

## Chapter 19.16. Site and Architectural Design Standards

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#### **19.16.01. Purpose and General Requirements.**

These standards have been adopted to promote high quality development, while enhancing and protecting aesthetics as the City grows. Each new development in the City shall be designed to:

1. Provide for a harmonious arrangement of buildings, site landscaping, open space, driveways, access, parking, and development amenities.
2. Make reasonable efforts to preserve the desirable existing conditions found on a site through minimized removal of desirable trees and other vegetation and soil and minimized site grading.
3. Use high quality building materials, colors, textures, lighting, architectural and landscape forms.
4. Create safe vehicular, pedestrian, and bicycle circulation by way of interior drives, parking areas, pathways, and sidewalks.
5. Provide buffering between adjacent properties.
6. Provide architectural designs that are visually appealing on all visible elevations.
7. Maintain building massing that is scaled to pedestrian and vehicular perspectives.

(Ord. 17-08)

#### **19.16.02. Applicability and Review Process.**

1. **Conformance required.** This section applies to all new development in the City unless otherwise exempted in this Title, and expansions to previously existing development in the City.
2. **Exemptions.** The following uses shall be exempt from the requirements of this section:
  - a. New and expanded Agricultural sites and structures.
3. **Review Process.** Site and Architectural Review will be done by the Development Review Committee as part of the review process for the related site plan, subdivision plat, or other applicable development application. Such review shall be done prior to approvals or

public meetings.

4. **Submittal Requirements.** Scaled building elevations and perspectives (3D renderings) shall be submitted that indicate all colors, styles, materials, and other proposed building treatments. Photorealistic material and color boards shall also be submitted with the items required accompanying development application. An RYB Hexadecimal Color Code number shall be provided for all applicable elevation colors; however, natural materials shall be exempt and shall instead provide a photographic image of the proposed material.

(Ord. 25-56; Ord. 17-08)

### **19.16.03. Site Design Standards, General.**

The following standards are applicable to all new non-residential, two-family, three-family, and multi-family development:

1. **Pedestrian Connectivity.**
  - a. All buildings and sites shall be designed to be pedestrian friendly by the use of connecting walkways.
  - b. Safe pedestrian connections shall be provided to link buildings with the public rights-of-way, as well as to link buildings within a development. Sidewalks shall also be provided to link the building to pedestrian facilities adjacent to the property, and when feasible between developments.
  - c. All developments shall provide pedestrian connections that lead to the building entrances of adjacent non-residential and residential sites and shall stub to adjacent undeveloped property to allow for future connections.
  - d. All pedestrian connections shall be shown on the related site plan or plat.
2. **Parking areas.**
  - a. On-site parking shall be located primarily to the sides or rear of the building. Variations may be approved by the Land Use Authority, subject to the following criteria:
    - i. The use is a big box with outparcels or smaller commercial buildings helping to screen parking, or
    - ii. At least 50 percent of the parking is located to the side or rear of the building, or
    - iii. A safety issue is created by locating parking to the side or rear as verified and documented by the Saratoga Springs Police Department. For example, the parking will be entirely concealed from view by existing walls or buildings.
    - iv. That portion of development that lies within the Waterfront Buffer Overlay; or
    - v. The development includes Warehouse/Flex space and when loading docks are not adjacent to a public right-of-way. Exception: When a lot with Warehouse/Flex space is adjacent to more than one public street, loading docks may face the lower classification of the streets.

- b. Parking lots shall be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces.
- c. The use of shared parking with adjacent sites is encouraged as per the shared parking provision within Section 19.09 of the Land Development Code.
- d. Parking lots adjacent to, and visible from, public streets shall be screened from view through the use of earth berms, screen walls, landscape hedges or combinations thereof with a minimum height of three feet as measured from the parking surface. Within regional parks this requirement may be met through the use of intermittent planter beds rather than a berm, hedge, or screen wall; trees and shrubs may be clustered in the planter beds where necessary to avoid light spillage.

3. **Acceleration and Deceleration Lanes.** Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.

4. **Parking structures.**

- a. Parking structures shall be architecturally consistent with the project buildings, including the use of the same primary finish materials as the exterior of the adjacent or adjoining buildings.
- b. When placement of parking structures along site frontages is necessary, visual mitigation such as landscape buffers, upper-level setbacks, or additional architectural treatment shall be used.
- c. The view of a parking structure from a public street shall be minimized by placing its shortest dimension along the street edge.
- d. The top deck of parking structures shall include screen walls, periphery landscape islands, or similar features where visible from public view in order to soften the appearance of the top of the parking structure and screen the view of cars on the top deck of the structure.
- e. All top deck lighting shall be screened and directed downward to avoid light spill onto the street below and shall consist of only bollards or building lighting. Light poles are prohibited.

5. **Trash Enclosures, Storage Areas, and External Structures.** Landscaping, fencing, berms, or other devices integral to overall site and building design shall screen trash enclosures, storage areas, and other external structures.

- a. Service yards, refuse and waste-removal areas, loading docks, truck parking areas and other utility areas shall be screened from view by the use of a combination of walls, fences, and dense planting. Screening shall block views to these areas from on-site as well as from public rights of way and adjacent properties. This does not apply to Municipal Buildings.
- b. All trash dumpsters shall be provided with solid enclosures.
  - i. Enclosures shall be composed of 6-foot-high solid masonry or decorative precast concrete walls, with opaque gates and self-latching mechanisms to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles. Gates shall be made of opaque metal for durability. Chain link gates with or without opaque slats are not acceptable. Colors and materials shall be consistent with the main building or use.

- c. Where trash enclosures, storage areas, or other external structures are adjacent to parking areas, a three-foot landscaped buffer shall be provided that does not impede access into and out of vehicles.
- d. These areas shall be well maintained and oriented away from public view.
- e. The consolidation of trash areas between buildings is encouraged.
- f. The use of modern disposal and recycling techniques is encouraged.
- g. This Section shall not apply to community or public recycling bins or drop boxes; however, the location shall be determined by City Staff in accordance with the standards herein.

6. **Utility Boxes.** Dense vegetative buffers which include an evergreen variety of plant materials shall be placed where appropriate to screen all utility boxes and pedestals in order to remain attractive during the winter months.

7. **Interconnection.** Interconnection shall occur via pedestrian and vehicular connections. All parking and other vehicular use areas shall be interconnected with, or stubbed to, all adjacent non-residential developed and undeveloped properties, as designated on the land use map or the zoning map, in order to allow maximum off-street vehicular circulation. Walkways and trails shall be connected to adjacent sites and stubbed for future development. All residential site plans shall meet 19.12 Connectivity Standards.

(Ord. 25-56, Ord 24-16, Ord. 24-12, Ord. 22-13, Ord. 20-13, Ord. 17-26, Ord. 17-08)

#### **19.16.04. Site Design Standards: Non-Residential Development.**

- 1. Shopping Cart Corrals.**
  - a. Shopping cart corrals are required for big box or mid box retail uses.
  - b. Roof covers are recommended as the local climate includes wind, rain, and winter snow conditions. If roof covers are utilized, they shall blend in with the established building design.
  - c. The shopping cart corral rail finish shall match or compliment the exterior finishes of the main building through the use of two out of three of the same exterior colors and finishes.
- 2. Uses within Buildings.** All uses established in any Commercial, Office Warehouse, Business Park, or Industrial zone shall be conducted entirely within a fully enclosed approved building except those uses deemed by the Land Use Authority to be customarily and appropriately conducted in the open.
  - a. Uses which qualify for this exception include vegetation nurseries, home improvement centers with lumber, outdoor cafes, outdoor retail display, car wash vacuums, auto dealerships, and similar uses.
  - b. Approved temporary uses, such as Christmas tree lots, shall be exempt from this requirement.
- 3. Outdoor Display**
  - a. All retail product displays shall be located under the buildings' permanent roof structure or on designated display pads within front landscape areas.
  - b. All display areas shall be clearly defined on the approved Site Plan and designated on the site with a contrasting colored, painted, or striped surface.

- c. Display areas shall not block building entries or exits, pedestrian walks, required parking spaces, or required landscaped areas.
- d. Seasonal uses outside of these areas may be approved through the Temporary Use process.

**4. Outdoor Storage Standards:**

- a. Outdoor storage areas shall be located to minimize views from adjacent public rights-of-way, residential development or zones, and adjacent developments. They shall be located behind or to the side of buildings.
- b. Outdoor storage shall be screened from public view. Screening shall consist of a solid wall, excluding CMU blocks. Screening shall be a minimum of 6 feet high and may reach a maximum height of 20 feet subject to approval by the Land Use Authority. A building permit is required for all fencing or walls higher than 7 feet. Chain link fencing is prohibited.
- c. The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.
- d. A landscape strip with a minimum width of five feet shall be installed next to the screening fence or wall when the storage area is adjacent to or visible from a public right-of-way.
- e. Outdoor storage materials must be stored in an orderly manner such that fire codes are met and access to all areas of the yard is possible (e.g. access lanes).
- f. The outdoor storage materials may not extend above the height of the fence or wall.

**5. Access Requirements.** For each commercial lot:

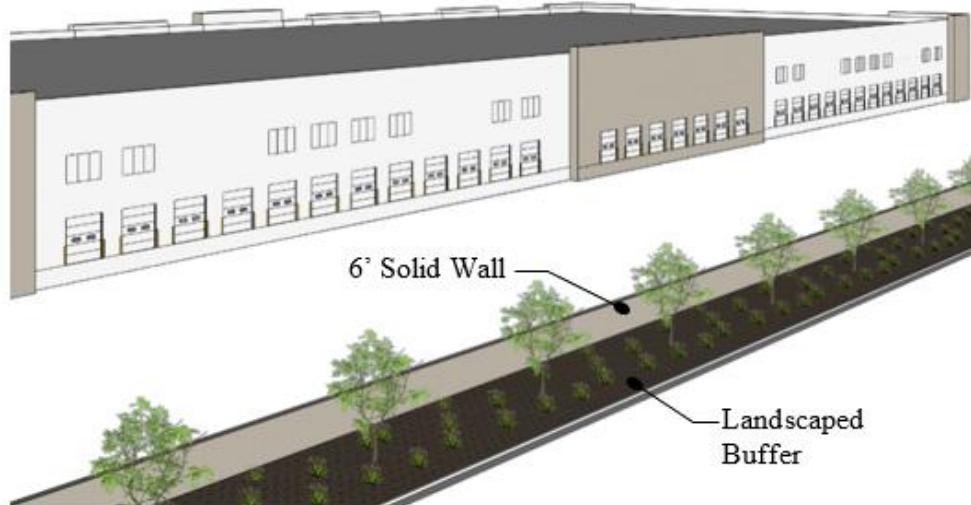
- a. each roadway shall not be more than forty feet in width, measured at right angles to the center line of the driveway except as increased by permissible curb return radii; and
- b. the entire flare of any return radii shall fall within the right-of-way.

**6. Off-street Truck Loading Space.** Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets, alleys, required parking stalls, or accessible stalls.

**7. Screening of Storage & Loading Areas**

- a. To alleviate the unsightly appearance of loading facilities, these areas shall not be located on the side(s) of the building facing the public street(s). Such facilities shall be located interior to the site. This does not apply to Municipal Buildings.
- b. Screening for storage and loading areas shall be composed of 6 foot high solid masonry or architectural precast concrete walls with opaque gates and self-latching mechanisms, to keep gates closed when not in use. Bollards are required at the front of the masonry walls to protect the enclosure from trash collection vehicles.

- i. Distribution areas in Heavy Commercial, Office Warehouse, Light Industrial, and Industrial zones shall be buffered from view of the public right-of-way through the use of landscaping and opaque screening walls. Paved loading areas shall be set back a minimum of 10 feet from the right-of-way, and the setback area shall be landscaped with street trees every 30 feet adjacent to the public right-of-way.



- c. Gates shall be made of opaque metal for durability. Chain link gates with opaque slats are prohibited.
- d. The method of screening shall be architecturally integrated with the adjacent building in terms of materials and colors.
- e. Trash areas shall be designed to include the screening of large items (e.g. skids and pallets) as well as the trash bin(s) that are needed for the business (unless storage is otherwise accommodated behind required screened storage areas).

## 8. **Buffers.**

- a. A wall and landscaping, fencing, or landscaping of acceptable design shall effectively screen the borders of any commercial or industrial lot which abuts an existing agricultural or platted residential use. Such a wall, fence, or landscaping shall be at least six feet in height, unless a wall or fence of a different height is required by the Land Use Authority as part of a site Plan review. Such wall, fence, or landscaping shall be maintained in good condition with no advertising thereon, except as permitted by Chapter 19.18.
- b. No chain link or wood fences are permitted as buffering or screening between commercial and residential. Masonry and solid vinyl are suggested types of fences, and as circumstances require, one or the other may be required.
- c. Unless otherwise required by this Title, walls or fences used as a buffer or screen shall not be less than six feet in height.

## 9. **Parking Lot Buffers.**

- a. There shall be a minimum of 10 feet of landscaping between parking areas and side and rear property lines adjacent to agricultural and residential land uses. (See Chapter 19.09, Off-street parking requirements for additional standards.)

**10. Building Buffer:** No building shall be closer than five feet from any private road, driveway, or parking space. The intent of this requirement is to provide for building foundation landscaping and to provide protection to the building. Exceptions may be made for any part of the building that may contain an approved drive-up window.

**11. Change in Grade Buffer:** Where a proposed change in grade would increase the elevation of a non-residential development adjacent to existing residential development greater than three feet, a buffer shall be established adjacent to the existing residential development, as follows:

- a. An increased setback requirement of two feet per one-foot of elevation change, as measured by the difference between the existing finished floor elevation of the nearest building on the residential property and the proposed finished floor elevation of the nearest non-residential building. The increased setback requirement shall be in addition to the existing setback requirement, as outlined in Section 19.04.
  - i. Should there be any dispute regarding the requirement of this buffer, the applicant for the proposed non-residential development shall be responsible for providing a survey showing the change in finished floor elevation between the proposed non-residential development and the existing residential development.
- b. Screening:
  - i. A six-foot masonry wall shall be constructed on the subject property, inward from the shared property line, and shall be set at or within one foot vertically of the finished floor elevation of the nearest non-residential building located on the subject property; and
  - ii. One tree shall be required per 15 linear feet along the masonry wall required in (i) above to provide additional screening and privacy.
  - c. No drive-thru lanes shall be permitted within the setback area.
  - d. This buffer shall be in addition to any other required buffers.
  - e. Exceptions: The Land Use Authority may grant exceptions to the buffer requirements outlined in this section, as follows:
    - i. The proposed non-residential development is separated from an existing residential development by a roadway, canal, trail corridor, or powerline easement, measuring at least twenty feet in width, or by any other existing natural or man-made feature that provides equivalent physical separation; or,
    - ii. An existing natural or man-made feature that provides visual screening equivalent to that required by the standard buffer as described in this section.
    - iii. The determination of “equivalent physical separation” or “equivalent visual screening” shall be made by the Land Use Authority based on site specific conditions, including but not limited to topography, vegetation, and built structures.

(Ord. 25-58, Ord. 25-56, Ord. 24-16, Ord. 24-12, Ord. 23-22, Ord. 17-14, Ord. 17-08)

### **19.16.05. Architectural Design Standards, General.**

The following standards are applicable to all new three family and multi-family and non-residential development:

1. **Building Articulation for Buildings Under 20,000 Square Feet (footprint).** Building elevations exceeding 40 feet in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts that together equal at least five feet, stepping portions of the elevation to create shadow lines and changes in volumetric spaces, and a minimum of two of the following, all spaced at intervals of 20 feet of horizontal width:
  - a. Addition of horizontal and vertical divisions by use of textures or materials.
  - b. Primary material change. (i.e. a change in material type, size, or color).
  - c. Addition of projections such as balconies, cornices, covered entrances, porte-cochères, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least 36-inches.
  - d. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs at a minimum of 12 inches, gables or other similar devices.

**Exception:** In the I/C zone, Section 19.16.05(1) shall not apply to building elevations that are 50 percent or more obscured by natural topography, from adjacent or future developments, as measured at the property line, and are not fronting public or private streets.

2. **Building Articulation for Buildings 20,000 Square Feet (footprint) and Over.** Building elevations exceeding 60 feet in length shall incorporate a minimum of one horizontal elevation shift or combination of vertical and horizontal elevation shifts that together equal at least twenty feet, stepping portions of the elevation to create shadow lines and changes in volumetric spaces, and a minimum of two of the following, all spaced at intervals of 50 feet of horizontal width:
  - a. Addition of horizontal and vertical divisions by use of textures or materials.
  - b. Primary material change (i.e. a change in material type, size, or color).
  - c. Addition of projections such as balconies, cornices, covered entrances, porte-cochères, trellis', pergolas, arcades, and colonnades. Such trellis' and awnings extend outward from the underlying wall surface at least five-feet.
  - d. Variation in the rooflines by use of dormer windows, overhangs, arches, stepped roofs at a minimum of 36 inches, gables or other similar devices.

**Exception:** In the I/C zone, Section 19.16.05(2) shall not apply to building elevations that are 50 percent or more obscured by natural topography, from adjacent or future developments, as measured at the property line, and are not fronting public or private streets.

### **3. Roof treatment.**

- a. Sloped roofs shall provide articulation and variations in order to break up the massiveness of the roof. Sloped roofs shall include eaves which are proportional to the roofs slope and scale of the building.

- b. Flat roofs shall be screened with parapets on all sides of the building. If no roof top equipment exists or is proposed, the parapet shall be a minimum of 12 inches in height above the roof.
- c. All roofs on three-family, and multi-family dwellings shall have a minimum pitch of 3/12 (25 percent slope). To provide architectural enhancement, residential structures are encouraged to have multiple pitch variations.
- d. Roof mounted equipment shall not be visible from adjacent public and private streets as well as from adjacent properties, unless grade differences make visibility unavoidable.
- e. Screening shall be solid and shall be consistent with the material and color of exterior finishes of the building through the use of at least two out of three of the exterior finishes of the building.

4. **Windows.** Windows, other than rectangular windows, may be used as accents and trim. Untreated aluminum or metal window frames are prohibited.

5. **Awnings, canopies, trellises, and pergolas.**

- a. If attached to the building, all such features shall project at least 5 feet from the building when located over a pedestrian traffic area and no less than 2 feet otherwise. For buildings 20,000 square feet and over, see 19.16.05.2 for additional requirements.
- b. All such features shall be compatible in architectural design and details with the primary structure through the use of similar colors and building materials. Any posts utilized by such features shall be no smaller than 6" square or diameter and the roofing shall be compatible in color with the primary structure.
- c. All such features shall ensure proper drainage to prevent water accumulation on the canopy, around the building or on adjacent property.
- d. All such features shall maintain a minimum clearance above sidewalk grade of 8 feet to the bottom of the framework when located over a pedestrian traffic area and shall not obstruct any vehicular traffic area.
- e. All such features shall not be located within any public utility easement, unless an encroachment permit is approved by the City's Public Works Department.
- f. Backlighting is not permitted.
- g. All such features shall adhere to the maximum height requirements of the applicable zoning district or the height of the primary structure, whichever is more restrictive.
- h. The following setbacks shall be applied to all such features located in non-residential zoning districts:
  - i. All such features shall follow the applicable zoning district setback requirements for structures along streets classified as Arterials, as outline in Chapter 19.04.
  - ii. All such features that are greater than 200 square feet in size shall be required to maintain a setback of 5 feet from the property line.
  - iii. All such features that are less than 200 square feet in size shall be required to maintain a setback of 2 feet from the property line.

## **6. Mechanical Equipment.**

- a. All mechanical equipment shall be located or screened and other measures shall be taken so as to shield visibility of such equipment from any public or private streets.
- b. Wing walls, screens, or other enclosures shall be integrated into the building and landscaping of the site, whether located on the ground or roof.
- c. rooftops of buildings shall be free of any mechanical equipment unless completely screened from all horizontal points of view.
- d. Screening materials shall conform to the color scheme and materials of the primary building.

(Ord. 26-03, Ord. 25-56, Ord. 24-47, Ord. 22-7, Ord. 18-30, Ord. 17-08)

#### **19.16.06. Architectural Design Standards, Residential.**

The following standards apply to all new multi-family and three-family residential development:

##### **1. Architectural wrap.**

- a. Stone, brick, wainscot, and other front elevation materials shall be wrapped a minimum of two feet into interior side elevations.
- b. Stone, brick, wainscot, and other front elevation materials shall extend the full width of any street side yard, or façade abutting common open space.

##### **2. Materials and colors.**

- a. A minimum of three materials and three colors shall be utilized on front or street side elevations, building façades abutting common open space, or building facades abutting an arterial or collector road. A minimum of two materials and two colors shall be utilized on interior side and rear elevations. The roof shall not be considered a material or color.
- b. No more than 75 percent of any building elevation shall consist of any one material or color. The roof shall not be considered a material or color.
- c. Carports and similar structures shall be compatible in architectural design and details with the main residential structure through the use of at least two out of three of the same materials and colors.
- d. For each new three-family and multi-family residential building, all building facades abutting an arterial or collector road shall include either a porch pop out of at least 36 inches on every other residential unit or shall include a dormer gable on every other residential unit.

##### **3. Color Variation.**

- a. Three-family, and multi-family developments containing more than five buildings shall be designed with at least two color palettes.

(Ord. 25-56, Ord. 24-05, Ord. 22-7, Ord. 17-08)

#### **19.16.07. Architectural Design Standards, Non-Residential.**

The following standards are applicable to all new or amended non-residential development.

##### **1. Four-sided architecture.**

- a. All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.
2. Colors and materials.
  - a. Exterior Building Materials shall be considered any materials that make up the exterior envelope of the building and shall be limited to no more than four and no less than two types of materials per building. The roof shall not be considered exterior building materials.
  - b. Color of exterior building materials (excluding accent colors) shall be limited to no more than four and no less than two major colors per building. The roof shall not be considered a material or color.
  - c. Bright colors, such as neon or fluorescent colors, bright orange or yellow, and primary colors, are only permitted as accent colors.
  - d. No more than 75 percent of any building elevation shall consist of any one material. No more than 75 percent of any building elevation shall consist of any one color. The roof shall not be considered a material or color.
    - i. Windows, doors, and accent materials or colors shall be excluded from the percentage of calculations for overall materials and colors for each elevation.
    - ii. No more than 50 percent of any building elevation shall consist of CMU, except in the Heavy Commercial, Office Warehouse, Light Industrial, and Industrial zones. The roof shall not be considered a material or color.
    - iii. Concrete tilt-up construction is only permitted in the Heavy Commercial, Regional Commercial, Office Warehouse, Light Industrial, and Industrial zones, and is exempt from the maximum 75 percent of one material per elevation requirement but must follow all other architectural design standards. The roof shall not be considered a material or color.
    - iv. Architectural metal may be used on exterior building elevations.
      1. If corrugated metal is used, only 25 percent of each building elevation may consist of corrugated metal. The remaining 50 percent may be other types of architectural metal. The roof shall not be considered a material or color.
3. Prohibited materials.
  - a. Tiles. Full veneer brick and tiles exceeding  $\frac{1}{2}$  inch in thickness is permitted, however veneer tile is prohibited.
  - b. Stucco stone patterns and stucco brick patterns.
  - c. Wood as a primary exterior finish material.
  - d. Plain, grey, unfinished CMU block except as an accent material.
4. All stairways to upper levels shall be located within the building unless otherwise approved by the Land Use Authority for secondary access to outdoor patio decks or other usable outdoor area.
5. All roof drains, conduit and piping, maintenance stairs and ladders, and other related services shall be located on the interior of the building.

- a. Exception: For all non-residential buildings with pitched roofs, exterior rain gutter drains, and downspouts are permitted where necessary for functional roof drainage. To minimize visual impact:
  - i. All exterior drainage elements shall be designed using materials and colors that closely match the building's primary or accent colors.
  - ii. Downspouts shall be integrated into the architectural design in a manner that reduces visibility.
- 6. To the extent possible, all electric panels and communication equipment should be located in an interior equipment room.
- 7. Street Orientation.
  - a. All Retail or Commercial buildings shall have expansive windows, balconies, terraces, or other design features oriented to the street or adjacent public spaces.
  - b. At least 35 percent of the first-floor elevation(s) of a building that is viewed from a public street shall include windows, and/or glass doors to minimize the expanse of blank walls and encourage a pedestrian friendly atmosphere. For purposes of determining the glass area, the first floor shall be the first 10 feet from the finished floor.
    - i. This standard does not apply to a single-story retail building of 50,000 square feet or greater provided a single primary tenant occupies the entire building square footage and additional architectural elements are used in place of windows and/or glass doors to include awnings or canopies, and must include roof line changes and horizontal articulation.

8. Buildings with Metal Exteriors.

- a. Buildings with exterior materials exceeding 75 percent metal are only permitted in the Agricultural, Residential Agricultural, and Rural Residential zones when used for an Agricultural use or Residential Accessory use and may be clad primarily with metal.
- b. All metal buildings shall be designed to have an exterior appearance of conventionally built structures. Stock, “off the shelf” metal buildings are prohibited.
- c. Metal buildings in the Agricultural, Residential Agricultural, and Rural Residential zones shall only be used for agriculture as defined in Section 19.02.02 of the City Code.

(Ord. 25-56, Ord. 24-05, Ord. 23-22, Ord. 22-18, Ord. 22-13, Ord. 19-38, Ord. 18-30, Ord. 17-14, Ord. 17-08)

**19.16.08. Office Warehouse, Heavy Commercial, Light Industrial, and Industrial Additional Standards.**

In addition to the non-residential requirements of this Chapter, developments in the Office Warehouse, Heavy Commercial, Light Industrial and Industrial Zones shall be subject to the additional standards below:

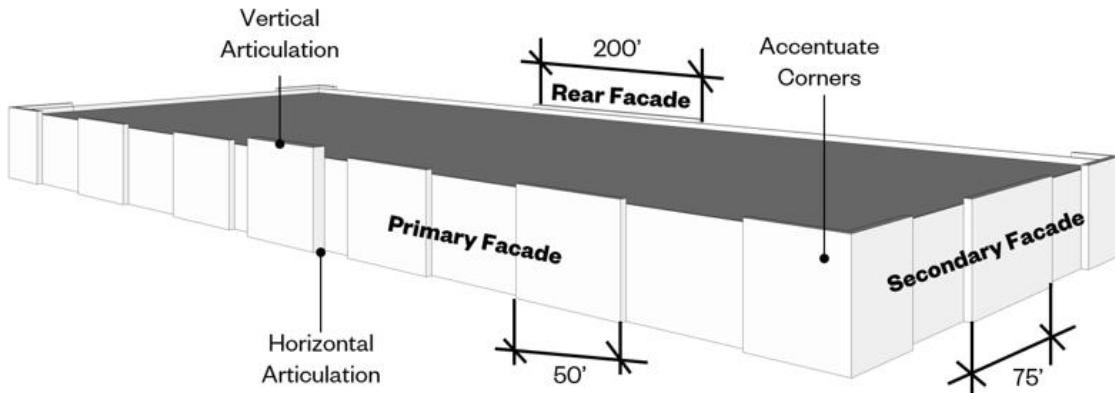
1. “Warehouse/Flex” Use Standards.

- a. Each tenant shall designate at least 10 percent of the floor area for office and/or retail use. The required office and/or retail area may be divided among multiple levels. For example, if 10 percent of the floor area equals 10,000 square feet this area may be split over multiple stories.

2. Additional Architectural Standards.

- a. All buildings shall have architectural elements to provide visual interest and reduce the perceived mass of the building. Both horizontal and vertical articulation is required on all sides of the building.
  - i. Horizontal articulation is required every 50 feet, minimum, along the face of the primary façade, every 75 feet minimum along the sides or secondary façade(s), and every 200 feet minimum along the rear or loading façade. This variation shall include the following:
    1. Modulate the facade by stepping portions of the building in or out horizontally to create shadow lines and visually delineate areas of the building. For facades 200 feet or longer a minimum horizontal articulation of three feet is required. For facades less than 200 feet, two foot horizontal articulation is required.

2. Building corners shall be highlighted through articulated masses at the corners to provide visual interest by incorporating a minimum projection of two feet in depth that spans at least 30 feet in horizontal length and the full height of building.

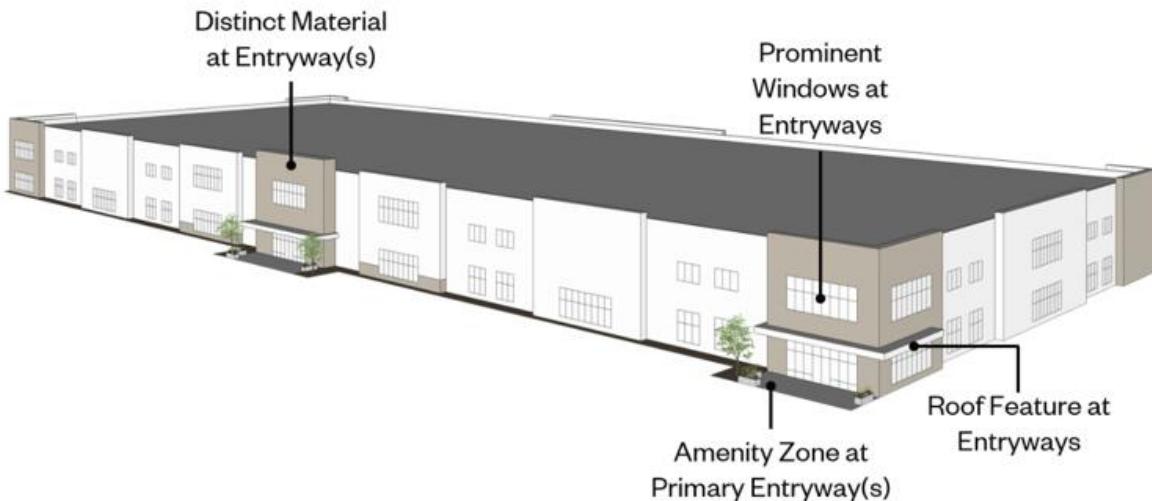


3. Add visual interest by distinctly changing the texture and color of wall surfaces at building entryways and corner elements.

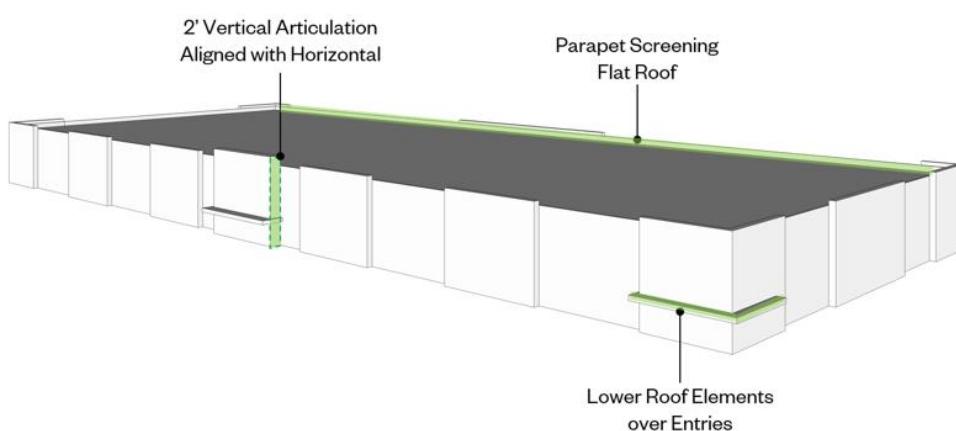
b. Building entryways shall be clearly identifiable with distinct materials and design features.

- i. Primary building entryways shall have an amenity zone extending a minimum of fifteen feet in front of the building entry and be a minimum of thirty feet long. These areas shall be concrete or pavers and provide space for outdoor seating, landscape planters, and other staff or visitor amenities.
- ii. Building entryways shall include a prominent window wall or storefront system to clearly indicate the entryway.
- iii. Provide overhead projections such as roof elements, covered entrances, trellises, or pergolas at primary building entryways. These elements shall extend a minimum of five-feet from the primary building façade and shall extend a minimum of five-feet on either side of the entryway.
- iv. The architectural features at building entrances shall also include at least three of the following features:
  - 1. A parapet or wall element that extends above the primary wall;
  - 2. Awnings or canopies;
  - 3. Horizontal articulation of a minimum of three feet at building entryways (this articulation shall extend a minimum of ten feet on either side of the doorway);
  - 4. Distinct material at the entryway; or
  - 5. Decorative lighting highlighting the entryway.

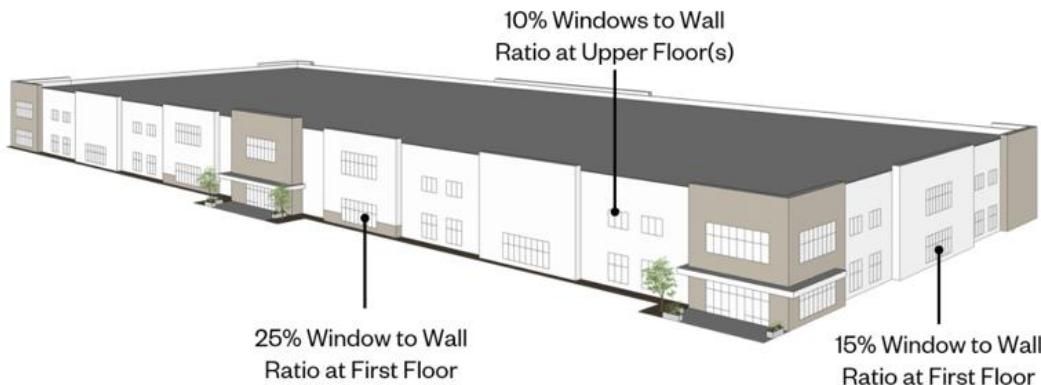
- v. Buildings with multiple entrances shall employ the features above at all public entryway locations. Distinct unit or business entryways should be clearly distinguished from the site entry.



- c. All Buildings shall include variation in roof height and appropriately sized parapets to obscure rooftop equipment from view.
  - i. All roofs shall be flat and shall be screened with parapets on all sides of the building. The parapet height shall be sized to visually obscure any rooftop equipment from the pedestrian view from public and private streets. Where this is not viable, a screen or wall system shall be used to block rooftop equipment from view.
  - ii. Roof profiles shall have a minimum of two feet of vertical articulation - aligned with the horizontal articulation - to create distinct building masses and reduce the perceived scale of the overall facade. Horizontally articulated corner elements must extend two feet above the primary roof parapet.
  - iii. Lower roof elements, trellises, awnings, and other architectural shade elements are required to create visual interest and provide a human scale. These shall be located over all main entries and extend a minimum of 5 feet from the facade.

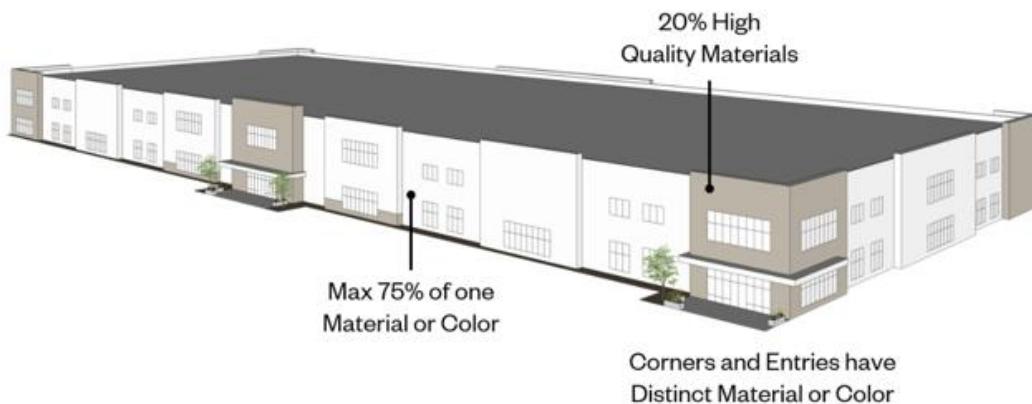


- d. The building façade facing public street frontage shall include large glass windows on the street level and smaller windows on the upper floors.
  - i. Opaque, heavily tinted, or reflective glass shall not be used on the first floor of a building facing a public street.
  - ii. Buildings fronting a public street shall provide glass at a minimum of 25 percent of the façade area on the first floor and a minimum of 10 percent of the upper floor facing the street.
  - iii. Where a building is located on a corner lot, the secondary street-facing façade shall have a minimum of 15 percent glass on the first floor and 10 percent on the upper floor(s).
  - iv. All facades shall have a minimum of five percent windows, including the receiving and loading areas.
  - v. For purposes of determining the glass area, the first floor shall be the first 15 feet from the finished floor, and each full fifteen feet of height above the first floor shall be considered an upper floor.

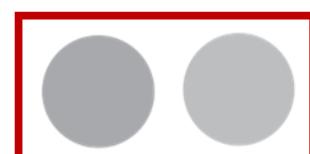
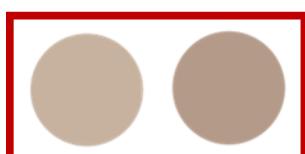


- e. Building materials shall be high-quality and durable to reflect the quality of Saratoga Springs.
  - i. A minimum of 20% of the primary façade shall be clad in high-quality materials such as brick masonry, natural stone, or architectural metal panel. 10% of all other façades should also include one or more of these materials for visual interest and quality.
    1. Masonry and stone
    2. Integral color CMU
    3. High-quality concrete systems
    4. Finished and treated tilt-up concrete panels
    5. Architectural metal panel
  - ii. No more than 75% of any building facade shall consist of any one material or color.
  - iii. No more than 20% of any façade shall be clad in corrugated metal.
  - iv. Articulated corner and entry features shall have a distinct color or material feature.

v. Office Warehouse and Heavy Commercial developments with more than one building shall be designed with different, but complementary colors and materials on each building to provide architectural variety.



vi. Primary colors should be of a neutral color palette but contrast in tone to enhance visual interest.



Tones highlighted in green would be approved as they are significantly contrasting in tone. The tones highlighted in red are too similar in tone to each other.

vii. Accent colors may be used to support a business brand, or highlight key architectural features or elements. Accent colors shall be complementary to the overall building color palette and shall be limited to 8% of the area of the façade. Artwork, signage and awnings as approved by the Land Use Authority are exempt from this standard.



(Ord. 25-56, Ord. 24-05, Ord. 22-13)

#### **19.16.09. Mixed Use and Mixed Waterfront Site, Additional Standards.**

In addition to the residential and/or non-residential requirements of this Chapter, developments in the Mixed Use and Mixed Waterfront Zones shall be subject to the additional standards below:

1. Purpose. To achieve the purposes in Section 19.04 the mixed-use and mixed waterfront standards are to enable developments that are designed to:
  - a. Promote a strong pedestrian environment and active street frontage, and be pedestrian in focus through appropriately scaled elements and materials.
  - b. Locate mixed uses near each other without large parking lots between, in order to be convenient for people to walk rather than drive between uses.
  - c. Provide a transition from commercial to residential uses by reducing building height and increasing building setbacks where possible.
  - d. Ensure consistent and quality architectural details and materials.
  - e. Ensure security for users by:
    - i. Maximizing visibility to common open space areas, internal walkways, and public sidewalks.
    - ii. Using walkways, low fences, lighting, signage, and landscaping to clearly guide people and vehicles to and from the proper entrances.
    - iii. Eliminating areas of concealment, hiding places, and dead spaces.
    - iv. Using appropriate lighting to improve the visibility of common areas while enhancing the pedestrian environment.
2. Additional Architectural Standards.
  - a. Pedestrian-oriented features.
    - i. At least 75 percent of the building frontage facing a public street, primary pedestrian way, or parking lot shall be devoted to pedestrian-oriented

- features (e.g., storefronts, pedestrian entrances to nonresidential uses; transparent display windows; landscaping).
- ii. 50 percent of the ground level building façade shall be devoted to windows affording view into the interior of the building.
- b. Upper level features. Upper floor balconies, bays, or windows shall be provided on multiple story buildings.
- c. Entrances. When nonresidential and residential uses are located in a vertical mixed use structure, separate pedestrian entrances shall be provided for each use.
  - i. The entrances for nonresidential uses shall be designed to be visually distinct from the entrances for residential uses.
- d. Entrances to individual residential units in a vertical mixed-use project shall not be allowed along a street frontage. Instead, shared entrances to residential units located above the ground floor shall be from lobbies that serve multiple units.

Façade treatment. All sides of a building that are open to public view (including views from adjacent residential dwellings or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.

3. Additional Site Design Standards.

- a. Parking, loading, and circulation.
  - i. Parking facilities shall be separated for nonresidential uses and residential uses, except that guest parking for residential uses may be shared with nonresidential uses.
  - ii. If enclosed parking, including parking garages and structures, is provided for residential and nonresidential portions of a mixed-use project, separate areas/levels shall be provided for each use and separate entrances shall be provided.
- b. Loading areas. Loading areas for nonresidential uses shall be located as far as possible from residential units and shall be completely screened from view from the residential portion of the project and public streets. Loading areas shall be compatible in architectural design and details with the overall project through the use of at least two out of three materials and colors used in the overall project. The location and design of loading areas shall mitigate nuisances from noise when residential uses might be impacted.
- c. Vehicular circulation.
  - i. Vehicular circulation shall be designed to direct non-residential traffic away from adjacent residential streets outside the mixed use districts, to the greatest extent feasible.
  - ii. Roadways are prohibited between the waterway and buildings nearest the waterway.
- d. Pedestrian design.
  - i. Developments shall provide enhanced pedestrian amenities throughout the project, including seating, pedestrian area lighting, special paving, public art, water features, common open space, directories, and similar items to create a pleasant pedestrian experience.

- e. Mixed Use Layout.
  - i. Separate site access driveways shall be provided, whenever possible, for nonresidential and residential uses. Site access driveways shall incorporate distinctive design elements, landscape features, and signs to help differentiate access to nonresidential parking areas from access to residential parking areas.
  - ii. For vertical mixed use projects, only nonresidential uses shall be located on the ground floor along public/private street frontages. Residential uses may be located above the ground floor and in areas that do not have frontage on a street. Up to 20 percent of the ground floor frontage may be occupied by lobby entrances to multiple residential units and pedestrian amenities (e.g., plaza, paseo, or courtyard).
- f. A prominent entrance shall be oriented to the major street on which the structure has frontage, street corner, courtyard, plaza, park, or other structures on the site, but not to interior blocks or parking lots/structures.
- g. Live/work units, dwelling units that are used jointly for commercial and residential purposes, shall be designed with the following elements:
  - i. Each live/work unit fronting a public street shall have a pedestrian-oriented frontage that allows views into the interior of the nonresidential areas of the unit.
  - ii. The living space within the live/work unit shall be contiguous with the commercial space, with direct access between the two areas.

4. Operational standards.

- a. Outdoor nonresidential uses in a mixed-use project that includes residential uses shall be prohibited from operating between the hours of 11:00 P.M. and 6:00 A.M.
- b. Loading and unloading activities shall not take place after 10:00 P.M. or before 6:00 A.M. on any day of the week.

(Ord. 24-05, Ord. 22-13, Ord. 17-08)

#### **19.16.10. Waterfront Buffer and Gateway Overlays, Additional Standards**

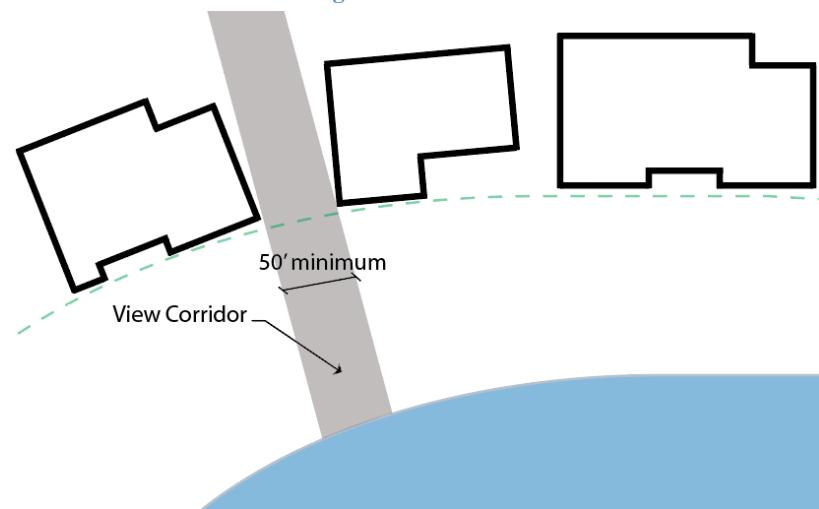
In addition to the residential and/or non-residential requirements of this Chapter, developments in the Waterfront Buffer Overlay and/or the Gateway Overlay shall be subject to the additional standards below:

1. Building standards:
  - a. Height and setbacks for buildings and structures that exceed 35 feet in height.
    - i. Waterfront Buffer facing building façades for floors above 35 feet in height shall be set back an additional 5 feet from the floors below. Each additional floor shall be set back an additional 5 feet.
  - b. Ground floor transparency:
    - i. The building façade facing the Waterfront Buffer or Gateway Overlay arterial and collector streets shall have at least 50 percent of the waterfront level façade area devoted to display windows and/or windows affording some view into the interior areas.

- ii. Multi-family residential buildings with no main floor lobby area, and/or no retail or office space are exempt.
- c. Prohibited building materials:
  - i. High gloss or shiny metal panels as a primary material.
  - ii. Mirror glass panels.
- d. Entrances:
  - i. Entrances in the Waterfront Buffer Overlay shall be as prominent on any waterfront side of a building as on the street side.
  - ii. Entrances shall be placed so as to be highly visible.
- e. Building Façades Treatment
  - i. Façades on the Waterfront Buffer or Gateway Overlay arterial or collector street shall be pedestrian scale, and not give the appearance of the back of a building.
  - ii. All sides of a mixed use, multi-family, or non-residential building that are open to public view (including views from adjacent residential dwellings, trails, or probable location of residential dwellings) shall receive equal architectural design consideration as the building front.

2. View corridor: Each Waterfront Buffer development shall provide at least one 50' wide view corridor for every 3 acres of development. View corridors shall be kept free of structures and other obstructions, and shall extend from the water through the entirety of the development generally perpendicular to the water. (see figure 16.1)

**Figure 16.1**



(Ord. 24-05, Ord. 22-44, Ord. 22-13, Ord. 17-08)