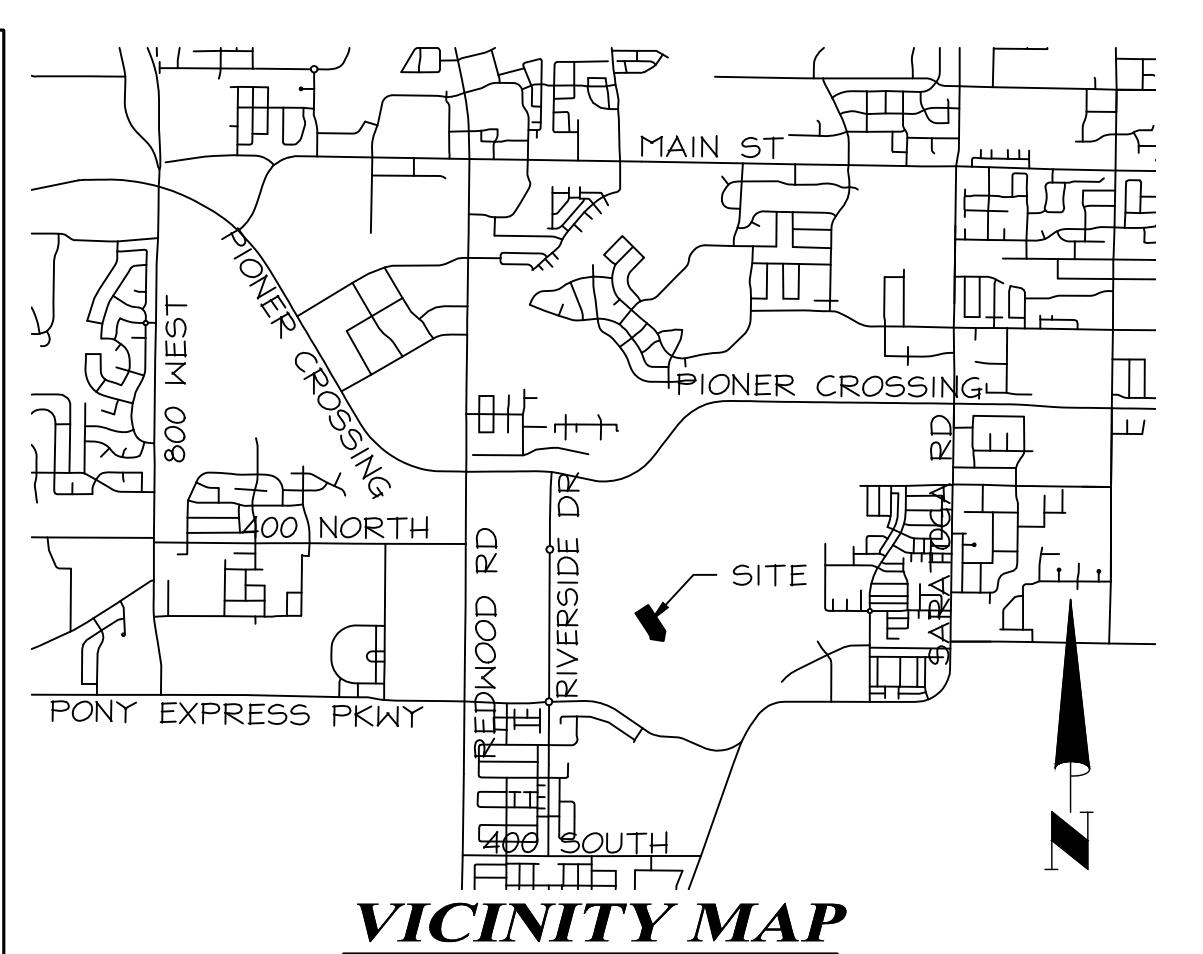


LEGEND:

	EXIST. WATER CAP
	EXIST. COMBO AIR VALVE (CAV)
	EXISTING BLOW OFF VALVE
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. WATER LINE AND LATERAL
	EXIST. WATER METER
	EXIST. IRRIGATION LINE
	PROPOSED IRRIGATION METER
	EXISTING SEWER M.H. TAG
	EXIST. SEWER CLEANOUT
	EXIST. 4" SEWER M.H.
	EXIST. 5" SEWER M.H.
	EXIST. 6" SEWER M.H.
	EXIST. SEWER LINE AND LATERAL
	STORM DRAIN BOX TAG
	EXISTING LOT DRAINAGE EASEMENT
	EXIST. CATCH BASIN
	EXIST. CLEANOUT BOX
	EXIST. COMBO. BOX
	EXIST. STORM DRAIN LINE
	EXIST. MAIL BOX PAD
	EXIST. SIGNAGE
	EXIST. STREET LIGHT
	EXIST. SIDEWALK
	EXIST. CURB & GUTTER
	EXIST. LOT LINE
	PROPOSED WATER CAP
	PROPOSED COMBO AIR VALVE (CAV)
	PROPOSED BLOW OFF VALVE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE AND LATERAL
	PROPOSED WATER METER
	PROPOSED IRRIGATION LINE
	PROPOSED IRRIGATION METER
	PROPOSED SEWER M.H. TAG
	PROPOSED SEWER CLEANOUT
	PROPOSED 4" SEWER M.H.
	PROPOSED 5" SEWER M.H.
	PROPOSED 6" SEWER M.H.
	PROPOSED SEWER LINE AND LATERAL
	STORM DRAIN BOX TAG
	TYPICAL 5' LOT DRAINAGE EASEMENT
	PROPOSED CATCH BASIN
	PROPOSED ALLEY CATCH BASIN
	PROPOSED 5" CLEANOUT BOX
	PROPOSED 6" CLEANOUT BOX
	PROPOSED COMBO. BOX
	PROPOSED STORM DRAIN LINE
	PROPOSED ENERGY DISSIPATER
	PROPOSED RIP-RAP PAD
	PROPOSED SIGNAGE
	PROPOSED STREET LIGHT
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED LOT LINE
	PROPOSED ALLEY DIRECTIONAL ARROW (SYMBOL NOT TO BE PAINTED)
	PROPOSED FLARED END
	INSTALL HANDICAP RAMP PER APWA PLAN 235
	NON-TYPICAL SECTION TRANSITION AREA FOR SURFACE FLOW AROUND BUMPOUTS

NOTE: LEGEND MAY CONTAIN SYMBOLS THAT ARE NOT USED IN PLAN SET.



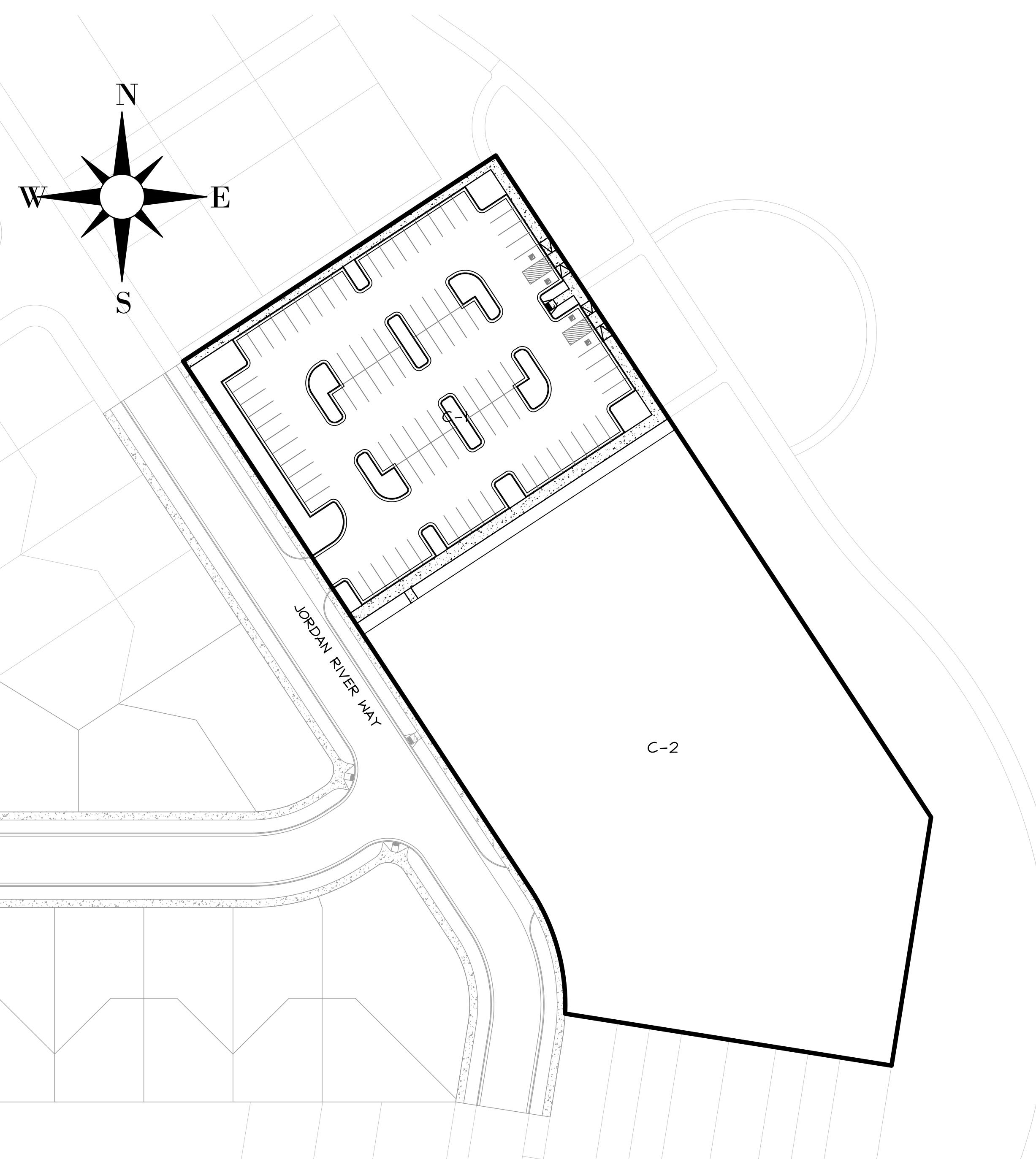
WANDER VILLAGE 3 PLAT J4B

Residential Development SARATOGA SPRINGS, Utah CONSTRUCTION PLANS

DECEMBER 01, 2025

Sheet List Table

Sheet Number	Sheet Title	Sheet Description
01	TC01	COVER SHEET
02	KM01	KEY MAP
03	GN01	GENERAL NOTES
04	GN02	ROAD SECTIONS
05	SP01	SITE PLAN
06	GR01	GRADING & DRAINAGE PLAN
07	GR02	PRECISE GRADING PLAN
08	UT01	UTILITY PLAN
09	PP01	PLAN AND PROFILE - SEWER LATERAL & STORM DRAIN
10	DT01	DETAILS
11	DT02	DETAILS
12	DT03	DETAILS



Saratoga Springs General Notes

i. Contractor shall field verify location and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.

ii. Contractor shall field verify location and invert elevations of existing storm drain structures and other utilities before staking or constructing any new storm drain lines.

iii. All construction shall comply with the Standard Technical Specifications and Drawings for the City Of Saratoga Springs, Utah.

iv. Existing Utilities have been noted to the best of Engineers knowledge, it is owner's and contractor's responsibility to locate utilities in field and notify City Engineer and City if discrepancies exist prior to continuing any construction.

v. Post-acceptance alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the City for review and approval.

vi. The City reserves the right to conduct post-installation inspections to verify compliance with the City's requirements and accepted Lighting Plan commitments, and if deemed appropriate by the City, to require remedial action at no expense to the City.

vii. All exterior lighting shall meet IESNA full-cutoff criteria.

CONTACTS

Developer / Owner

Customer Relations
208 E. Winchester Street
Murray, UT 84107

Engineer

Perigee Consulting - Jed Atherley, PE
(801) 590-6611 jed@perigeeclv.com
9080 1300 West #160
West Jordan, UT 84088

Dominion Energy Gas

Customer Service
1-800-323-5517

Rocky Mountain Power

Customer Service
1-877-221-7070

Saratoga Springs City Engineering Department

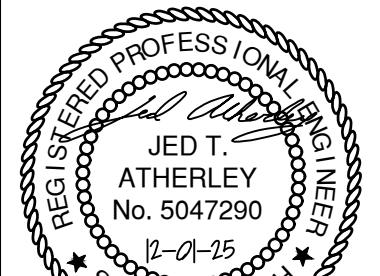
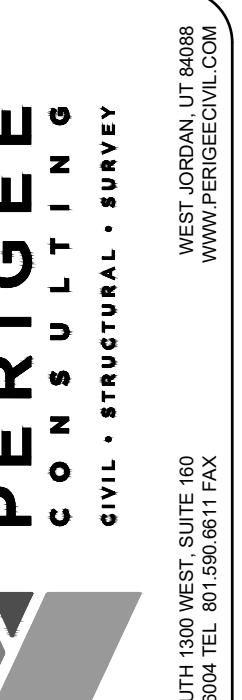
City Engineer - Jeremy D. Lash, CFM, PE
jash@saratogaspringscity.com
(801) 766-8506

Saratoga Springs City Planning Department

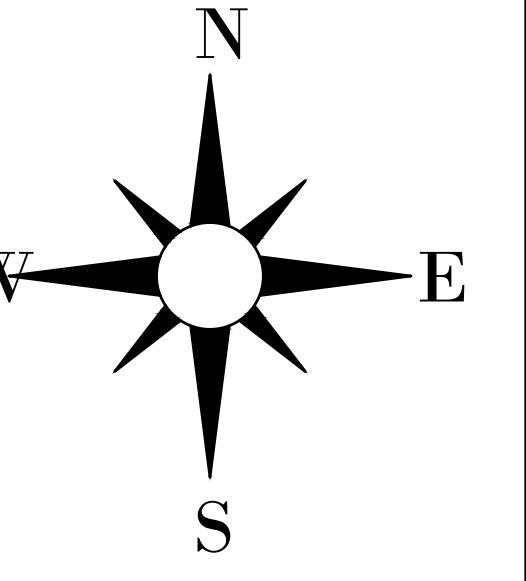
Planning Director - David Stroud
DStroud@saratogaspringscity.com
(801) 766-9793

WANDER VILLAGE 3 PLAT J4B COVER SHEET

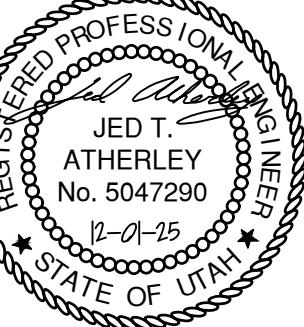
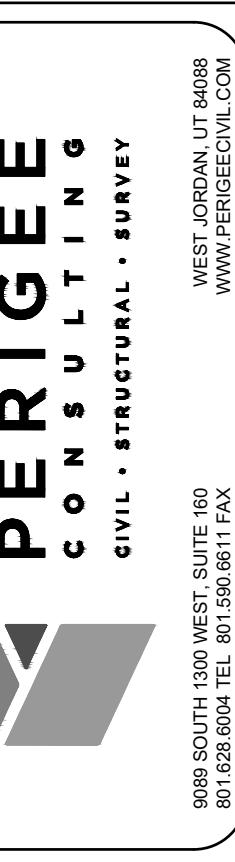
01
OF 12 SHEETS
DRAWING NAME
TC01



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DATE	Mark			

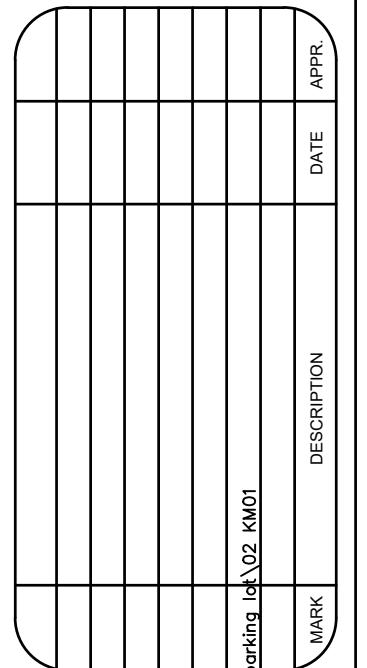


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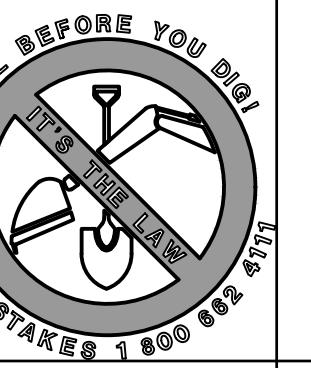
SARATOGA SPRINGS

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DWN BY:	CKD BY: ALL	SOLICITATION NO.:		
SUBMITTED BY:	JTA	CONTRACT NO.:	00697	
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WANDER VILLAGE 3
PLAT J4B
KEY MAP



This architectural site plan illustrates a residential area with a grid of streets and property boundaries. A specific plot of land is highlighted with three overlapping rectangles, each labeled 'PP01'. The plan also features a road labeled 'HALLS CREEK ROAD' and a street labeled 'JORDAN RIVER WAY'. A label 'C-2' is positioned near the bottom right. The property boundaries are indicated by thin lines, and the internal layout of the highlighted plot includes various building footprints and setbacks.

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