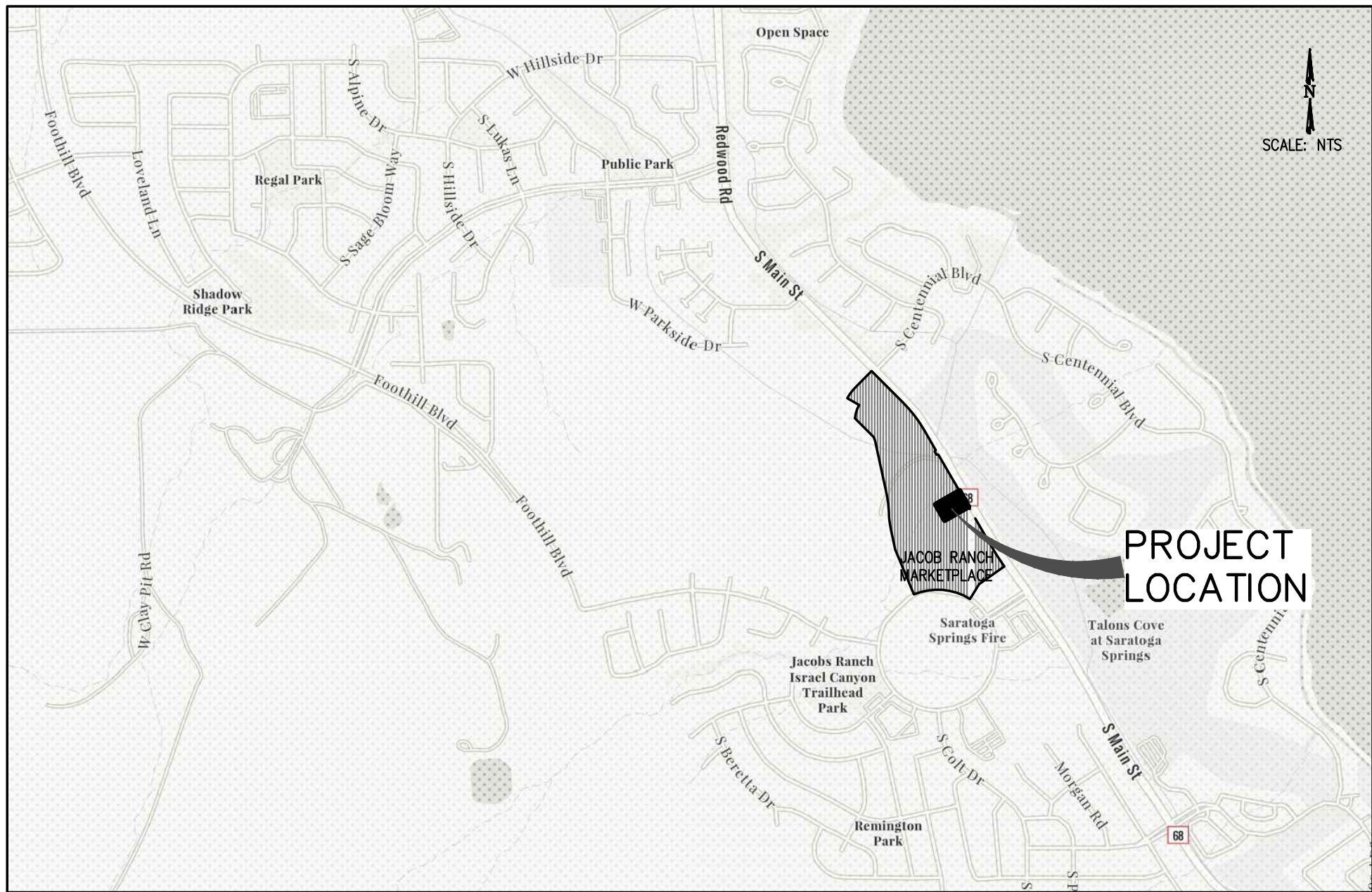


JACOB RANCH MARKETPLACE LOT 8

SARATOGA SPRINGS, UTAH

SITE PLAN SUBMITTAL SEPTEMBER, 2025

VICINITY MAP



INDEX OF SHEETS

REVISION					SHEET NO.	SHEET
					CV	COVER SHEET WITH INDEX
					C1.0	SITE PLAN
					C2.0	GRADING PLAN
					C2.1	DRAINAGE PLAN
					C3.0	UTILITY PLAN
					C4.0	DETAIL SHEET
					C4.1	CITY DETAILS
					C4.2	STORMTECH DETAILS
					C5.0	EROSION CONTROL PLAN
					C5.1	EROSION CONTROL DETAILS
					L1.1	LANDSCAPING PLAN
					L1.2	IRRIGATION PLAN

ISSUE DATE	DESCRIPTION	REVISION

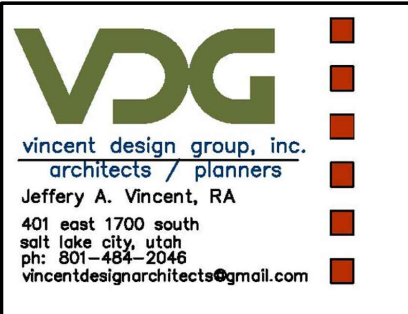
CIVIL ENGINEER



OWNER/DEVELOPER

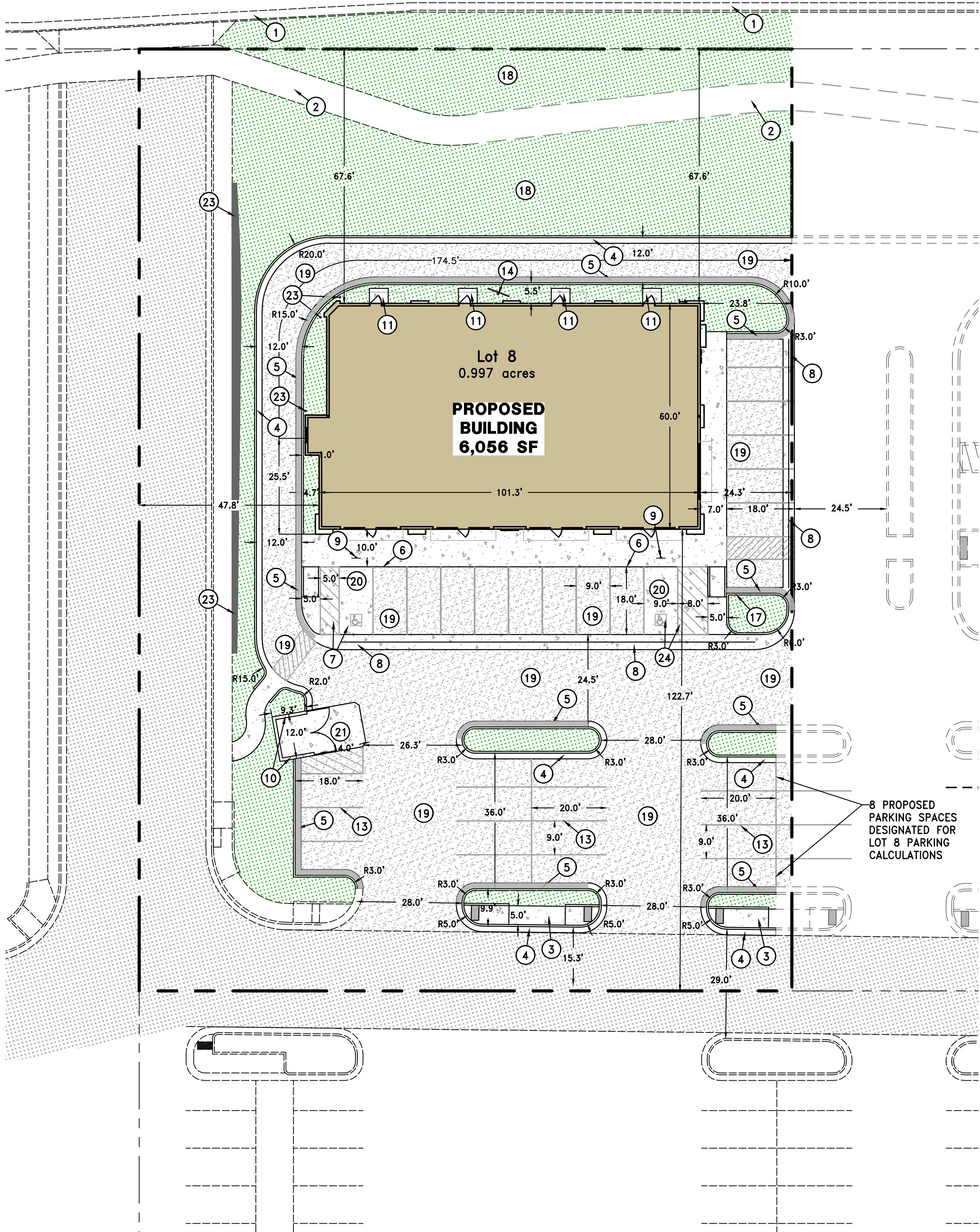
JACOB RANCH MARKETPLACE, LLC
7585 SOUTH UNION PARK AVE, SUITE 200
SALT LAKE CITY, UTAH 84047

ARCHITECT



GEOTECHINCAL ENGINEER

GSH GEOTECHNICAL, INC.
473 WEST 4800 SOUTH
SALT LAKE CITY, UT 84123



SITE PLAN KEYNOTES

- 1 EXISTING CURB & GUTTER. (REDWOOD ROAD)
- 2 EXISTING 8' SIDEWALK.
- 3 PROPOSED 5' PUBLIC SIDEWALK. SEE DETAIL 3/C5.0
- 4 PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.0.
- 5 PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.0.
- 6 PROPOSED 10' WIDE THICKENED EDGE SIDEWALK. SEE DETAIL 12/C4.0.
- 7 ACCESSIBLE CAR PARKING STALL WITH HANDICAPPED PARKING SYMBOL – SEE DETAILS 13/C4.0 (TYP.). STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- 8 PROPOSED 4.0' CONCRETE WATERWAY. SEE DETAIL 6/C4.0.
- 9 INSTALL ADA PARKING SIGN WITH VAN ACCESSIBLE PLACARD 2' BEHIND BACK OF CURB. SEE DETAIL 14/C4.0
- 10 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 11 PROPOSED 5' W X 4' L CONCRETE LANDING.
- 13 4" WHITE PAVEMENT MARKING STRIPE (TYP.)
- 14 MENU BOARD (BY OTHERS)
- 16 PROPOSED PARKING LOT LIGHT POLE. SEE ELECTRICAL PLANS FOR FURTHER PARKING LOT LIGHT DETAILS.
- 17 CONTRACTOR TO TAPER CURB AND GUTTER HEIGHT TO MATCH INTO ADJACENT SIDEWALK. SEE DETAIL 15/C4.0.
- 18 LANDSCAPE AREA – SEE LANDSCAPE PLANS FOR DETAILS.
- 19 INSTALL LIGHT DUTY ASPHALT – SEE DETAIL 9/C4.0.
- 20 INSTALL LIGHT DUTY CONCRETE – SEE DETAIL 10/C4.0.
- 21 INSTALL HEAVY DUTY CONCRETE FOR DUMPSTER PAD – SEE DETAIL 11/C4.0.
- 22 PROPOSED RETAINING WALL.
- 23 PROPOSED 6" BOLLAD, SEE DETAIL 5/C4.0.
- 24 ACCESSIBLE VAN PARKING STALL WITH HANDICAPPED PARKING SYMBOL – SEE DETAILS 13/C4.0 (TYP.). STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.

SITE PLAN GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF CONCRETE OR FACE OF CURB UNLESS OTHERWISE NOTED.
- 2. ALL SIDEWALK TO HAVE A MAXIMUM SLOPE OF 5.0% IN THE DIRECTION OF TRAVEL, AND A MAXIMUM CROSS SLOPE OF 2.0%. SEE GRADING PLANS FOR DETAIL.
- 3. ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED.
- 4. ALL NEW CONSTRUCTION TO BE DONE IN SARATOGA SPRINGS CITY STANDARDS.
- 5. PROTECT EXISTING SIDEWALK AND CURB & GUTTER. DAMAGE SHALL BE REPLACED TO THE NEAREST JOINT PER SARATOGA SPRINGS CITY STANDARDS.

SITE INFORMATION

ADDRESS: XXX
ZONING: RC (Regional Commercial)
LEGAL DESCRIPTION: PROPOSED LOT 8 OF JACOB'S RANCH COMMERCIAL
PARCEL NUMBER: XX-XX-XXX-XXXX
SITE ACREAGE: 0.998 ACRES, 30,000 SQ. FT

PARKING CALCULATIONS

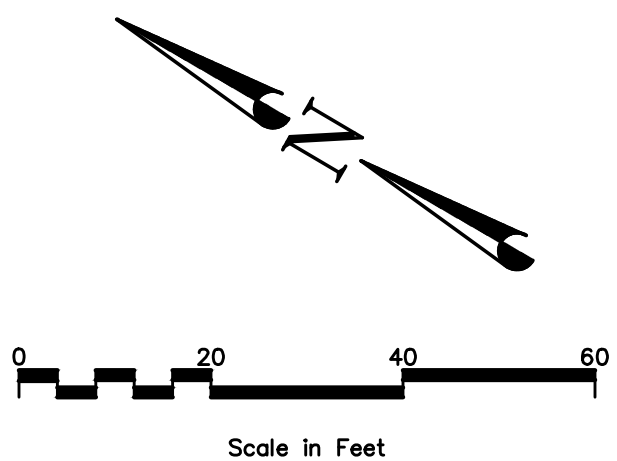
NOTE: REQUIRED PARKING CALCULATIONS ARE BASED ON SHELL BUILDING. REQUIRED/PROVIDED PARKING CALCULATIONS WILL BE UPDATED AS TENANT IMPROVEMENTS ARE SUBMITTED FOR PERMIT.
BUILDING TOTAL SQUARE FOOTAGE: 6,056 SQ. FT
BUILDING USAGE: 6,056 SQ. FT. RESTAURANT, TAKEOUT (5 STALLS PER 1000 SQ. FT.)

TOTAL REQUIRED PARKING: 31 SPACES
TOTAL PROVIDED PARKING: 36 SPACES
TOTAL REQUIRED ACCESSIBLE SPACES: 2 SPACES
TOTAL PROVIDED ACCESSIBLE SPACES: 2 SPACES

SITE AREA TABLE		
Item	Area	Units
Total gross acreage	0.997	(acres)
Building footprint area	6,056	(sq.ft.)
Total building floor area	6,056	(sq.ft.)
Landscaping area	9,357	(sq.ft.)
Landscaping percent	21.5	(% of lot)
Impervious area	28,014	(sq.ft.)
Impervious percent	64.5	(% of lot)

LEGEND

- PROPERTY BOUNDARY LINE
- ROAD CENTERLINE
- PUBLIC UTILITY EASEMENT
- EXISTING FENCE
- EXISTING EDGE OF ASPHALT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER/ REVERSE PAN
- PROPOSED STRIPING
- PROPOSED FENCE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPED



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NO.	REVISIONS	BY	DATE

DESIGNER: KGJ
MANAGER: KGJ
FILE NAME: ST-JR-LOT8.dwg

SEAL

FOR: Jacob Ranch Marketplace, LLC

LOCATION: Saratoga Springs, Utah

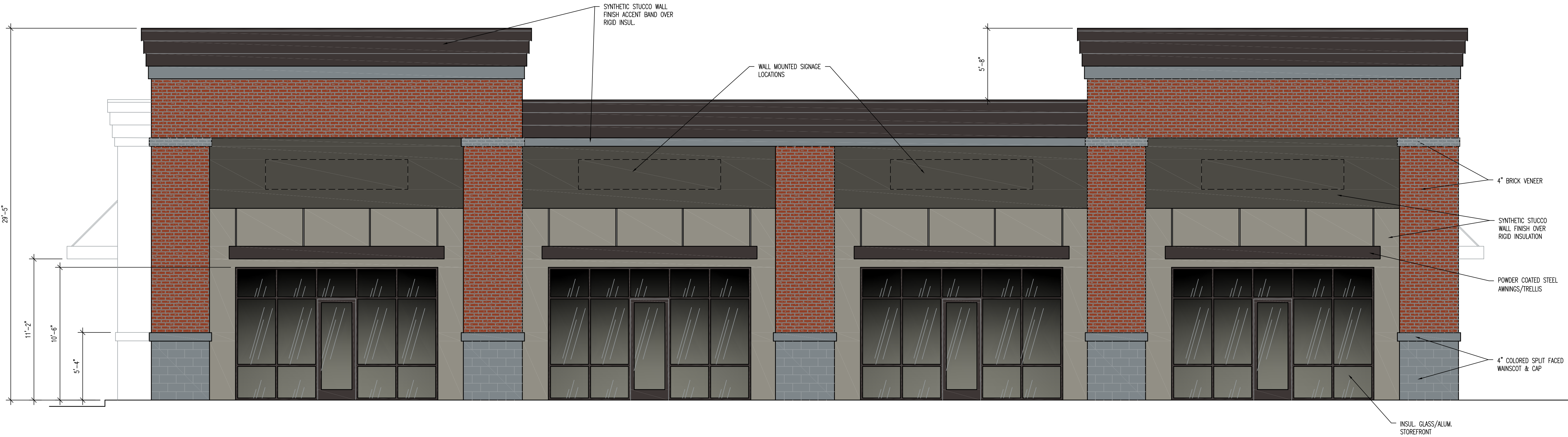
PROJECT: JACOB RANCH MARKETPLACE LOT 8

SHEET: SITE PLAN

PROJECT NO. 4288

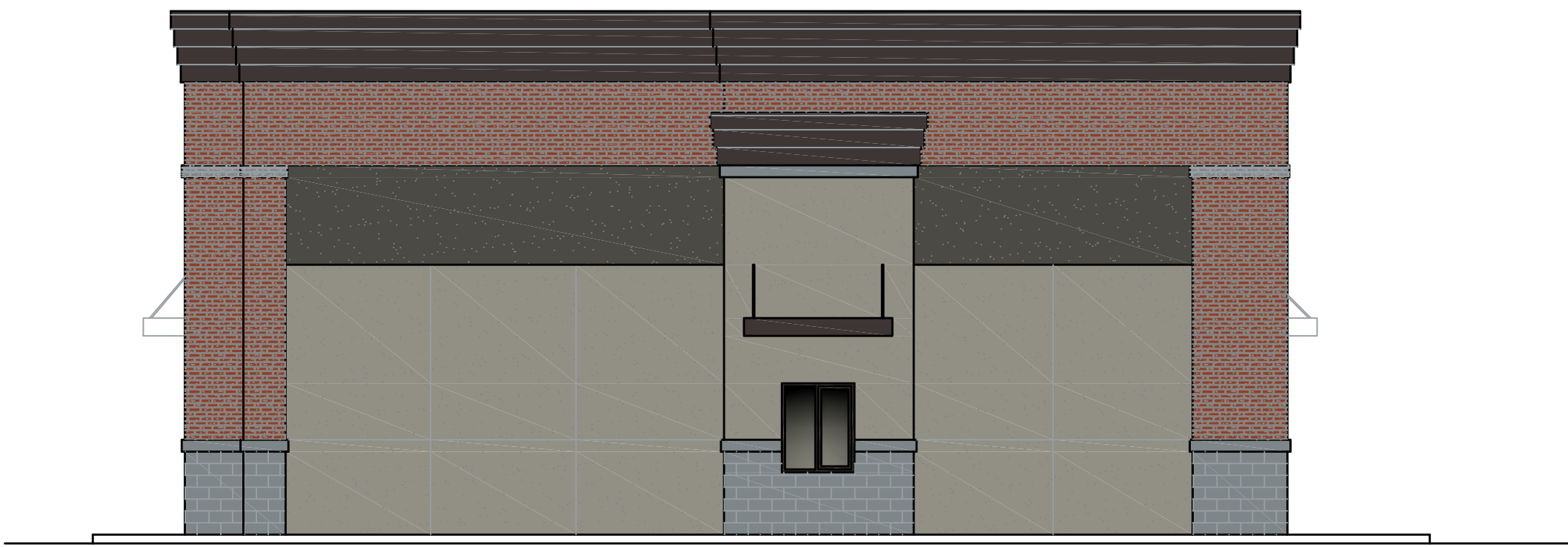
ISSUE DATE: 09/24/2025

SHEET NO. C1.0



WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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DATE	REVISION

SHEET TITLE
A-2.00
ARCHITECTURAL 1 of 4

NEW SHELL BUILDING FOR:
CORNER PARTNERS
JACOBS RANCH

LOT 8
SARATOGA SPRINGS, UTAH
ELEVATIONS

VDG
VINCENT DESIGN GROUP, INC.
ARCHITECTS AND PLANNERS

401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH (801) 484-2046