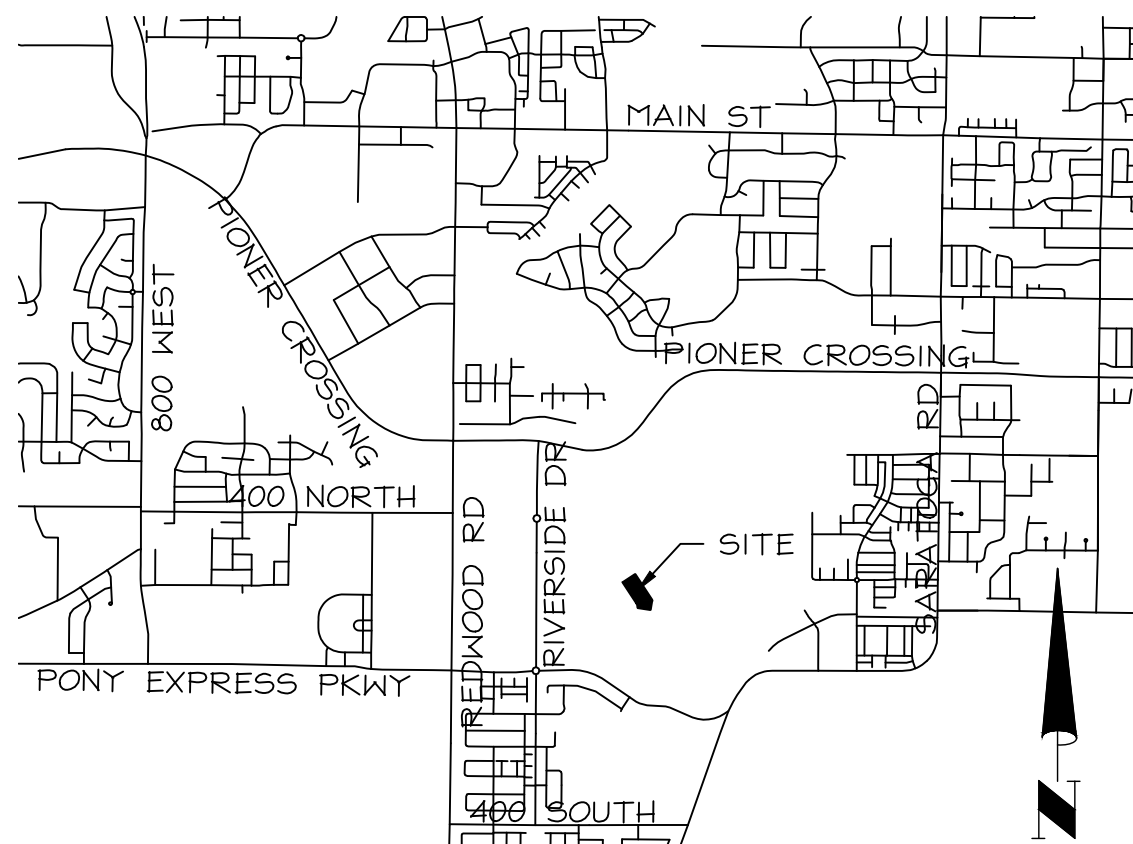


	EXIST. WATER CAP
	EXIST. COMBO AIR VALVE (CAV)
	EXISTING BLOW OFF VALVE
	EXIST. WATER VALVE
	EXIST. FIRE HYDRANT
	EXIST. WATER LINE AND LATERAL
	EXIST. WATER METER
	EXIST. IRRIGATION LINE
	PROPOSED IRRIGATION METER
	EXISTING SEWER M.H. TAG
	EXIST. SEWER CLEANOUT
	EXIST. 4" SEWER M.H.
	EXIST. 5" SEWER M.H.
	EXIST. 6" SEWER M.H.
	EXIST. SEWER LINE AND LATERAL
	STORM DRAIN BOX TAG
	EXISTING LOT DRAINAGE EASEMENT
	EXIST. CATCH BASIN
	EXIST. CLEANOUT BOX
	EXIST. COMBO. BOX
	EXIST. STORM DRAIN LINE
	EXIST. MAIL BOX PAD
	EXIST. SIGNAGE
	EXIST. STREET LIGHT
	EXIST. SIDEWALK
	EXIST. CURB & GUTTER
	EXIST. LOT LINE
	PROPOSED WATER CAP
	PROPOSED COMBO AIR VALVE (CAV)
	PROPOSED BLOW OFF VALVE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE AND LATERAL
	PROPOSED WATER METER
	PROPOSED IRRIGATION LINE
	PROPOSED IRRIGATION METER
	PROPOSED SEWER M.H. TAG
	PROPOSED SEWER CLEANOUT
	PROPOSED 4" SEWER M.H.
	PROPOSED 5" SEWER M.H.
	PROPOSED 6" SEWER M.H.
	PROPOSED SEWER LINE AND LATERAL
	STORM DRAIN BOX TAG
	TYPICAL 5' LOT DRAINAGE EASEMENT
	PROPOSED CATCH BASIN
	PROPOSED ALLEY CATCH BASIN
	PROPOSED 5" CLEANOUT BOX
	PROPOSED 6" CLEANOUT BOX
	PROPOSED COMBO. BOX
	PROPOSED STORM DRAIN LINE
	PROPOSED ENERGY DISSIPATER
	PROPOSED RIP-RAP PAD
	PROPOSED SIGNAGE
	PROPOSED STREET LIGHT
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED LOT LINE
	PROPOSED FLARED END
	INSTALL HANDICAP RAMP PER APWA PLAN 235
	NON-TYPICAL SECTION TRANSITION AREA FOR SURFACE FLOW AROUND BUMPS

Saratoga Springs General Notes

- ## CONTACTS

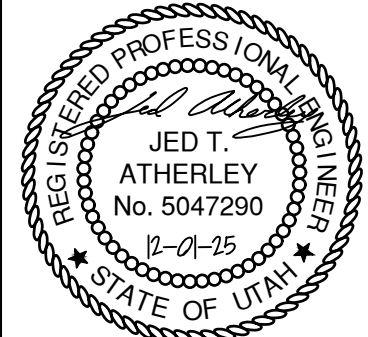
Saratoga Springs City Planning Department
Planning Director – David Stroud
DStroud@saratogaspringscity.com
(801) 766-9793



Residential Development
SARATOGA SPRINGS, Utah

CONSTRUCTION PLANS
DECEMBER 01, 2025

Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
01	TC01	COVER SHEET
02	KM01	KEY MAP
03	GN01	GENERAL NOTES
04	GN02	ROAD SECTIONS
05	SP01	SITE PLAN
06	GR01	GRADING & DRAINAGE PLAN
07	GR02	PRECISE GRADING PLAN
08	UT01	UTILITY PLAN
09	PP01	PLAN AND PROFILE – SEWER LATERAL & STORM DRAIN
10	DT01	DETAILS
11	DT02	DETAILS
12	DT03	DETAILS



SARATOGA SPRINGS

CITY ENGINEER		DATE
		APPR.
		DATE
		DESCRIPTION
		MARK
	spring	to TOOT

DESIGNED BY:	CM	DATE:	DEC. 2025	REV:
DWN BY:	ALL	DRAWN BY:	JTA	SOLICITATION NO:
SUBMITTED BY:		CONTRACT NO:	00697	
FILE NAME:				
N:\00697 Jordan Promenade Oakwood Homes\Code\VP Village 3 04				
SIZE	PLOTTED BY:	PLOT DATE:		
ANSI D		12/2/2025 4:31:54 PM		

WANDER VILLAGE 3
PLAT J4B
COVER SHEET

SHEET NUMBER
01
OF 12 SHEETS
DRAWING NAME
TC01



