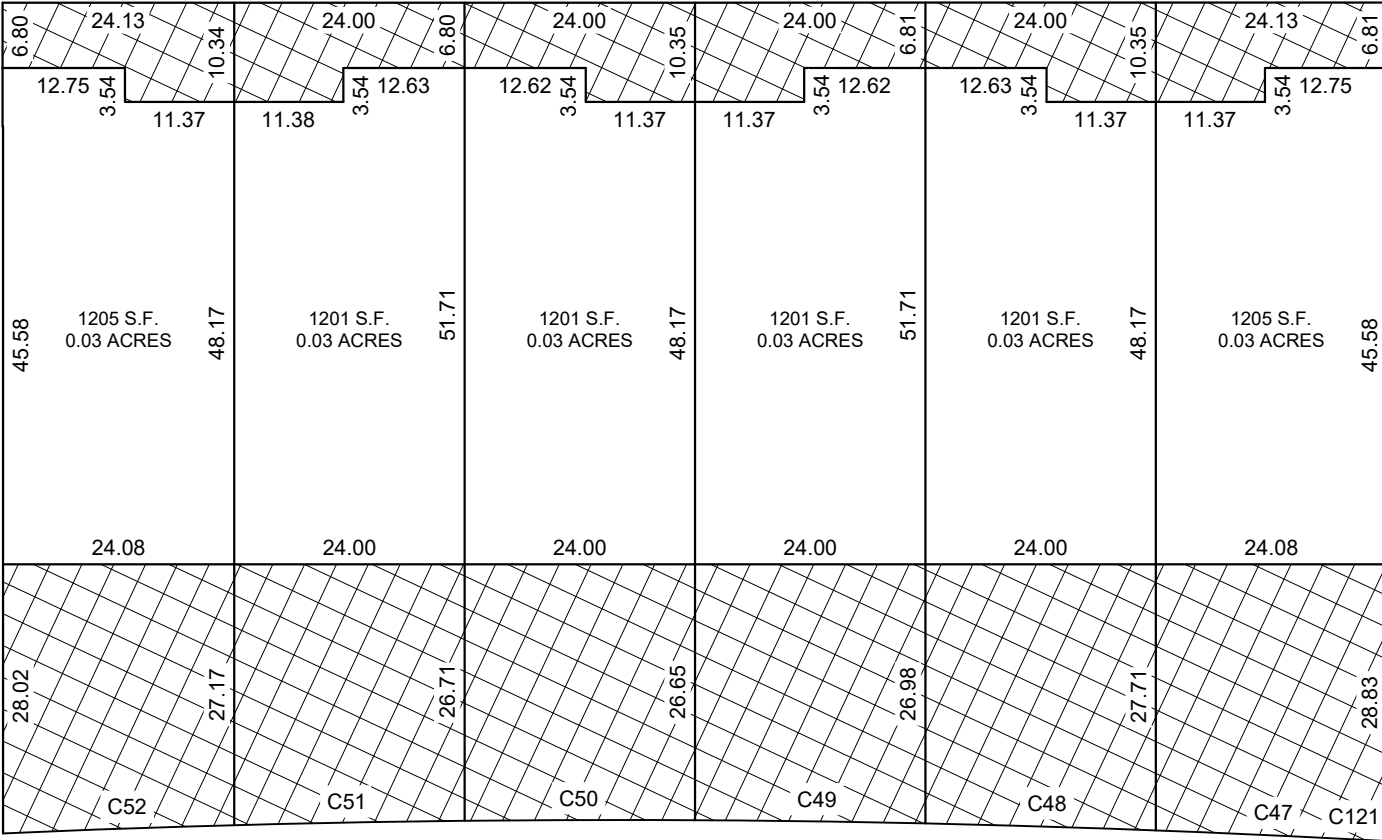
BUILDING C
LOTS 4849 THRU 4856



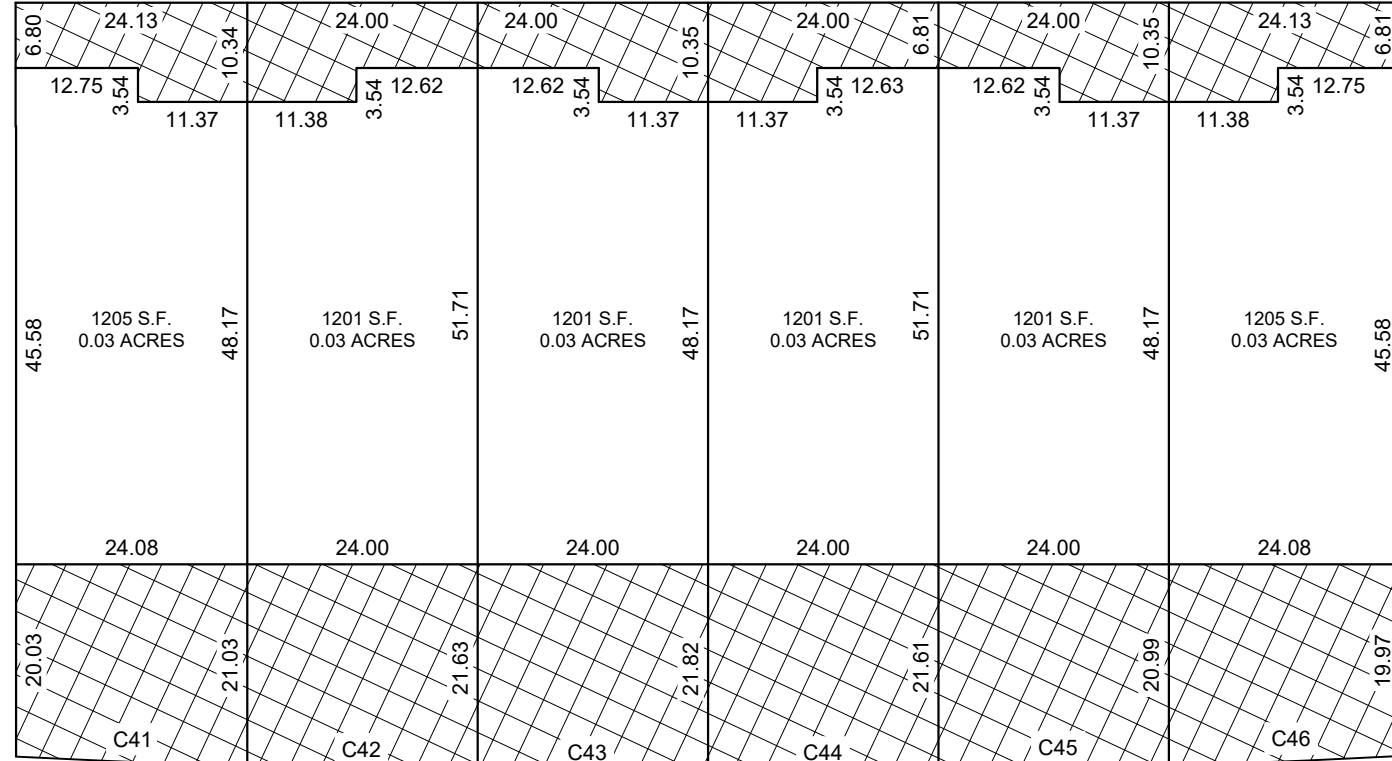
BUILDING D
LOTS 4919 THRU 4924



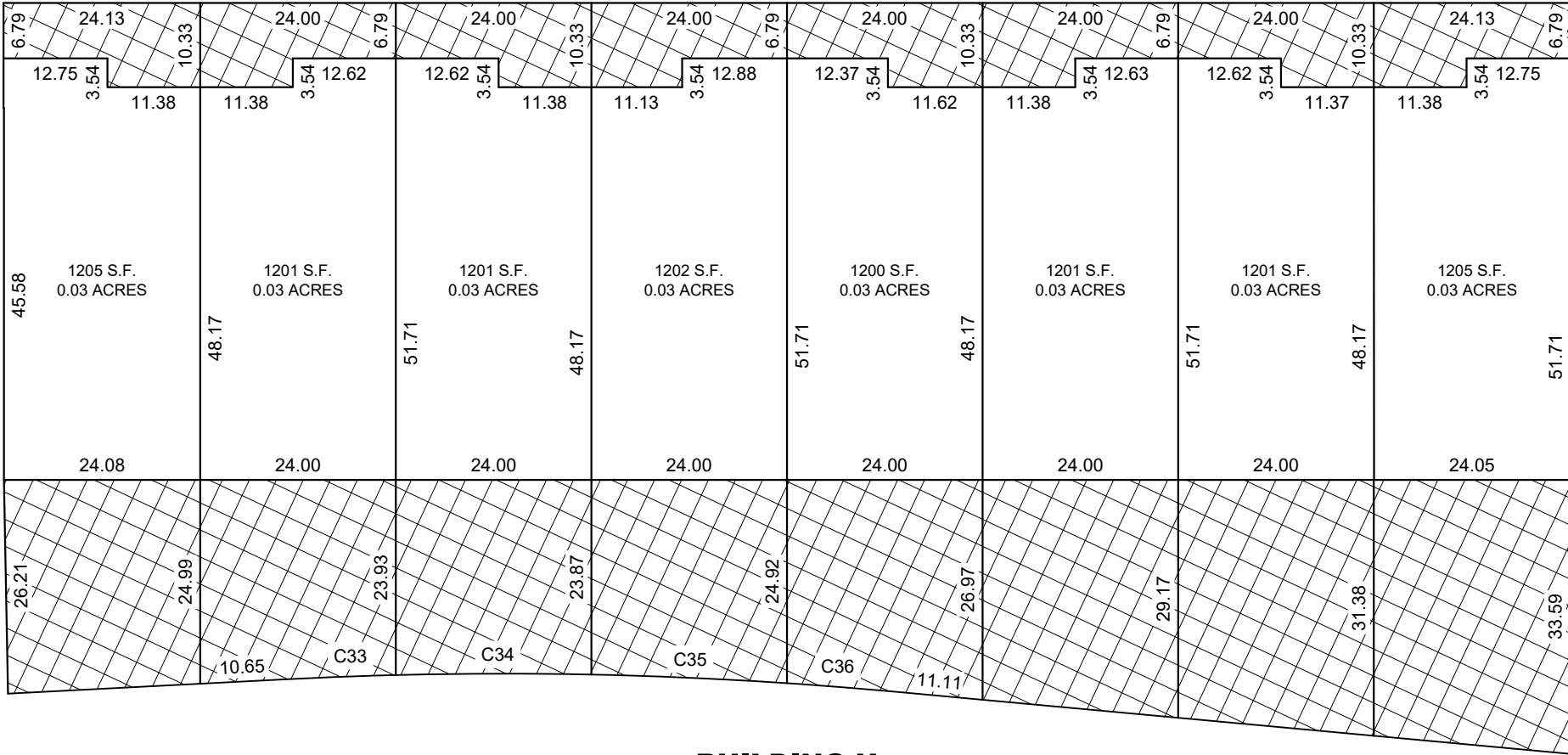
BUILDING E
LOTS 4899 THRU 4904



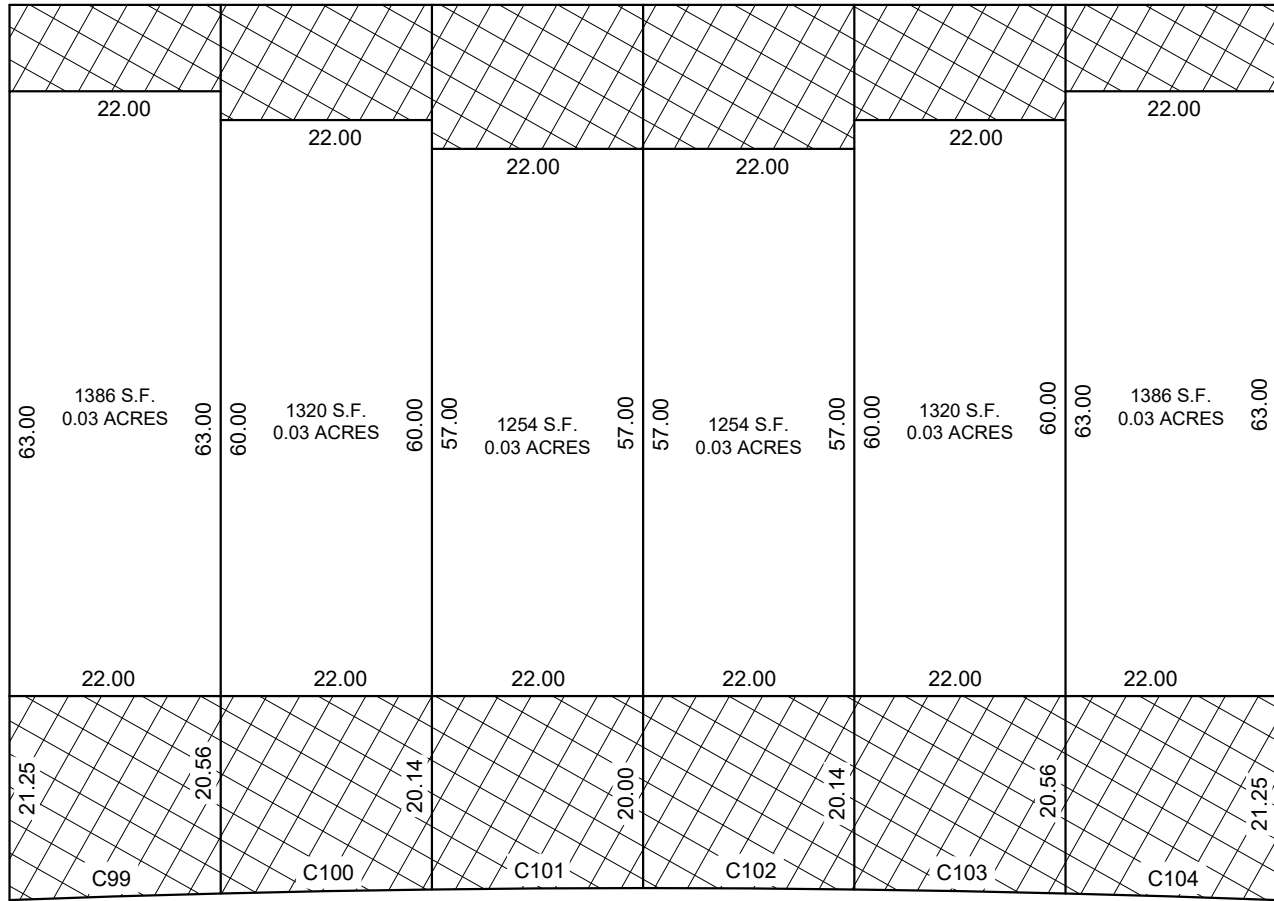
BUILDING F
LOTS 4857 THRU 4862



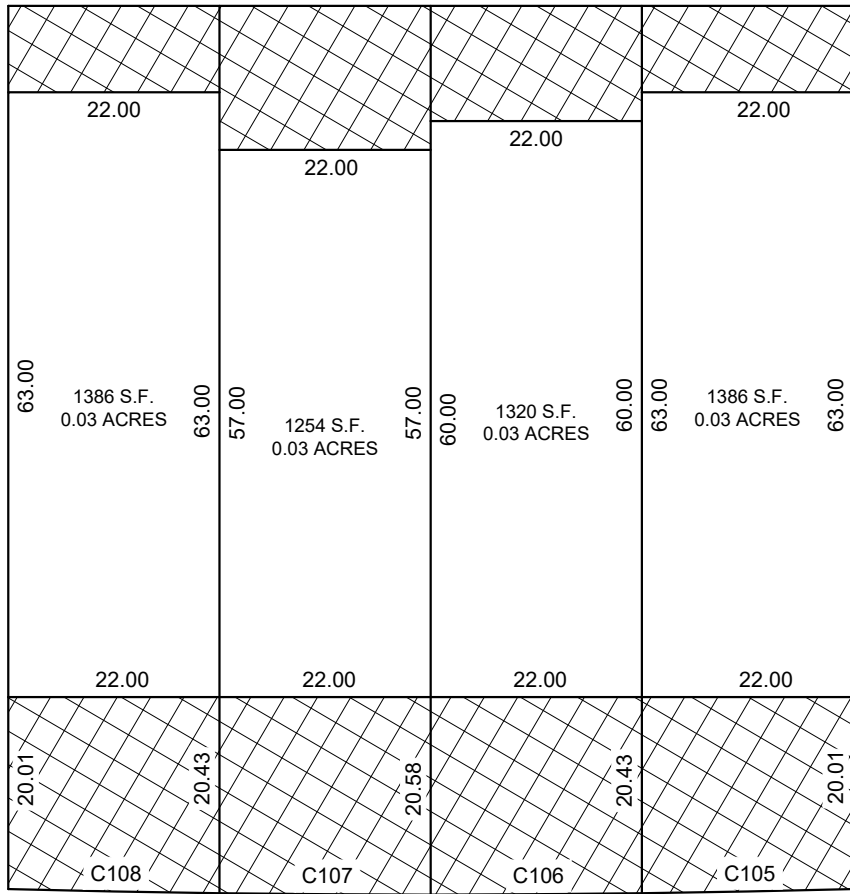
BUILDING G
LOTS 4835 THRU 4840



BUILDING H
LOTS 4841 THRU 4848



BUILDING I
LOTS 4925 THRU 4930



BUILDING J
LOTS 4895 THRU 4898



LEGEND	
	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

WILDFLOWER VILLAGE 9 PLAT Y-1

LOCATED IN THE SOUTHEAST QUARTER AND SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 4 OF 5		
SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL

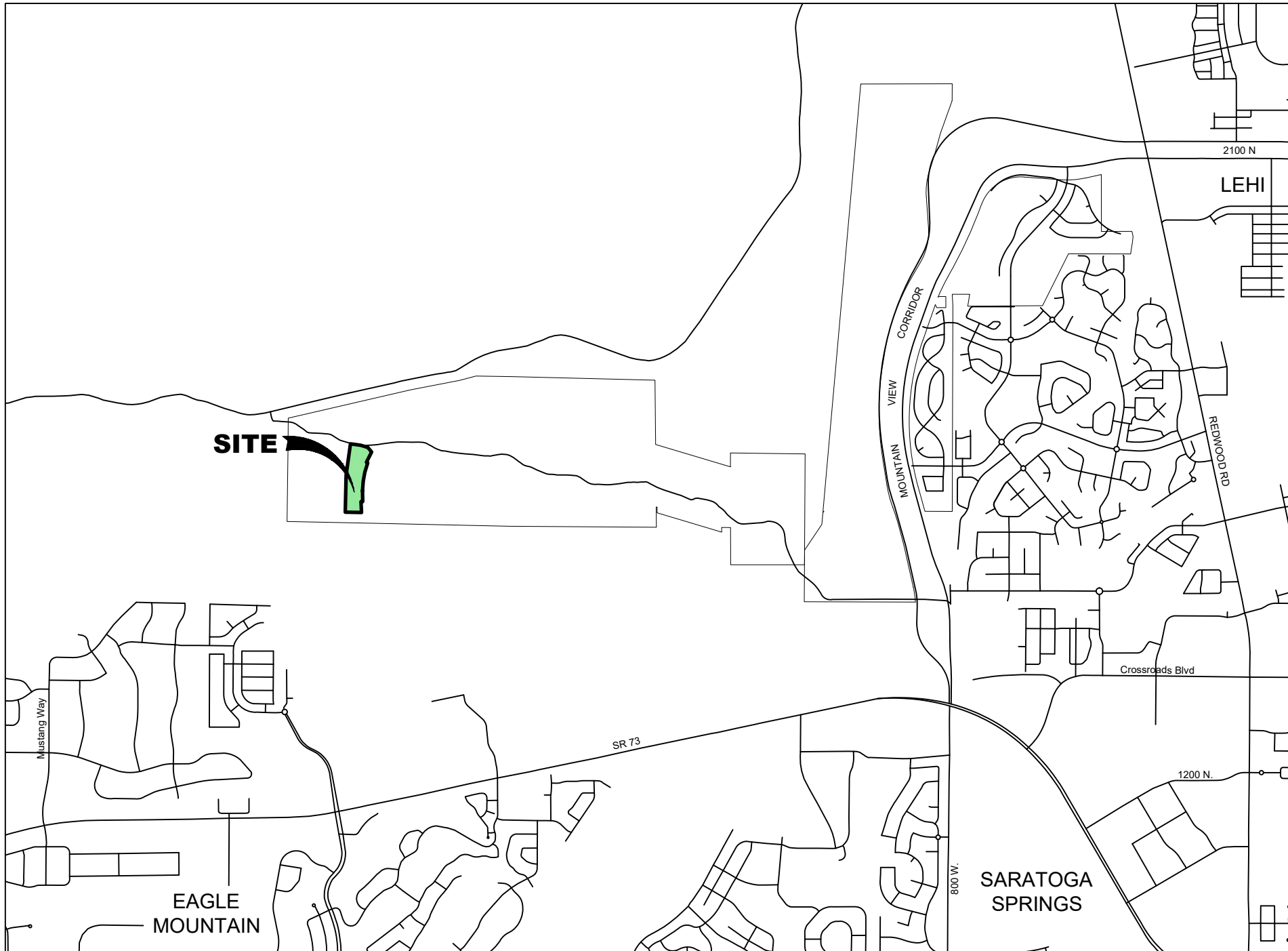
This form approved by Utah County and the municipalities therein.

LEI #13-0902

WILDFLOWER VILLAGE 9 PLAT Y-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

VICINITY MAP

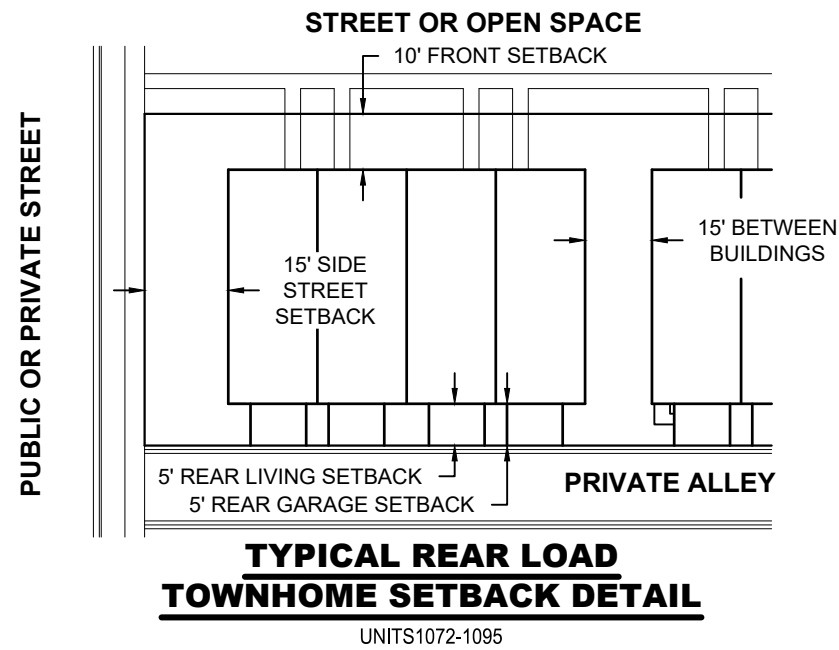


LEGEND

- BOUNDARY LINE
- CENTERLINE
- EASEMENT LINE
- EXISTING LOT LINES
- PROPOSED LOT LINES
- EXISTING MONUMENT
- PROPOSED MONUMENT
- NO ACCESS

NOTES:

- PLAT MAY BE RECORDED WITHIN 24 MONTHS OF FINAL PLAT APPROVAL, OR FOR PHASED DEVELOPMENTS, WITHIN 24 MONTHS OF RECORDATION OF MOST RECENT PHASE. THE FIRST FINAL PLAT APPROVAL WAS GRANTED ON THE ____ DAY OF _____, 20__.
- PRIOR TO BUILDING PERMITS BEING ISSUED, SOIL TESTING STUDIES MAY BE REQUIRED ON EACH LOT AS DETERMINED BY THE CITY BUILDING OFFICIAL.
- THIS PLAT MAY BE SUBJECT TO A DEVELOPMENT AGREEMENT THAT SPECIFIES THE CONDITIONS OF DEVELOPING, BUILDING, AND USING PROPERTY WITHIN THIS PLAT. SEE CITY RECORDER FOR DETAILS.
- PLAT IS SUBJECT TO "INSTALLATION OF IMPROVEMENTS AND BOND AGREEMENT NO. _____" WHICH REQUIRES THE CONSTRUCTION AND WARRANTY OF IMPROVEMENTS IN THIS SUBDIVISION. THESE OBLIGATIONS RUN WITH LAND AND ARE BINDING ON SUCCESSORS, AGENTS, AND ASSIGNS OF DEVELOPER. THERE ARE NO THIRD-PARTY RIGHTS OR BENEFICIARIES UNDER THIS AGREEMENT.
- BUILDING PERMITS WILL NOT BE ISSUED UNTIL ALL IMPROVEMENTS HAVE BEEN INSTALLED PER CITY STANDARDS AND ALL FEES INCLUDING IMPACT AND CONNECTION FEES ARE PAID.
- ALL OPEN SPACE, COMMON SPACE, AND TRAIL IMPROVEMENTS LOCATED HEREIN ARE TO BE INSTALLED BY OWNER AND MAINTAINED BY A HOMEOWNERS ASSOCIATION UNLESS SPECIFIED OTHERWISE ON EACH IMPROVEMENT.
- REFERENCES HEREIN TO DEVELOPER OR OWNER SHALL APPLY TO BOTH, AND ANY SUCH REFERENCE SHALL ALSO APPLY TO SUCCESSORS, AGENTS, AND ASSIGNS.
- NO CITY MAINTENANCE SHALL BE PROVIDED FOR STREETS AND IMPROVEMENTS DESIGNATED AS "PRIVATE" ON THIS PLAT.
- LOTS/UNITS MAY BE SUBJECT TO ASSOCIATION BYLAWS, ARTICLES OF INCORPORATION AND CC&R'S.
- A GEOTECHNICAL REPORT HAS BEEN COMPLETED BY INTERMOUNTAIN GEOENVIRONMENTAL SERVICES, INC. WHICH ADDRESSES SOIL AND GROUNDWATER CONDITIONS, PROVIDES ENGINEERING DESIGN CRITERIA, AND RECOMMENDS MITIGATION MEASURES IF PROBLEMATIC CONDITIONS WERE ENCOUNTERED. THE CITY ASSUMES NO LIABILITY OR RESPONSIBILITY FOR ANY RELIANCE ON THE INFORMATION OR LACK THEREOF IN THE REPORT.
- AGRICULTURAL USES, OPERATIONS, AND RIGHTS ARE ADJACENT TO OR NEAR THE PLAT AND LOTS. THE LOTS IN THIS PLAT ARE SUBJECT TO THE SIGHTS, SOUNDS, ODORS, NUISANCES, AND ASPECTS ASSOCIATED WITH AGRICULTURAL OPERATIONS, USES AND RIGHTS. THESE USES AND OPERATIONS MAY OCCUR AT ALL TIMES OF THE DAY AND NIGHT INCLUDING WEEKENDS AND HOLIDAYS. THE CITY IS NOT RESPONSIBLE OR LIABLE FOR THESE USES AND IMPACTS AND WILL NOT RESTRICT ANY GRANDFATHERED AGRICULTURAL USE FROM CONTINUING TO OCCUR LAWFULLY.
- DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING. EXCESS OR CONCENTRATED DRAINAGE SHALL BE CONTAINED ON SITE OR DIRECTED TO AN APPROVED DRAINAGE FACILITY. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
- THE BENCHMARK FOR THE TOPOGRAPHIC INFORMATION PROVIDED HEREON IS THE FOUND 2002 UTAH COUNTY MONUMENT AT THE NORTH 1/4 CORNER OF SECTION 22, WITH A PUBLISHED UTAH COUNTY (NAD83) ELEVATION OF 4,625.47 FEET.
- AREA SHOWN HEREON FALLS WITHIN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD PLAIN) AS PER FIRM MAP NO. 4955170115B WITH AN EFFECTIVE DATE OF OCTOBER 15, 1982.
- A TITLE REPORT PREPARED BY _____ TITLE COMPANY, ORDER NO. _____, EFFECTIVE DATE: _____, 20__ WAS USED IN THE PREPARATION OF THIS PLAT AND LEI CONSULTING ENGINEERS AND SURVEYORS, INC. IS ENTITLED TO RELY ON THE ACCURACY OF THIS REPORT, AND IS NOT LIABLE FOR ERRORS AND OMISSIONS BASED ON THE RELIANCE OF SAID TITLE REPORT. ALL EASEMENTS OF RECORD SHOWN HEREON ARE REFERENCED FROM SAID REPORT.



ENBRIDGE GAS UTAH ACCEPTANCE

QUESTAR GAS COMPANY, DBA ENBRIDGE GAS UTAH ("ENBRIDGE"), APPROVES THIS PLAT SOLELY TO CONFIRM THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. THIS APPROVAL DOES NOT (A) AFFECT ANY RIGHT ENBRIDGE HAS UNDER TITLE 54, CHAPTER 8A, A RECORDED EASEMENT OR RIGHT-OF-WAY, PRESCRIPTIVE RIGHTS, OR ANY PROVISION OF LAW; (B) CONSTITUTE ACCEPTANCE OF ANY TERMS CONTAINED IN ANY PORTION OF THE PLAT; AND (C) GUARANTEE ANY TERMS OR WAIVE ENBRIDGE'S RIGHT TO REQUIRE ADDITIONAL EASEMENTS FOR GAS SERVICE.

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____

QUESTAR GAS COMPANY DBA ENBRIDGE GAS UTAH TITLE: _____

ROCKY MOUNTAIN POWER

- PURSUANT TO UTAH CODE ANN. 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
- PURSUANT TO UTAH CODE ANN. 17-27A-603(4)(c)(iii) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PUE AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT EFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
 - A RECORDED EASEMENT OR RIGHT-OF-WAY
 - THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
 - TITLE 54, CHAPTER 8a, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
 - ANY OTHER PROVISION OF LAW

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

ROCKY MOUNTAIN POWER

PLANNING DIRECTOR

APPROVED BY THE PLANNING DIRECTOR ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY ENGINEER

APPROVED BY THE CITY ENGINEER ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY ENGINEER

APPROVED BY THE LAND USE AUTHORITY ON THIS ____ DAY OF _____, A.D. 20 ____.

LAND USE AUTHORITY

APPROVED BY THE FIRE CHIEF ON THIS ____ DAY OF _____, A.D. 20 ____.

CITY FIRE CHIEF

CENTURY LINK

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

CENTURY LINK

APPROVED THIS ____ DAY OF _____, A.D. 20 ____.

COMCAST CABLE TELEVISION

APPROVED BY SARATOGA SPRINGS ATTORNEY ON THIS ____ DAY OF _____, A.D. 20 ____.

SARATOGA SPRINGS ATTORNEY

APPROVED BY POST OFFICE REPRESENTATIVE ON THIS ____ DAY OF _____, A.D. 20 ____.

LEHI CITY POST OFFICE

LEHI CITY POST OFFICE REPRESENTATIVE

SURVEYOR'S CERTIFICATE

I, CHAD A. POULSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE, CERTIFICATE NO. 501182, IN ACCORDANCE WITH THE PROFESSIONAL ENGINEER AND LAND SURVEYORS LICENSING ACT FOUND IN TITLE 58, CHAPTER 22 OF THE UTAH CODE. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 54-8A-2, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. I ALSO CERTIFY THAT I HAVE FILED, OR WILL FILE WITHIN 90 DAYS THE RECORDATION OF THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN, LOCATED IN SARATOGA SPRINGS, UTAH, DESCRIBED AS FOLLOWS:
BEGINNING AT POINT LOCATED N89°07'54"W ALONG THE QUARTER SECTION LINE 49.26 FEET AND SOUTH 195.92 FEET FROM THE CENTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARING: N89°08'06"W BETWEEN THE EAST QUARTER CORNER OF SECTION 8 AND THE CENTER OF SECTION 8, TSS, R1W, SUBSM); THENCE S28°39'55"W 210.14 FEET; THENCE S63°20'05"E 25.63 FEET; THENCE S17°02'59"W 174.67 FEET; THENCE S10°22'33"W 165.60 FEET; THENCE S04°27'59"W 179.82 FEET; THENCE S01°12'30"E 199.40 FEET; THENCE S87°33'14"W 31.76 FEET; THENCE S02°26'46"E 198.97 FEET; THENCE N88°46'16"W 296.09 FEET; THENCE N01°13'44"E 683.64 FEET; THENCE N07°54'23"E 572.94 FEET; THENCE S82°05'35"E 189.72 FEET; THENCE S73°30'30"E 136.36 FEET; THENCE S39°21'34"E 109.36 FEET TO THE POINT OF BEGINNING.

CONTAINS: ±9.30 ACRES
405,229 SQ. FT.

DATE

SURVEYOR

LICENSE NO. 501182

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS, AND STREETS, TOGETHER WITH EASEMENTS AND RIGHTS-OF-WAY, TO BE HEREAFTER KNOWN AS:

PLAT NAME AND PHASE

AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC AND CITY ALL PARCELS, LOTS, STREETS, EASEMENTS, RIGHTS-OF-WAY, AND PUBLIC AMENITIES SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC OR CITY THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS VOLUNTARILY DEFEND, INDEMNIFY, AND SAVE HARMLESS THE CITY AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET EASEMENT, OR RIGHT-OF-WAY THAT WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET OR UTILITIES. THE OWNER(S) AND ALL AGENTS, SUCCESSORS, AND ASSIGNS ASSUME ALL LIABILITY WITH RESPECT TO THE CREATION OF THIS SUBDIVISION, THE ALTERATION OF THE GROUND SURFACE, VEGETATION, DRAINAGE, OR SURFACE OR SUB-SURFACE WATER FLOWS WITHIN THIS SUBDIVISION AND THE DEVELOPMENT ACTIVITY WITHIN THIS SUBDIVISION BY THE OWNERS AND ALL AGENTS, SUCCESSORS, AND ASSIGNS.

IN WITNESS WHEREOF I HAVE SET FORTH MY HAND THIS ____ DAY OF _____, A.D. 20 ____.

SIGNATURE

PRINT NAME

TITLE & ENTITY

SIGNATURE

PRINT NAME

TITLE & ENTITY

OWNERS ACKNOWLEDGMENT

STATE OF UTAH } S.S
COUNTY OF UTAH }

ON THIS ____ DAY OF _____, 20__ PERSONALLY APPEARED BEFORE ME

PRINT NAME

TITLE

ENTITY

WHO BEING BY ME DULY SWORN, DID PROVE TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THIS PLAT WITH FULL AUTHORITY OF THE OWNER(S).

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF UTAH THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC SIGNATURE

COMMISSION NUMBER

PRINT NAME AS COMMISSIONED

MY COMMISSION EXPIRES

A NOTARY PUBLIC COMMISSIONED IN UTAH

APPROVAL BY LEGISLATIVE BODY

THE CITY COUNCIL OF THE CITY OF SARATOGA SPRINGS, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.

THIS ____ DAY OF _____, A.D. 20 ____.

ATTEST

CITY MAYOR

CITY RECORDER (See Seal Below)

WILDFLOWER VILLAGE 9 PLAT Y-2

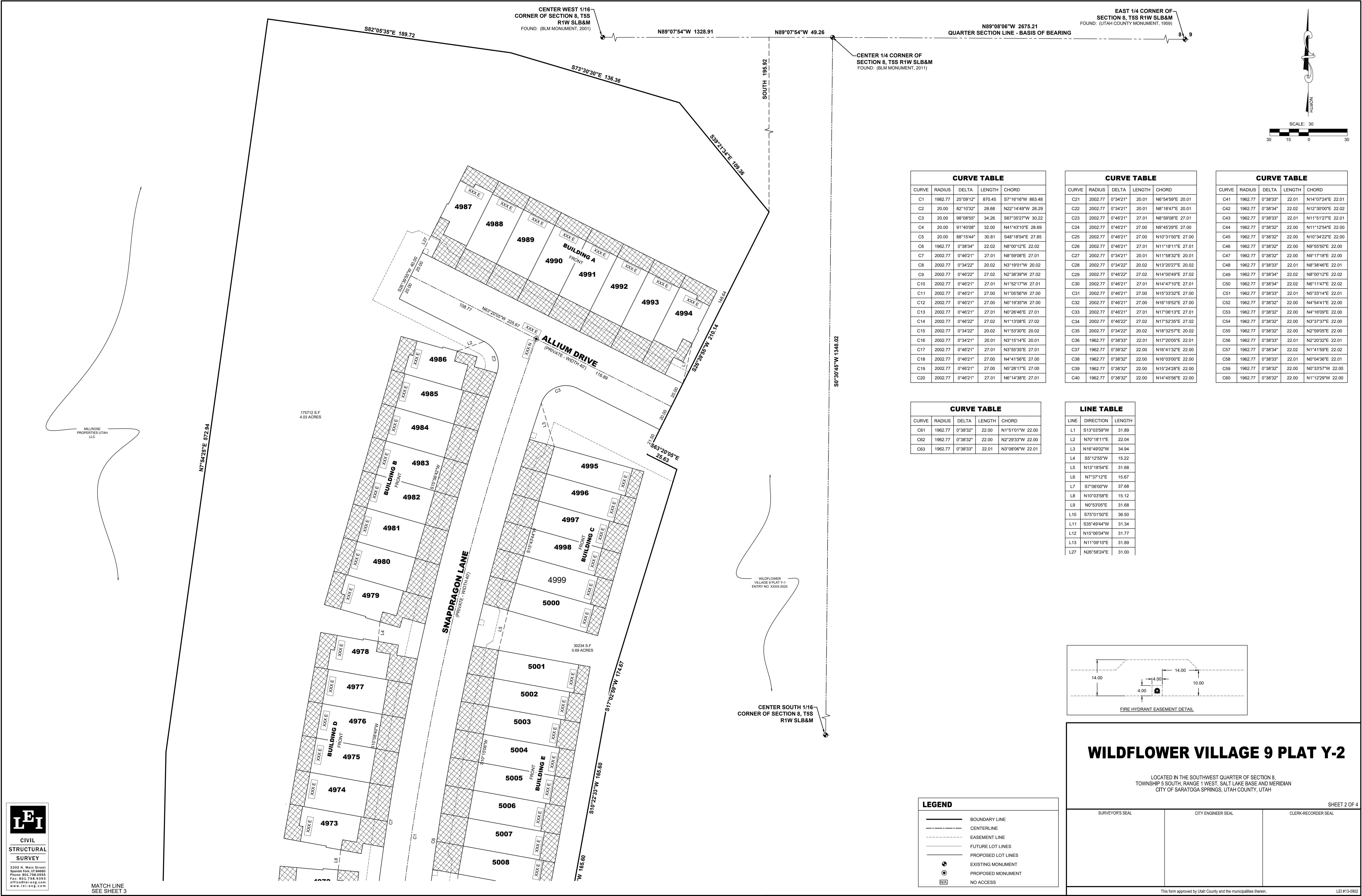
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SHEET 1 OF 4

SURVEYOR'S SEAL

CITY ENGINEER SEAL

CLERK-RECORDER SEAL



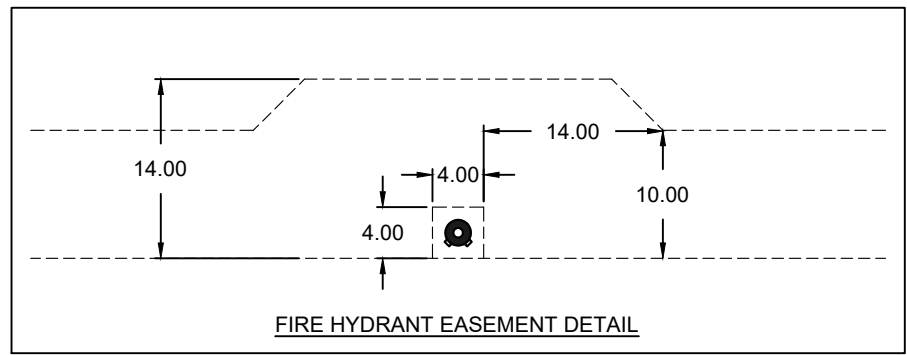
CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	1982.77	25°09'12"	870.45	S7°16'16"W 863.48
C2	20.00	82°10'32"	28.68	N22°14'49"W 26.29
C3	20.00	98°08'55"	34.26	S67°35'27"W 30.22
C4	20.00	91°40'08"	32.00	N41°43'10"E 28.69
C5	20.00	88°15'44"	30.81	S48°18'54"E 27.85
C6	1962.77	0°38'34"	22.02	N8°00'12"E 22.02
C7	2002.77	0°46'21"	27.01	N8°59'08"E 27.01
C8	2002.77	0°34'22"	20.02	N3°19'01"W 20.02
C9	2002.77	0°46'22"	27.02	N2°38'39"W 27.02
C10	2002.77	0°46'21"	27.01	N1°52'17"W 27.01
C11	2002.77	0°46'21"	27.00	N1°05'56"W 27.00
C12	2002.77	0°46'21"	27.00	N0°19'35"W 27.00
C13	2002.77	0°46'21"	27.01	N0°26'46"E 27.01
C14	2002.77	0°46'22"	27.02	N1°13'08"E 27.02
C15	2002.77	0°34'22"	20.02	N1°53'30"E 20.02
C16	2002.77	0°34'21"	20.01	N3°15'14"E 20.01
C17	2002.77	0°46'21"	27.01	N3°55'35"E 27.01
C18	2002.77	0°46'21"	27.00	N4°41'56"E 27.00
C19	2002.77	0°46'21"	27.00	N5°28'17"E 27.00
C20	2002.77	0°46'21"	27.01	N6°14'38"E 27.01

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C61	1962.77	0°38'32"	22.00	N1°51'01"W 22.00
C62	1962.77	0°38'32"	22.00	N2°29'33"W 22.00
C63	1962.77	0°38'33"	22.01	N3°08'08"W 22.01

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C21	2002.77	0°34'21"	20.01	N6°54'59"E 20.01
C22	2002.77	0°34'21"	20.01	N8°18'47"E 20.01
C23	2002.77	0°46'21"	27.01	N8°59'08"E 27.01
C24	2002.77	0°46'21"	27.00	N9°45'29"E 27.00
C25	2002.77	0°46'21"	27.00	N10°31'50"E 27.00
C26	2002.77	0°46'21"	27.01	N11°18'11"E 27.01
C27	2002.77	0°34'21"	20.01	N11°58'32"E 20.01
C28	2002.77	0°34'22"	20.02	N13°20'27"E 20.02
C29	2002.77	0°46'22"	27.02	N14°00'49"E 27.02
C30	2002.77	0°46'21"	27.01	N14°47'10"E 27.01
C31	2002.77	0°46'21"	27.00	N15°33'32"E 27.00
C32	2002.77	0°46'21"	27.00	N16°19'52"E 27.00
C33	2002.77	0°46'21"	27.01	N17°06'13"E 27.01
C34	2002.77	0°46'22"	27.02	N17°52'35"E 27.02
C35	2002.77	0°34'22"	20.02	N18°32'57"E 20.02
C36	1962.77	0°38'33"	22.01	N17°20'05"E 22.01
C37	1962.77	0°38'32"	22.00	N16°41'32"E 22.00
C38	1962.77	0°38'32"	22.00	N16°03'00"E 22.00
C39	1962.77	0°38'32"	22.00	N15°24'28"E 22.00
C40	1962.77	0°38'32"	22.00	N14°45'56"E 22.00

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C41	1962.77	0°38'33"	22.01	N14°07'24"E 22.01
C42	1962.77	0°38'34"	22.02	N12°30'00"E 22.02
C43	1962.77	0°38'33"	22.01	N11°51'27"E 22.01
C44	1962.77	0°38'32"	22.00	N11°12'54"E 22.00
C45	1962.77	0°38'32"	22.00	N10°34'22"E 22.00
C46	1962.77	0°38'32"	22.00	N9°55'50"E 22.00
C47	1962.77	0°38'32"	22.00	N9°17'18"E 22.00
C48	1962.77	0°38'33"	22.01	N8°38'46"E 22.01
C49	1962.77	0°38'34"	22.02	N8°00'12"E 22.02
C50	1962.77	0°38'34"	22.02	N6°11'47"E 22.02
C51	1962.77	0°38'33"	22.01	N5°33'14"E 22.01
C52	1962.77	0°38'32"	22.00	N4°54'41"E 22.00
C53	1962.77	0°38'32"	22.00	N4°16'09"E 22.00
C54	1962.77	0°38'32"	22.00	N3°37'37"E 22.00
C55	1962.77	0°38'32"	22.00	N2°59'05"E 22.00
C56	1962.77	0°38'33"	22.01	N2°20'32"E 22.01
C57	1962.77	0°38'34"	22.02	N1°41'59"E 22.02
C58	1962.77	0°38'33"	22.01	N0°04'36"E 22.01
C59	1962.77	0°38'32"	22.00	N0°33'57"W 22.00
C60	1962.77	0°38'32"	22.00	N1°12'29"W 22.00

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S13°03'59"W	31.89
L2	N70°18'11"E	22.04
L3	N16°49'02"W	34.94
L4	S5°12'55"W	15.22
L5	N13°18'54"E	31.68
L6	N7°37'12"E	15.67
L7	S7°06'00"W	37.68
L8	N10°03'58"E	15.12
L9	N0°53'05"E	31.68
L10	S75°01'50"E	36.50
L11	S35°49'44"W	31.34
L12	N15°06'04"W	31.77
L13	N11°09'10"E	31.89
L27	N26°58'24"E	31.00



WILDFLOWER VILLAGE 9 PLAT Y-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SURVEYOR'S SEAL

CITY ENGINEER SEAL

CLERK-RECORDER SEAL

WILDFLOWER VILLAGE 9 PLAT Y-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

WILDFLOWER VILLAGE 9 PLAT Y-2

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

LEI

CIVIL
STRUCTURAL
SURVEY

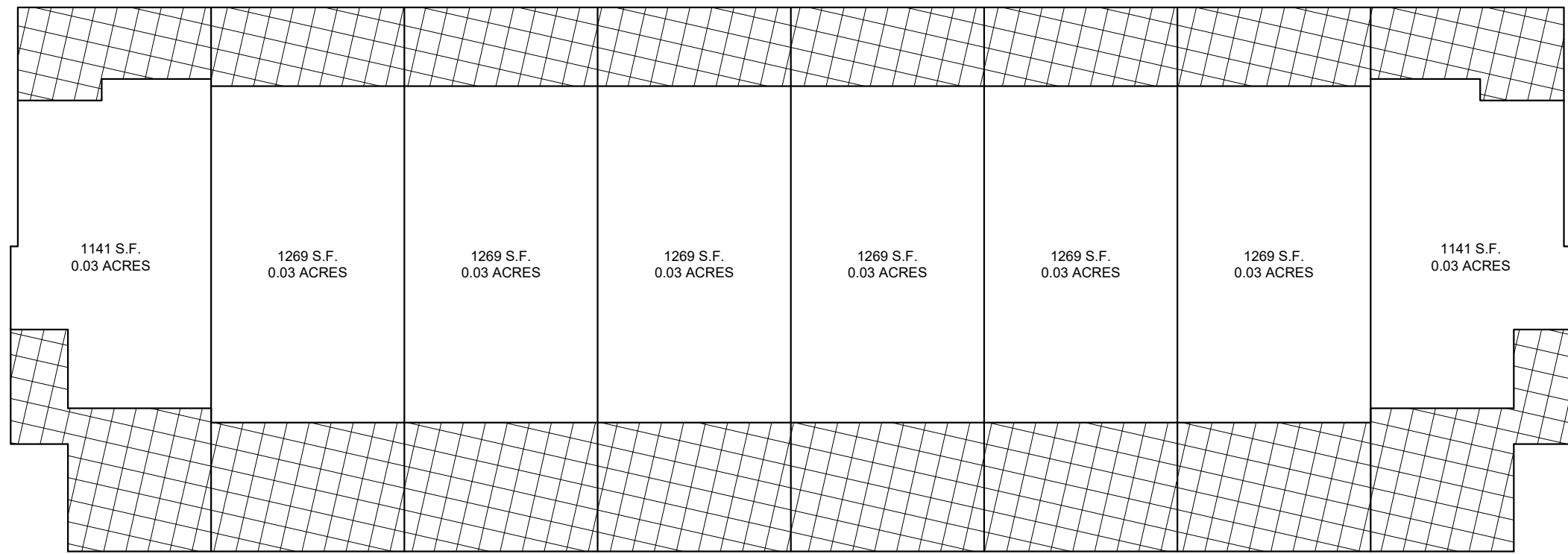
3302 N. Main Street
Spokane Falls, UT 84600
Phone: 801.798.0555
Fax: 801.798.9353
office@lei-eng.com
www.lei-eng.com

MATCH LINE
SEE SHEET 3

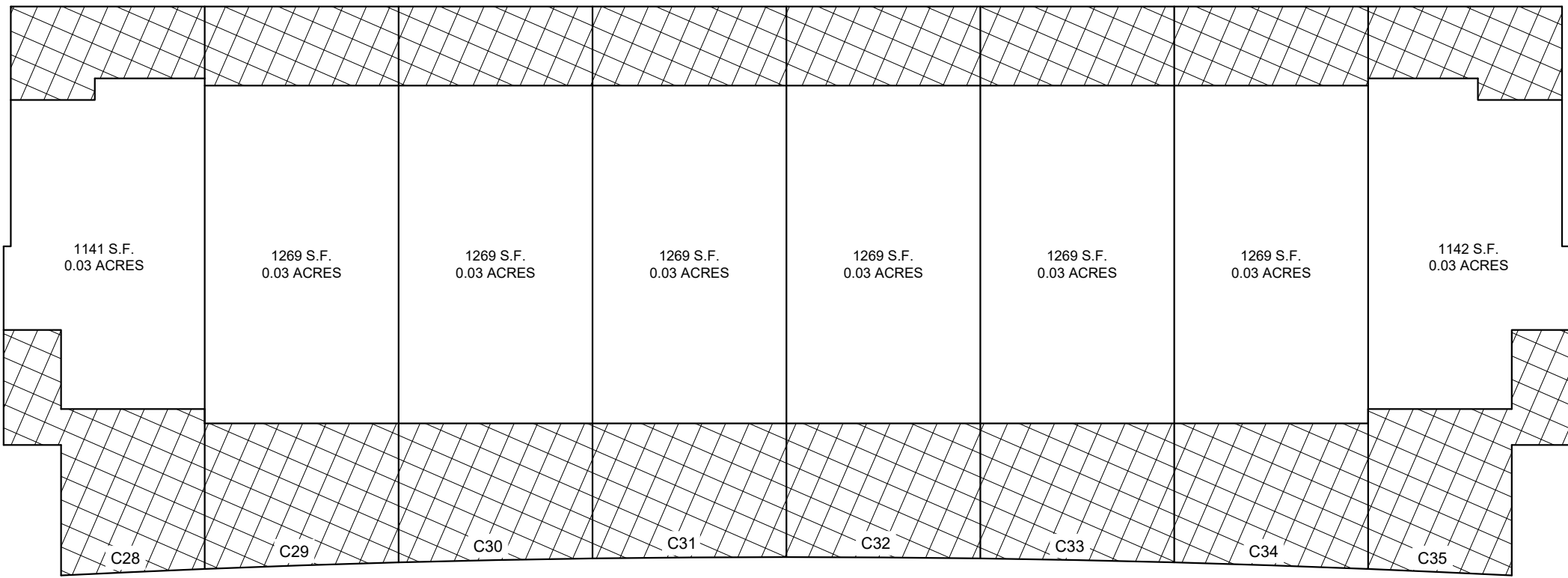
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	BOUNDARY LINE
	CENTERLINE
	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

This form approved by Utah County and the municipalities therein.

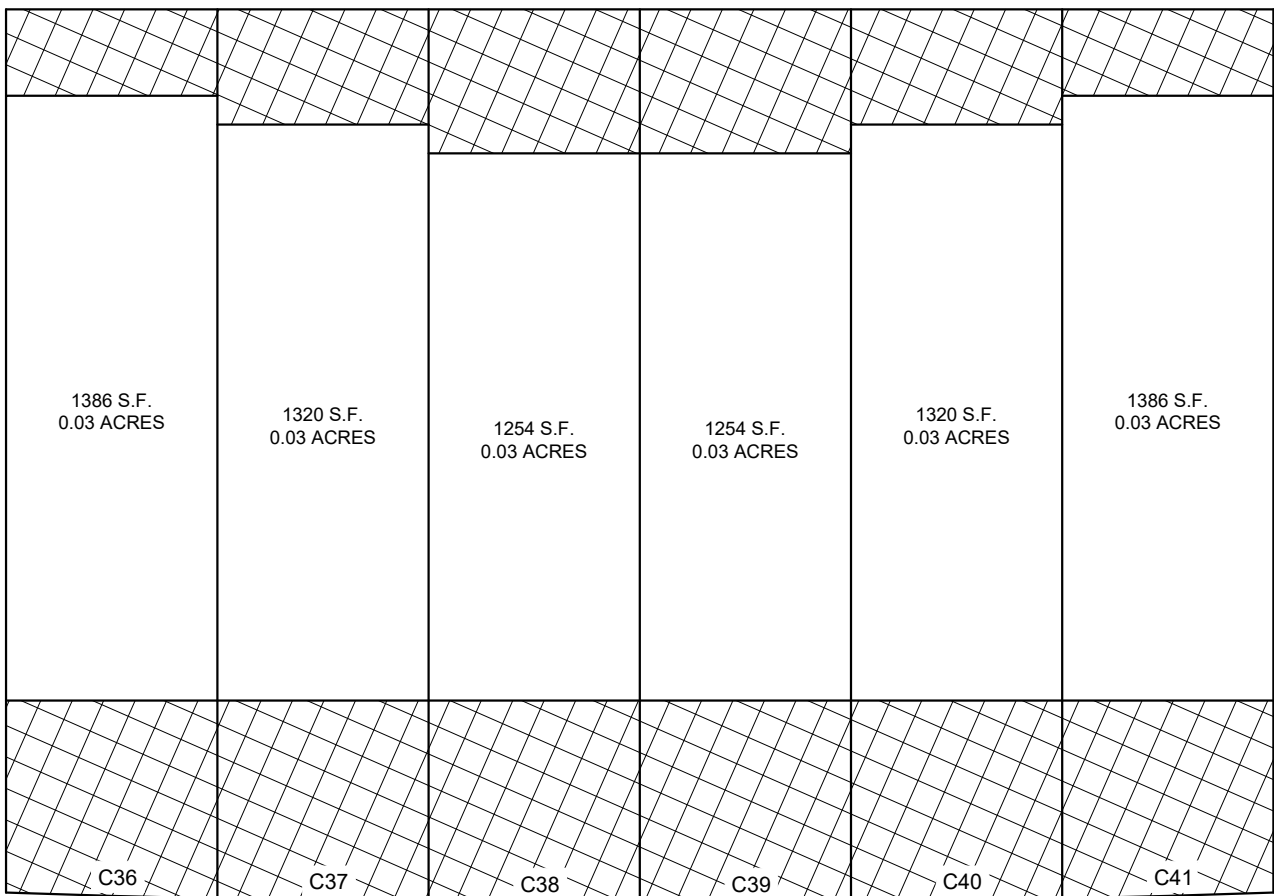
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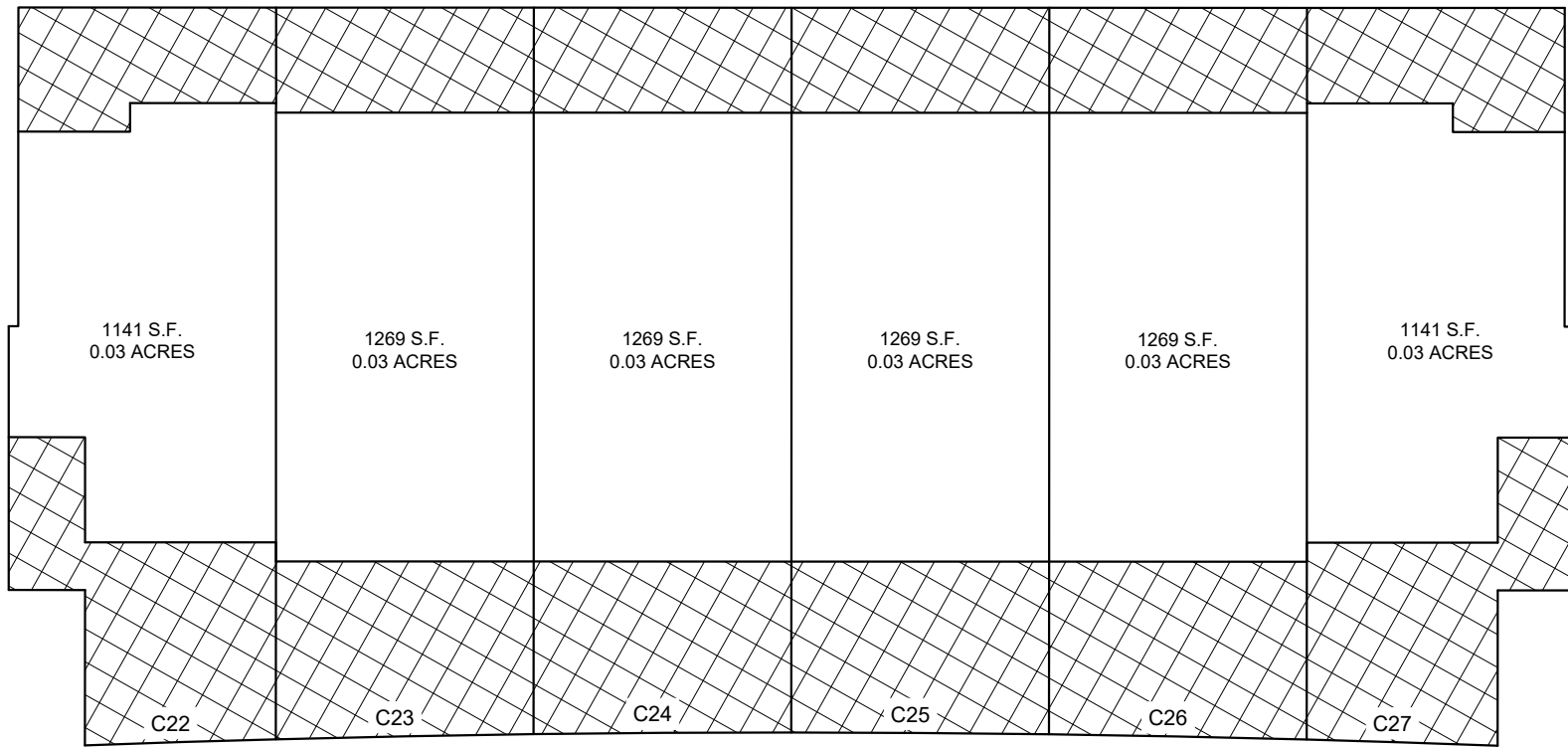
BUILDING A
LOTS 4987 THRU 4994



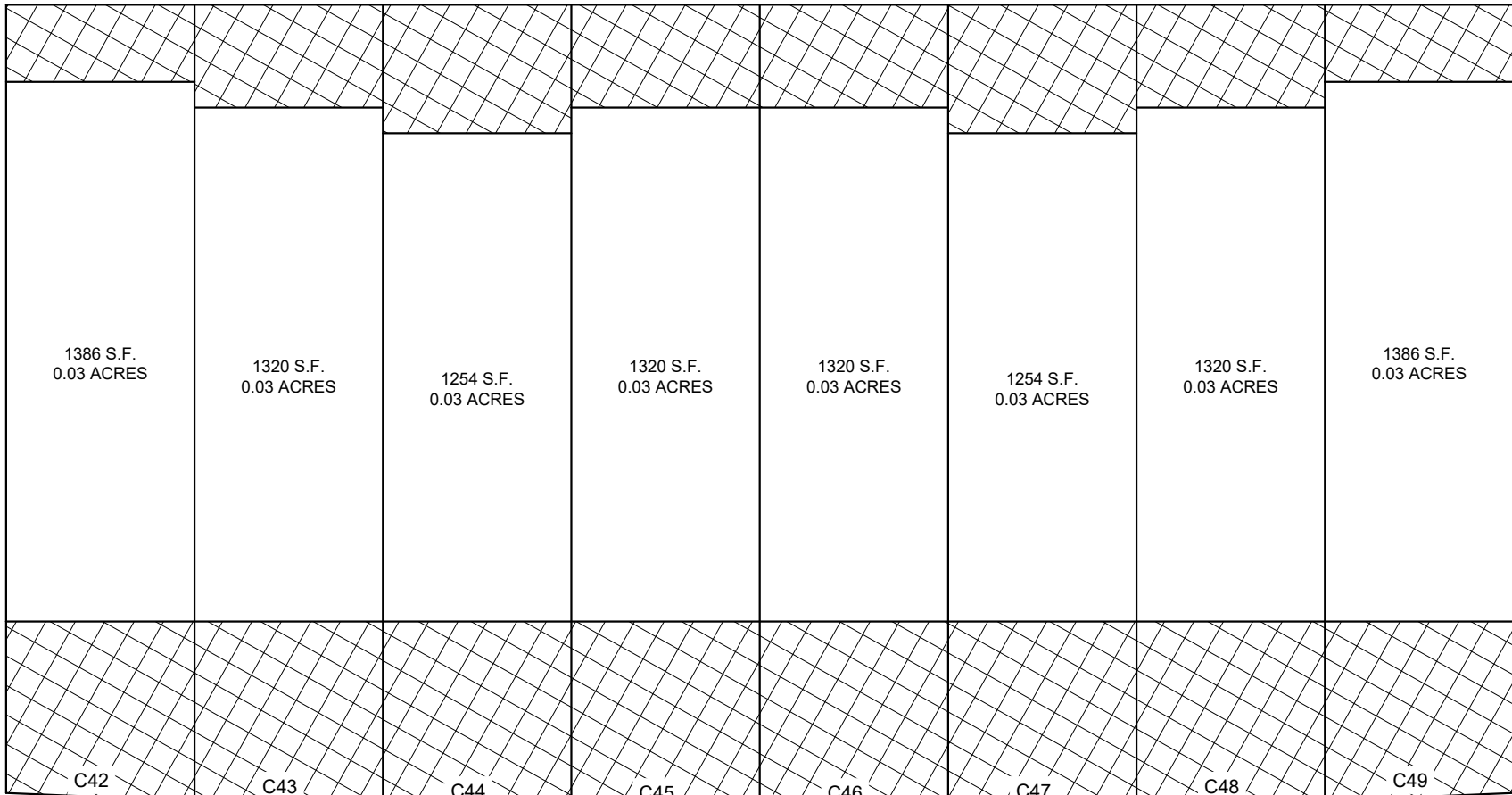
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LOTS 4979 THRU 4986



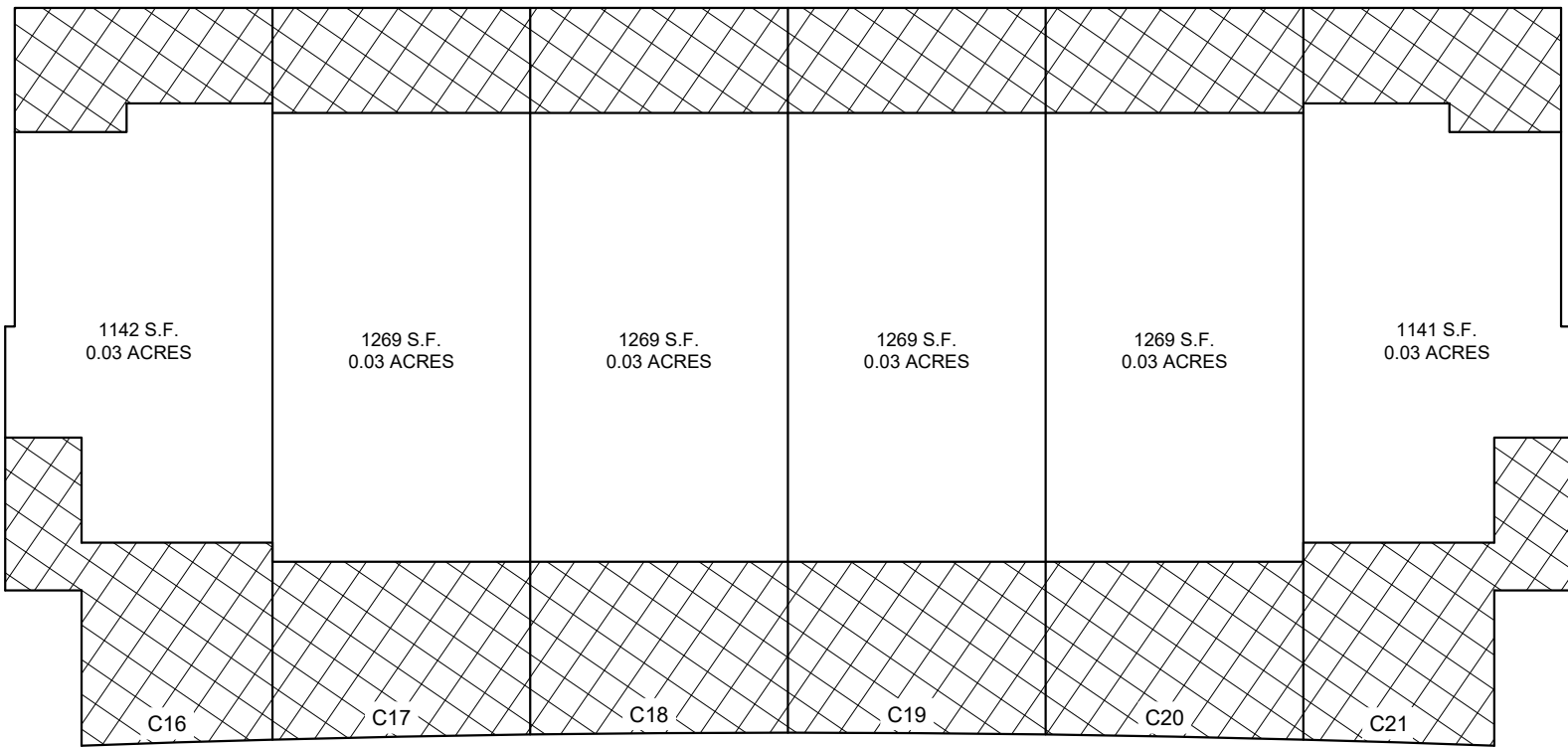
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LOTS 4995 THRU 5000



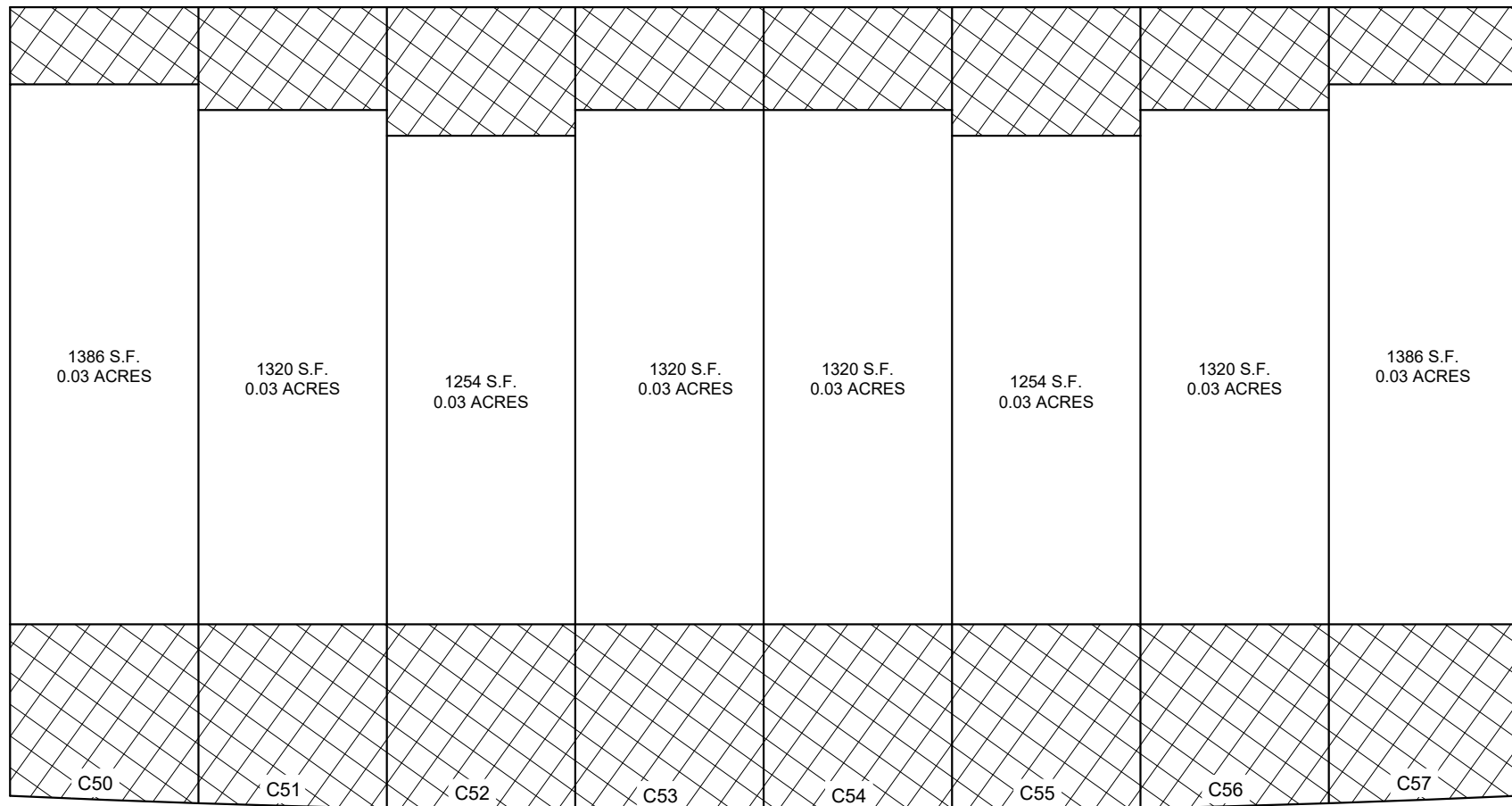
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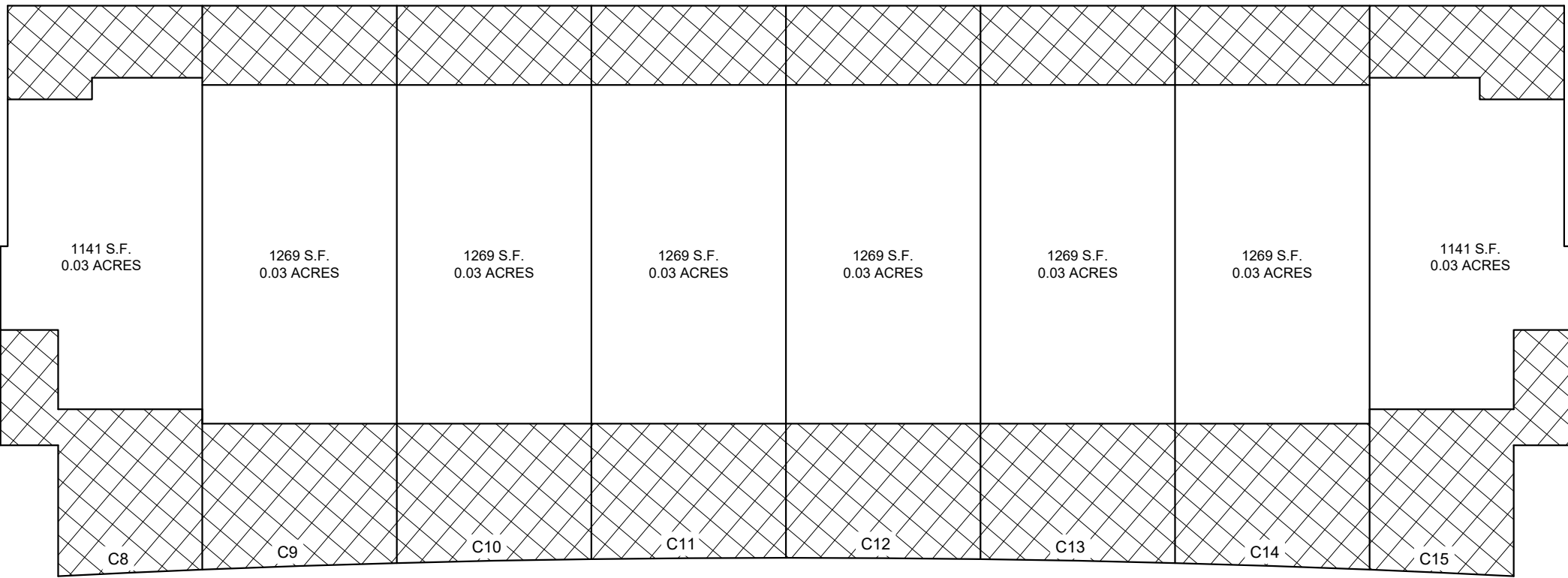
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LOTS 5001 THRU 5006



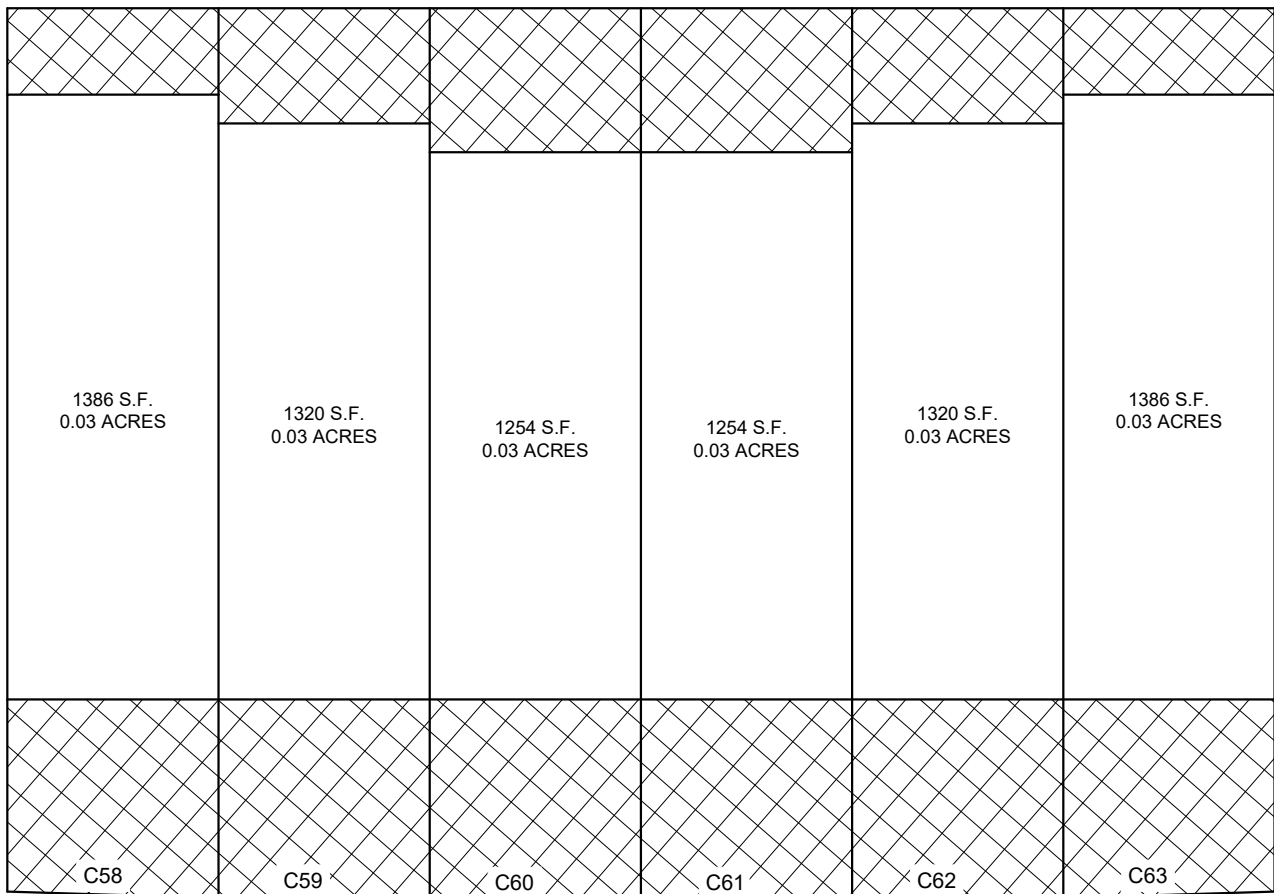
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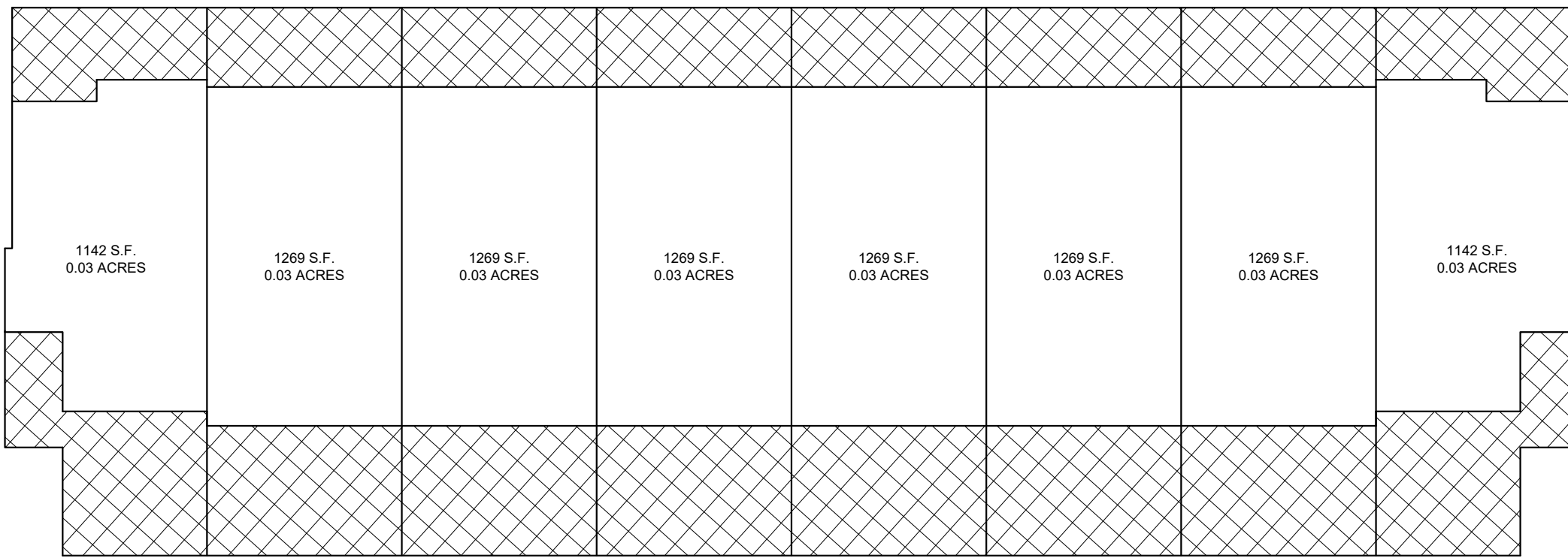
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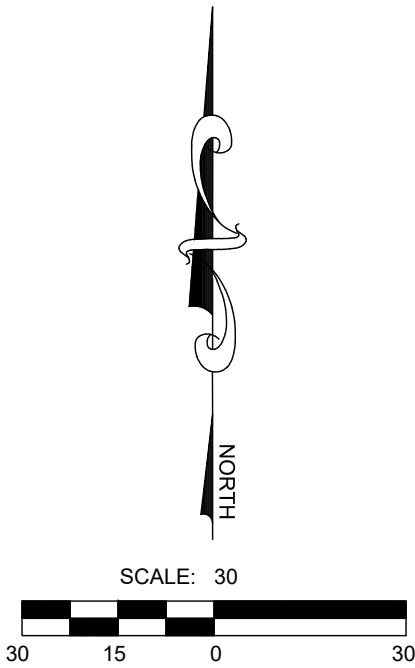
BUILDING H
LOTS 4959 THRU 4966



BUILDING I
LOTS 5017 THRU 5022



BUILDING J
LOTS 4951 THRU 4958



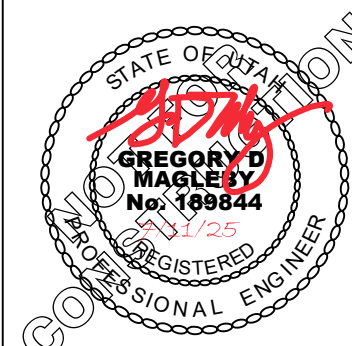
LEGEND	
	BOUNDARY LINE
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	EASEMENT LINE
	FUTURE LOT LINES
	PROPOSED LOT LINES
	EXISTING MONUMENT
	PROPOSED MONUMENT
	NO ACCESS

WILDFLOWER VILLAGE 9 PLAT Y-2		
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH		
SHEET 4 OF 4		
SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL
This form approved by Utah County and the municipalities therein.		
LEI #13-0902		



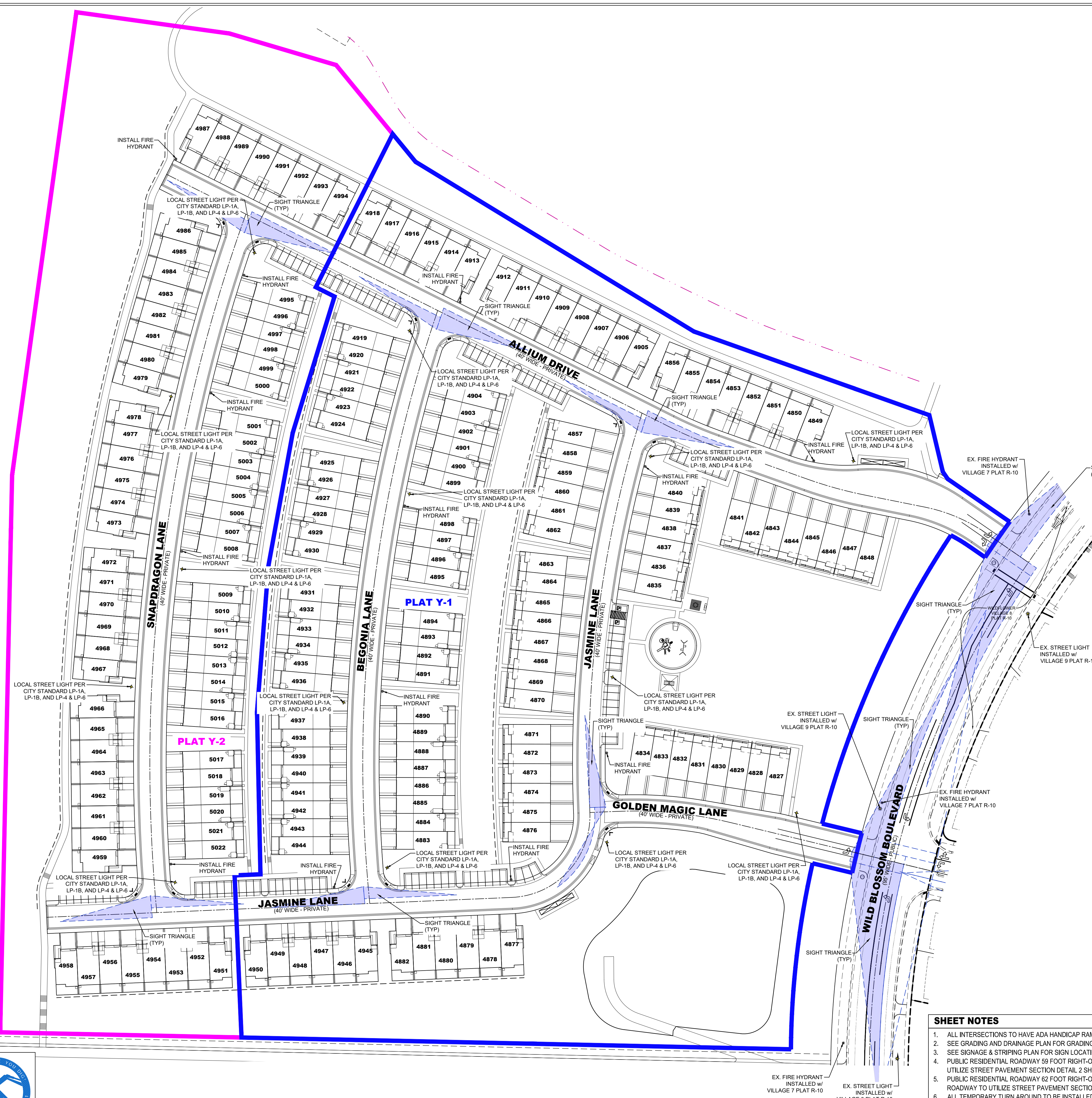
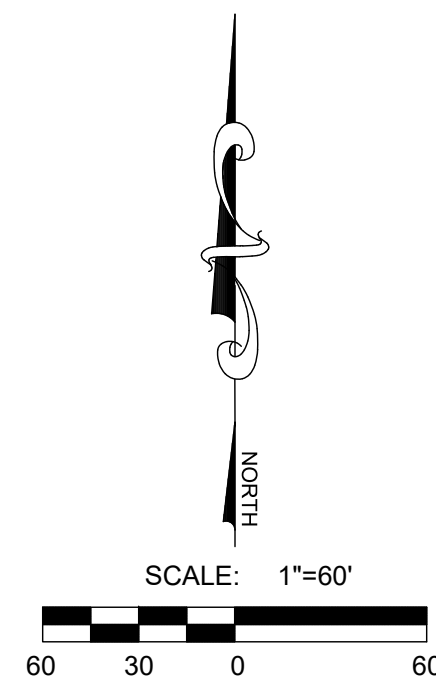
CIVIL
STRUCTURAL
SURVEY

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



WILDFLOWER VILLAGE 9 SITE Y
CITY OF SARATOGA SPRINGS, UTAH COUNTY, UTAH

SITE PLAN



LEGEND		DETAILS
EXISTING	PROPOSED	
---	---	BOUNDARY LINE
---	---	STREET CENTERLINE
---	---	EASEMENT LINE
---	---	LOT LINES
---	---	SEWER PIPE
---	---	SEWER MANHOLE
---	---	4" SEWER CLEANOUT
---	---	STORM DRAIN PIPE (RCP)
---	---	STORM DRAIN MANHOLE
---	---	CURB INLET
---	---	COMBO BOX
---	---	4"x4" CATCH BASIN
---	---	3"x3" CATCH BASIN
---	---	INLET/OUTLET W/ GRATE
---	---	CULINARY WATER PIPE
---	---	45" PIPE ELBOW (W)
---	---	22.5" PIPE ELBOW (W)
---	---	11.25" PIPE ELBOW (W)
---	---	FIRE HYDRANT
---	---	3/4" SERVICE & METER (W)
---	---	PRV (W)
---	---	AIR/VAC VALVE (W)
---	---	2" BLOW-OFF (W)
---	---	VALVE (W & SW)
---	---	TEE
---	---	CROSS
---	---	SECONDARY WATER PIPE
---	---	45" PIPE ELBOW (SW)
---	---	22.5" PIPE ELBOW (SW)
---	---	11.25" PIPE ELBOW (SW)
---	---	1" SINGLE SW SERVICE
---	---	1-1/2" DUAL SW SERVICE
---	---	SW SERVICE TO PARKS
---	---	AIR/VAC VALVE (SW)
---	---	BACKFLOW PREVENTER
---	---	2" BLOW-OFF (SW)
---	---	30" C&G (COLLECTOR)
---	---	24" C&G (LOCAL)
---	---	24" SHED C&G
---	---	SIDEWALK
---	---	STOP SIGN
---	---	STREET SIGN
---	---	MONUMENT
---	---	SPRINKLER CONDUIT
---	---	FENCE
---	---	STREET LIGHT LOCAL
---	---	STREET LIGHT COLLECTOR
---	---	POWER POLE
---	---	DITCH
---	---	FIBER OPTIC
---	---	GAS
---	---	OVERHEAD POWER
---	---	FLOW ARROW
---	---	CONTOURS
---	---	100 YEAR FLOOD ROUTE
---	---	MATCH LINE
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---	---	ADA RAMP
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NOTE:
A RIGHT-OF-WAY ENCROACHMENT PERMIT MUST BE OBTAINED FROM THE CITY OF SARATOGA SPRINGS PRIOR TO DOING ANY WORK IN THE EXISTING RIGHT-OF-WAY. APPLY FOR ENCROACHMENT PERMIT AT:
<https://cityworks.saratogaspringscity.com/publicaccess/template/login.aspx>

DATA TABLE			
ASPHALT	95,583 SF	38,122 SF	133,705 SF
SUB-BASE	113,597 SF	46,320 SF	159,917 SF
ROAD BASE	113,597 SF	46,320 SF	159,917 SF
CURB AND GUTTER	6,171 LF	2,715 LF	8,886 LF
5' SIDEWALK	5,046 LF	2,360 LF	7,406 LF
6' SIDEWALK	812 LF	161 LF	973 LF
8' TRAIL	794 LF	1516 LF	2,310 LF
DRIVE APPROACH (RESIDENTIAL)	19 EA	10 EA	29 EA
ADA RAMPS	8 EA	4 EA	12 EA
MONUMENTS	4 EA	2 EA	6 EA
STREET LIGHT (PRIVATE)	9 EA	5 EA	14 EA

- SHEET NOTES**
- ALL INTERSECTIONS TO HAVE ADA HANDICAP RAMPS ACCORDING TO CITY STANDARDS.
 - SEE GRADING AND DRAINAGE PLAN FOR GRADING REQUIREMENTS.
 - SEE SIGNAGE AND STRIPING PLAN FOR SIGN LOCATIONS.
 - PUBLIC RESIDENTIAL ROADWAY 59 FOOT RIGHT-OF-WAY TO BE INSTALLED PER CITY DETAIL ST-8. RESIDENTIAL ROADWAY TO UTILIZE STREET PAVEMENT SECTION DETAIL 2 SHEET C-907.
 - PUBLIC RESIDENTIAL ROADWAY 62 FOOT RIGHT-OF-WAY TO BE INSTALLED PER DETAIL 5 SHEET C-907. RESIDENTIAL ROADWAY TO UTILIZE STREET PAVEMENT SECTION DETAIL 2 SHEET C-907.
 - ALL TEMPORARY TURN AROUND TO BE INSTALLED PER CITY STANDARD DETAIL ST-14 AND UTILIZE TEMPORARY ACCESS ROAD PAVEMENT SECTION DETAIL 5 SHEET C-907.
 - PRIVATE DRIVES 26 FOOT PRIVATE SHARED DRIVE TO BE INSTALLED PER DETAIL 10 SHEET C-907. PRIVATE STREETS TO UTILIZE STREET PAVEMENT SECTION DETAIL 1 SHEET C-907.

REVISIONS	
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LEI PROJECT #:	
2023-0055	
DRAWN BY:	
BLS/MJV	
DESIGNED BY:	
GDM	
SCALE:	
1"=60'	
DATE:	
07/11/2025	
SHEET	
C-102	